



For More Information, Contact:

Kathy Rathel
Customer Service Technician
City of Winter Garden
300 West Plant Street
Winter Garden, FL 34787
407.656.4111 ext. 5149
krathel@cwqdn.com

PLANNING & ZONING BOARD AGENDA

To: Will Hawthorne – Chairman
David Kassander – Vice Chairman
Mark DeFuso
Heather Gantt
Gerald Jowers
Chris Lee
Mark Maciel

Copy to: Mike Bollhoefer
Dan Langley
Kurt Ardaman
Ed Williams
Stephen Pash
Kelly Carson
Jessica Frye

RE: Agenda – **November 7, 2016 at 6:30 PM**
Commission Chambers, City Hall
300 West Plant Street, Winter Garden

1. **CALL TO ORDER**
2. **ROLL CALL AND DETERMINATION OF QUORUM**
3. **APPROVAL OF MINUTES FROM THE OCTOBER 3, 2016 MEETING**

ANNEXATION / FUTURE LAND USE MAP AMENDMENT / REZONING (PUBLIC HEARING)

4. 12451 Walker Pond Road (Lake Roberts Reserve) – American Orange County Investments 40, LLC et al / GrayRobinson, P.A. -- **PUD Annexation/Zoning/FLUA**
Parcel ID # 36-22-27-0000-00-058, 01-23-27-0000-00-003, -009, -004, -058, -030, -066 & -050

PRELIMINARY PLAT / FINAL PLAT / LOT SPLIT

5. 605 E Plant Street (Heritage at Plant Street) – BFC Plant Street LLC / M.I. Homes of Orlando, LLC -- **Pre Plat**
Parcel ID # 14-22-27-0000-00-012, 14-22-27-5656-01-391, & 14-22-27-0000-00-016

SPECIAL EXCEPTION PERMIT (PUBLIC HEARING)

6. 14131 W Colonial Drive – Amera Winter Garden, Ltd. / Romp n' Roll
Parcel ID # 22-22-27-0000-00-037

VARIANCE (PUBLIC HEARING)

7. 315 Florida Avenue – Ramiro Lopez
Parcel ID # 23-22-27-2307-01-140
8. 1717 Bridgepebble Road – Tim & Nelia Holmes
Parcel ID # 04-23-27-8229-21-219

ADJOURN to the next regular Planning and Zoning Board meeting on Monday, **December 5, 2016 at 6:30 p.m.** in City Hall Commission Chambers, 300 W. Plant Street, 1st floor.



**PLANNING AND ZONING BOARD
REGULAR MEETING MINUTES
OCTOBER 3, 2016**

1. CALL TO ORDER / PLEDGE OF ALLEGIANCE / INVOCATION

Chairman Will Hawthorne called the meeting of the City of Winter Garden Planning and Zoning Board to order at 6:31 p.m. in the City Hall Commission Chambers. A moment of silence was followed by the Pledge of Allegiance.

2. ROLL CALL AND DETERMINATION OF QUORUM

The roll was called and a quorum was declared present.

MEMBERS PRESENT:

Chairman Will Hawthorne, Vice-Chairman David Kassander, and Board Members: Chris Lee, and Mark Maciel

MEMBERS ABSENT:

Mark DeFuso (excused), Heather Gantt (excused), and Gerald Jowers (excused)

STAFF PRESENT:

City Attorney Kurt Ardaman, Community Development Director Steve Pash, Planner I Jessica Frye, and recording secretary Kathleen Rathel

3. APPROVAL OF MINUTES

Motion by Mark Maciel to approve the regular meeting minutes of September 12, 2016 and seconded by David Kassander. Motion carried unanimously 4 - 0.

ANNEXATION / FUTURE LAND USE MAP AMENDMENT / REZONING (PUBLIC HEARING)

4. 420 W. Story Road – Leonel Lopez (ANNEXATION/FLU/ZONING)

Planner Frye presented a voluntary annexation, zoning and future land use amendment request for the 0.21+/- acre enclave located at 420 W. Story Road. The property is located on the southeast corner of W. Story Road and Foster Avenue. The applicant has requested the annexation with an initial zoning of R-2 (Residential) and an Amendment to the Future Land Use Map to designate the property as Low Density Residential. Staff has reviewed the request and recommends approval of Ordinances 16-62, 16-63 and 16-64.

Motion by Mark Maciel to recommend approval of Ordinances 16-62, 16-63 & 16-64 with Staff Recommendations (as provided in the agenda package). Seconded by Chris Lee the motion carried unanimously 4 - 0.

5. 707 W. Plant Street – 707 W Plant St, LLC (FLU MAP AMENDMENT)

Planner Frye presented a request to amend the Future Land Use designation for a 3.07 +/- acre property located at 707 W. Plant Street with a zoning of R-2. The applicant is requesting to amend the future land use designation from NC (Residential-Neighborhood Commercial) to LR (Low Density Residential) to allow the property to be rezoned to PUD (Planned Unit Development) at a later date. The request for Low Density Residential is consistent with the surrounding residential neighborhoods and the proposed PUD would require approval from the Development Review Committee, the Planning & Zoning Board, and City Commission. Staff has reviewed the request and recommends approval of Ordinance 16-71.

General discussion verified this request was for a future land use amendment only and the property would retain its initial zoning of R-2.

Motion by David Kassander to recommend approval of Ordinance 16-71 with Staff Recommendations (as provided in the agenda package). Seconded by Chris Lee the motion carried unanimously 4 - 0.

6. 605 & 755 E. Plant Street & 290 E. Newell Street – MI Homes of Orlando (PUD REZONING)

Community Development Director Pash presented a PUD Rezoning request for the 16.66 +/- acres of land at 605 & 755 E. Plant Street and 290 E. Newell Street. The property is located north of E. Plant Street, east of Donald Drive, and west of the Library. The applicants have requested to rezone the property from City R-1 (Single Family Residential) and R-2 (Residential) to PUD (Planned Unit Development). The proposed PUD will consist of 43 townhomes and 41 Single Family Dwellings. The townhomes will be adjacent to the trail and Plant Street and transition into Single Family homes. Twenty five of the townhomes located along Plant Street will include a second floor 400 square foot Granny Flat located above the garage. This will only be allowed at original development to make sure it meets all fire code requirements. The project will contain one recreation area in the center with a swimming pool and extra parking for guests, perimeter fencing and walls, a golf cart path that connects to Donald Drive. Staff has reviewed the request and recommends approval of Ordinance 16-72.

General discussion ensued on the location of the townhomes and dwellings within the project.

Chad Moorhead with Madden, Moorhead and Stokes at 431 E. Horatio Ave, Maitland FL 32751, and Dan Kaiser with M.I. Homes were present to answer any questions. He stated they have worked diligently with the community and Staff in revising the original plans to bring the current project before the Board.

Walter Swafford, 315 Courtlea Oaks Blvd, Winter Garden FL, inquired about the width of the lots and the dwelling size for the single family homes. Chad Moorhead replied the lots would be 50 feet wide and there would be a 50 foot buffer along the north side of the property containing a 6 foot masonry wall with landscaping. Dan Kaiser stated the single family homes would range in size from 1800 square feet to 3800 square feet.

Arthur Mitchell, 204 Trail Bridge Ct, Winter Garden FL, inquired about the distance between the edge of the retention pond on the east side to the property line. Chad Moorhead stated from the water surface to the property line would be approximately 50 feet and clarified it would be a detention pond versus a retention pond. They were also looking into vacating the unopened 30 foot Perkins Street right of way.

Mr. Pash clarified that all the fence heights would be 6 feet.

Bobbie Joyce, 260 Gary Drive, Winter Garden FL, asked if the only entrance and exit would be from Plant Street or if there would be another location on Donald Drive. Chad Moorhead stated the only entrance/exit would be from Plant Street but there was a golf cart access proposed for Donald Drive.

Board Member Kassander inquired about the size of the Townhomes as the ordinance stated the minimum size was 1,000 square feet. Dan Kaiser stated the proposed size of the Townhomes would range from approximately 1,600 to 1,800 square feet. Board Member Kassander asked if the current ordinance could be amended to increase the minimum square footage from 1,000 to 1,500. Discussion ensued on the minimum square footage.

Board Member Kassander asked if the 20% open space included the retention pond. Mr. Pash stated the retention pond is the primary area but it also included the clubhouse, pool, and landscape buffers.

Motion by David Kassander to recommend approval of Ordinance 16-72 with an amendment to Paragraph 3, Section 1, F-3, to raise the minimum living area to 1500 square feet and with Staff Recommendations (as provided in the agenda package). Seconded by Will Hawthorne.

Board Member Lee questioned raising the minimum square footage on the Single Family homes to 1,800 along with the 1,500 for the Townhomes. The applicants asked if the minimum could be changed to 1,700 square feet for the single family homes.

David Kassander amended his original motion to include a 1,500 minimum square footage for Townhomes and 1,700 minimum square feet on the Single Family homes. Seconded by Will Hawthorne the motion carried unanimously 4 - 0

7. 602 E. Story Road – Orange County Public Schools (ANNEX/ZONING/FLU)

Community Development Director Pash presented a voluntary annexation, zoning and future land use amendment request for an 8.82 +/- acre enclave at 602 E. Story Road. The property is located on the southwest corner of E. Story Road and 9th Street. The applicant has requested the annexation with an initial zoning of R-2 and an Amendment to the Future Land Use Map to designate the property as Low Density Residential. Staff has reviewed the request and recommends approval of Ordinances 16-68, 16-69 and 16-70.

Tyrone Smith with Orange County Public Schools Facilities, 6501 Magic Way, Orlando FL, addressed the Board. He stated they are proposing to relocate the existing Maxey Elementary School to remove it from the industrial area and provide a new core building to house 600 to 650 students. They plan on keeping the Maxey Elementary name at the new location.

City Attorney Ardaman questioned what was going to happen to the existing Maxey site. Mr. Smith stated it would go through a repurposing process by the School Board and the use would be determined at a later date. There were several options but he could not share them at this time. Board Member Hawthorne asked what the timeline for repurposing would be. Mr. Smith stated it depended on the needs of the district while the new school was being built but could take anywhere from 6 months to 1 year.

Tyrone Smith clarified the reason for annexing was due to the property being in the Joint Planning Area and it was a requirement to annex in order to receive city services and utilities instead of keeping the school in Orange County jurisdiction.

Ed Williams of Williams Development Services, 920 Delaney Ave, Orlando FL, addressed the Board as a member of the public. He stated he finds it difficult to accept that the School Board will not share what the potential repurposing program will be. They are asking for approval for the new site without providing their potential intentions for the old site. He believes these answers should be provided before it is submitted to Commission.

The Board discussed whether any conditions of approval could be included before it goes before the City Council. City Attorney Ardaman stated it is two different properties and asked the applicant about deferring until this information could be provided.

Tyrone Smith stated there is a contract on the property so there is a need to move forward and that it is no different from the process the City would take in evaluating any new project. Chairman Hawthorne asked the reasoning behind why they could not share the information.

Discussion ensued on the options the Board had to either defer until more information is obtained or include conditions that prior to being considered by City Commission the City have time to evaluate the possible uses on the existing site as it may affect the new project.

Laura Kelly with Orange County Public Schools and in charge of real estate and Legal, 6501 Magic Way, Orlando FL, stated the existing site will continue to be used for at least another year until the new site is opened. The School system does not know at this time what will happen to the existing site but there would need to be significant repurposing in order to use it. The new school site is slated to open in 2018 so it would not be until early 2018 before the school board would know what would happen to the old campus. Uses are limited but it would not become another school.

Board Member Maciel stated the Board wants to work with Orange County Public School but the Board would like some parameters to know at least the limitations of future uses.

Discussion ensued regarding the uses of the new site and the effects of the future site usage and the ramifications of tabling this project one month in order to obtain more information.

Arthur Mitchell, 204 Trail Bridge Ct, Winter Garden FL, stated the new location for the school is a good thing but as a taxpayer and as a resident he would like a commitment that the old location will not be turned into something undesirable.

Motion by Will Hawthorne to recommend approval of Ordinances 16-68, 16-69 & 16-70 with Staff Recommendations (as provided in the agenda package) contingent upon Orange County Public Schools providing sufficient data of permitted uses or prohibited uses for the existing site to Staff before recommending approval to City Commission, and, if such information by the applicant is not provided to Staff, then the Board recommends denial. Seconded by Chris Lee the motion carried unanimously 4 - 0.

8. 14991 W. Colonial Drive – 14991 W Colonial LLC (ANNEX/ZONING/FLU)

Community Development Director Pash presented a voluntary annexation, zoning and future land use amendment request for the 3.74 +/- acre enclave at 14991 W. Colonial Drive. The property is located on the northeast corner of W. Colonial Drive and Tildenville School Road. The applicant has requested the annexation with an initial zoning of C-2 and an Amendment to the Future Land Use Map to designate the property as Commercial. The property also falls within the State Road 50 Overlay District which has additional design standards that would have to be met when the property is developed. Staff has reviewed the request and recommends approval of Ordinances 16-65, 16-66 & 16-67.

Board Member Kassander asked if there was any significant difference between C-1 (County) and C-2 (City). Mr. Pash stated they were very similar but the County zoning may allow a few additional uses that would fall under a Special Exception with the City.

Motion by Chris Lee to recommend approval of Ordinances 16-65, 16-66 & 16-67 with Staff Recommendations (as provided in the agenda package). Seconded by Mark Maciel the motion carried unanimously 4 - 0.

9. 15001 W. Colonial Drive – 7-Eleven, Inc (ANNEX/ZONING/FLU)

Community Development Director Pash presented a voluntary annexation, zoning and future land use amendment request for the 1.58 +/- acre enclave at 15001 W. Colonial Drive. The property is located on the northwest corner of W. Colonial Drive and Tildenville School Road and is the current site of the 7-Eleven. The applicant has requested the annexation with an initial zoning of C-2 and an Amendment to the Future Land Use Map to designate the property as Commercial. The property also falls within the State Road 50 Overlay District which has additional design standards that would have to be met. Staff has reviewed the request and recommends approval of Ordinances 16-55, 16-56 & 16-57.

Board Member Hawthorne asked how the Overlay affects an existing use. Mr. Pash stated it would affect redevelopment or any site changes. The advantage for annexing would provide local services.

Motion by David Kassander to recommend approval of Ordinances 16-55, 16-56 & 16-57 with Staff Recommendations (as provided in the agenda package). Seconded by Will Hawthorne the motion carried unanimously 4 - 0.

SPECIAL EXCEPTION (PUBLIC HEARING)

10. 1218 Winter Garden Vineland Road, Ste 100 & 104 – My Gym Children’s Fitness Center

Planner Frye presented a Special Exception request for the property located at 1218 Winter Garden Vineland Road, Suites 100 & 104 located within the Winter Garden Business Park. The applicant is requesting the Special Exception to allow a children’s fitness center with associated child care programs such as, fitness classes for various age groups, day camps, Parent’s Night Out events, and children’s parties. All equipment and activities would be contained within the facility. Staff has reviewed the requests and recommends approval subject to the conditions outlined in the Staff Report.

Board Member Lee asked for a list of the conditions. Ms. Frye stated the conditions included having the classes staggered to maintain appropriate traffic flow within the development, a maximum enrollment for all provided classes of 30 children, activities and equipment must be kept within the building, and the interior buildout of the space would require a building permit. Ms. Frye reviewed the traffic flow and parking to make sure the use would be acceptable. The two suites total approximately 3,500 square feet.

Motion by Mark Maciel to recommend approval of the Special Exception [for 1218 Winter Garden Vineland Road Suites 100 & 104] with Staff Recommendations (as provided in the agenda package). Seconded by David Kassander the motion carried unanimously 4 - 0.

CITY OF WINTER GARDEN CODE UPDATES (PUBLIC HEARING)

11. Ordinance 16-59 – Comp Plan Amendment for Dillard Street Corridor

Community Development Director Pash presented a comprehensive plan amendment to add a statement into Policy 2-1.1.5 and add policy 2-1.1.15 of the multimodal transportation element of the Winter Garden Comprehensive Plan to include policies pertaining to the Dillard Street Corridor project; providing for severability; providing for an effective date. Staff recommends approval of Ordinance 16-59.

Board Member Kassander asked why the City had to do an ordinance. Mr. Pash explained the ordinance was required to amend the City’s comprehensive plan which will help the City pursue grants and different alternatives for funding.

Motion by David Kassander to approve Ordinance 16-59. Seconded by Chris Lee the motion carried unanimously 4 - 0.

ADJOURNMENT

There being no further business, the meeting was adjourned at 7:36 p.m.

ATTEST:

APPROVED:

Recording Secretary Kathleen Rathel

Chairman Will Hawthorne

THE CITY OF WINTER GARDEN
PLANNING AND ZONING BOARD AGENDA ITEM

ITEM # 4 (Public Hearing)

DATE: November 4, 2016 **MEETING DATE:** November 7, 2016

SUBJECT: Ordinances 16-42, 16-43, & 16-44
12564 Stoneybrook West Pkwy; 12451, 12304, 12174 Walker Pond Road
(ANNEXATION, FLU AMENDMENT, REZONING PUD)

PROJECT NAME Lake Roberts Reserve Annexation, FLU, & PUD

PARCEL ID# 36-22-27-0000-00-058, 01-23-27-0000-00-009 (a portion),
01-23-27-0000-00-004, 01-23-27-0000-00-058,
01-23-27-0000-00-030, 01-23-27-0000-00-003,
01-23-27-0000-00-066, 01-23-27-0000-00-050

ISSUE: Applicant is requesting annexation, FLU amendment, and PUD rezoning of 78.87 +/- acres of land in order to develop a residential subdivision with 90 single-family lots.

SUPPLEMENTAL MATERIAL/ANALYSIS:

OWNER/APPLICANT: American Orange County Investments 40, LLC, et al.

CURRENT ZONING: County A-1 Citrus Rural District

PROPOSED ZONING: City PUD Planned Unit Development

CURRENT FLU: County Rural & Rural 1/1

PROPOSED FLU: City Low Density Residential

SUMMARY: The developer requests annexation, Future Land Use Amendment, and PUD rezoning approval for the Subject Property in order to develop 90 single-family residences with associated site improvements. Throughout the DRC review process, Staff has expressed concerns about the potential environmental impacts of constructing a causeway (road) through the subject property's wetland areas. Without adequate assurances from Orange County EPD that the construction of the causeway will not cause significant environmental degradation to the surrounding water bodies, Staff cannot recommend that this project proceed within City limits (See Staff Report).

STAFF RECOMMENDATION(S):

City Staff recommends *denial* of the proposed Ordinance 16-42 to annex the subject property into the City of Winter Garden. Without approval of the Annexation Ordinance (16-42), the Comprehensive Plan Amendment and PUD Rezoning Ordinances (16-43 & 16-44) cannot be considered for approval.

NEXT STEP(S):

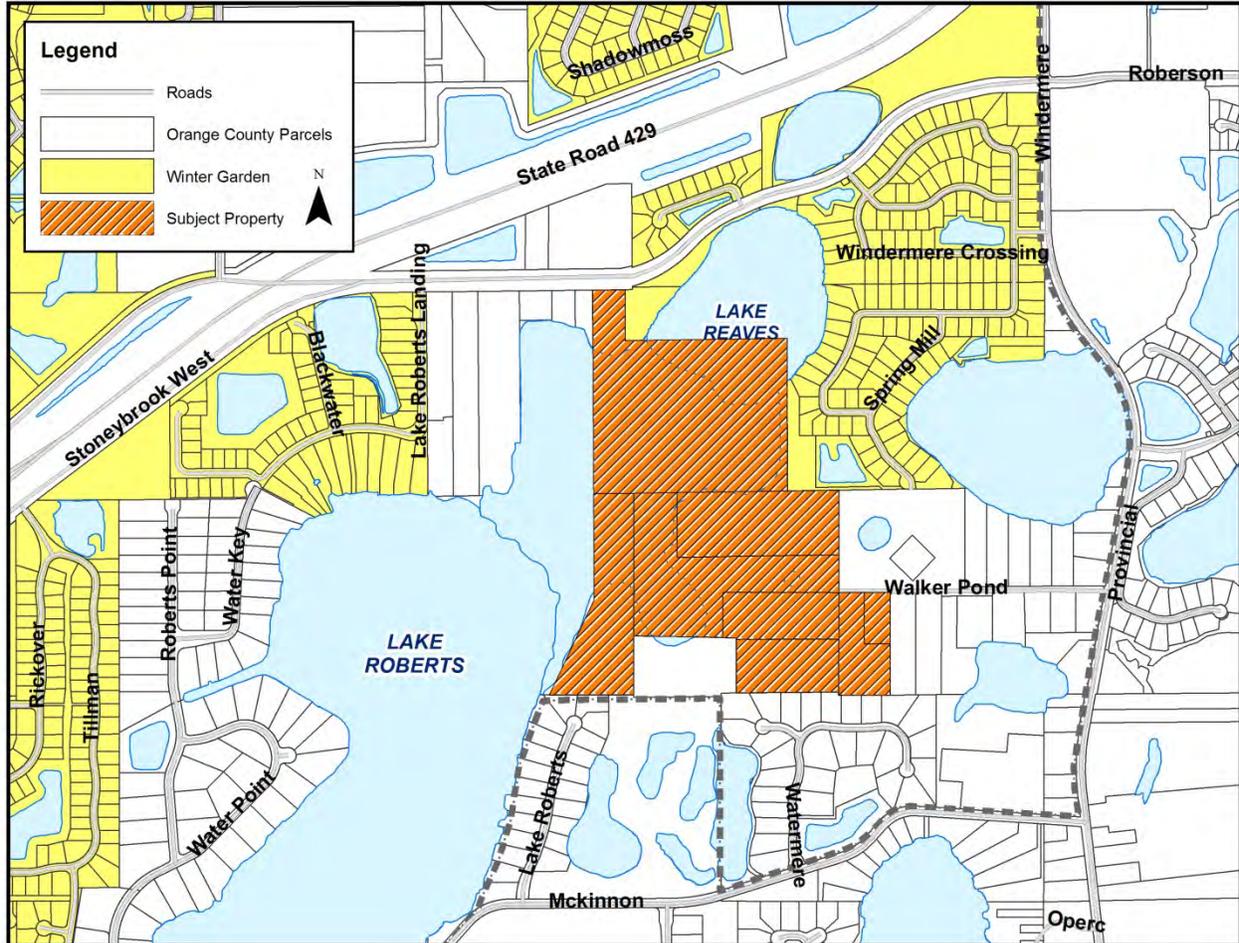
ATTACHMENT(S):

Location Map
Staff Report
Lake Roberts Reserve Preliminary Development Plan
Ordinance 16-42

LOCATION MAP

Lake Roberts Reserve

ANNEXATION, FLU AMENDMENT, PUD REZONING



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

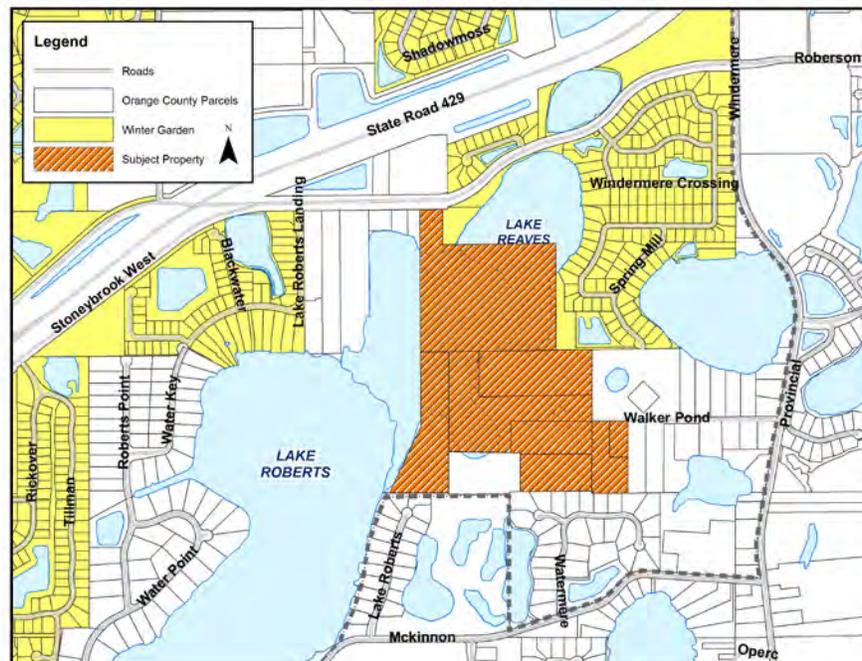
STAFF REPORT

TO: PLANNING AND ZONING BOARD
PREPARED BY: KELLY CARSON, URBAN DESIGNER
DATE: NOVEMBER 2, 2016
SUBJECT: ANNEXATION, FUTURE LAND USE, PLANNED UNIT DEVELOPMENT REZONING (ORDINANCES 16-42, 16-43, 16-44)
12564 Stoneybrook West Pkwy; 12451, 12304, 12174 Walker Pond Road (78.87 +/- ACRES)
Parcel ID# 36-22-27-0000-00-058, 01-23-27-0000-00-009 (a portion), 01-23-27-0000-00-004, 01-23-27-0000-00-058, 01-23-27-0000-00-030, 01-23-27-0000-00-003, 01-23-27-0000-00-066, 01-23-27-0000-00-050

APPLICANT: American Orange County Investments 40, LLC

INTRODUCTION

The purpose of this report is to evaluate the proposed project for the appropriateness of annexation, as well as for compliance with the City of Winter Garden Land Development Regulations, Comprehensive Plan, and Future Land Use Map. The subject property, located on the south side of Stoneybrook West Parkway, north of McKinnon Road and west of Windermere Road is approximately 78.87 ± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The subject property is located within Unincorporated Orange County and carries the zoning designation A-1 (Citrus Rural). The subject property is designated Rural and Rural 1/1 on Orange County's Future Land Use Map. A portion of the subject property is located within the Windermere Rural Settlement. The applicant has requested annexation into the City, amendment to the Future Land Use Map (FLUM) of the City's Comprehensive Plan to designate the property as Low Density Residential (LR), and rezoning the property to PUD Planned Unit Development.

In accordance with the City's Comprehensive Plan, permitted uses within the Low Density Residential Future Land Use category include single-family residences with a residential density between 2 & 6 dwelling units per acre, as well as two-family residences, churches, and schools within certain zoning districts. The zoning classifications consistent with the Low Density Residential Future Land Use designation include PUD, R-1A, R-1, R-2, R-1B, & INT.

EXISTING USE

The subject property currently features mostly vacant natural land consisting of pastures, abandoned citrus groves, oak hammocks, non-forested wetlands, freshwater marshes, and portions of Lake Reaves and Lake Roberts. There are also two single-family residential structures in the southern portion of the subject property, as well as a covered equipment area, covered concrete area with wood stalls for animals and farm equipment, dirt drives, and other improvements. The northernmost portion of the subject property features a single-family residence, with a pool and several other accessory structures.

ADJACENT LAND USE AND ZONING

The adjacent properties include a portion of Lake Roberts to the west as well as a property located at 12572 Stoneybrook West Parkway, which is zoned A-1 and is located in Unincorporated Orange County.

To the north is a portion of Lake Reaves, as well as a property located at 12552 Stoneybrook West Parkway that contains a single-family residence, is zoned R-1, and is located within the City of Winter Garden. Also to the north is a vacant agricultural parcel located at 12577 Stoneybrook West Parkway featuring grazing land, which is zoned A-1 and located in Unincorporated Orange County.

There are numerous properties to the south of the subject property, including the parcel located at 12408 Walker Pond Road, which features a single-family residence, is zoned A-1, and is located in Unincorporated Orange County. There are also two single-family residential subdivisions located to the south of the subject property - Butler Bay and Windermere Grande - as well as a portion of the Windermere Country Club's golf course. All of these parcels are zoned R-CE-C and are located in Unincorporated Orange County.

There are numerous parcels located east of the subject property including a parcel located at 12166 Walker Pond Road, which contains a single-family residence, is zoned A-1, and is located in Unincorporated Orange County. Also in the County is a parcel located along Walker Pond Road containing a barn and zoned A-1. Another parcel to the east is a vacant residential property located at 12236 Reaves Road, which is zoned R-1 and is located in Winter Garden. Additionally, the Windermere Crossing single-family residential Subdivision is located to the east of the subject property. The parcels therein are zoned R-1 and are located in Winter Garden.

PROPOSED USE

The developer purchased the subject property and intends to develop 90 single-family residences with associated site improvements. Proposed lot sizes range from 75' wide interior lots to 100' wide lots located adjacent to Lake Roberts. The project will also include recreation spaces with play areas, a dog park, pavilion, and wetland observation areas and boardwalks.

Currently, the majority of the subject property does not have road access. The developer initially pursued developing Walker Pond Road as the main project access, as this road currently connects to Windermere Road to the east. However, the developer was unable to acquire the right-of-way needed to reconstruct the road per City standards. Also, the Walker Pond Road proposal was met with resistance from adjacent property owners. The developer then pursued developing an access point south to McKinnon Road through the existing Windermere Country Club's Golf Course, but the surrounding property owners pushed back vigorously on this proposal as well. Finally, the developer proposed the current access road configuration. The main access point to the site will be via a road that cuts through a portion of the wetland areas on the subject property and connects to Stoneybrook West Parkway to the north (please see attached Lake Roberts Reserve Preliminary Development Plans).

PUBLIC FACILITY ANALYSIS

The City will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents including building permits. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department under the First Response System.

Only two of the proposed residences are eligible to be hooked up to City water and sewer services. The majority of the proposed properties are not within Winter Garden's utility service area, and Orange County does not wish to lose these potential utility customers. These properties would need to attain water and sewer services from Orange County.

COMMUNITY MEETINGS

On October 25, 2015, a Community Meeting was held in the City Commission Chambers to discuss the proposed project with surrounding property owners. The reaction to the proposal was mixed, with some residents expressing concerns about the increase in traffic volumes along Walker Pond Road. Solutions to the traffic issue were discussed including a variety of buffering options. To address these concerns, the developer chose to only utilize Walker Pond Road as an emergency vehicle access road and provide the main subdivision access from a parcel adjacent to Stoneybrook West Parkway. The new access design involves developing a causeway through the wetland areas on the subject property, which is described in detail in the next section.

A second community meeting, this time exclusively with the residents in Lake Roberts Court (Butler Bay), was held after the first. The residents were presented the current road configuration through the wetlands and objected to the proposal due to potential environmental impacts in and around Lake Roberts.

STAFF CONCERNS

In accordance with the City's Comprehensive Plan and Land Development Regulations, one of the approval criteria for Planned Unit Developments is that there be an availability and

adequacy of primary streets and thoroughfares to support traffic to be generated within the proposed PUD and the surrounding area. In order to address this requirement and respond to the objections of surrounding property owners, the developer is proposing to construct a two-way road with pedestrian walk over and through the wetlands on the subject property.

Construction of this causeway would involve dredging the existing organic soils (muck) within the wetlands and filling these areas with imported materials, then constructing a 36' wide asphalt road section (two 12' wide travel lanes and two 6' wide paved shoulders), as well as a 10' wide concrete ped/bike path. All told, this roadway section will be approximately 78' wide, which does not include the area required to slope the newly elevated land down to existing grade within the wetland. This section of wetland currently connects two adjacent lakes: Lake Roberts and Lake Reaves, and under high water conditions the two lakes become one connected lake. After the construction of this new causeway, these two water bodies will only be connected by three pipes installed under the new causeway, perpendicular to the elevated road.

One of the main conditions of approval of this project was receipt of a letter from Orange County Environmental Protection Division (EPD) regarding their review of the causeway's wetland and lake impacts. As of the date of this Staff Report, the City has yet to receive a letter that addresses all of the City's concerns. Namely, the City has not received a letter on EPD letterhead, signed by EPD, stating that the agency has evaluated the potential negative impacts to the lakes and wetlands with the construction of the causeway and that the proposed mitigation actions to be taken by the developer will have a net positive impact on the lake and wetland environments, and stating that no other mitigation or construction methods would produce a better outcome in this regard. Without this letter addressing these specific concerns, City Staff cannot be confident that the project will not cause significant environmental degradation to the property's wetland areas as well as the surrounding lakes.

Given the potential impacts to properties located adjacent to the wetland and lakes, Staff does not believe the proposed project will satisfy the following PUD approval criteria:

- *The proposed PUD will not substantially devalue or prevent reasonable use and enjoyment of the adjacent properties.*
- *Prevention of erosion and degrading or enhancement of the surrounding areas.*

Furthermore, the following sections of the City's Comprehensive Plan are several that address environmental protection as it pertains to wetlands (*emphasis by Staff*):

Policy 5-1.4.1: It is the City's policy that no development is allowed in a wetland area. However, encroachment into a wetland may be allowed in cases where no other feasible or practical alternatives exist that would permit the reasonable use of the land or where there is an *overriding public benefit based upon review by the appropriate regulatory agency and subject to the regulatory agency's policies and rules.*

Policy 5-1.4.5: The City shall continue to utilize the flexibility allowed in the Planned Unit Development classification help *to protect and conserve identified wetlands such as clustering of development and the transfer of development rights out of wetlands to uplands.*

Policy 5-1.4.13: *The City shall require a wetland buffer of an average of at least 25 feet with a minimum of 15 feet at any one point between wetlands and new development in order to protect water quality, preserve natural wetland functions, and preserve natural habitat.* The buffer, as

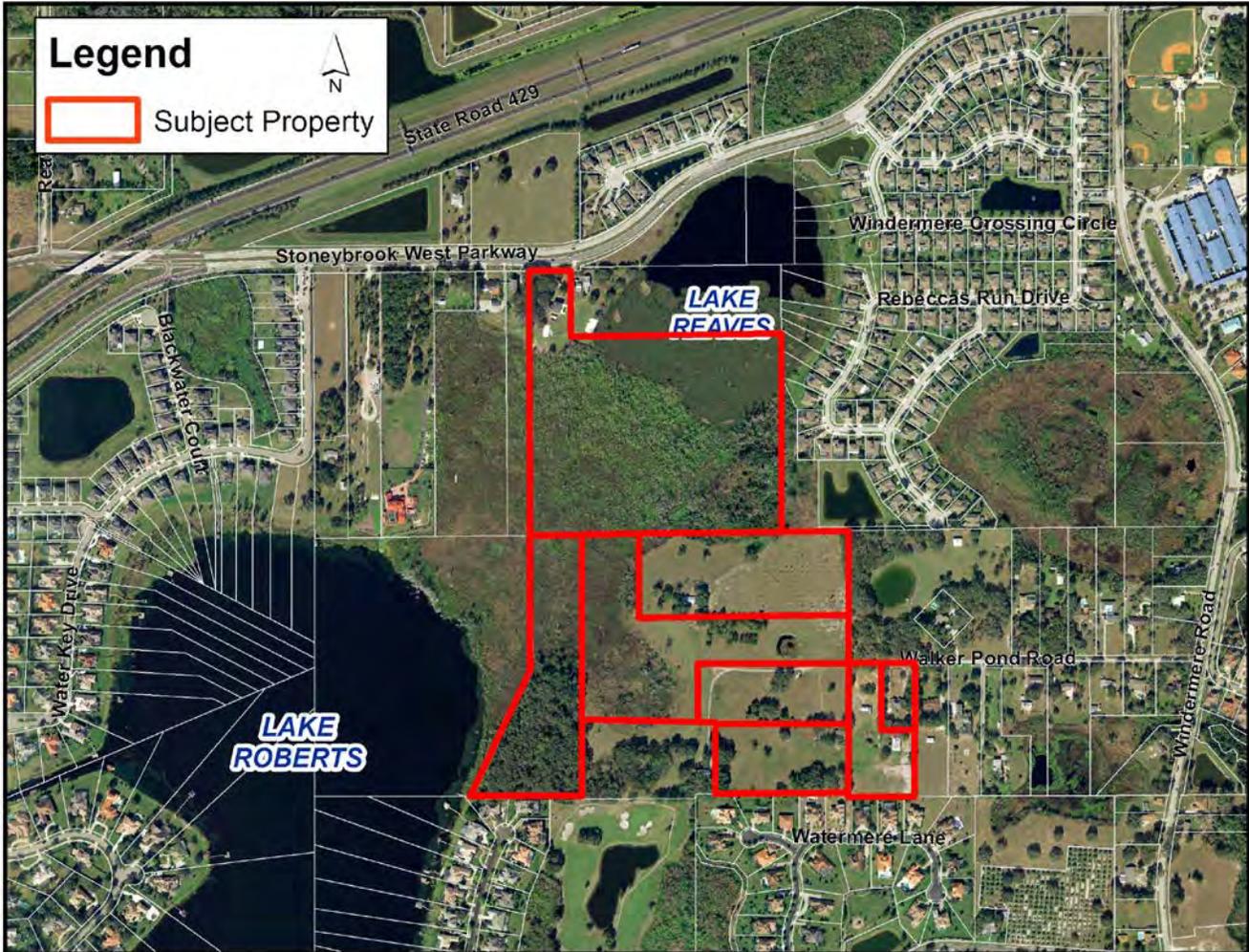
measured landward from the approved jurisdictional line, shall be maintained in a natural vegetative state and be free of exotic and nuisance species.

Staff does not believe that it is appropriate to annex the subject property at this time as the proposed project is not consistent with the policies found within the City's Comprehensive Plan or the regulations found within the Land Development Code.

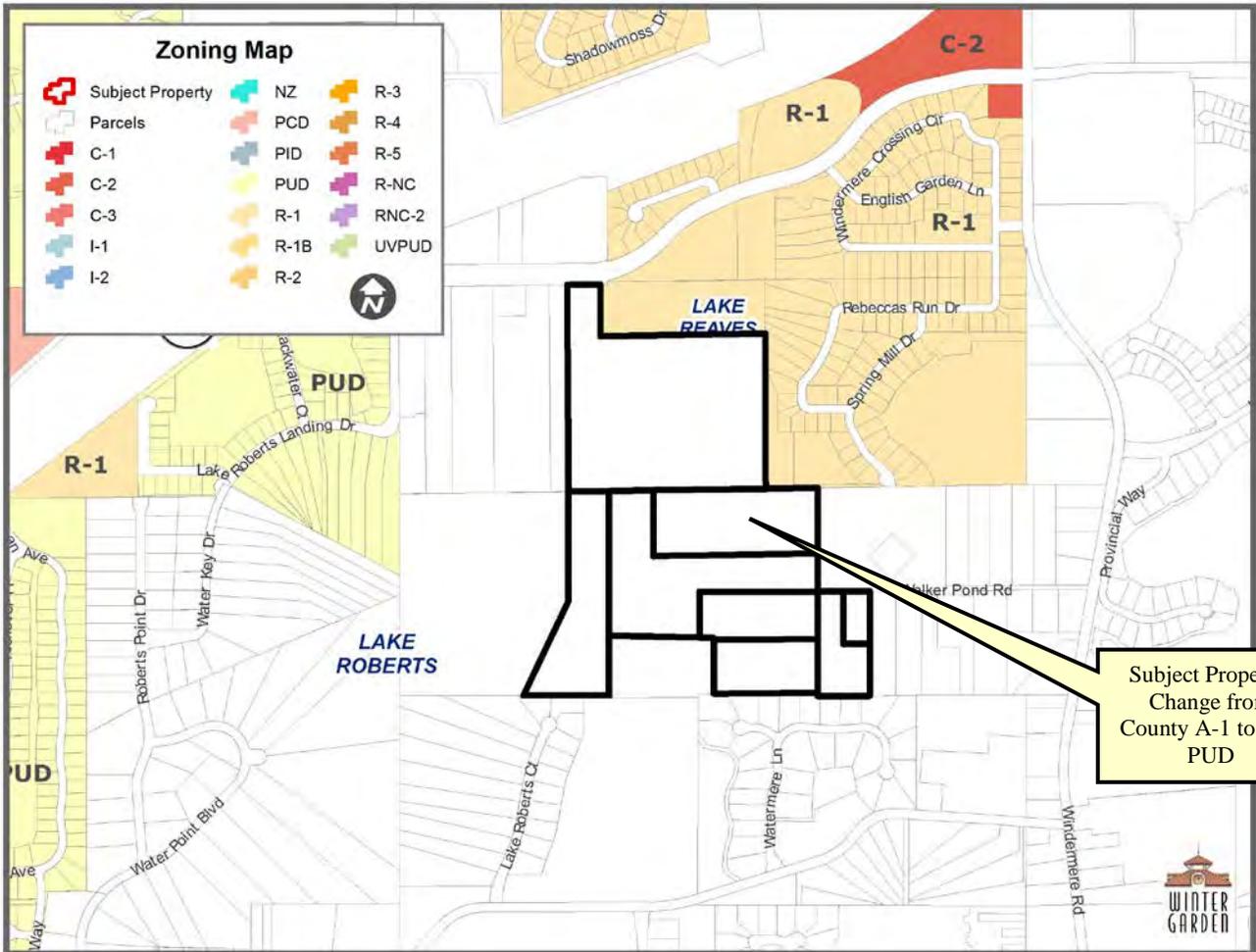
SUMMARY

City Staff recommends *denial* of the proposed Ordinance 16-42 to annex the subject property into the City of Winter Garden. Without adequate assurances that the construction of the causeway through the wetlands will not cause significant environmental degradation to the surrounding water bodies, Staff cannot recommend that this project proceed within City limits. Without approval of the Annexation Ordinance (16-42), the Comprehensive Plan Amendment and PUD Rezoning Ordinances (16-43 & 16-44) cannot be considered for approval.

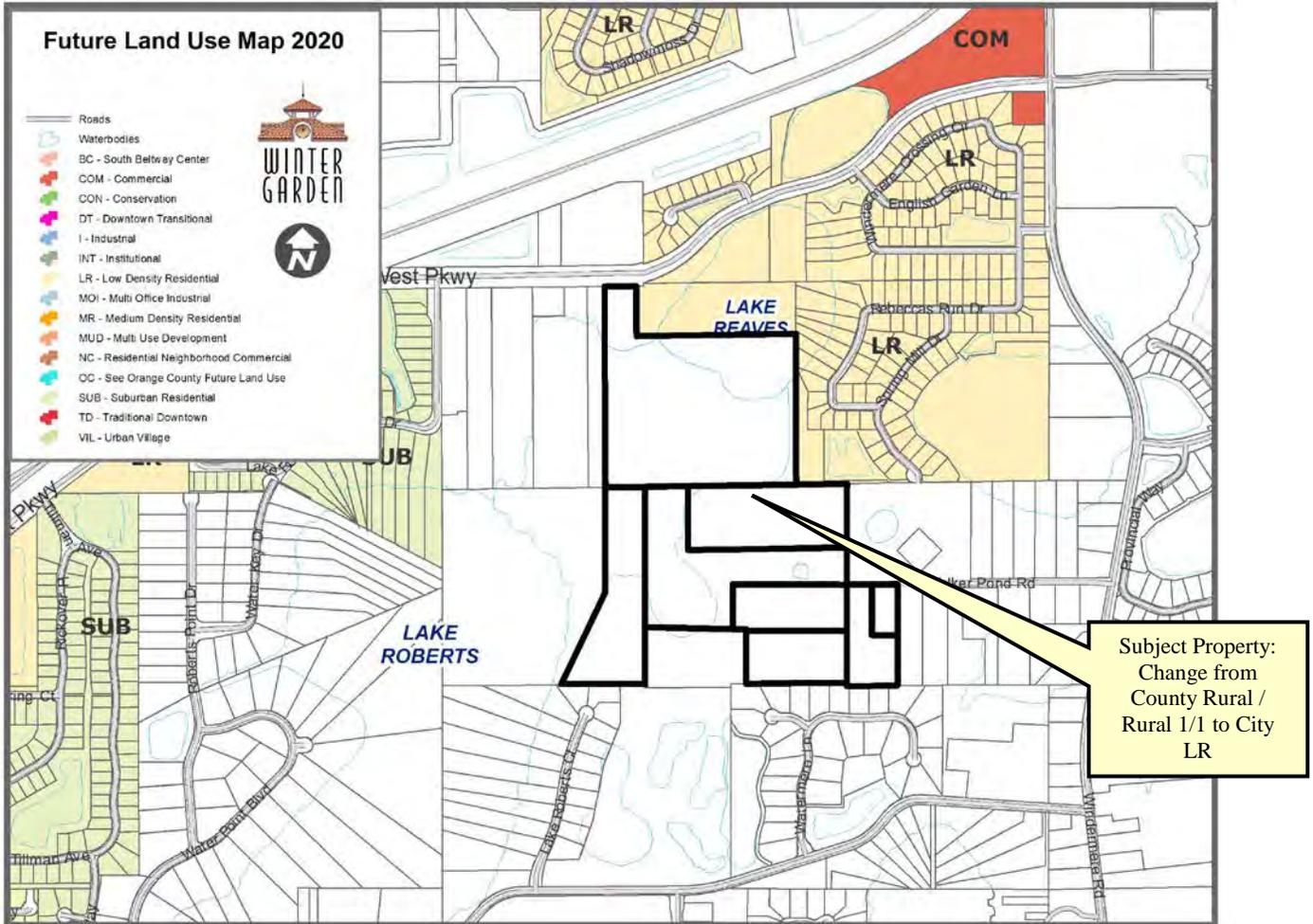
AERIAL PHOTO
Lake Roberts Reserve PUD



ZONING MAP Lake Roberts Reserve PUD



FUTURE LAND USE MAP
Lake Roberts Reserve PUD



END OF STAFF REPORT

PLANNED UNIT DEVELOPMENT PRELIMINARY DEVELOPMENT PLAN LAKE ROBERTS RESERVE

CITY OF WINTERGARDEN, FLORIDA

FOR

AMERICAN INVESTMENTS OF ORANGE COUNTY 40, L.L.C.

3911 ORANGE LAKE DRIVE

ORLANDO, FL 32817

PH (407)-810-6318

INDEX OF SHEETS

DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ORANGE, STATE OF FL. AND IS DESCRIBED AS FOLLOWS:
PARCEL "A-1"

PARCEL 1:

Begin at the Northeast corner of Government Lot 2 in Section 1, Township 23 South, Range 27 East, and run West 1043.75 feet, thence South 417.42 feet, thence East 1043.75 feet, thence North 417.42 feet to place of beginning, in Orange County, Florida.

PARCEL 2:

The North half (N 1/2) of Government Lot 2 in Section 1, Township 23 South, Range 27 East, Orange County, Florida, less the following described tracts:

Begin at the Northeast corner of Government Lot 2 in Section 1, Township 23 South, Range 27 East, and run West 1043.75 feet, thence South 417.42 feet, thence East 1043.75 feet, thence North 417.42 feet to place of beginning, in Orange County, Florida.

AND

The East 1/2 of the South 370 feet of the North 1/2 of Government Lot 2, Section 1, Township 23 South, Range 27 East, less the South 19 feet, more or less, Public Records of Orange County, Florida.

AND

The South 379 feet of W 1/2 of N 1/2, Government Lot 2, Section 1, Township 23 South, Range 27 East, in Orange County, Florida.

PARCEL 3:

From the Southeast corner of the Northeast 1/4 of Section 1, Township 23 South, Range 27 East, Orange County, Florida, run N 00°36'11" E along the East line of the Southeast 1/4 of the Northeast 1/4 of said Section 1, 1,337.56 feet; thence run N 89°53'46" W, 1,324.32 feet to the Southeast corner of the North 1/2 of Government Lot 2, said Section 1; thence run N 00°34'06" E along the East line of the North 1/2 of said Government Lot 2 a distance of 370.01 feet to the Northeast corner of the East 1/2 of the South 370.00 feet of said Government Lot 2 and the Point of Beginning; thence run N 89°53'46" W along the North line of said East 1/2 of the South 370.00 feet of said Government Lot 2 a distance of 662.28 feet to the Northwest corner of the said East 1/2 of the South 370.00 feet; thence run N 00°33'03" E along the East line of the West 1/2 of the South 379.00 feet, 9.00 feet to the Northeast corner of the West 1/2 of the South 379.00 feet of said North 1/2 of Government Lot 2 a distance of 86.09 feet; thence run N 00°34'06" E, parallel to the East line of the North 1/2 of said Government Lot 2, a distance of 281.65 feet; thence run N 89°52'47" E, 748.40 feet to a point on the East line of the North 1/2 of said Government Lot 2; thence run S 00°34'06" W along the East line of said Government Lot 2 a distance of 293.58 feet to the Point of Beginning.

PARCEL 4:

The East 1/2 of the South 370 feet of the North 1/2 of Government Lot 2, Section 1, Township 23 South, Range 27 East, less the South 19 feet, more or less, Public Records of Orange County, Florida.

PARCEL "A-2" (A) (McMurtrey):

PARCEL 1:
THE EAST 1/4 OF THE WEST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA.

TOGETHER WITH AN EASEMENT FOR ACCESS RESERVED IN QUIT CLAIM DEED RECORDED JULY 14, 2000 IN OFFICIAL RECORDS BOOK 6045, PAGE 26, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

AND

PARCEL 2:

THE WEST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA.

TOGETHER WITH AN EASEMENT FOR ACCESS RESERVED IN QUIT CLAIM DEED RECORDED JULY 14, 2000 IN OFFICIAL RECORDS BOOK 6045, PAGE 24, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PARCEL "A-2" (B) (Batigobin):

BEGIN AT THE SOUTHEAST CORNER OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 36, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, THENCE RUN SOUTH 88 DEGREES 42' 04" WEST ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 256.59 FEET; THENCE NORTH 00 DEGREES 37' 05" WEST, 1,332.48 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4; THENCE NORTH 88 DEGREES 58' 00" EAST ALONG THE NORTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 208.70 FEET; THENCE SOUTH 00 DEGREES 37' 05" EAST 346.00 FEET; THENCE NORTH 88 DEGREES 57' 41" EAST PARALLEL TO THE SOUTH LINE OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 49.48 FEET; THENCE SOUTH 00 DEGREES 31' 27" EAST 985.31 FEET TO THE POINT OF BEGINNING.

AND

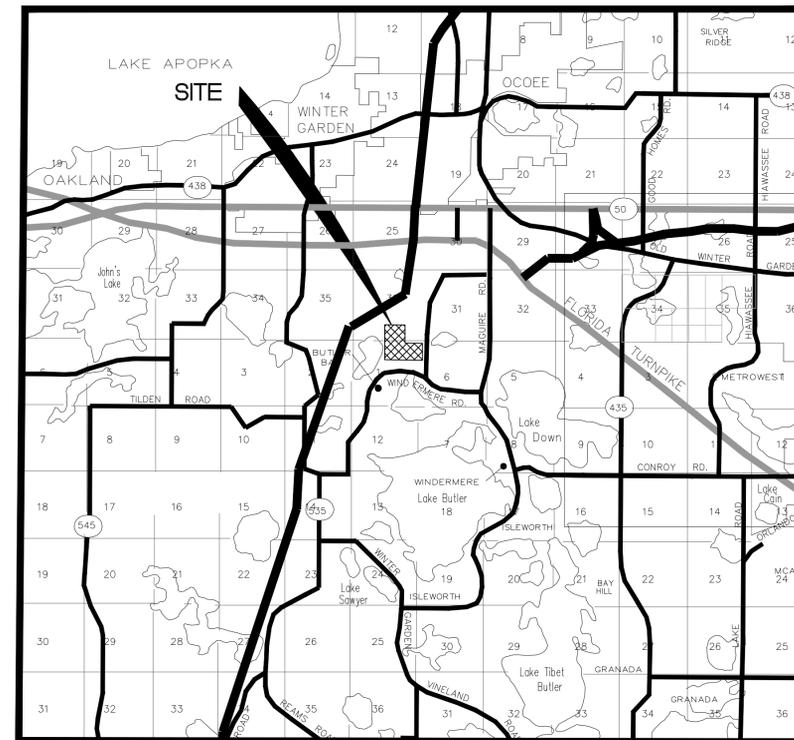
THE SOUTH 985.27 FEET OF THE WEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 36, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA.

PARCEL "A-2" (C) (Busby)

The Northeast one quarter (NE 1/4), of the Northwest one quarter (NW 1/4), of Section 1, Township 23 South, Range 27 East, Orange County, Florida.

LESS

That part of the Northeast 1/4 of the Northwest 1/4 of Section 1, Township 23 South, Range 27 East, Orange County, Florida being more particularly described as follows:
COMMENCE at the Northeast corner of the Northeast 1/4 of the Northwest 1/4 of Section 1, Township 23 South, Range 27 East Orange County, Florida and also being a point on the South Boundary of that certain parcel of land described and recorded in Orange County Document #20160208547, of the Public Records of Orange County Florida; thence South 89 degrees 11 minutes 18 seconds West 256.59 feet along the North boundary of said Northeast 1/4 of the Northwest 1/4 and said South boundary of said parcel of land to the POINT OF BEGINNING, said point being the Southwest corner of said parcel of land; thence South 00 degrees 00 minutes 00 seconds West 688.26 feet; thence South 25 degrees 23 minutes 00 seconds West 673.88 feet to a point on the South boundary of said Northeast 1/4 of the Northwest 1/4; thence North 89 degrees 58 minutes 03 seconds West 781.22 feet along said South boundary to the Southwest corner of said Northeast 1/4 of the Northwest 1/4; thence North 00 degrees 00 minutes 59 seconds West 1281.47 feet along the West boundary of said Northeast 1/4 of the Northwest 1/4 to the Northwest corner of said Northeast 1/4 of the Northwest 1/4; thence North 89 degrees 11 minutes 18 seconds East 1070.56 feet along said North boundary of the Northeast 1/4 of the Northwest 1/4 to the Point of Beginning.



VICINITY MAP

1	COVER SHEET
2 THRU 8	TOPO AND BOUNDARY SURVEY
9	SYMBOLS AND ABBREVIATIONS
10	GENERAL NOTES
11	SITE PLAN
12 THRU 15	GRADING PLANS
16	DRAINAGE PLAN
17	UTILITY PLAN
E101 -E102	ENTRANCE PERSPECTIVE
E201	COMP. STORAGE ENHANCEMENT
D201	DOCK PLAN
R201 -R202	RECREATION PLANS

DEVELOPERS:

AMERICAN INVESTMENTS OF
ORANGE COUNTY 40, L.L.C.
ORLANDO, FLORIDA 32819
PHONE: 407-730-9916

ENGINEERING CONSULTANT:

CIVIL DESIGN GROUP, INC.
8969 CHARLES E. LIMPUS ROAD
ORLANDO, FLORIDA 32836
PHONE: 407-876-3996

PLANNER & LANDSCAPE CONSULTANT:

DALY DESIGN GROUP
913 N. PENNSYLVANIA AVE.
WINTER PARK, FLORIDA 32789
PHONE: 407-740-7373

SURVEYORS:

JONES, WOODS & GENTRY
2600 E. ROBINSON STREET
ORLANDO, FLORIDA 32803
PHONE: 407-898-7780

ENVIRONMENTAL CONSULTANT:

BIO-TECH CONSULTING, INC.
2002 EAST ROBINSON STREET
ORLANDO, FLORIDA 32803
PHONE: 407-894-5969

GEOTECHNICAL CONSULTANT:

UNIVERSAL ENGINEERING
3532 MAGGIE BLVD.
ORLANDO, FLORIDA 32811
PHONE: 407-423-0504

TRAFFIC CONSULTANT:

TRAFFIC PLANNING & DESIGN
MAITLAND, FLORIDA 32751
PHONE: 407-628-7780

TAX PARCEL NUMBERS:

36-22-27-0000-00-058
01-23-27-0000-00-009
01-23-27-0000-00-004
01-23-27-0000-00-058
01-23-27-0000-00-030
01-23-27-0000-00-066
01-23-27-0000-00-050



PROJECT CERTIFICATION
THESE DRAWINGS HAVE BEEN PREPARED BY THE CIVIL DESIGN GROUP, INC.
8969 CHARLES E. LIMPUS ROAD, ORLANDO, FL 32836
PHONE - 407-876-3996 FAX - 407-876-4279
CERTIFICATE OF AUTHORIZATION NUMBER - 9359
AND CERTIFIED BY:

WILLIAM C. FOGLE P.E.

FL CERTIFICATION # 23785

PLANS MODIFIED 9-12-2016

BOUNDARY AND TOPOGRAPHIC SURVEY

SEE SHEET 2-7 FOR BOUNDARY & TOPOGRAPHY
SECTION 1 TOWNSHIP 23 SOUTH, RANGE 27 EAST AND
SECTION 6 TOWNSHIP 23 SOUTH, RANGE 28 EAST
ORANGE COUNTY, FLORIDA

DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ORANGE, STATE OF FL, AND IS DESCRIBED AS FOLLOWS:
PARCEL **"A-1"**

PARCEL 1:
Begin at the Northeast corner of Government Lot 2 in Section 1, Township 23 South, Range 27 East, and run West 1043.75 feet, thence South 417.42 feet, thence East 1043.75 feet, thence North 417.42 feet to place of beginning, in Orange County, Florida.

PARCEL 2:
The North half (N 1/2) of Government Lot 2 in Section 1, Township 23 South, Range 27 East, Orange County, Florida, less the following described tracts:
Begin at the Northeast corner of Government Lot 2 in Section 1, Township 23 South, Range 27 East, and run West 1043.75 feet, thence South 417.42 feet, thence East 1043.75 feet, thence North 417.42 feet to place of beginning, in Orange County, Florida.

AND
The East 1/2 of the South 370 feet of the North 1/2 of Government Lot 2, Section 1, Township 23 South, Range 27 East, less the South 19 feet, more or less, Public Records of Orange County, Florida.

AND
The South 379 feet of W 1/2 of N 1/2, Government Lot 2, Section 1, Township 23 South, Range 27 East, in Orange County, Florida.

PARCEL 3:
From the Southeast corner of the Northeast 1/4 of Section 1, Township 23 South, Range 27 East, Orange County, Florida, run N 00°36'11" E along the East line of the Southeast 1/4 of the Northeast 1/4 of said Section 1, 1337.56 feet; thence run N 89°53'46" W, 1324.32 feet to the Southeast corner of the North 1/2 of Government Lot 2, said Section 1; thence run N 00°34'06" E along the East line of the North 1/2 of said Government Lot 2 a distance of 370.01 feet to the Northeast corner of the East 1/2 of the South 370.00 feet of said Government Lot 2 and the Point of Beginning; thence run N 89°53'46" W along the North line of said East 1/2 of the South 370.00 feet of said Government Lot 2 a distance of 662.28 feet to the Northwest corner of the said East 1/2 of the South 370.00 feet; thence run N 00°33'03" E along the East line of the West 1/2 of the South 379.00 feet, 9.00 feet to the Northeast corner of the West 1/2 of the South 379.00 feet of said North 1/2 of Government Lot 2 a distance of 86.09 feet; thence run N 00°34'06" E, parallel to the East line of the North 1/2 of said Government Lot 2, a distance of 281.65 feet; thence run N 89°52'47" E, 748.40 feet to a point on the East line of the North 1/2 of said Government Lot 2; thence run S 00°34'06" W along the East line of said Government Lot 2 a distance of 293.58 feet to the Point of Beginning.

PARCEL 4:
The East 1/2 of the South 370 feet of the North 1/2 of Government Lot 2, Section 1, Township 23 South, Range 27 East, less the South 19 feet, more or less, Public Records of Orange County, Florida.
PARCEL **"A-2" (A)** (McMurtrey):

PARCEL 1:
THE EAST 1/2 OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA.

AND
TOGETHER WITH AN EASEMENT FOR ACCESS RESERVED IN QUIT CLAIM DEED RECORDED JULY 14, 2000 IN OFFICIAL RECORDS BOOK 6045, PAGE 26, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PARCEL 2:
THE WEST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA.

AND
TOGETHER WITH AN EASEMENT FOR ACCESS RESERVED IN QUIT CLAIM DEED RECORDED JULY 14, 2000 IN OFFICIAL RECORDS BOOK 6045, PAGE 24, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PARCEL **"A-2" (B)** (Balgobin):
BEGIN AT THE SOUTHEAST CORNER OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 36, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, THENCE RUN SOUTH 88 DEGREES 42' 04" WEST ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 256.59 FEET; THENCE NORTH 00 DEGREES 37' 09" WEST, 1,332.48 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4; THENCE NORTH 88 DEGREES 58' 00" EAST ALONG THE NORTH LINE OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 208.70 FEET; THENCE SOUTH 00 DEGREES 37' 09" EAST 346.00 FEET; THENCE NORTH 88 DEGREES 57' 41" EAST PARALLEL TO THE SOUTH LINE OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 49.48 FEET; THENCE SOUTH 00 DEGREES 31' 27" EAST 985.31 FEET TO THE POINT OF BEGINNING.

AND
THE SOUTH 985.27 FEET OF THE WEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 36, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA.

PARCEL **"A-2" (C)** (Busby):
The Northeast one quarter (NE 1/4), of the Northwest one quarter (NW 1/4), of Section 1, Township 23 South, Range 27 East, Orange County, Florida.

LESS
That part of the Northeast 1/4 of the Northwest 1/4 of Section 1, Township 23 South, Range 27 East, Orange County, Florida being more particularly described as follows:
COMMENCE AT the Northeast corner of the Northeast 1/4 of the Northwest 1/4 of Section 1, Township 23 South, Range 27 East Orange County, Florida and also being a point on the South Boundary of that certain parcel of land described and recorded in Orange County Document #20160208547, of the Public Records of Orange County Florida; thence South 89 degrees 11 minutes 18 seconds West 256.59 feet along the North boundary of said Northeast 1/4 of the Northwest 1/4 and said South boundary of said parcel of land to the POINT OF BEGINNING, said point being the Southwest corner of said parcel of land; thence South 00 degrees 00 minutes 00 seconds West 688.26 feet; thence South 25 degrees 23 minutes 00 seconds West 673.88 feet to a point on the South boundary of said Northeast 1/4 of the Northwest 1/4; thence North 89 degrees 58 minutes 03 seconds West 781.22 feet along said South boundary to the Southwest corner of said Northeast 1/4 of the Northwest 1/4; thence North 00 degrees 00 minutes 59 seconds West 1281.47 feet along the West boundary of said Northeast 1/4 of the Northwest 1/4 to the Northwest corner of said Northeast 1/4 of the Northwest 1/4; thence North 89 degrees 11 minutes 18 seconds East 1070.56 feet along said North boundary of the Northeast 1/4 of the Northwest 1/4 to the Point of Beginning.

ALTA CERTIFICATION

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 3, 4, 5, 7(a), 8, 9 and 18 of Table A thereof. The field work was completed on March 29, 2016.

CERTIFIED TO:

GODBOLD, DOWNING, BILL & RENTZ, PA
FIRST AMERICAN TITLE INSURANCE COMPANY
TAYLOR MORRISON OF FLORIDA, INC.
AMERICAN ORANGE COUNTY INVESTMENTS 40, LLC
AMERICAN ORANGE HOME 50, LLC
AMERICAN LAND INVESTMENTS OF CENTRAL FLORIDA, LLC

REVISIONS AND ADDITIONS		
05-25-16	ADDED BALGOBIN PARCEL TO SURVEY	CAS
05-25-16	REVISED BOUNDARY	CAS
03-29-16	REVISED WETLAND LINE ON SHEETS 4 AND 5	DGJ
01-19-16	ADDED ADDITIONAL TOPOGRAPHY	CAS
12-29-15	REVISED WETLAND LINE ON SHEETS 4 AND 5	CAS

BY C.A. SCHIELKE
DATE 10-06-2015
219087 - BDY - R5.DWG
JOB NO. 29087
SHEET 2 OF 17 SHEETS



JONES, WOOD & GENTRY, INC.
PROFESSIONAL SURVEYORS AND MAPPERS - LBT
2600 EAST ROBINSON STREET
ORLANDO, FLORIDA 32803
407-898-7780

NOT VALID WITHOUT SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

FOR:

AMERICAN LAND DEVELOPMENT

DANIEL E. GENTRY JR., Florida Registration Number 5047

IT IS CERTIFIED THAT THE SURVEY REPRESENTED HEREON WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN RULE 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO CHAPTER 472 FLORIDA STATUTES. UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS DRAWING, SKETCH, PLAT OR MAP/REPORT IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

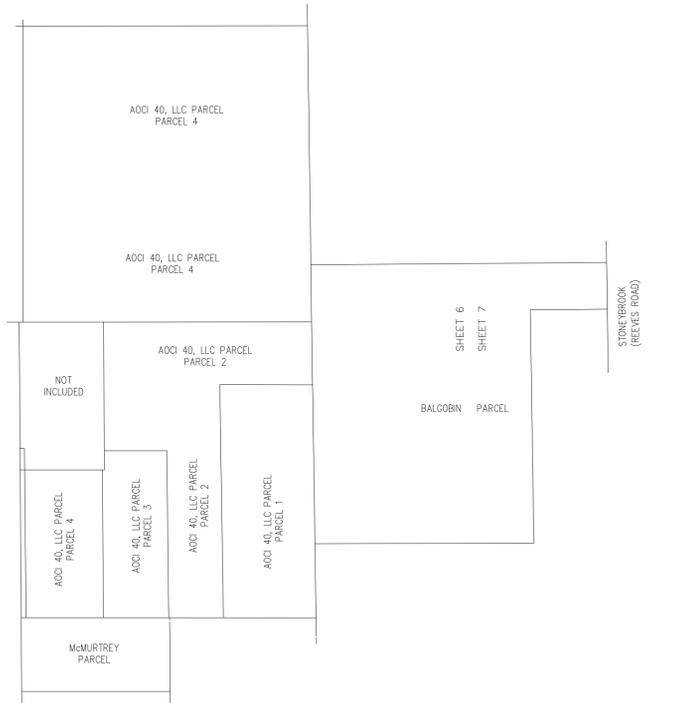
NOTES:

- This Plat represents a Boundary and Topographic Survey of the Description provided to Jones, Wood & Gentry, Inc. by client and does not indicate ownership.
- Pertinent visible improvements are shown unless noted otherwise.
- Underground improvements not located.
- No search of the Public Records was performed by Jones, Wood & Gentry, Inc. for additional title documents. A search of the public records was not included in the Scope of Surveying Services Contract.
- Bearings shown hereon are based on the East boundary of the Northeast 1/4 as bearing N89°05'04"E, assumed.
- The relative accuracy of boundary dimensions as determined by this survey is in excess of 1 Foot in 15,000 Feet.
- Basing my opinion on the FEDERAL EMERGENCY NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP, Orange County, Florida, Community Panel Number 12095C0215 F, revised September 25, 2009 and 12095C0225 F, revised September 25, 2009 and not a survey, it appears from a reading of said maps that the land described herein is shown to be within "ZONE X" (areas determined to be outside the 2% annual chance floodplain) and "ZONE A" (areas with no base Flood Elevations determined). The FLOOD INSURANCE RATE MAP is not a survey and no responsibility is taken for the information contained in or the accuracy of the above referenced map.
- Elevations are based on Orange County 1988 Datum with references to:
"L932003" Published Elevation = 118.455
"L1472043" Published Elevation = 111.366
"L1472037" Published Elevation = 115.203
- Record documents referenced by this survey are per Schedule B - Section II of First American Title Insurance Company Commitment No. 2037-3565398, dated May 26, 2016 at 8:00AM. See Below. No research of the public records for pertinent documents, if any, was conducted by JONES, WOOD & GENTRY, INC. Research of the public records was not a part of the Scope of Surveying Services contract.
- Item 9. Easement for the benefit of Tax Parcel 01-23-27-0000-00029 initially granted in Warranty Deed recorded November 22, 1966 in Book 1590, Page 388 (over Parcels 2 and 3) and in Warranty Deed recorded November 14, 1966 in Book 1588, Page 332 (over Parcels 2 and 4) and Corrective Warranty Deed recorded July 19, 1967 in Book 1650, Page 409 (over Parcels 2, 3 and 4). Said easements were subsequently re-imposed upon Parcels 2, 3 and 4 in Quit-Claim Deed recorded May 7, 1974 in Book 2526, Page 1175, Quit-Claim Deed recorded May 7, 1974 in Book 2526, Page 1175, Warranty Deed recorded December 11, 1999 in Book 4139, Page 3359, Warranty Deed recorded December 11, 1999 in Book 4139, Page 3351, Warranty Deed recorded January 22, 1990 in Book 4150, Page 4122, Warranty Deed recorded January 22, 1990 in Book 4150, Page 4124, and Warranty Deed recorded July 23, 2013 in Book 10605, Page 4343. (AS TO PARCELS 2, 3 AND 4 OF PARCEL "A-1"), as shown hereon.
- Item 10. Road easement recited in Warranty Deed recorded July 19, 1967 in Book 1650, Page 410 and Warranty Deed recorded June 15, 1996 in Book 5074, Page 2072. (AS TO PARCEL 4 OF PARCEL "A-1"), as shown hereon.
- Item 11. Easement in favor of Florida Power Corporation recorded April 4, 1968 in Book 1720, Page 409 (AS TO PARCEL "A-1"), Not Platifiable
- Item 12. Easement in favor of Florida Power Corporation recorded August 20, 1969 in Book 1864, Page 397. (AS TO PARCEL "A-1"), as shown hereon.
- Item 13. Memorandum of Escrow Agreement by and between American Orange County Investments 40, LLC and Nicholas c. Collins and Andrea L. Collins recorded April 19, 2016 in Instrument No. 20160196131. (AS TO PARCEL "A-1"), Blanket
- Item 14. Easement recited in Warranty Deed recorded December 7, 1990 in Book 4243, Page 2834, Warranty Deed recorded January 11, 1991 in Book 4253, Page 3052, and Warranty Deed recorded March 8, 1991 in Book 4267, Page 3653. (AS TO PARCEL 3 OF PARCEL "A-1"), as shown hereon.
- Item 15. Temporary Easement Agreement in favor of Nicholas C. Collins and Andrea L. Collins recorded April 19, 2016 in Instrument No. 20160196132. (AS TO PARCEL "A-1"), Blanket
- Item 16. Effect of Deed of Dedication in favor of Orange County recorded July 30, 1986 in Book 3808, Page 4446. (AS TO PARCEL "A-2" (A)), as shown hereon.
- Item 17. Road Maintenance Agreement recorded Jul 30, 1986 in Book 3808, Page 4449. (AS TO PARCEL "A-2" (A)), as shown hereon.
- Item 18. Easement for access reserved in Quit Claim Deed recorded July 14, 2000 in Book 6045, Page 24. (AS TO PARCEL 1 OF PARCEL "A-2" (A)), as shown hereon.
- Item 19. Easement for access reserved in Quit Claim Deed recorded July 14, 2000 in Book 6045, Page 26. (AS TO PARCEL 2 OF PARCEL "A-2" (A)), as shown hereon.
- Item 20. Easement in favor of Florida Power Corporation recorded April 17, 1981 in Book 3187, Page 381. (AS TO PARCEL "A-2" (B)), as shown hereon.
- Item 21. Right-of-Way for Stonebrook West Parkway as depicted on the Orange County Property Appraiser's mapping website. (AS TO PARCEL "A-2" (B)), as shown hereon.
- Item 22. Right-of-Way for Walker Pond Road as depicted on the Orange County Property Appraiser's mapping website. (AS TO PARCEL "A-1" AND "A-2" (A)), as shown hereon.
- Item 23. This Policy does not insure title to any part of the land lying below the ordinary high water mark of any abutting body of water (AS TO ALL PARCELS).
- Item 24. Riparian and/or littoral rights are not insured. (AS TO ALL PARCELS).
- Item 25. Terms and conditions of any existing unrecorded lease(s), and all rights of lessee(s) and any parties claiming through the lessee(s) under the lease(s) (AS TO ALL PARCELS).
- Item 26. Terms, conditions and obligations of that certain unrecorded Plat Closing Agreement dated January 8, 2015 by and between Nicholas Lamoriello and Paula Lamoriello, husband and wife, and American Orange County Investments 40, LLC, a Florida limited liability company (AS TO PARCEL "A-1").
- Item 27. Terms, conditions and obligations of that certain Lease Agreement to be entered into by and between American Orange Home 50, LLC, a Florida limited liability company, and Diana McMurtrey (AS TO PARCEL "A-2" (A)).
- Item 28. Terms, conditions and obligations of that certain Lease Agreement to be entered into by and between Bhoopwattie Balgobin, a married woman, Amanda A. Balgobin, and Camille A. Balgobin, and American Land Investments of Central Florida, LLC, a Florida limited liability company (AS TO PARCEL "A-2" (B)).
- Item 29. Reservations unto the State of Florida as recorded May 12, 1930, in Deed Book 404, Page 7; as affected by Quit-Claim Deed recorded November 28, 1955, in Official Records Book 40, Page 176. (AS TO PARCEL "A-2" (C)).
- Item 30. Resolution Establishing M.S.B.U. for Lake Roberts recorded June 3, 2009, in Book 9881, Page 1087 (AS TO PARCEL "A-2" (C)).
- Item 31. The right, title or interest, if any, of the public to use as a public beach or recreation area any part of the Land lying between the water abutting the Land and the most inland of any of the following: (a) the natural line of vegetation; (b) the most extreme high water mark; (c) the bulkhead line, or (d) any other line which has been or which hereafter may be legally established as relating to such public use (AS TO ALL PARCELS).
- Item 32. Any adverse ownership claim by the State of Florida by right of sovereignty to any part of the Land that is, as of the Date of Policy or was at any time previously, under water (submerged) (AS TO ALL PARCELS).

SHEET LAYOUT

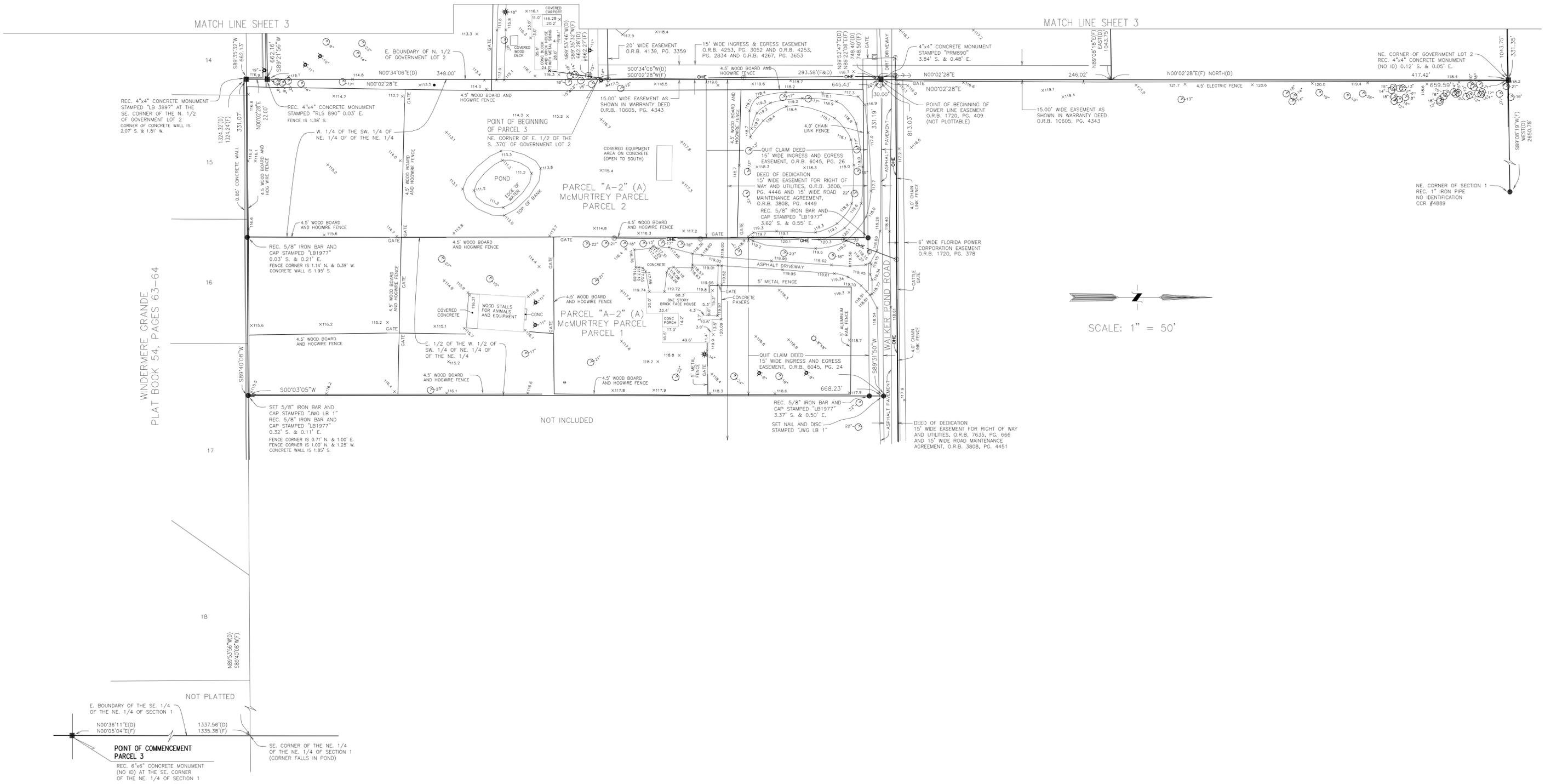
LEGEND

- A/C = AIR CONDITIONING
- ALUM = ALUMINUM
- CPP = CORRUGATED PLASTIC PIPE
- CONC = CONCRETE
- EL = ELEVATION
- ID = IDENTIFICATION
- INVT = INVERT
- NHWE = NORMAL HIGH WATER ELEVATION
- O.R.B. = OFFICIAL RECORDS BOOK
- PG. = PAGE
- P.B. = PLAT BOOK
- RCP = REINFORCED CONCRETE PIPE
- REC. = RECOVERED
- (F) = FIELD
- (D) = DEED
- (EP) = EDGE OF PAVEMENT
- (FL) = FLOW LINE OF GUTTER
- (TC) = TOP OF CURB
- 100FY = 100 YEAR FLOOD LINE 110.61
- [Symbol] = CABLE TV RISER
- [Symbol] = ELECTRIC BOX
- [Symbol] = ELECTRIC GATE MOTOR
- [Symbol] = GUARD POST
- [Symbol] = GUY ANCHOR
- [Symbol] = LIGHT POLE
- [Symbol] = MAIL BOX
- [Symbol] = NON POTABLE WATER
- [Symbol] = POWER POLE - WOOD
- [Symbol] = POWER POLE - WOOD
- [Symbol] = SIGN
- [Symbol] = STORM WATER MANHOLE
- [Symbol] = TELEPHONE RISER
- [Symbol] = VALVE COVER WATER
- [Symbol] = WELL
- [Symbol] = CAMPHER TREE
- [Symbol] = CEDAR TREE
- [Symbol] = CHINESE YALLOW
- [Symbol] = CYPRESS TREE
- [Symbol] = EAR TREE
- [Symbol] = GUM TREE
- [Symbol] = MAGNOLIA TREE
- [Symbol] = MAPLE TREE
- [Symbol] = OAK TREE
- [Symbol] = PALM TREE
- [Symbol] = PINE TREE
- [Symbol] = SYCAMORE TREE
- [Symbol] = UNKNOWN TREE
- [Symbol] = WILLOW TREE



BOUNDARY AND TOPOGRAPHIC SURVEY

SEE SHEET 2-7 FOR BOUNDARY & TOPOGRAPHY
SECTION 1 TOWNSHIP 23 SOUTH, RANGE 27 EAST AND
SECTION 6 TOWNSHIP 23 SOUTH, RANGE 28 EAST
ORANGE COUNTY, FLORIDA



BY C.A. SCHIELKE
DATE 10-06-2015
219087 - BDY - R5.DWG
JOB NO. 29087
SHEET 3 OF 17 SHEETS

JONES, WOOD & GENTRY, INC.
MEMBERS
PROFESSIONAL SURVEYORS AND MAPPERS - LBI
2600 EAST ROBINSON STREET
ORLANDO, FLORIDA 32803
407-898-7780

NOT VALID WITHOUT SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
DANIEL E. GENTRY JR., Florida Registration Number 5047

FOR:
AMERICAN LAND DEVELOPMENT

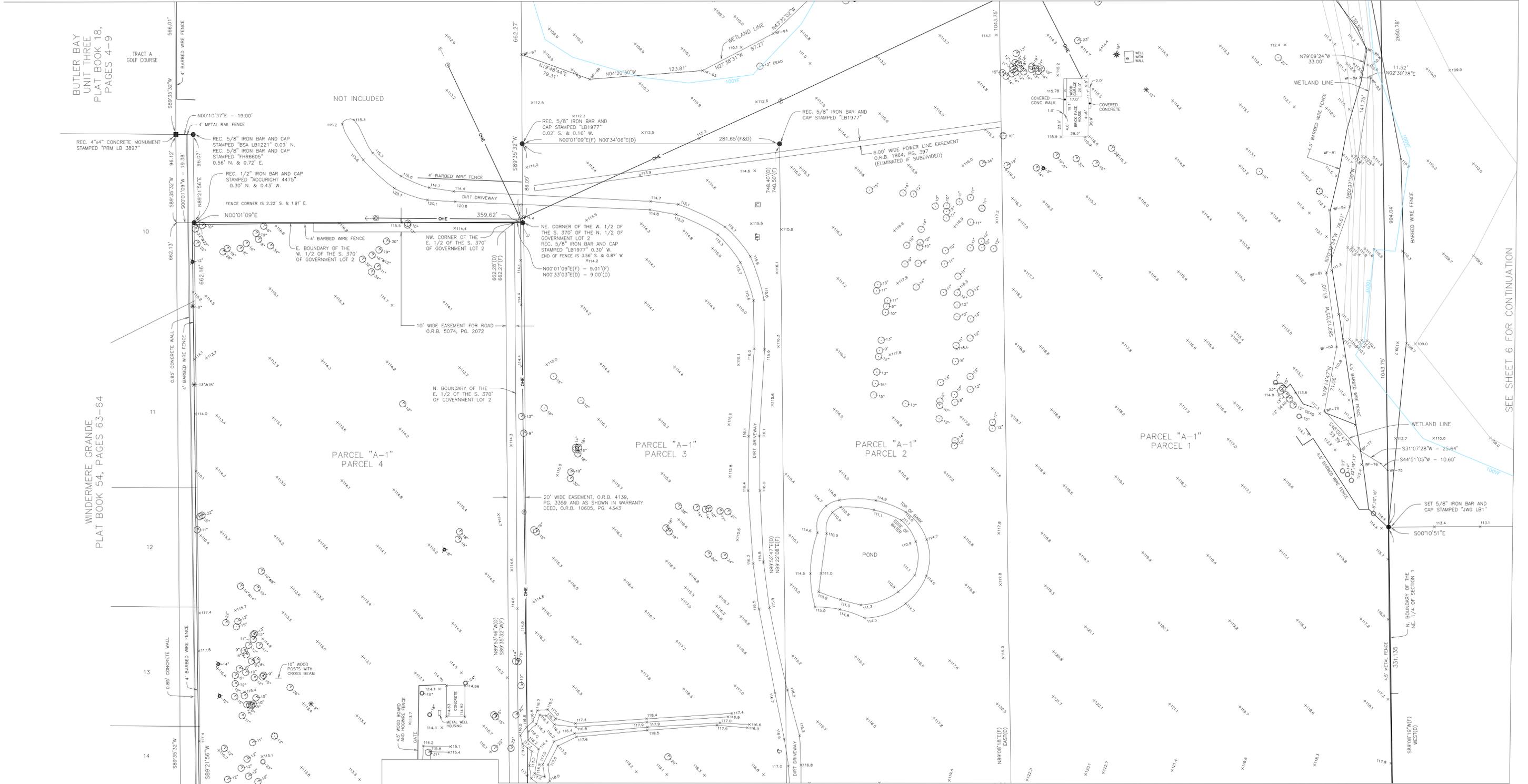
BOUNDARY AND TOPOGRAPHIC SURVEY

SEE SHEET 2-7 FOR BOUNDARY & TOPOGRAPHY
SECTION 1 TOWNSHIP 23 SOUTH, RANGE 27 EAST AND
SECTION 6 TOWNSHIP 23 SOUTH, RANGE 28 EAST
ORANGE COUNTY, FLORIDA



MATCH LINE SHEET 4

MATCH LINE SHEET 4

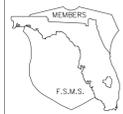


SEE SHEET 6 FOR CONTINUATION

MATCH LINE SHEET 2

MATCH LINE SHEET 2

BY C.A. SCHIELKE
DATE 10-06-2015
219087 - BDY - R5.DWG
JOB NO. 29087
SHEET 4 OF 17 SHEETS



JONES, WOOD & GENTRY, INC.
PROFESSIONAL SURVEYORS AND MAPPERS - LBI
2600 EAST ROBINSON STREET
ORLANDO, FLORIDA 32803
407-898-7780

NOT VALID WITHOUT SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
DANIEL E. GENTRY JR., Florida Registration Number 5047

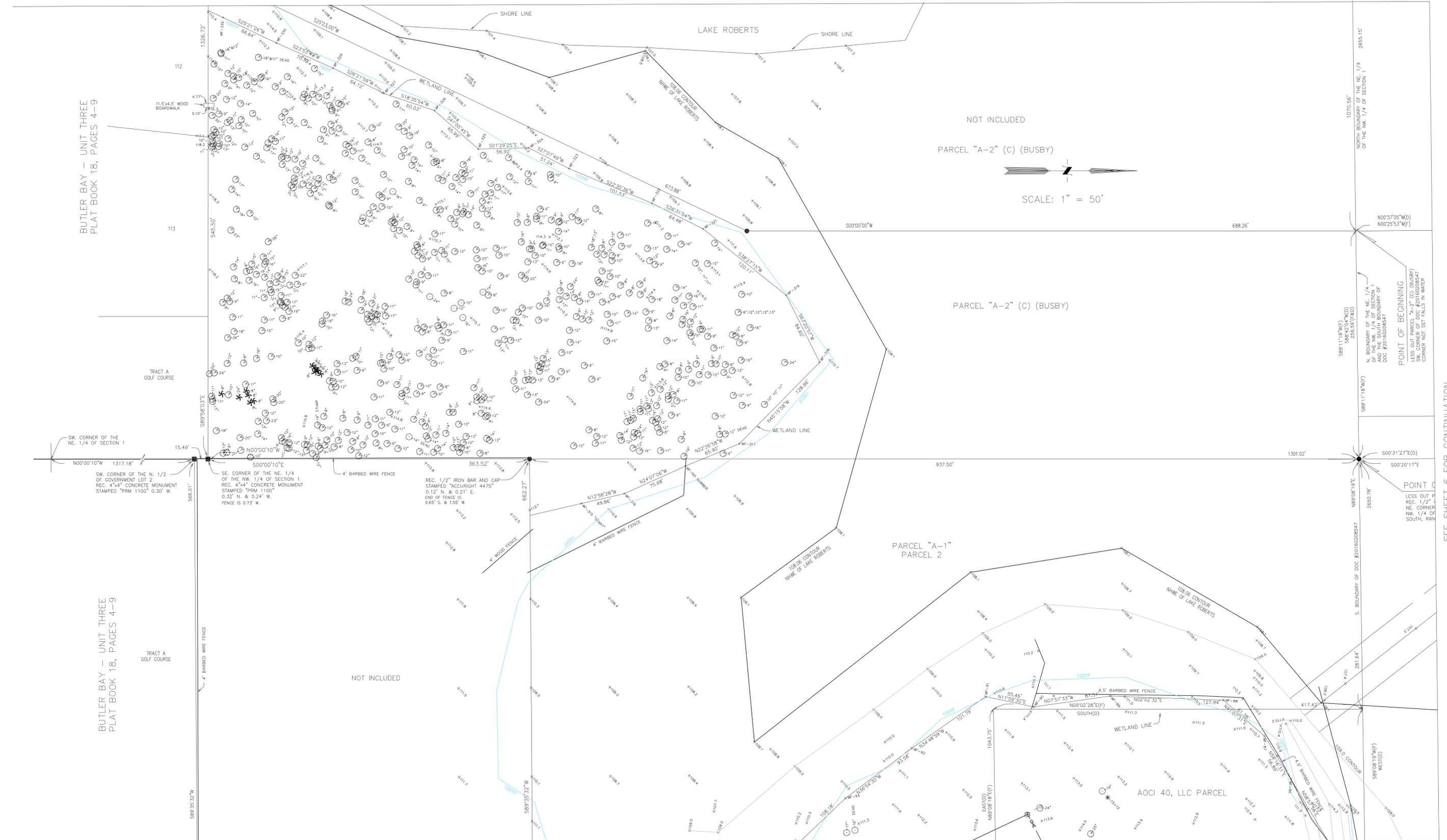
FOR:
AMERICAN LAND DEVELOPMENT

BOUNDARY AND TOPOGRAPHIC SURVEY

SEE SHEET 2-7 FOR BOUNDARY & TOPOGRAPHY
SECTION 1 TOWNSHIP 23 SOUTH, RANGE 27 EAST AND
SECTION 6 TOWNSHIP 23 SOUTH, RANGE 28 EAST
ORANGE COUNTY, FLORIDA

MATCH LINE SHEET 5

MATCH LINE SHEET 5



NOT INCLUDED
PARCEL "A-2" (C) (BUSBY)
SCALE: 1" = 50'

BUTLER BAY - UNIT THREE
PLAT BOOK 18, PAGES 4-9

BUTLER BAY - UNIT THREE
PLAT BOOK 18, PAGES 4-9

SEE SHEET 6 FOR CONTINUATION

BY C.A. SCHIELKE
DATE 10-06-2015
219087 - BDY - R5.DWG
JOB NO. 29087
SHEET 5 OF 17 SHEETS

JONES, WOOD & GENTRY, INC.
PROFESSIONAL SURVEYORS AND MAPPERS - LBT
2600 EAST ROBINSON STREET
ORLANDO, FLORIDA 32803
407-898-7780

NOT VALID WITHOUT SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
DANIEL E. GENTRY JR., Florida Registration Number 5047

FOR:
AMERICAN LAND DEVELOPMENT

MATCH LINE SHEET 3

BOUNDARY AND TOPOGRAPHIC SURVEY

SEE SHEET 2-7 FOR BOUNDARY & TOPOGRAPHY
SECTION 1 TOWNSHIP 23 SOUTH, RANGE 27 EAST AND
SECTION 6 TOWNSHIP 23 SOUTH, RANGE 28 EAST
ORANGE COUNTY, FLORIDA

POSITION OF 6" x 6" CONCRETE
MONUMENT WITH BRASS DISC
STAMPED "1585 1819" AT THE
NW CORNER OF SECTION 1

SET 5/8" IRON BAR AND CAP
STAMPED "JWG LG 1" AT THE
NW CORNER OF THE NE 1/4
OF THE NW 1/4 OF SECTION 1

N00°00'59"W
SW CORNER OF THE NE 1/4
OF THE NW 1/4 OF SECTION 1
CORNER FALLS IN LAKE ROBERTS

WEST BOUNDARY OF THE NE 1/4
OF THE NW 1/4 OF SECTION 1

1281.47'

NORTH BOUNDARY OF THE NE 1/4
OF THE NW 1/4 OF SECTION 1

N89°11'18"E

1070.56'

N89°11'18"E



SCALE: 1" = 50'

BUTLER BAY - UNIT THREE
PLAT BOOK 18, PAGES 4-9

LAKE ROBERTS

LAKE ROBERTS

NOT INCLUDED
PARCEL "A-2" (C) (BUSBY)

ORANGE COUNTY 108.06

SHORE LINE

SOUTH BOUNDARY OF THE NE 1/4
OF THE NW 1/4 OF SECTION 1

781.22'

N89°58'03"W
N89°58'03"W

111
112



BY C.A. SCHIELKE
DATE 10-06-2015
219087 - BDY - R5.DWG
JOB NO. 29087
SHEET 6 OF 17 SHEETS

JONES, WOOD & GENTRY, INC.
PROFESSIONAL SURVEYORS AND MAPPERS - LBT
2600 EAST ROBINSON STREET
ORLANDO, FLORIDA 32803
407-898-7780

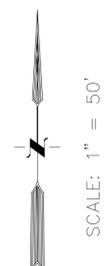
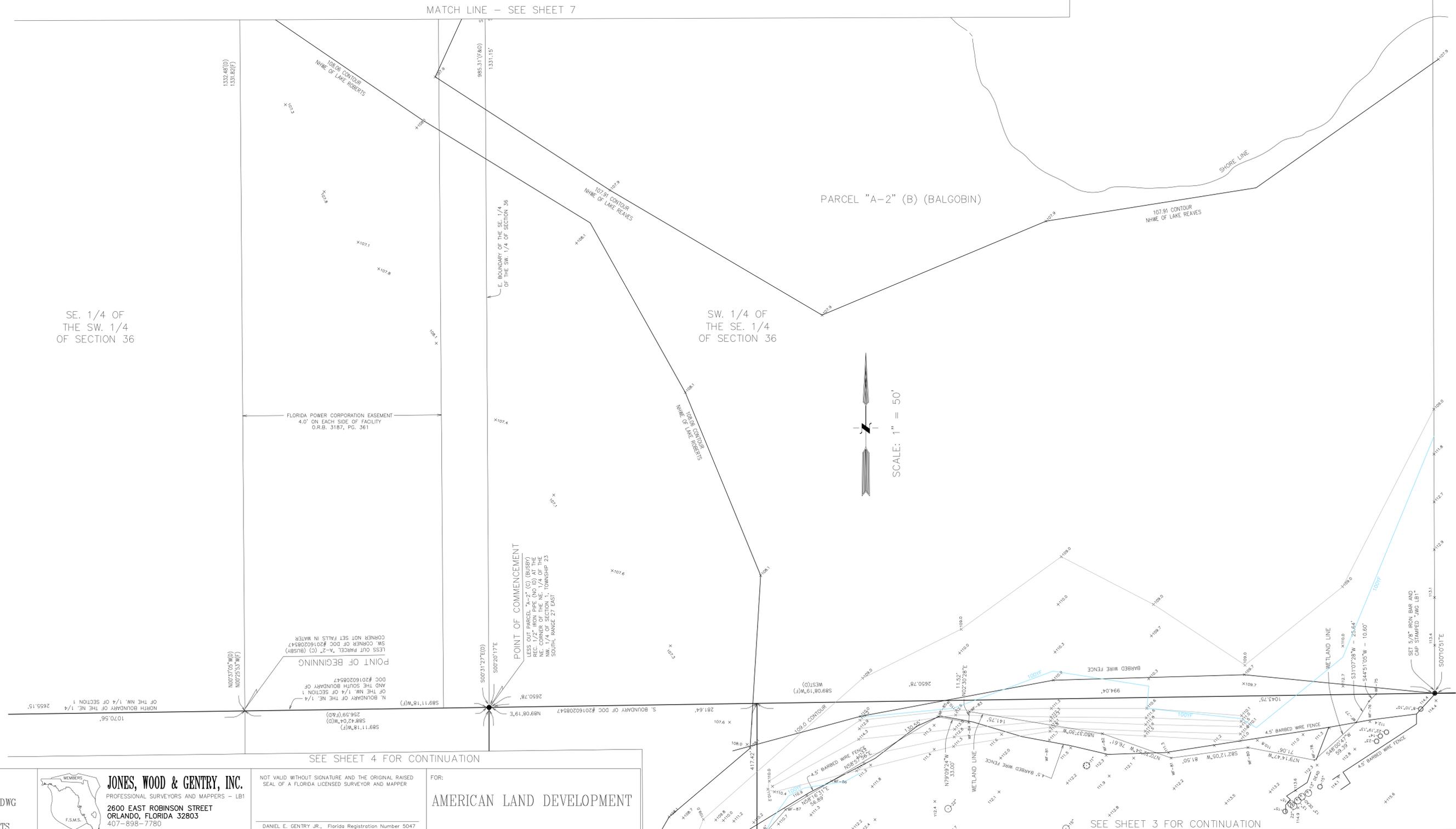
NOT VALID WITHOUT SIGNATURE AND THE ORIGINAL RAISED
SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
DANIEL E. GENTRY JR., Florida Registration Number 5047

FOR:
AMERICAN LAND DEVELOPMENT

MATCH LINE SHEET 4

BOUNDARY AND TOPOGRAPHIC SURVEY

SEE SHEET 2-7 FOR BOUNDARY & TOPOGRAPHY
SECTION 1 TOWNSHIP 23 SOUTH, RANGE 27 EAST AND
SECTION 6 TOWNSHIP 23 SOUTH, RANGE 28 EAST
ORANGE COUNTY, FLORIDA



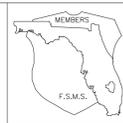
SE. 1/4 OF THE SW. 1/4 OF SECTION 36

SW. 1/4 OF THE SE. 1/4 OF SECTION 36

SEE SHEET 4 FOR CONTINUATION

SEE SHEET 3 FOR CONTINUATION

BY C.A. SCHIELKE
DATE 10-06-2015
219087 - BDY - R5.DWG
JOB NO. 29087
SHEET 7 OF 17 SHEETS



JONES, WOOD & GENTRY, INC.
PROFESSIONAL SURVEYORS AND MAPPERS - LBT
2600 EAST ROBINSON STREET
ORLANDO, FLORIDA 32803
407-898-7780

NOT VALID WITHOUT SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
DANIEL E. GENTRY JR., Florida Registration Number 5047

FOR:
AMERICAN LAND DEVELOPMENT

ABBREVIATIONS

A	AREA ANCHOR BOLT ABANDON(ED) ACRE(S) ACRE FOOT/FEET ASBESTOS CEMENT PIPE ADDITIONAL AVERAGE DAILY TRAFFIC ALUMINUM ALTERNATE AM AMP APPROX ARV ARVW ASPH ASSY AVE AVG AZ	F	FRAME AND COVER FLOOR DRAIN FOUNDATION FLORIDA DEPARTMENT OF TRANSPORTATION FINISHED FLOOR FINISHED GRADE FIRE HYDRANT FURNISH AND INSTALL FIGURE FINISHED FITTING FENCE LINE FLOOR FLEXIBLE FLG FM FND FPH FPM FPS FT FTG	P	POINT OF CURVATURE POINT OF COMPOUND CURVATURE POLYETHYLENE PIPE PROFILE GRADE POINT OF INTERSECTION PROPERTY LINE POINT OF BEGINNING PUSH ON JOINT POWER POLE PHONE RISER POINT OF REVERSE CURVATURE PRESSURE PROJECT PROPOSED POINT OF REVERSE VERTICAL CURVE PSF FOUNDS PER SQUARE FOOT PSI POINT OF TANGENCY PVC PAVEMENT POWER
B	BACKFLOW PREVENTER BASELINE BUILDING BOULEVARD BENCH MARK BOUNDARY BLOWOFF BACK OF CURB BOTTOM BEARING BS BV	G	GAUGE GALLON GALVANIZED GAS MAIN GPD GALLONS PER HOUR GPD GALLONS PER MINUTE GPD GALLONS PER SECOND GR GROUND GRADE GSP GALVANIZED STEEL PIPE GV GV&B GUY WIRE GROUND WATER TABLE	Q	FLOW RATE
C	CAPACITY CATCH BASIN CENTER TO CENTER CEMENT CUBIC FEET CUBIC FEET PER MINUTE CFS CUBIC FEET PER SECOND C&G CIP CORRUGATED METAL PIPE CONSTRUCTION JOINT C/L CONCRETE LIGHT POLE CLR CLEARANCE CLS CONCRETE MONUMENT CMP CORRUGATED METAL PIPE ARCH CND CONDUIT CO. CLEANOUT COL COLUMN COMP CONCRETE CONNECTION CONST CONSTRUCT(ION) CONT COORD CORNER CPLG CONCRETE POWER POLE CS CONTROL STRUCTURE CTG CTR CENTER CABLE TELEVISION CULV CY CYL	H	HOSE BIBB HDPE HDW HOA HORIZ HP HR HT HW HWL HWY HYD	R	RADIUS RCPC RCPA RD RDY REDUCER REF REINFORCED(D) REQ REVISE/REVISION RPM RR RR RV R/W RWM
D	DOUBLE DEG OR DEFLECT(ION) DEPT DET DHWL DI DIA DIAG DIM DIP DISCH DIST DMH DN DRN DWG DWAY	J	JUNCTION BOX JCT JST JT JOINT	S	SOUTH SANITARY SEWER SPLASH BLOCK SCHEDULE SD SIDE DRAIN SDN SOUTH SE SECTIONS SECT SHEET SH SHGWT SIM SIMILAR S/L SLOPE SM SHEET METAL SPEC SQ SQUARE SQ IN SQUARE INCH(ES) SQ FT SQUARE FOOT/FEET SQ YD SQUARE YARD(S) SR STATE ROAD SS STAINLESS STEEL ST STREET STA STANDARD STL STEEL STR STRUCTURE STS STORM SEWER SURF SUSP SUSPEND/SUSPENSION SVC SERVICE SW SOUTHWEST SWK SYM SYMBOL(S) SYMM SYMMETRICAL SYSTEM
E	EAST EA EACH EDGE OF CONCRETE ED ENERGY DISSIPATOR EF EFFLUENT EG EXISTING GRADE EASEMENT LINE E/L ELB ELEC ELEV ELLIP ENCASEMENT ENG ENGINEERING EOP EQ EQUATION EQUIP EQUIV ESMT EST EW EWL EXC EXCAVATE/EXCAVATION EXIST EXP EXPAND/EXPANSION EXT EXTEND/EXTENSION	L	LENGTH LATITUDE LATL LATERAL LB LBS L LINEAR FEET/FOOT LG LONG LIM LIMIT(S) LP LIGHT POLE LONG LT LEFT LWL LOW WATER LEVEL	T	TANGENT TURBLOCK TOP AND BOTTOM TBM TEMPORARY BENCH MARK TC TIME OF CONCENTRATION TD TRENCH DRAIN TDH TOTAL DYNAMIC HEAD TECH TECHNICIAN/TECHNICAL TEMP TEMPORARY TERMINAL LAMPPOLE TOB TOP OF BANK TOC TOP OF CURB TOS TOE OF SLOPE TOT TOTAL TS TOP OF SLOPE TWP TOWNSHIP TYP TYPICAL
M	MAINTENANCE MATL MATERIAL MAX MECH ME MITERED END MFR MILLION GALLONS PER DAY MH MHC MHWL MINUM MISC M MECHANICAL JOINT MLP METAL LIGHT POLE MLWL MEAN LOW WATER LEVEL MON MONUMENT MPH MILES PER HOUR MSL MEAN SEA LEVEL MTC MOUNTING	M	MAINTENANCE MATL MATERIAL MAX MECH ME MITERED END MFR MILLION GALLONS PER DAY MH MHC MHWL MINUM MISC M MECHANICAL JOINT MLP METAL LIGHT POLE MLWL MEAN LOW WATER LEVEL MON MONUMENT MPH MILES PER HOUR MSL MEAN SEA LEVEL MTC MOUNTING	U	UNDERDRAIN UNDERGROUND UNLESS OTHERWISE NOTED UNDERGROUND TELEPHONE CABLE
N	NORTH N NORTH NA NOT APPLICABLE N&C NAIL AND CAP NE NORTHEAST NATURAL GROUND NIC NOT IN CONTRACT NO OR # NUMBER NOM NOMINAL NTS NOT TO SCALE NW NORTHWEST NWL NORMAL WATER LEVEL	N	NORTH N NORTH NA NOT APPLICABLE N&C NAIL AND CAP NE NORTHEAST NATURAL GROUND NIC NOT IN CONTRACT NO OR # NUMBER NOM NOMINAL NTS NOT TO SCALE NW NORTHWEST NWL NORMAL WATER LEVEL	V	VALVE BOX VERTICAL CURVE VCP VITRIFIED CLAY PIPE VERT VERTICAL VPC VERTICAL POINT OF CURVE VPI VERTICAL POINT OF INTERSECTION VPT VERTICAL POINT OF TANGENCY
O	ON CENTER OUTSIDE DIAMETER OE OR EQUAL OPNG OPENING OPP OPPOSITE ORCP OS OUTFALL STRUCTURE OVFL OVERFLOW OVHD OVERHEAD	O	ON CENTER OUTSIDE DIAMETER OE OR EQUAL OPNG OPENING OPP OPPOSITE ORCP OS OUTFALL STRUCTURE OVFL OVERFLOW OVHD OVERHEAD	W	WEST W WITH WM WATER MAIN W/O WITHOUT WP WATER/WEATHER PROOF WFP WOOD POWER POLE WS WATER SURFACE WSWT WET SEASON WATER TABLE WT WEIGHT WV WATER VALVE WWF WELDED WIRE FABRIC WWM WELDED WIRE MESH
Y	YARD YEAR	Y	YARD YEAR	MISC	AND AT DELTA

EXISTING SYMBOLS

LINES		LINES	
	CENTER LINE		BUILDING LINE
	WIRE FENCE		CONTOURS
	CHAIN LINK FENCE		RAILROAD TRACKS
	WOOD FENCE		GAS MAIN
	GUARDRAIL		UNDERGROUND ELECTRIC
	EXISTING PLATS		UNDERGROUND TELEPHONE
	RETAINING WALL		OVERHEAD ELECTRIC
	RIGHT-OF-WAY LINE		OVERHEAD TELEPHONE
	SHORELINE		UNDERGROUND CABLE TELEVISION
	SWALE		EASEMENT
SANITARY			
	SANITARY SEWER LINE		FORCE MAIN
	CLEANOUT		MANHOLE
WATER & REUSE WATER			
	WATER MAIN 6" PVC PIPE		WATER VALVE
	REUSE WATER MAIN		FIRE HYDRANT
	BACKFLOW PREVENTOR		WATER METER
STORM DRAIN			
	STORM SEWER		FDOT TYPE 1 INLET
	MANHOLE		FDOT TYPE 2 INLET
	MITERED END		FDOT TYPE 3 INLET
	STORM INLET		FDOT TYPE 4 INLET
	FDOT TYPE 6 INLET		FDOT TYPE 5 INLET
HIGHWAY & UTILITIES			
	BENCHMARK		GUY POLE
	RECOVERED 4x4 CM		WOOD UTILITY POLE
	SET 4x4 CM		CONCRETE UTILITY POLE
	SET IRON ROD		ELECTRIC MANHOLE
	RECOVERED IRON ROD		TELEPHONE MANHOLE
	CONCRETE		TELEPHONE RISER
	COUNTY ROADS		ELECTRIC BOX / TRANSFORMER
	INTERSTATE ROADS		WELL
	STATE ROADS		MONITORING WELL
	WOOD AND/OR METAL LIGHT POLE		RR CROSSING SIGN
	CONCRETE LIGHT POLE		RR CROSSING GATE
	YARD LIGHT		TRAFFIC SIGNAL POLE
	MISCELLANEOUS SIGN		SATELLITE DISH
	SECTION CORNER		GUY WIRE
	EDGE OF PAVEMENT W/O CURB		HANDICAP PARKING
	EDGE OF PAVEMENT W/CURB		SPOT ELEVATION

PROPOSED SYMBOLS

LINES		STORM DRAIN	
	BOUNDARY		100 LF STS 24 HDPE @ 0.20%
	CONSERVATION SETBACK		UD 8 PVC
	CENTER LINE		DRAINAGE FLOW DIRECTION
	CHAIN LINK FENCE		FDOT INLET TYPE 1
	CONTOUR		FDOT INLET TYPE 2
	EASEMENT		FDOT INLET TYPE 3
	FENCE		FDOT INLET TYPE 4
	GUARDRAIL		FDOT INLET TYPE 5
	LOT LINE		FDOT INLET TYPE 6
	PROPERTY LINE		MANHOLE
	RETAINING WALL		MITERED END SECTION
	RIGHT-OF-WAY LINE		SLOPE DIRECTION ARROW FOR POND SIDE SLOPE
	SETBACK LINE		SPOT ELEVATION
	SHORELINE		STORM INLET
	SWALE	HIGHWAY & UTILITIES	
	TREE LINE		BOUND CORNER
SANITARY			CONCRETE
	100 LF SAN 8 PVC 0.40%		COUNTY ROADS
	FM 4 PVC		DETAIL REFERENCE
	DOUBLE SANITARY SERVICE		DUMPSTER PAD
	MANHOLE		FINISHED FLOOR ELEVATION W/ FHA LOT TYPE
	WATER MAIN 6" DIP		GUY POLE
	11 1/2' BEND		HANDICAP PARKING
	22 1/2' BEND		INTERSTATE ROADS
	45' BEND		LIGHT POLE
	90' BEND		SIGNS
	TEE		SECTION CORNER
	CROSS		STATE ROADS
	CHECK VALVE		SILT FENCE
	DOUBLE DETECTOR CHECK VALVE		TRAFFIC FLOW PAVEMENT MARKING
	DOUBLE WATER SERVICE		UTILITY POLE
	GATE VALVE		BLDG OR STRUCTURE
	FIRE HYDRANT		TYPE F CURB & GUTTER
	METER		MIAMI CURB
	REDUCER		CROSS SECTION DETAIL
	BLOWOFF		
	BACKFLOW PREVENTER		
	DOUBLE REUSE WATER SERVICE		

Engineer:	William C. Fogle, P.E. No. 23785
Designed by:	2014-10
File name:	NTS
Scale:	NOVEMBER 2015
Date:	

THE CIVIL DESIGN GROUP INC.
 ENGINEERS SURVEYORS PLANNERS
 Charles E. Limpus Road
 8969 ORLANDO, FLORIDA
 Phone: (407) 876-3996
 Fax: (407) 876-4279
 City of Winter Garden, Florida
LAKE ROBERTS RESERVE
 Florida
 Drawn by:
 Designed by:
 File name:
 Scale: NTS
 Date: NOVEMBER 2015
 Sheet 9 of 17

DEVELOPMENT NOTES

- A NEW HOMEOWNERS ASSOCIATION WILL BE ESTABLISHED TO MAINTAIN ALL SCREEN WALLS ,LANDSCAPING, AND RETENTION POND.
- DUKE ENERGY CORP TO INSTALL AND MAINTAIN STREET LIGHTING WITHIN DEVELOPMENT.
- HOME OWNERS ASSOCIATION TO FUND MAINTENANCE OF RETENTION POND AND STREET LIGHTING SYSTEMS.
- WATER & SEWER SERVICE FOR LOTS 1 THRU 88 TO BE PROVIDED BY ORANGE COUNTY UTILITIES, LOTS 89 & 90 SEWER AND WATER SERVICE TO BE PROVIDED BY THE CITY OF WINTER GARDEN.
- STREET LIGHTS TO BE INSTALLED BY DUKE ENERGY CORP.
- PROJECT SIGNAGE IN ACCORDANCE WITH SIGN ORDINANCE FOR THE CITY OF WINTER GARDEN FOR GROUND MOUNTED SIGNS.
- EXISTING LAND USE IS PASTURE.
- STREET RIGHT OF WAYS AND UTILITY EASEMENTS TO BE PRIVATELY OWNED BY HOMEOWNERS ASSOCIATION. DEVELOPMENT IS TO BE A GATED COMMUNITY.
- MAINTENANCE OF STREETS TO BE BY THE HOME OWNERS ASSOC., UTILITIES TO BE MAINTAINED BY APPLICABLE SERVICE PROVIDER.
- PROJECT IS WITHIN THE RECOMMENDED RESPONSE DISTANCE OF 2.5 MILES FROM THE NEAREST FIRE STATION.
- PRESERVED WETLANDS TO BE POSTED WITH NOTIFICATION SIGNS AS SHOWN IN THE SIGN DETAIL THIS SHEET.
- CONSERVATION AREAS HAVE BEEN FIELD LOCATED BY BIO TECH CONSULTING, INC. WETLAND LINES HAVE BEEN FIELD REVIEWED AND AGREED TO BY THE SJRWMD.
- 10 FOOT FRONT LOT UTILITY EASEMENT TO BE DEDICATED ON ALL LOTS, 5 FOOT SIDE YARD UTILITY EASEMENT TO BE DEDICATED ON BOTH SIDES OF ALL LOTS

STORMWATER MANAGEMENT

- THE STORMWATER SYSTEM FOR THIS PROJECT WILL BE DESIGNED IN ACCORDANCE WITH THE CITY OF WINTER GARDENS AND STATE REGULATIONS.
- OUTFALL FOR THE SYSTEM WILL BE INTO LAKE ROBERTS
- ALL HOMES TO BE LOCATED WITHIN ZONE "X" (AREAS OUTSIDE OF THE 100 YEAR FLOOD PLAIN) AS SHOWN ON THE FIRM MAPPING FOR ORANGE COUNTY, MAP NUMBER 12095C0215F&1209C0220F, EFFECTIVE DATE SEPTEMBER 25, 2009.
- PORTIONS OF PROPERTY WITHIN PRESERVED WETLANDS LIE WITHIN THE 100 YEAR FLOOD PLAIN AT ELEVATION 110.61 FT ABOVE MSL NAVD 1988 DATUM.

SOIL CONDITIONS

- ON-SITE SOILS CONSIST OF
 - #3 BASSINGER FINE SANDS FINE SANDS TYPE D SOILS
 - #42 SANIBEL MUUCK TYPE D SOILS
 - #37 ST JOHNS FINE SAND TYPE B/D SOILS
 - #46 TAVARES FINE SAND SERIES TYPE A SOILS
 - #47 MILLERHOPPER FINE SAND SERIES TYPE A SOILS
 - #54 ZOLFO FINE SAND TYPE A SOILS
 - #44 SYMRYA FINE SANDS TYPE B/D SOILS
 - #26 ONA FINE SANDS TYPE B/D SOILS
 - #28 FLORAHOME FINE SAND TYPE A SOILS

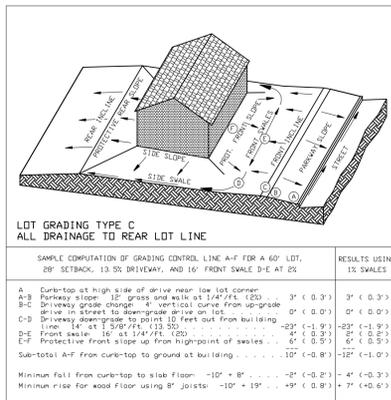
- SEE GEOTECHNICAL REPORT GPGT-13-0039 BY ANDREYEV ENGINEERING
- INC. FOR ADDITIONAL GEOTECHNICAL INFORMATION AND EVALUATION OF KARST FEATURES & DEPRESSIONS ONSITE.

UTILITY PROVIDERS:

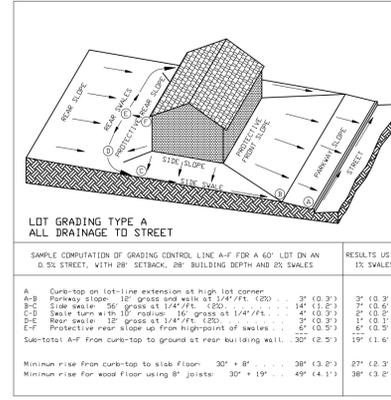
- WATER & SEWER SERVICE FOR LOTS 1 THRU 88 TO BE PROVIDED BY ORANGE COUNTY UTILITIES, LOTS 89 & 90 SEWER AND WATER SERVICE TO BE PROVIDED BY THE CITY OF WINTER GARDEN.
- ELECTRIACL POWER TO BE SUPPLIED BY DUKE ENERGY
- TELEPHONE SERVICE TO BE PROVIDED BY AT&T
- CABLE TELEVISION AND INTERNET TO BE PROVIDED BY BRIGHTHOUSE NETWORKS

APPLICANT
 AMERICAN INVESTMENTS OF ORANGE COUNTY 40, L.L.C.
 535 OSPREY ISLE LANE
 ORLANDO, FLORIDA 32819
 PHONE - (407) 936-8386

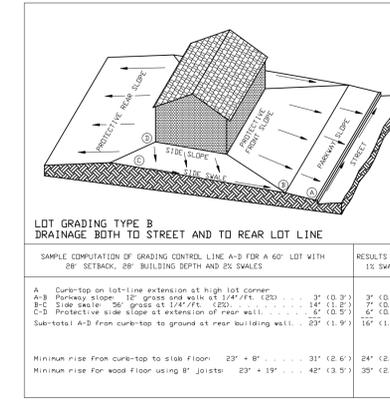
ENGINEER/ AUTHORIZED AGENT
 CIVIL DESIGN GROUP, INC.
 8969 CHARLES E. LIMPUS ROAD
 ORLANDO, FLORIDA 32836
 PHONE - (407) 876-3996



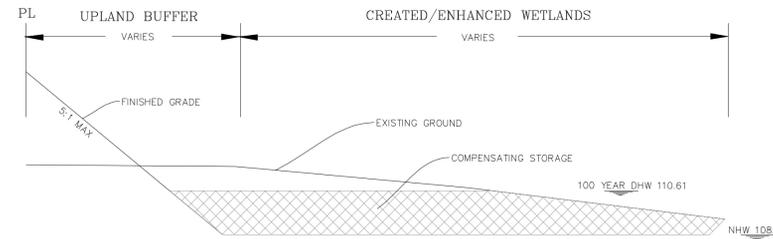
FHA TYPE 'C' LOT GRADING
 N.T.S.



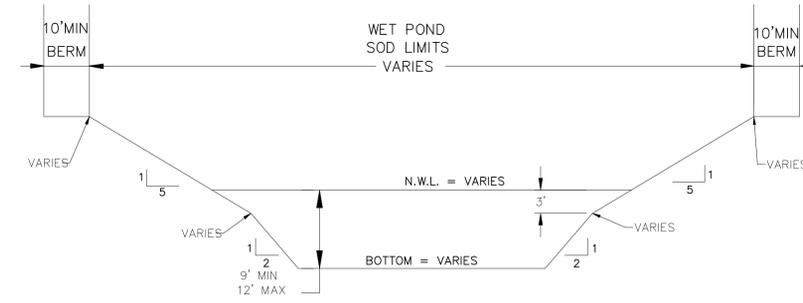
FHA TYPE 'A' LOT GRADING
 N.T.S.



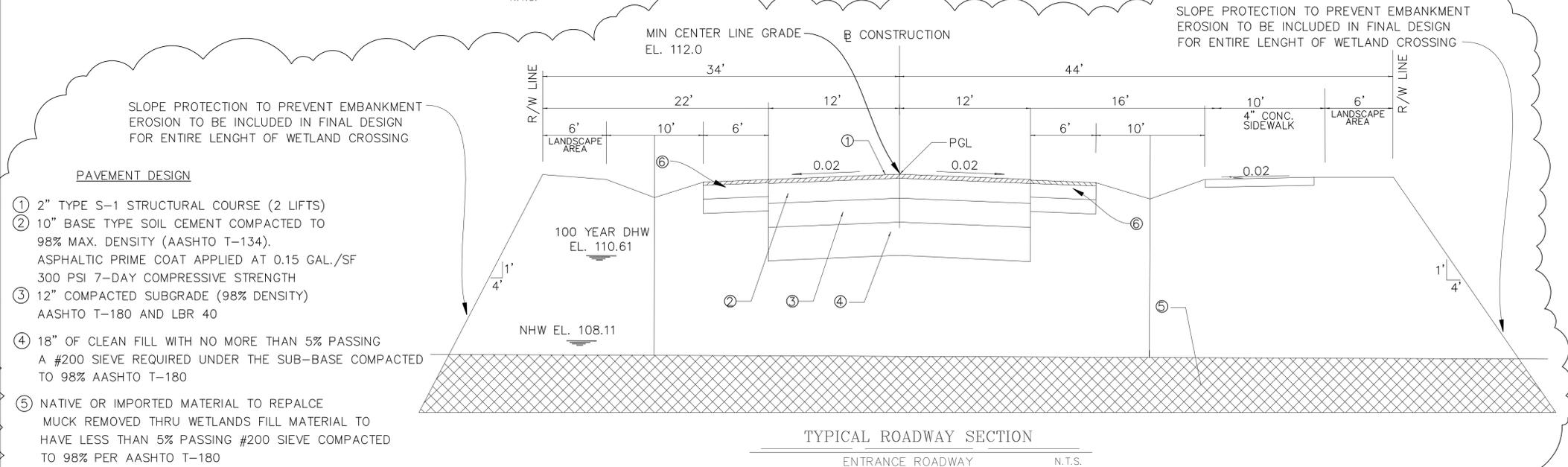
FHA TYPE 'B' LOT GRADING
 N.T.S.



TYPICAL SECTION COMPENSATING STORAGE AREA
 N.T.S.



WET RETENTION POND 1 THRU 4 TYPICAL CROSS SECTION
 N.T.S.

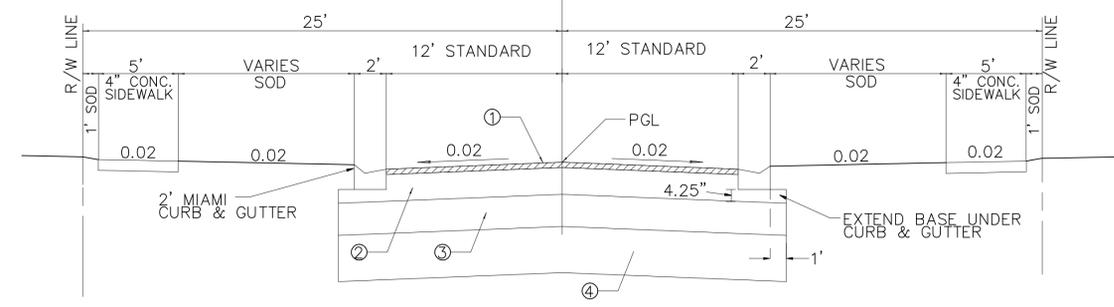


PAVEMENT DESIGN

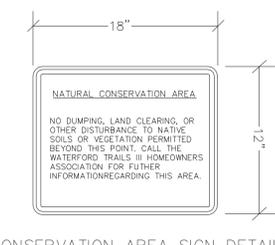
- 2" TYPE S-1 STRUCTURAL COURSE (2 LIFTS)
- 10" BASE TYPE SOIL CEMENT COMPACTED TO 98% MAX. DENSITY (AASHTO T-134). ASPHALTIC PRIME COAT APPLIED AT 0.15 GAL./SF 300 PSI 7-DAY COMPRESSIVE STRENGTH
- 12" COMPACTED SUBGRADE (98% DENSITY) AASHTO T-180 AND LBR 40
- 18" OF CLEAN FILL WITH NO MORE THAN 5% PASSING A #200 SIEVE REQUIRED UNDER THE SUB-BASE COMPACTED TO 98% AASHTO T-180
- NATIVE OR IMPORTED MATERIAL TO REPLACE MUCK REMOVED THRU WETLANDS FILL MATERIAL TO HAVE LESS THAN 5% PASSING #200 SIEVE COMPACTED TO 98% PER AASHTO T-180
- 6 FOOT PAVED SHOULDER WITH 1" TYPE S-1 STRUCTURAL COURSE 6" BASE TYPE SOIL CEMENT COMPACTED TO 98% AASHTO T-180

PAVEMENT DESIGN

- 2" TYPE S-1 STRUCTURAL COURSE (2 LIFTS)
- 10" BASE TYPE SOIL CEMENT COMPACTED TO 98% MAX. DENSITY (AASHTO T-134). ASPHALTIC PRIME COAT APPLIED AT 0.15 GAL./SF 300 PSI 7-DAY COMPRESSIVE STRENGTH
- 12" COMPACTED SUBGRADE (98% DENSITY) AASHTO T-180 AND LBR 40
- 18" OF CLEAN FILL WITH NO MORE THAN 5% PASSING A #200 SIEVE REQUIRED UNDER THE SUB-BASE COMPACTED TO 98% AASHTO T-180

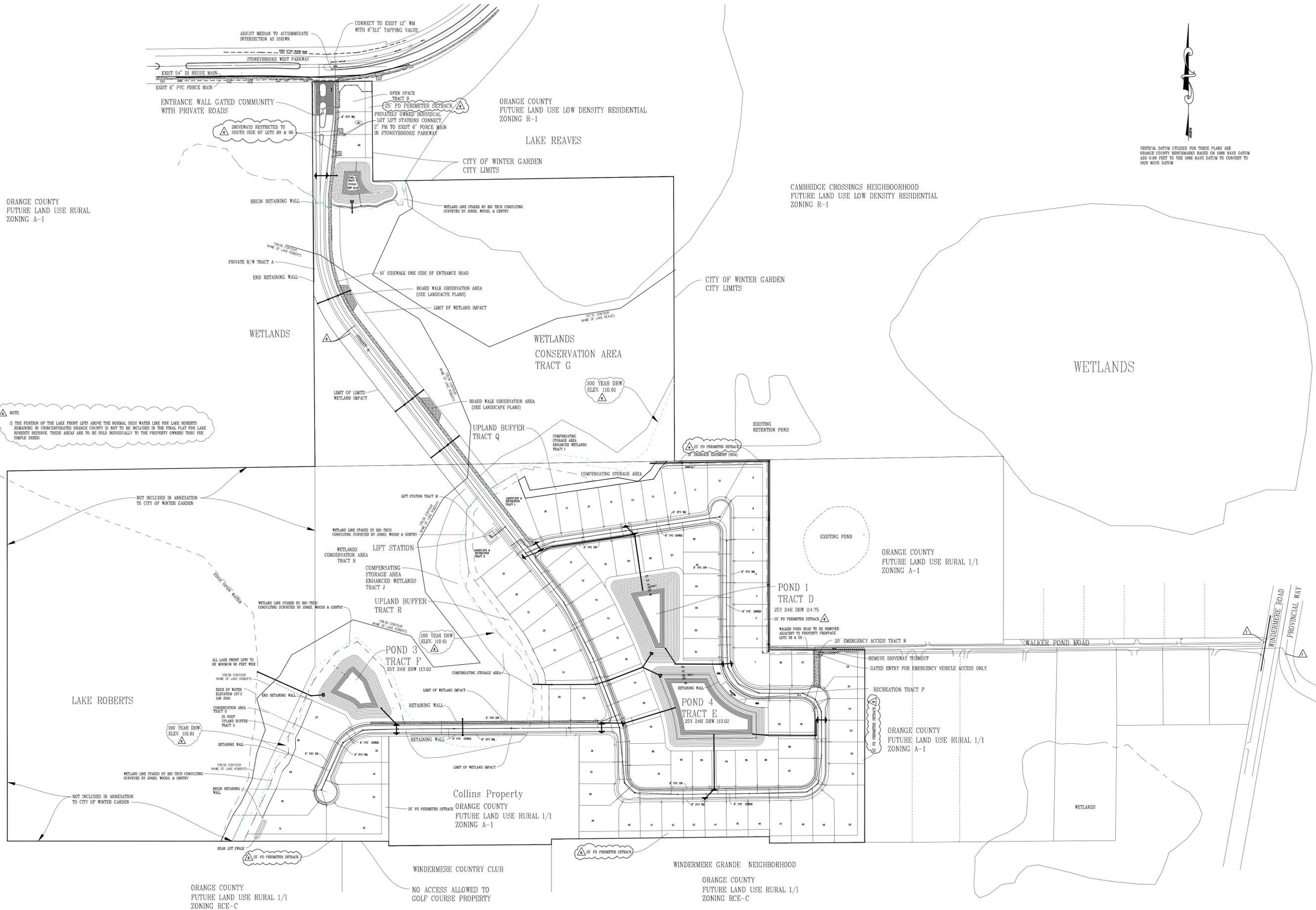


TYPICAL ROADWAY SECTION
 50' INTERNAL ROADWAY N.T.S.



CONSERVATION AREA SIGN DETAIL

<p>CIVIL DESIGN GROUP INC. ENGINEERS SURVEYORS • PLANNERS 8969 CHARLES E. LIMPUS ROAD ORLANDO, FLORIDA</p>	<p>TYPICAL SECTIONS LAKE ROBERTS RESERVE</p>	<p>City of Winter Garden, Florida</p>
<p>Drawn by: William C. Fogle, P.E. No. 23785 Designed by: Job Number: 2014-10 Filename: Scale: N.T.S. Date: NOV 2015</p>	<p>Florida Board of Professional Regulation CERTIFICATE OF AUTHORIZATION # 9359</p>	<p>Revisions: Rev. by: WCF WCF WCF WCF</p>



NOTE:
 1) THE PORTION OF THE LAKE FRONT LOTS ABOVE THE NORMAL HIGH WATER LINE FOR LAKE ROBERTS REMAINING IN UNINCORPORATED ORANGE COUNTY IS NOT TO BE INCLUDED IN THE FINAL PLAN FOR LAKE ROBERTS RESERVE. THESE AREAS ARE TO BE SOLD INDIVIDUALLY TO THE PROPERTY OWNERS THROUGH SIMPLE DEEDS.

VERTICAL DATUM UTILIZED FOR THESE PLANS ARE ORANGE COUNTY BENCHMARKS BASED ON 1988 NAVD DATUM AND 0.80 FEET TO THE 1988 NAVD DATUM TO CONVERT TO 1929 NGVD DATUM

PRELIMINARY DEVELOPMENT PLAN LAKE ROBERTS RESERVE Florida City of Winter Garden		Drawn by: Designed by: File name:	Florida Board of Professional Regulation Certificate of Authorization # 9339 Engineer: William C. Fogle, P.E., No. 23785 Job Number: 2014-10 Scale: 1"=150' Date: NOV 2015
No. 4 4-25-2016	No. 3 7-13-2016	No. 2 6-24-2016	No. 1 4-25-2016
Revise per City Comments dated 9/14/2016	Revise per City Comments dated 7/5/2016	Revise per City Comments dated 5/23/2016	Revise per City Comments dated 3/1/2016
No.	Date	Revisions	Rev. by

NOTES:
 1) GRADING PLANS ARE SHOWN FOR INFORMATION ONLY
 FINAL GRADING PLANS TO BE REVIEWED AND APPROVED
 DURING FINAL ENGINEERING REVIEWS.
 2) ELEVATIONS IN THESE PLANS TAKEN FROM ORANGE COUNTY BENCH
 MARKS BASED ON NAVD 1988 DATUM. TO CONVERT TO 1929 NGVD DATUM
 ADD 0.89 FEET TO NAVD 1988 ELEVATIONS AS SHOWN ON THESE PLANS.



UPLAND BUFFER TRACT R

WETLAND LINE STAKED BY BIO-TECH
 CONSULTING SURVEYED BY JONES, WOODS & GENTRY

4 LIMIT OF PROPERTY TO BE ANNEXED
 INTO CITY OF WINTER GARDEN

108.06 CONTOUR
 NHWE OF LAKE ROBERTS

ALL LAKE FRONT LOTS TO
 BE MINIMUM 90 FEET WIDE

108.06 CONTOUR
 NHWE OF LAKE ROBERTS

EDGE OF WATER
 ELEVATION 107.3
 JAN 2016

CONSERVATION AREA
 TRACT O

25 FOOT
 UPLAND BUFFER
 TRACT S

RETAINING WALL

108.06 CONTOUR
 NHWE OF LAKE ROBERTS

BEGIN RETAINING
 WALL

REAR LOT SWALE

4 25' PD PERIMETER SETBACK

COMPENSATING STORAGE AREA

LIMIT OF WETLAND IMPACT

100 YEAR DHW
 ELEV. 110.61

RETAINING WALL

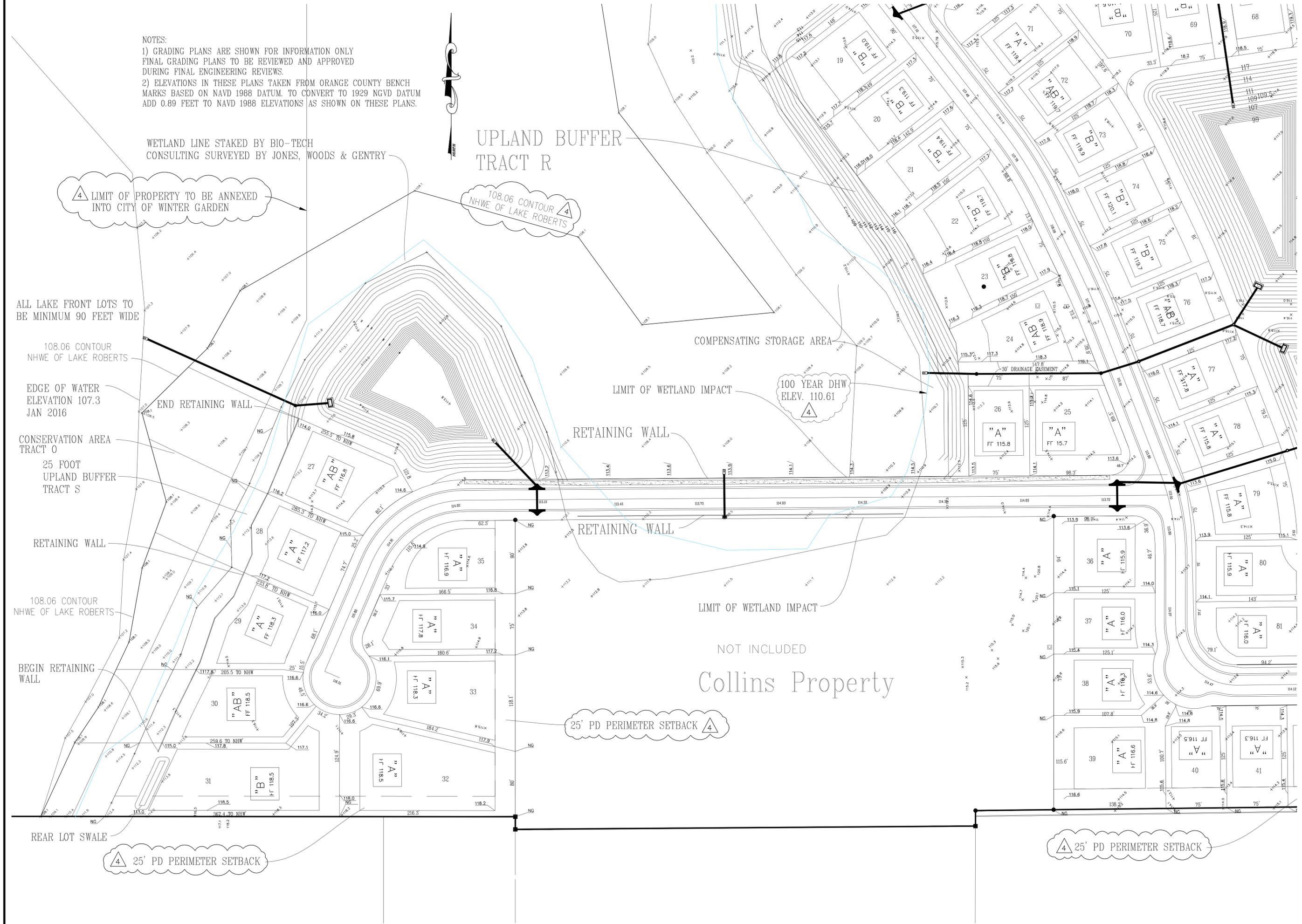
RETAINING WALL

LIMIT OF WETLAND IMPACT

NOT INCLUDED
 Collins Property

25' PD PERIMETER SETBACK

4 25' PD PERIMETER SETBACK

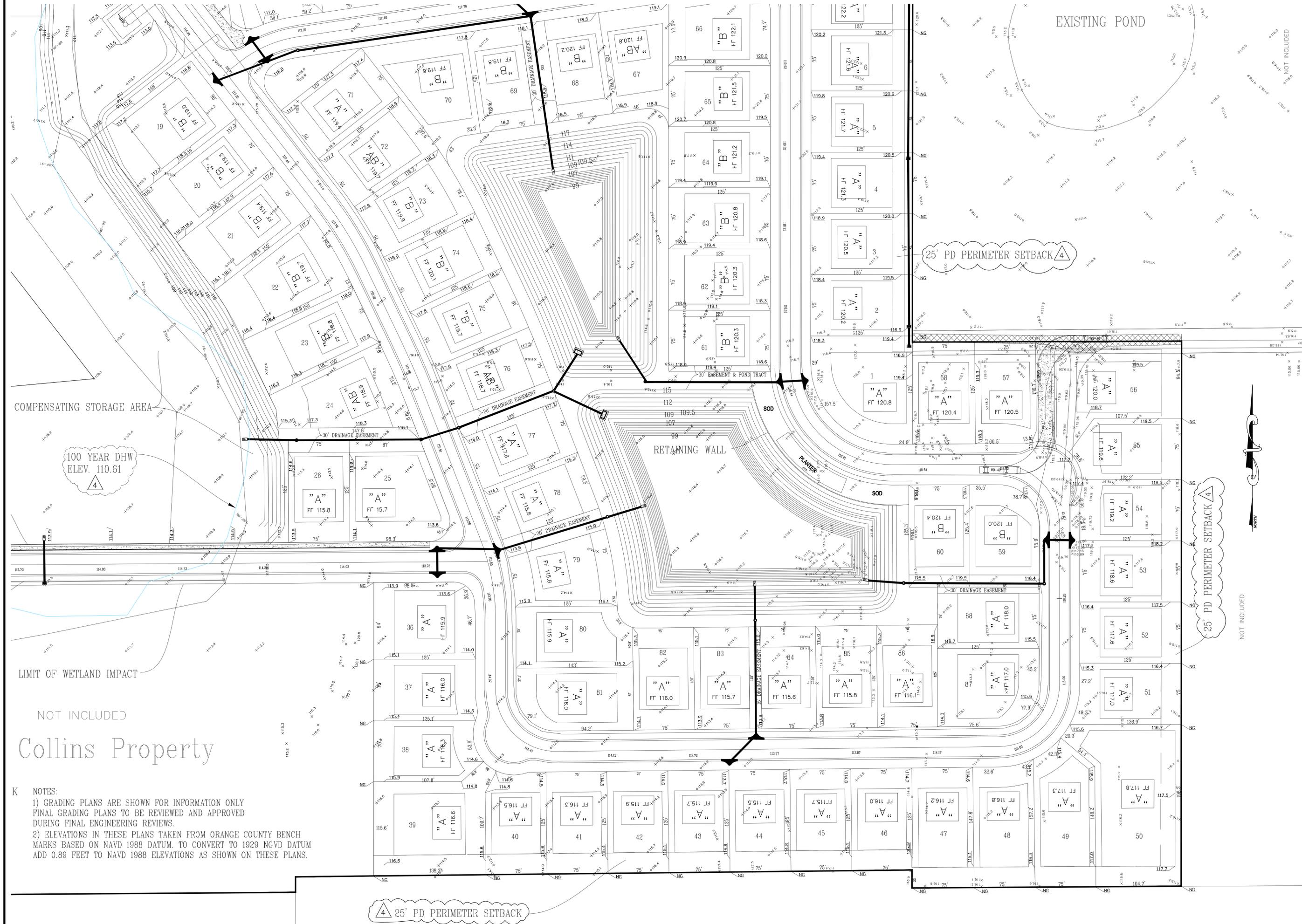


No.	Date	Revisions
No. 4	4-25-2016	Revise per City Comments dated 9/14/2016
No. 3	7-13-2016	Revise per City Comments dated 7/15/2016
No. 2	6-24-2016	Revise per City Comments dated 5/23/2016
No. 1	4-25-2016	Revise per City Comments dated 3/1/2016

THE CIVIL DESIGN GROUP INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8969 CHARLES E. LIMPLUS ROAD
 ORLANDO, FLORIDA 32836
 PHONE (407) 876-3996
 FAX (407) 876-4279

GRADING PLAN
LAKE ROBERTS RESERVE
 City of Winter Garden, Florida

Drawn by:	Designed by:
Engineer:	File name:
William C. Fogle, P.E. No. 23785	2014-10
Job Number:	Scale:
NOV 2015	1"=50'
Date:	



COMPENSATING STORAGE AREA

100 YEAR DHW
ELEV. 110.61

LIMIT OF WETLAND IMPACT

NOT INCLUDED

Collins Property

- NOTES:**
- 1) GRADING PLANS ARE SHOWN FOR INFORMATION ONLY
FINAL GRADING PLANS TO BE REVIEWED AND APPROVED
DURING FINAL ENGINEERING REVIEWS.
 - 2) ELEVATIONS IN THESE PLANS TAKEN FROM ORANGE COUNTY BENCH
MARKS BASED ON NAVD 1988 DATUM. TO CONVERT TO 1929 NGVD DATUM
ADD 0.89 FEET TO NAVD 1988 ELEVATIONS AS SHOWN ON THESE PLANS.

EXISTING POND

25' PD PERIMETER SETBACK

RETAINING WALL

25' PD PERIMETER SETBACK

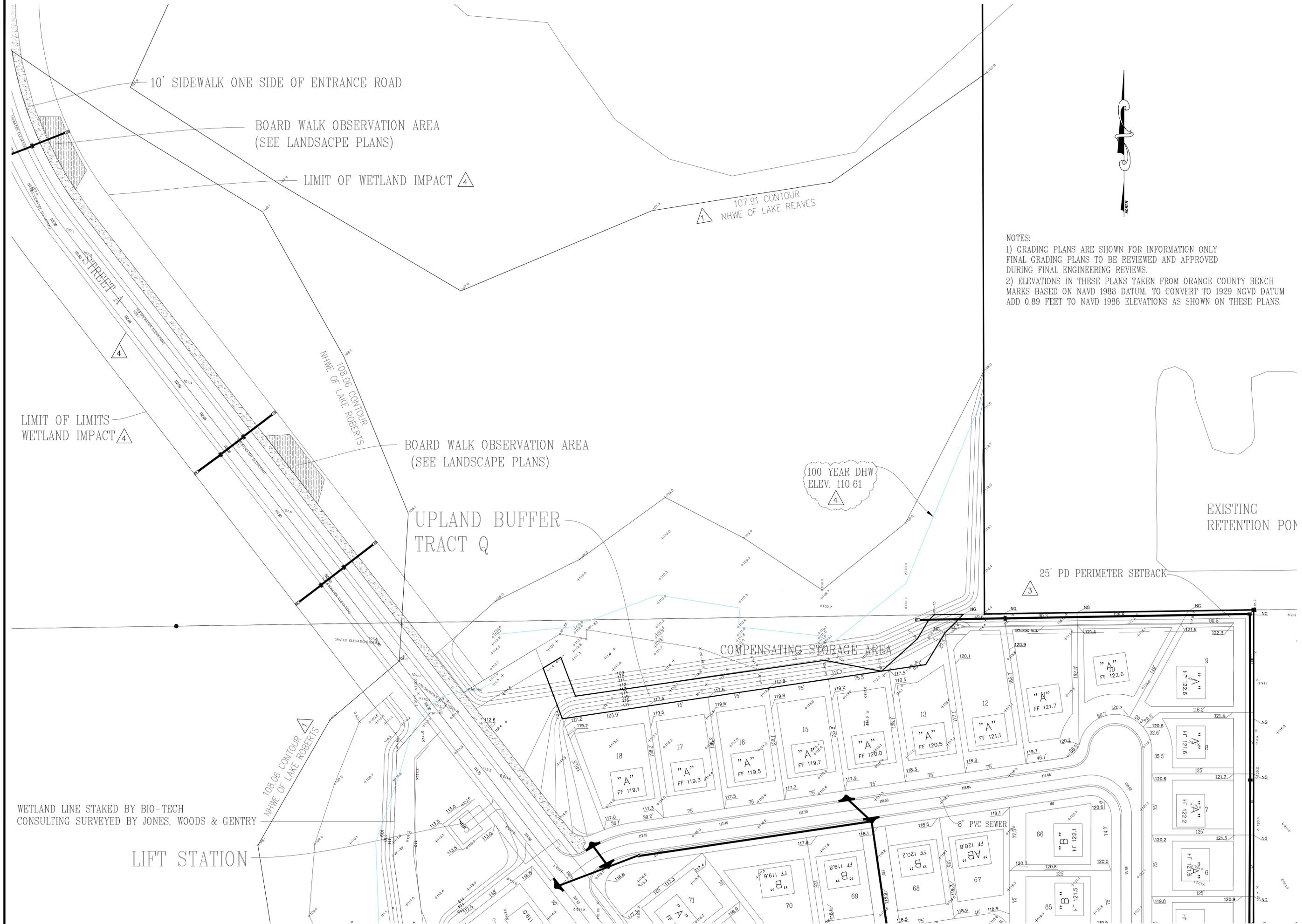
25' PD PERIMETER SETBACK

No.	Date	Revisions
No. 4	4-25-2016	Revise per City Comments dated 9/14/2016
No. 3	7-13-2016	Revise per City Comments dated 7/5/2016
No. 2	6-24-2016	Revise per City Comments dated 5/23/2016
No. 1	4-25-2016	Revise per City Comments dated 3/1/2016

THE CIVIL DESIGN GROUP INC.
ENGINEERS • SURVEYORS • PLANNERS
8969 CHARLES E. LIMBUS ROAD
ORLANDO, FLORIDA 32836
PHONE (407) 876-3996
FAX (407) 876-4279

GRADING PLAN
LAKE ROBERTS RESERVE
City of Winter Garden, Florida

Drawn by:	Designed by:
Engineer:	File name:
William C. Fogle, P.E. No. 23785	Job Number: 2014-10
Scale: 1" = 150'	Date: NOV 2015



NOTES:
 1) GRADING PLANS ARE SHOWN FOR INFORMATION ONLY
 FINAL GRADING PLANS TO BE REVIEWED AND APPROVED
 DURING FINAL ENGINEERING REVIEWS.
 2) ELEVATIONS IN THESE PLANS TAKEN FROM ORANGE COUNTY BENCH
 MARKS BASED ON NAVD 1988 DATUM. TO CONVERT TO 1929 NGVD DATUM
 ADD 0.89 FEET TO NAVD 1988 ELEVATIONS AS SHOWN ON THESE PLANS.

No.	Date	Revisions
No. 4	4-25-2016	Revise per City Comments dated 9/14/2016
No. 3	7-13-2016	Revise per City Comments dated 7/15/2016
No. 2	6-24-2016	Revise per City Comments dated 5/23/2016
No. 1	4-25-2016	Revise per City Comments dated 3/11/2016

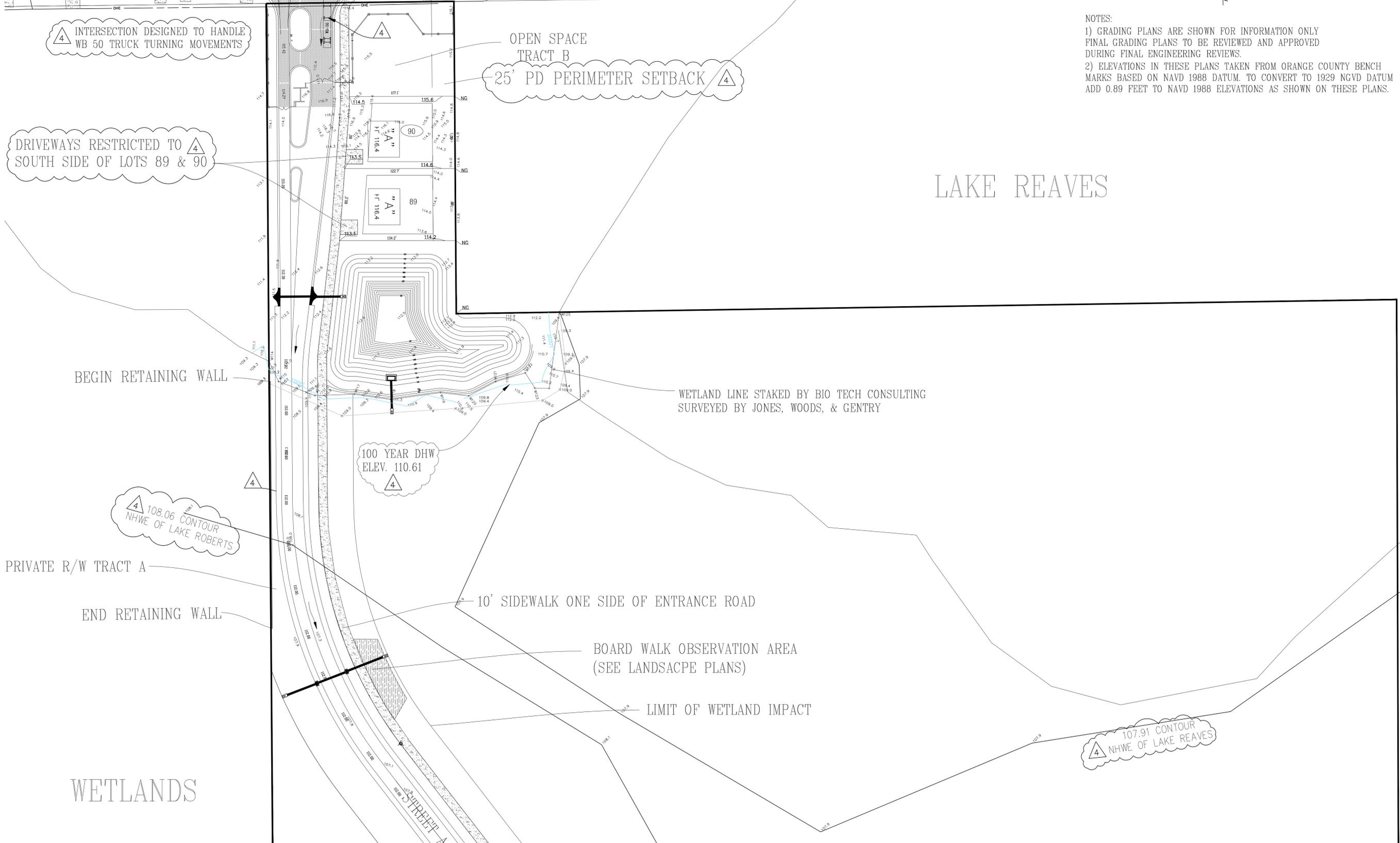
THE CIVIL DESIGN GROUP INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8969 CHARLES E. LIMBUS ROAD
 ORLANDO, FLORIDA 32836
 PHONE (407) 876-3996
 FAX (407) 876-4279

GRADING PLAN
LAKE ROBERTS RESERVE
 City of Winter Garden Florida

Drawn by:	Designed by:
Engineer:	File name:
William C. Fogle, P.E. No. 23785	Job Number: 2014-10
Scale: 1"=150'	Date: NOV 2015

ADJUST MEDIAN TO ACCOMMODATE INTERSECTION AS SHOWN

STONEYBROOKE WEST PARKWAY



INTERSECTION DESIGNED TO HANDLE WB 50 TRUCK TURNING MOVEMENTS

DRIVEWAYS RESTRICTED TO SOUTH SIDE OF LOTS 89 & 90

OPEN SPACE TRACT B
25' PD PERIMETER SETBACK

LAKE REAVES

BEGIN RETAINING WALL

WETLAND LINE STAKED BY BIO TECH CONSULTING SURVEYED BY JONES, WOODS, & GENTRY

100 YEAR DHW ELEV. 110.61

108.06 CONTOUR NHWE OF LAKE ROBERTS

PRIVATE R/W TRACT A

END RETAINING WALL

10' SIDEWALK ONE SIDE OF ENTRANCE ROAD

BOARD WALK OBSERVATION AREA (SEE LANDSCAPE PLANS)

LIMIT OF WETLAND IMPACT

WETLANDS

107.91 CONTOUR NHWE OF LAKE REAVES

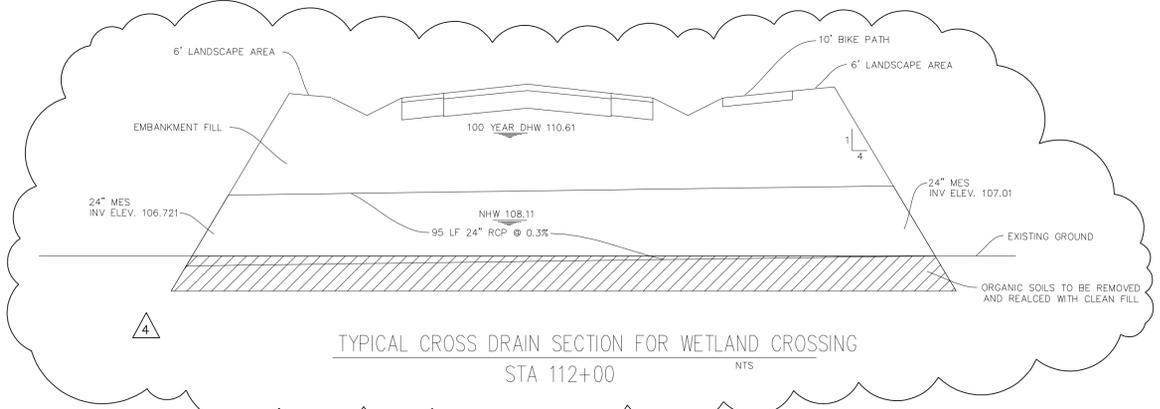
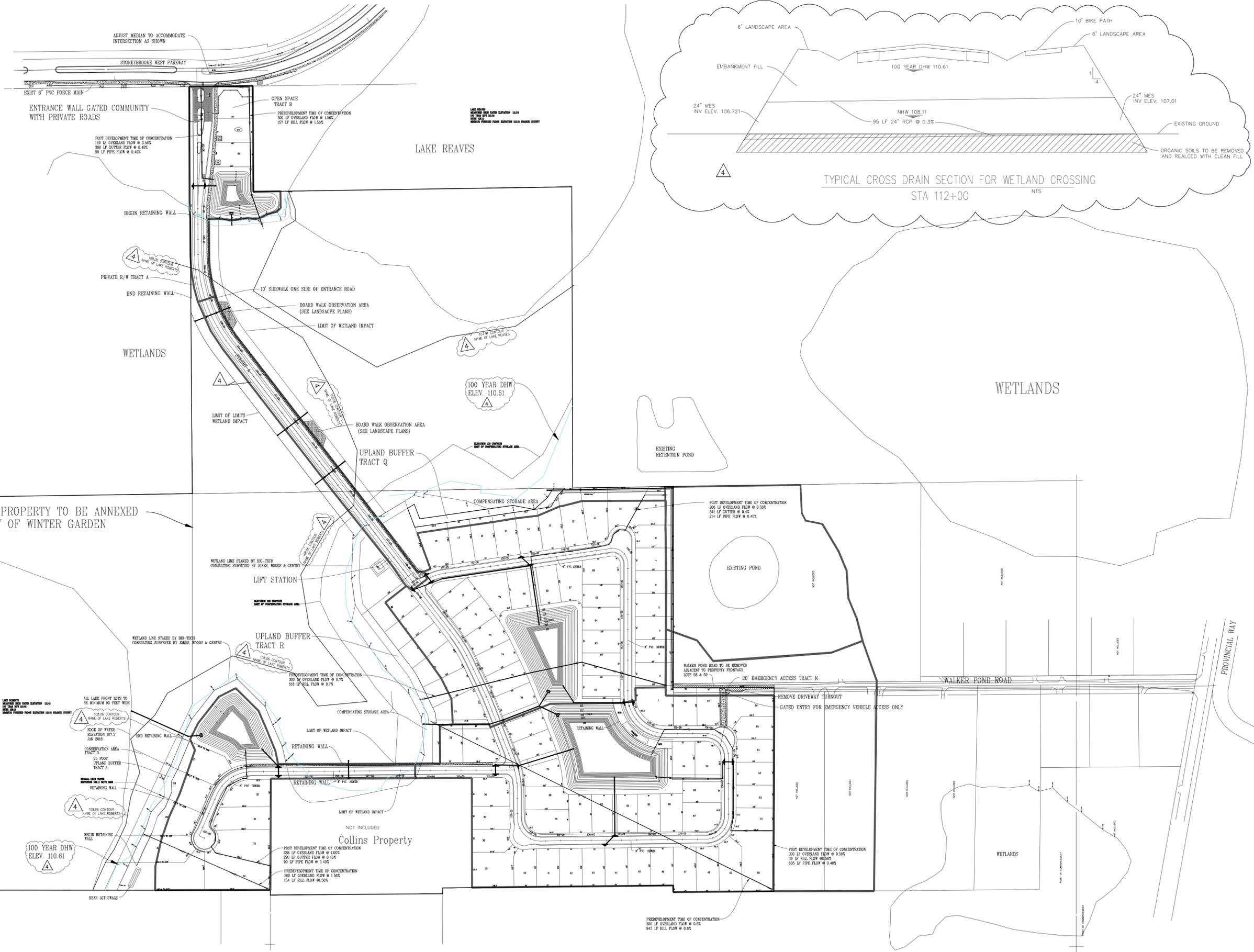
NOTES:
1) GRADING PLANS ARE SHOWN FOR INFORMATION ONLY FINAL GRADING PLANS TO BE REVIEWED AND APPROVED DURING FINAL ENGINEERING REVIEWS.
2) ELEVATIONS IN THESE PLANS TAKEN FROM ORANGE COUNTY BENCH MARKS BASED ON NAVD 1988 DATUM. TO CONVERT TO 1929 NGVD DATUM ADD 0.89 FEET TO NAVD 1988 ELEVATIONS AS SHOWN ON THESE PLANS.

No.	Date	Revisions
No. 4	4-25-2016	Revise per City Comments dated 9/14/2016
No. 3	7-15-2016	Revise per City Comments dated 7/15/2016
No. 2	6-24-2016	Revise per City Comments dated 5/22/2016
No. 1	4-25-2016	Revise per City Comments dated 3/11/2016

THE CIVIL DESIGN GROUP INC.
ENGINEERS • SURVEYORS • PLANNERS
8969 CHARLES E. LIMPLUS ROAD
ORLANDO, FLORIDA 32836
PHONE (407) 876-3996 FAX (407) 876-4279

GRADING PLAN
LAKE ROBERTS RESERVE
City of Winter Garden Florida

Drawn by:	Designed by:
Engineers:	Filename:
William C. Fogle, P.E. No. 23785	2014-10
Job Number:	Date:
Scale: 1"=150'	NOV 2015



4 LIMIT OF PROPERTY TO BE ANNEXED INTO CITY OF WINTER GARDEN

LAKE ROBERTS

LAKE REAVES

WETLANDS

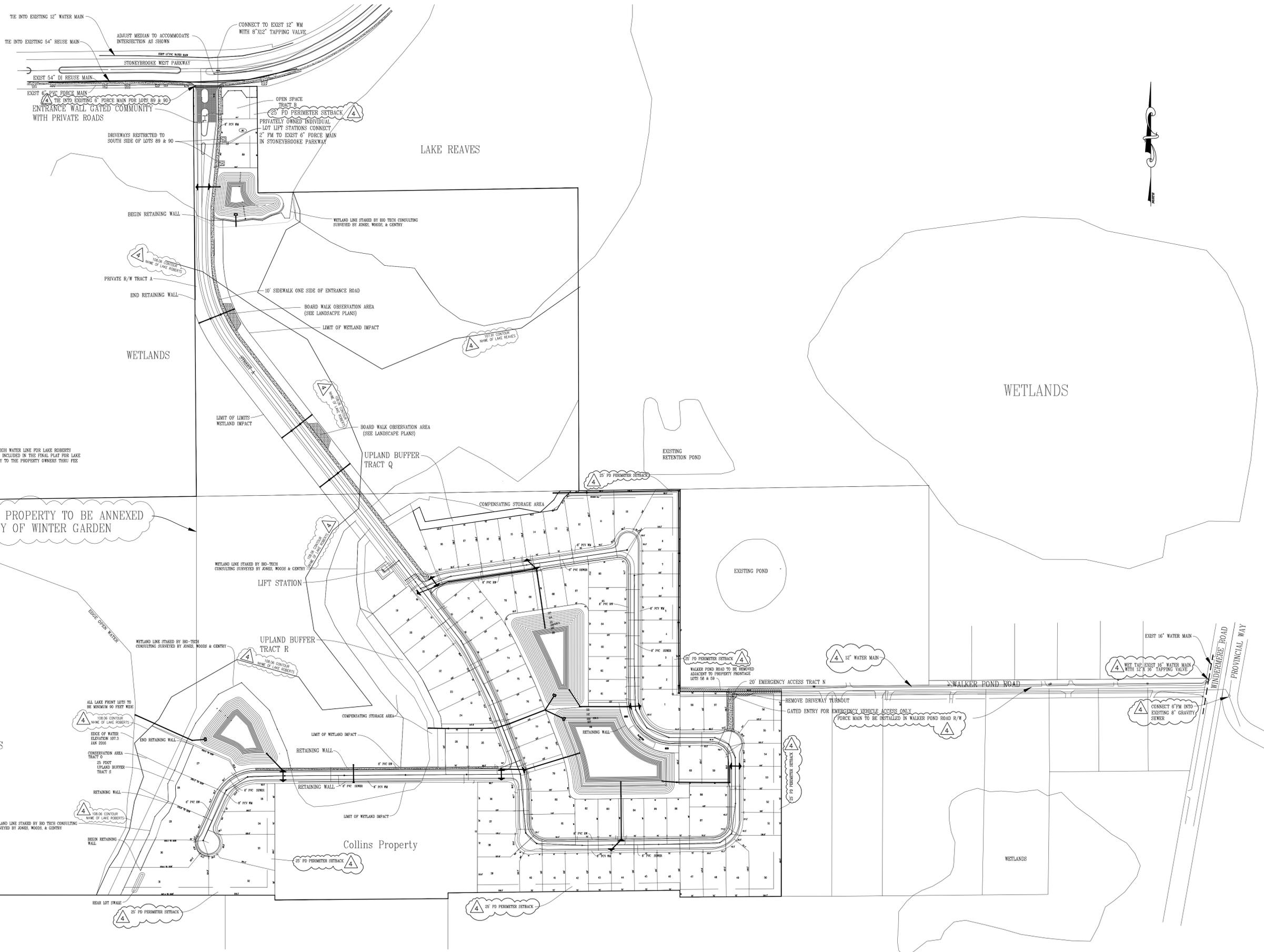
Collins Property

No.	Date	Revisions
No. 4	4-25-2016	Revise per City Comments dated 9/14/2016
No. 3	7-13-2016	Revise per City Comments dated 7/15/2016
No. 2	6-24-2016	Revise per City Comments dated 5/23/2016
No. 1	4-25-2016	Revise per City Comments dated 3/1/2016

THE CIVIL DESIGN GROUP INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8969 CHARLES E. LIMPLUS ROAD
 ORLANDO, FLORIDA 32836
 PHONE (407) 876-3996
 FAX (407) 876-4279

DRAINAGE PLAN
LAKE ROBERTS RESERVE
 City of Winter Garden, Florida

Drawn by: **William C. Fogle, P.E., No. 23785**
 Designed by: **William C. Fogle, P.E., No. 23785**
 Filename: **2014-10**
 Scale: **1"=150'**
 Date: **NOV 2015**



NOTE:
 1) THE PORTION OF THE LAKE FRONT LOTS ABOVE THE NORMAL HIGH WATER LINE FOR LAKE ROBERTS REMAINING IN UNINCORPORATED GRANGE COUNTY IS NOT TO BE INCLUDED IN THE FINAL PLAT FOR LAKE ROBERTS RESERVE. THESE AREAS ARE TO BE SOLD INDIVIDUALLY TO THE PROPERTY OWNERS THRU P&Z SIMPLE DEEDS.



No.	Date	Revisions
No. 4	4-25-2016	Revise per City Comments dated 9/14/2016
No. 3	7-13-2016	Revise per City Comments dated 7/5/2016
No. 2	6-24-2016	Revise per City Comments dated 5/23/2016
No. 1	4-25-2016	Revise per City Comments dated 3/1/2016

THE CIVIL DESIGN GROUP INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8969 CHARLES E. LIMPLUS ROAD
 ORLANDO, FLORIDA 32836
 PHONE (407) 876-3996 FAX (407) 876-4279

UTILITY PLAN
LAKE ROBERTS RESERVE
 City of Winter Garden Florida

Drawn by:	Designed by:
Engineer:	Filename:
William C. Fogle, P.E. No. 23785	2014-10
Job Number:	Scale:
NOV 2015	1"=150'
Date:	

SITE DATA

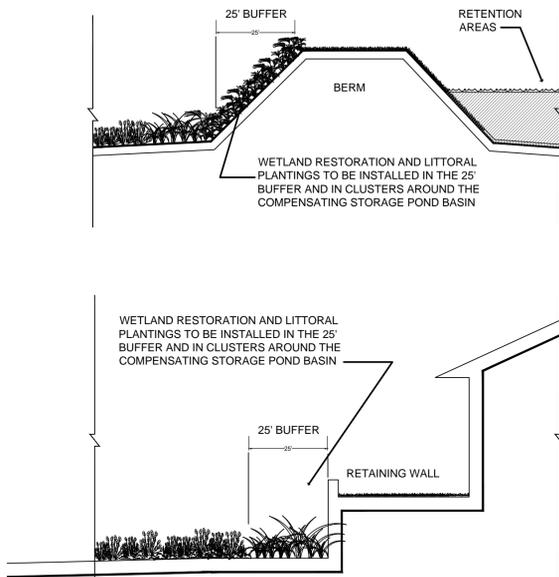
LAND USE DESIGNATION: LR
 CURRENT ZONING: PUD
 GROSS LAND AREA: 78.865 ACRES
 WETLANDS/LAKES: 35.26 ACRES
 UPLAND AREA: 43.61 ACRES
 TEMPORARY WETLAND IMPACTS: 3.532 ACRES
 PERMANENT WETLAND IMPACTS: 3.247 ACRES
 COMP STORAGE/ENHANCED WETLANDS: 4.480 ACRES
 DEVELOPMENT AREA: 35.041 ACRES
 PROPOSED UNITS: 90 UNITS
 DENSITY: 1.14 DU/AC GROSS, 2.34 DU/ACRE NET USEABLE
 OPEN SPACE REQUIRED: 19.72 ACRES @ 25% OF LAND AREA
 OPEN SPACE PROVIDED: 42.23 ACRES 54%
 WETLANDS/CONSERVATION: 40.45 ACRES
 RECREATION AREA: 1.78 ACRES
 MIN. LOT SIZE: 7500 S.F.
 MIN. LIVING AREA (UNDER HEAT & AIR): 1500 S.F.
 EXISTING IMPERVIOUS AREA = 0.0 ACRES
 MINIMUM FRONT LOT WIDTH: 75 FEET
 MAX. BUILDING HEIGHT: 35 FEET TWO STORY
 PROJECTED TRAFFIC VOLUME: 90 DU @ 9.57 TRIPS/ DU = 862 ADTS
 PROJECTED STUDENT POPULATION: 90 DU @ 0.404 STUDENTS/ DU = 37 STUDENTS
 PROJECTED WATER DEMAND: 2DU @350 GPD =700GPD
 PROJECTED SEWER DEMAND: 2 DU @300 GPD =600 GPD

ADJACENT LAND USE

NORTH - LR & SUB
 SOUTH - LR 1/1
 EAST - LR 1/1
 WEST -WB WETLAND PRESERVATION & LAKE
 ADJACENT ZONING
 NORTH - R1 & A1
 SOUTH - RCE
 WEST - RCE & PD
 EAST - RCE

DEVELOPMENT NOTES:

- 1) 10' UTILITY EASEMENTS TO BE DEDICATED BETWEEN ALL LOTS ON FINAL PLAT.
- 2) 10' UTILITY EASEMENTS TO BE DEDICATED ALONG STREET FRONTAGE OF ALL LOTS AT TIME OF PALTING.
- 3) PERMANENT WETLAND IMPACTS - 3.527 ACRES
- 4) COMPENSATING STORAGE/ENHANCED WETLANDS - 3.532 ACRES



SECTION TYPICAL VEGETATIVE WETLAND BUFFER

SCALE: NTS

ARCHITECTURAL DESIGN STANDARDS

OVERVIEW

These design standards and guidelines have been prepared to provide direction to the builder(s) within this community in order to establish compliance with the City of Winter Garden's standards and assure the quality of development within this community. These standards are meant to provide guidance to the builder. More comprehensive architectural standards will be prepared in association with the homeowner's association documents and architectural controls for the community.

SETBACKS

The following building setbacks for residential units will be adhered to within this community:

- Front: 20'
- Front porch: 15'
- Garage front facing: 25'
- Garage side facing: 20'
- Side yard: 5'
- Side yard 90' lots: 7.5'
- Corner lots: 25'
- Low courtyard walls: 15'
- Rear accessory structures and pool enclosures: 5'
- Side accessory structures and pool enclosures: 5'

*** Notes:**

1. Front loaded garages shall be set at least five feet behind the primary building facade unless the front porch projects a minimum of five feet beyond the garage.
2. Side entry garages may be located in front of the primary building facade so long as it remains behind the front setback.
3. Residential units with a five foot recess or side loaded main garages shall have a twenty foot front setback. All other front facing garages shall have a minimum twenty five foot setback.

ARCHITECTURAL DESIGN

Approved Architectural Themes

The overall architectural themes encouraged for Lake Roberts Reserve embrace a variety of designs including classical architecture with authentic detailing, transitional designs reflecting a blend of the past and present, and contemporary styles featuring traditional materials applied in a more modern fashion.

Prohibited Architectural Styles

These include ultra-contemporary and overly modern designs, as well as certain stylized themes including but not limited to:

- International Revival
- Miesian
- Art Modern
- Art Deco
- Post Modern
- Geodesic Domes
- A-Frames
- Pole Homes

EXTERIOR ELEVATIONS

Architectural detailing shall be consistent with the overall design theme of the structure and compatible with other structures within the overall design theme of the within the community.

Structures on corner lots will be required to include additional side elevation treatments and architectural details (such as trim, windows, shutters, landscaping, etc.) beyond such standards normally required for other less visible lot locations.

Building Height

The maximum height of a structure shall be 35' (2 stories) measured as defined by the city of winter garden code, excluding chimneys, weather vanes and other appurtenances.

Exterior Wall Materials

The following exterior wall materials are approved or "not approved" for use within the community

Allowed:

- Stucco (cement-based or synthetic coatings)
- Brick
- Stone (natural or manufactured)
- Hardiplank

Not Allowed:

- Lap Cedar Siding
- Plywood Siding (omitted accents only)
- Shingle Siding (limited accents only)
- Decorative Concrete Block
- Vinyl Siding
- Aluminum Siding
- Imitation Brick

Windows

No reflective glass is permitted.

Window Grilles

Decorative grilles, consistent with the architectural theme of the Structure, may be used. Burglar bars, steel security bars, and similar devices are not approved for installation on the exterior of windows or doors.

Front Entry Porches

A front porch shall be defined as a covered outdoor area at or adjacent to the front door of the residential unit and will have a minimum width of eight feet and a minimum depth of six feet. Front porches shall be provided on at least 50% of the homes within this community.

ROOFS

Roof Styles and Pitches

Gable, hip and jerkin head roofs are approved styles for the community. The minimum roof pitch shall be 5 on 12, however, a roof less than the minimum pitch will be acceptable if it is an essential characteristic of an acceptable architectural style such as barrel or "S" tiles for a Mediterranean style home.

A flat or parapet roof is prohibited.

Roof Shingles

A variety of roof shingles are allowed within the community

Allowed:

- Barrel tile
- "S" tile
- Roll tile
- Flat tile
- Slate and simulated slate
- Asphalt shingles, Architectural Grade

Not Allowed:

- Cedar shakes

METAL [SHINGLES OR STANDING SEAM]

Vents and Stacks

All plumbing stacks and vents shall be painted to match roof colors. Such items shall be placed on rear slopes of roofs where possible.

Fascia's

Fascia shall be aluminum, vinyl or wood with solid stain or paint.

Energy Conservation Equipment

Solar Collectors

No solar collector panels or attendant hardware or other energy conservation equipment shall be constructed or installed on any lot unless it is an integral and harmonious part of the architectural design of a structure. Solar collectors shall be flush mounted and installed parallel to the plane of the roof. Whenever possible, solar collectors shall be located on a roof exposure shielded from view from the street to the maximum extent.

Screen Enclosures

Location

Screen enclosures may be used to enclose the sides of a porch covered by a conventional roof structure, to enclose an open-air patio and must be located in rear yard within the Maximum Buildable Area. Screen enclosures shall not be allowed in front yard areas. Pool screen enclosures shall be located within the minimum pool setbacks.

Exterior Colors

Color and Design

Colors will be appropriate for the style of architecture for the individual home and the community as well. Colors will be muted. No primary colors will be allowed for the building surface or trim.

All Rear and Side Elevations must have the same architectural features as the Front Elevation.

SITE DATA - TRACTS

TRACT	ACREAGE	DESCRIPTION	OWNERSHIP
A	8.42 ACRES	STREET R/W	HOMEOWNERS ASSOCIATION
B	0.28 ACRES	LANDSCAPE/OPENSACE	HOMEOWNERS ASSOCIATION
C	0.74 ACRES	RETENTION POND	HOMEOWNERS ASSOCIATION
D	1.58 ACRES	RETENTION POND	HOMEOWNERS ASSOCIATION
E	2.35 ACRES	RETENTION POND	HOMEOWNERS ASSOCIATION
F	1.43 ACRES	RETENTION POND	HOMEOWNERS ASSOCIATION
G	21.53 ACRES	CONSERVATION AREA	HOMEOWNERS ASSOCIATION
H	12.56 ACRES	CONSERVATION AREA	HOMEOWNERS ASSOCIATION
I	2.61 ACRES	COMPENSATING STORAGE	HOMEOWNERS ASSOCIATION
J	2.30 ACRES	COMPENSATING STORAGE	HOMEOWNERS ASSOCIATION
K	0.53 ACRES	RECREATION/OPENSACE	HOMEOWNERS ASSOCIATION
L	0.39 ACRES	RECREATION/OPENSACE	HOMEOWNERS ASSOCIATION
M	0.05 ACRES	LIFT STATION	CITY OF WINTER GARDEN
N	0.07 ACRES	EMERGENCY ACCESS	HOMEOWNERS ASSOCIATION
O	1.17 ACRES	CONSERVATION AREA	HOMEOWNERS ASSOCIATION
P	0.15 ACRES	RECREATION/OPENSACE	HOMEOWNERS ASSOCIATION

WEKIVA STUDY AREA OPEN SPACE CALCULATIONS

OPEN SPACE REQUIRED 25% OF TOTAL LAND AREA 78.865 ACRES = 19.72 ACRES

OPEN SPACE PROVIDED:

a) CONSERVATION AREAS PRESERVED/ENHANCED = 40.45 ACRES

b) RECREATION AREAS = 1.78 ACRES

TOTAL OPEN SPACE PROVIDED 54% = 42.23 ACRES

RECREATION AREA CALCULATIONS

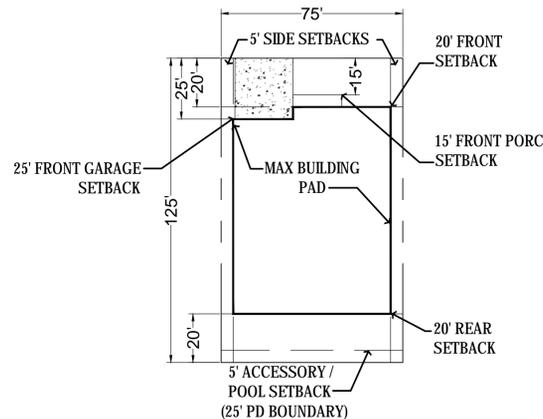
RECREATION AREA REQUIRED 5% OF USEABLE LAND AREA 35.014 ACRES = 1.75 ACRES

RECREATION AREA PROVIDED:

a) RECREATION AREAS =(TRACTS K, L, & P) 1.07 ACRES

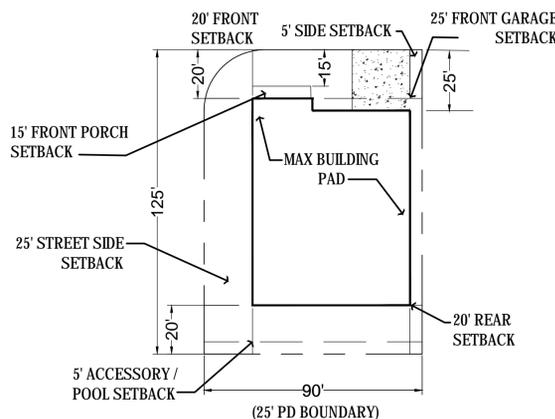
b) BIKE PATH/OBSERVATION AREAS = 0.71 ACRES

TOTAL RECREATION AREA PROVIDED = 1.78 ACRES



PLAN TYPICAL LOT 75' X 125'

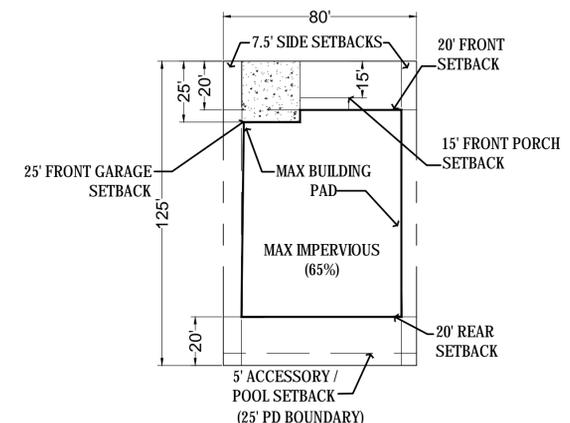
SCALE: NTS



PLAN CORNER LOT 90' X 125'

SCALE: NTS

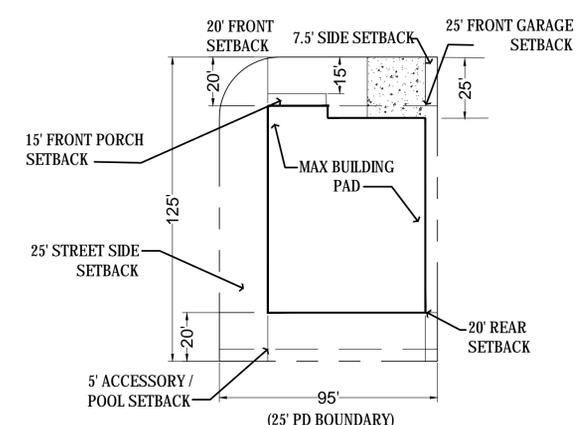
ON CORNER LOTS, NO CURB CUT OR DRIVEWAY SHALL BE CONSTRUCTED OR MAINTAINED ON THE RADIUS OF ANY CURVED CURBING OR WITHIN 15 FEET OF THE POINT OF CURVATURE OF EITHER STREET.



PLAN LOTS (27 - 34) 90' X 125'

*MIN. LOTS (89 & 90) 75 X 115'

SCALE: NTS



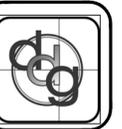
PLAN CORNER LOT 36 95' X 125'

SCALE: NTS



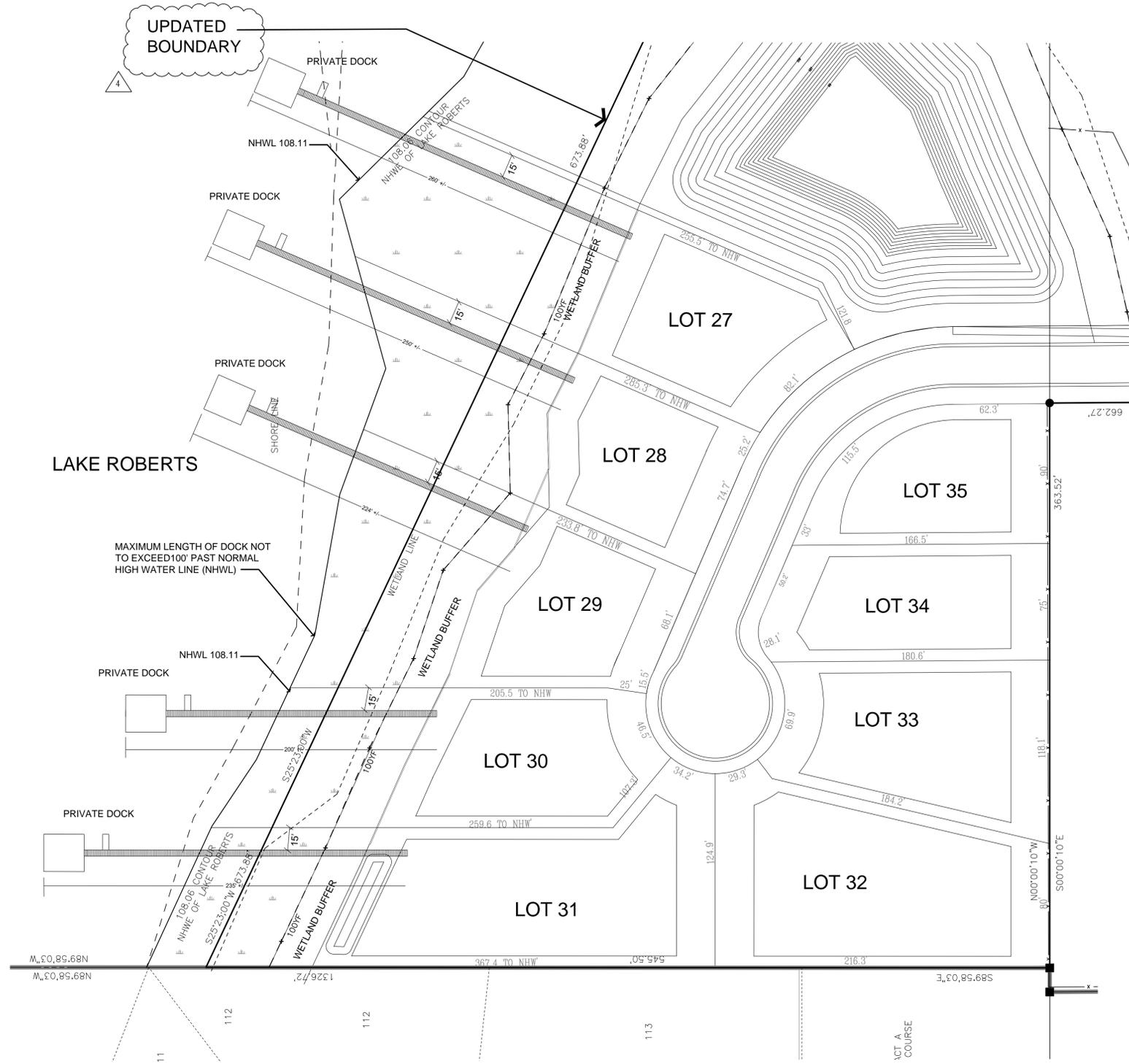
REV.	DATE	DESCRIPTION
4	19-20-2016	REV. PER CITY COMMENTS DATED 7/19/2016
3	7-13-2016	REV. PER CITY COMMENTS DATED 7/5/2016
2	6-24-2016	REV. PER CITY COMMENTS DATED 5/23/2016
1	4-25-2016	REV. PER CITY COMMENTS DATED 3/1/2016

DEVELOPMENT STANDARDS
LAKE ROBERT'S RESERVE
 WINTER GARDEN, FLORIDA



PROJECT NO. 1441
 SCALE 20
 DATE 09/20/2016
 SHEET 18

day design group inc.
 Urban Planning, Landscape Architecture, Project Management, Development Consulting
 913 N Pennsylvania Ave, Winter Park, FL 32789 (407) 740-7373 www.daydesign.com

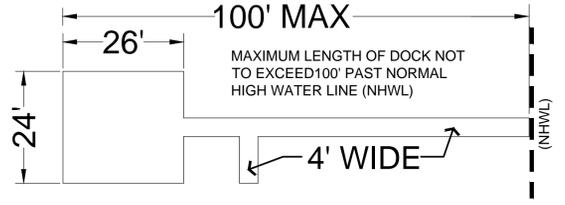


MASTER DOCK PLAN

MASTER DOCK PLAN NOTES

- DOCK LENGTHS MAY NOT EXCEED 100' PAST THE NHWE.
- DOCKS SHALL HAVE A MINIMUM SIDE SETBACK OF 15 FEET FROM THE PROJECTED PROPERTY LINE ABUTTING THE SHORE.
- NO DOCK, WALK, DECK, OR OTHER SIMILAR SHORELINE IMPROVEMENT SHALL HAVE A SURFACE AREA EXCEEDING 1,000 SQUARE FEET.
- INDIVIDUAL BOARDWALKS/BOAT DOCKS ARE CONCEPTUALLY DEPICTED AND SUBJECT TO FINAL DESIGN AND PERMITTING.
- BOARDWALKS/BOAT DOCKS SHALL BE PERMITTED INDIVIDUALLY BY LOT OWNER AND ARE NOT INCLUDED WITH THE SITE INFRASTRUCTURE CONSTRUCTION, WITH EXCEPTION OF ANY COMMUNITY BOARDWALKS, DOCKS AND/OR PIERS.
- DOCKS SHALL COMPLY WITH CITY OF WINTER GARDEN ORDINANCE 11-20 (AS CODIFIED IN CHAPTER 118 OF THE CITY CODE).
- DOCKS SHALL BE PERMITTED FOR LOTS 27-32
- THE HOMEOWNER SHALL HAVE THE OPTION TO SHORTEN THE LENGTH OF THEIR WALKWAY; HOWEVER, THE LENGTH OF THE DOCK SHOWN IS THE MAXIMUM ALLOWED.

CITY OF WINTER GARDEN WILL PERMIT ALL DOCK REQUESTS FROM LOTS 27-31.



TYPICAL SINGLE DOCK DETAIL



Date: _____

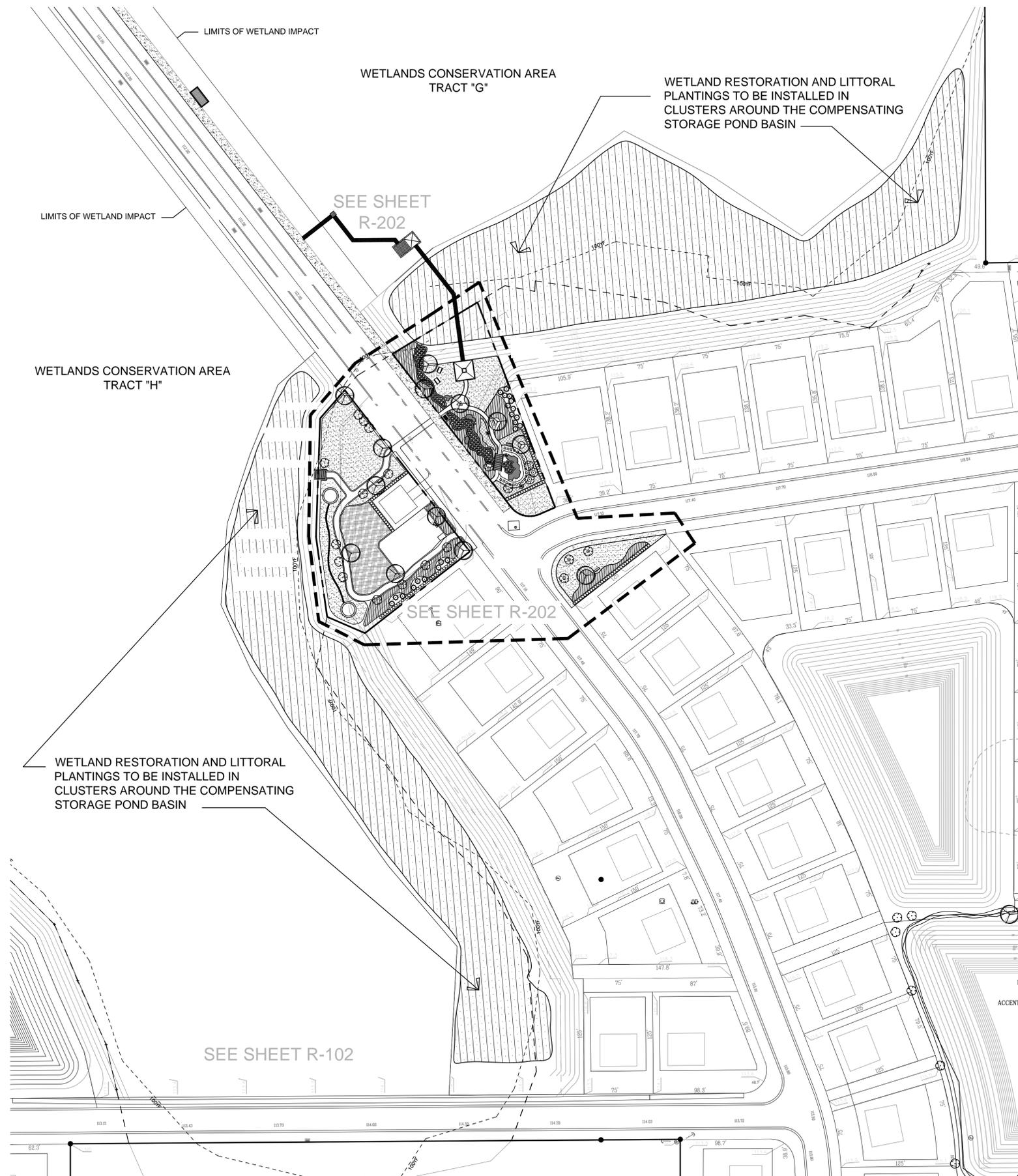
daly design group inc.
 Urban Planning, Landscape Architecture, Project Management, Development Consulting
 913 N Pennsylvania Ave, Winter Park, FL 32789 (407) 740-7373 www.dalydesign.com

REV	DATE	DESCRIPTION	BY
4	9-20-2016	REV. PER CITY COMMENTS DATED 7/19/2016	pc
3	7-13-2016	REV. PER CITY COMMENTS DATED 7/5/2016	pc
2	6-24-2016	REV. PER CITY COMMENTS DATED 5/23/2016	pc
1	4-25-2016	REV. PER CITY COMMENTS DATED 3/1/2016	pc

MASTER DOCK PLAN
DOCKS
LAKE ROBERT'S RESERVE
 WINTER GARDEN, FLORIDA



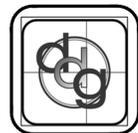
PROJECT NO.
1441
 SCALE
40
 DATE
09/2016
 SHEET
D-201



daly design group inc.
 Urban Planning, Landscape Architecture, Project Management, Development Consulting
 913 N Pennsylvania Ave, Winter Park, FL 32789 (407) 740-7373 www.dalydesign.com

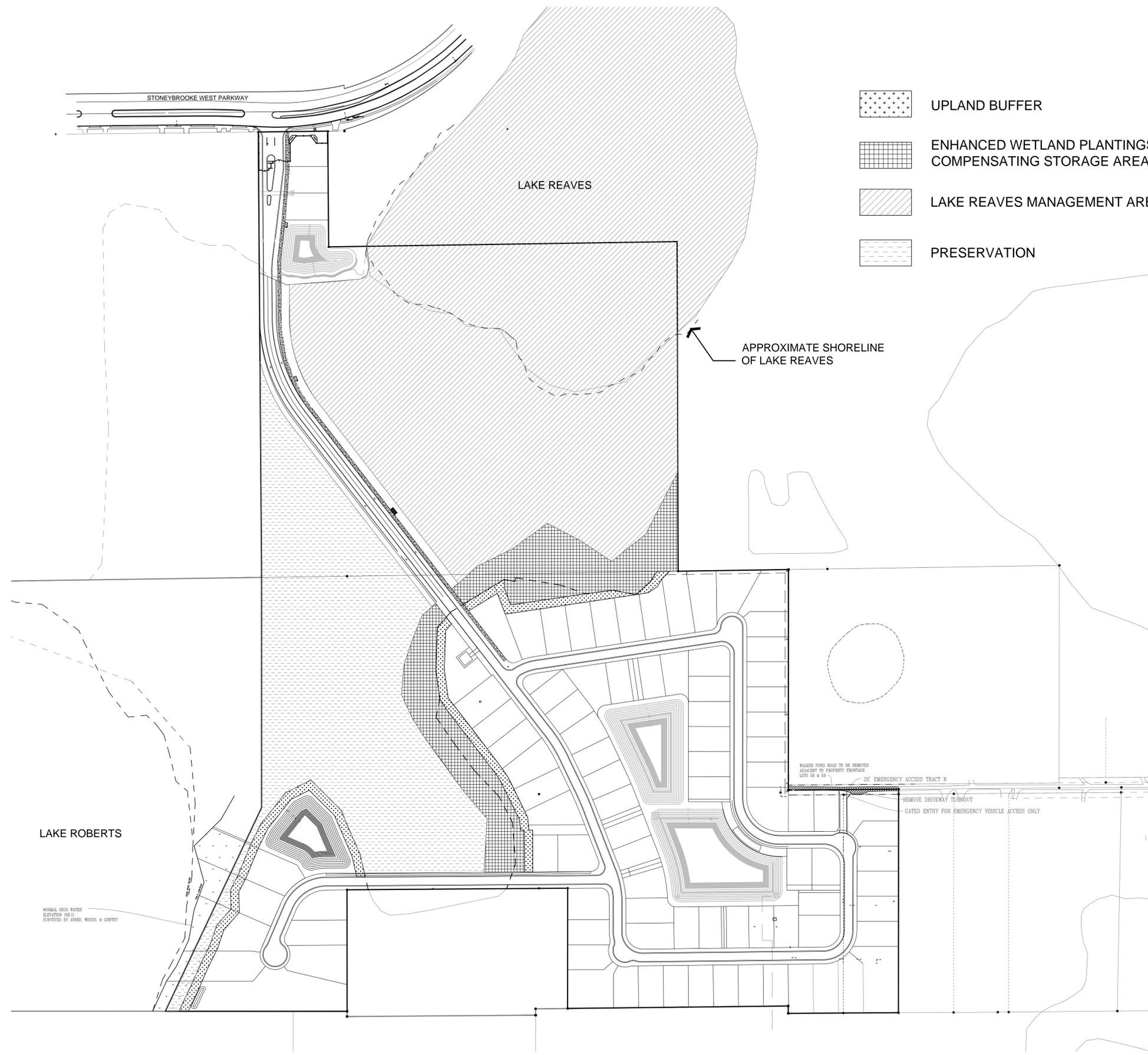
REV.	DATE	DESCRIPTION
4	6-30-2016	REV. PER CITY COMMENTS DATED 7/19/2016
3	7-13-2016	REV. PER CITY COMMENTS DATED 7/5/2016
2	6-24-2016	REV. PER CITY COMMENTS DATED 6/23/2016
1	4-25-2016	REV. PER CITY COMMENTS DATED 3/1/2016

COMP. STORAGE ENHANCEMENT PLAN
 COMPENSATIVE STORAGE
 LAKE ROBERT'S RESERVE
 WINTER GARDEN, FLORIDA



PROJECT NO.
1441
 SCALE
60
 DATE
09/20/16
 SHEET
E-201

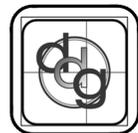
Date: _____



daly design group inc.
 Urban Planning, Landscape Architecture, Project Management, Development Consulting
 913 N Pennsylvania Ave, Winter Park, FL 32789 (407) 740-7373 www.dalydesign.com

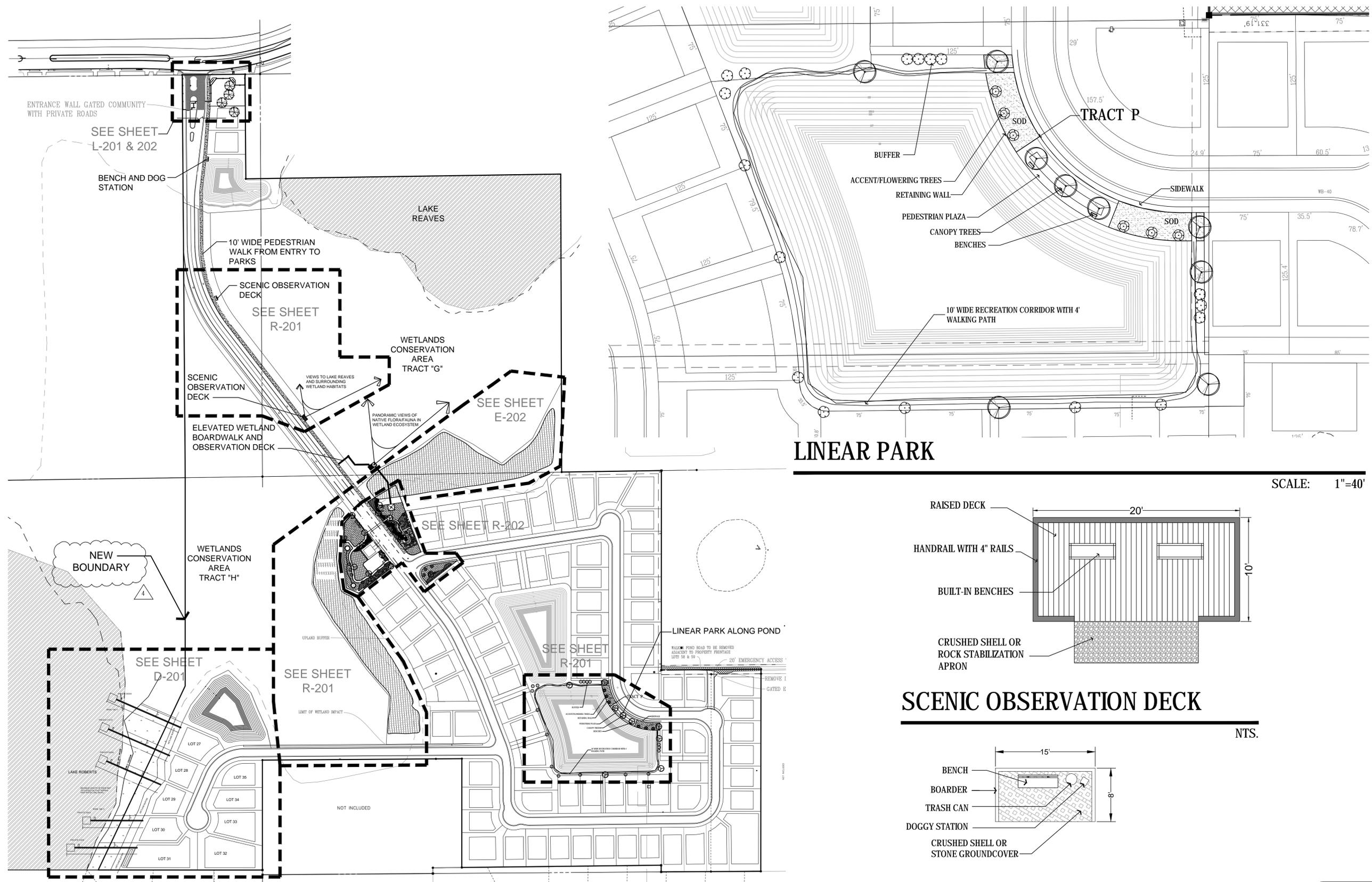
REV.	DATE	DESCRIPTION	BY
4	6-30-2016	REV. PER CITY COMMENTS DATED 7/19/2016	jcc
3	7-13-2016	REV. PER CITY COMMENTS DATED 7/5/2016	jcc
2	6-24-2016	REV. PER CITY COMMENTS DATED 6/23/2016	jcc
1	4-25-2016	REV. PER CITY COMMENTS DATED 3/1/2016	jcc

ENVIRONMENTAL ENHANCEMENT PLAN
LAKE ROBERT'S RESERVE
 WINTER GARDEN, FLORIDA



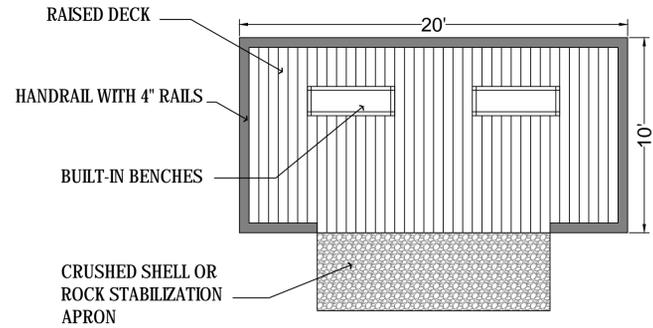
PROJECT NO.
1441
 SCALE
150
 DATE
09/20/16
 SHEET
E-202

Date: _____



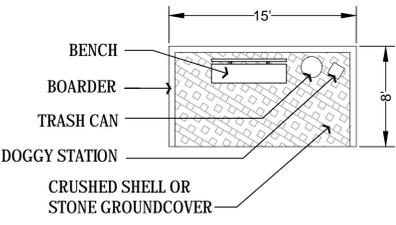
LINEAR PARK

SCALE: 1"=40'



SCENIC OBSERVATION DECK

NTS.



BENCH & DOG STATION

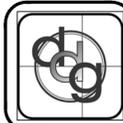
NTS.



daily design group inc.
 Urban Planning, Landscape Architecture, Project Management, Development Consulting
 913 N Pennsylvania Ave, Winter Park, FL 32789 (407) 740-7373 www.dailydesign.com

REV.	DATE	DESCRIPTION	BY
4	6-30-2016	REV. PER CITY COMMENTS DATED 7/19/2016	jcc
3	7-13-2016	REV. PER CITY COMMENTS DATED 7/5/2016	jcc
2	6-24-2016	REV. PER CITY COMMENTS DATED 6/23/2016	jcc
1	4-25-2016	REV. PER CITY COMMENTS DATED 3/1/2016	jcc

RECREATION MASTER PLAN
 KEY/ RECREATION PLAN
 LAKE ROBERT'S RESERVE
 WINTER GARDEN, FLORIDA

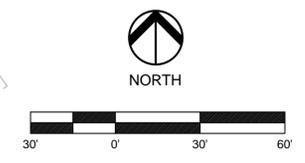
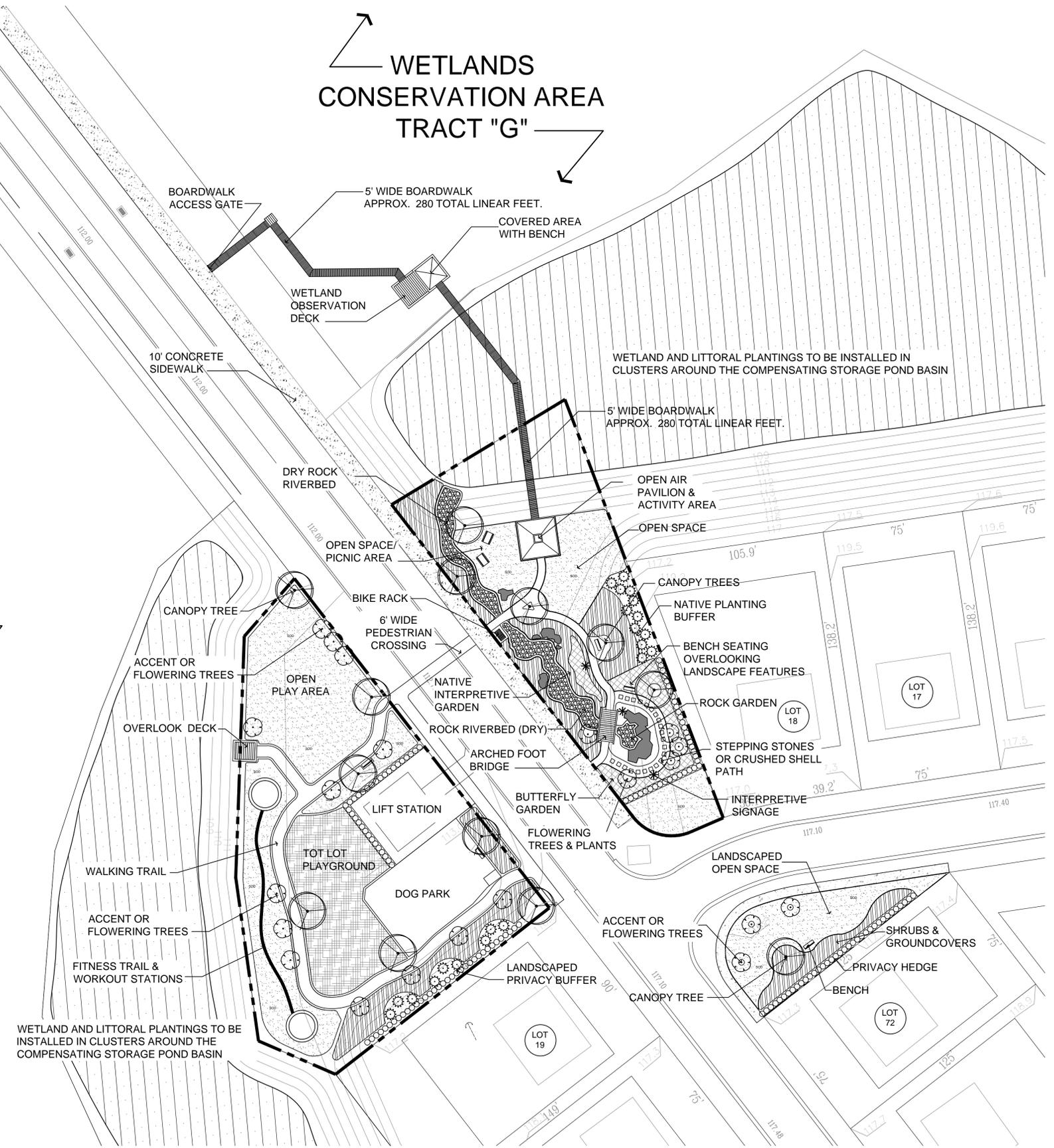


PROJECT NO.
1441
 SCALE
150
 DATE
09/20/16
 SHEET
R-201

Date: _____

WETLANDS
CONSERVATION AREA
TRACT "G"

WETLANDS
CONSERVATION AREA
TRACT "H"



daly design group inc.
Urban Planning, Landscape Architecture, Project Management, Development Consulting
913 N Pennsylvania Ave, Winter Park, FL 32789 (407) 740-7373 www.dalydesign.com

REV.	DATE	DESCRIPTION	BY
4	19-20-2016	REV. PER CITY COMMENTS DATED 7/19/2016	jcc
3	7-13-2016	REV. PER CITY COMMENTS DATED 7/5/2016	jcc
2	6-24-2016	REV. PER CITY COMMENTS DATED 5/23/2016	jcc
1	4-25-2016	REV. PER CITY COMMENTS DATED 3/1/2016	jcc

RECREATION PLAN
PARKS AND OPEN SPACE
LAKE ROBERT'S RESERVE
WINTER GARDEN, FLORIDA



PROJECT NO.
1441
SCALE
20
DATE
09/20/16
SHEET
R-202

LAKE ROBERT'S RESERVE

Winter Garden, Florida



1 ENTRANCE VIEW FROM STONEYBROOK ROAD

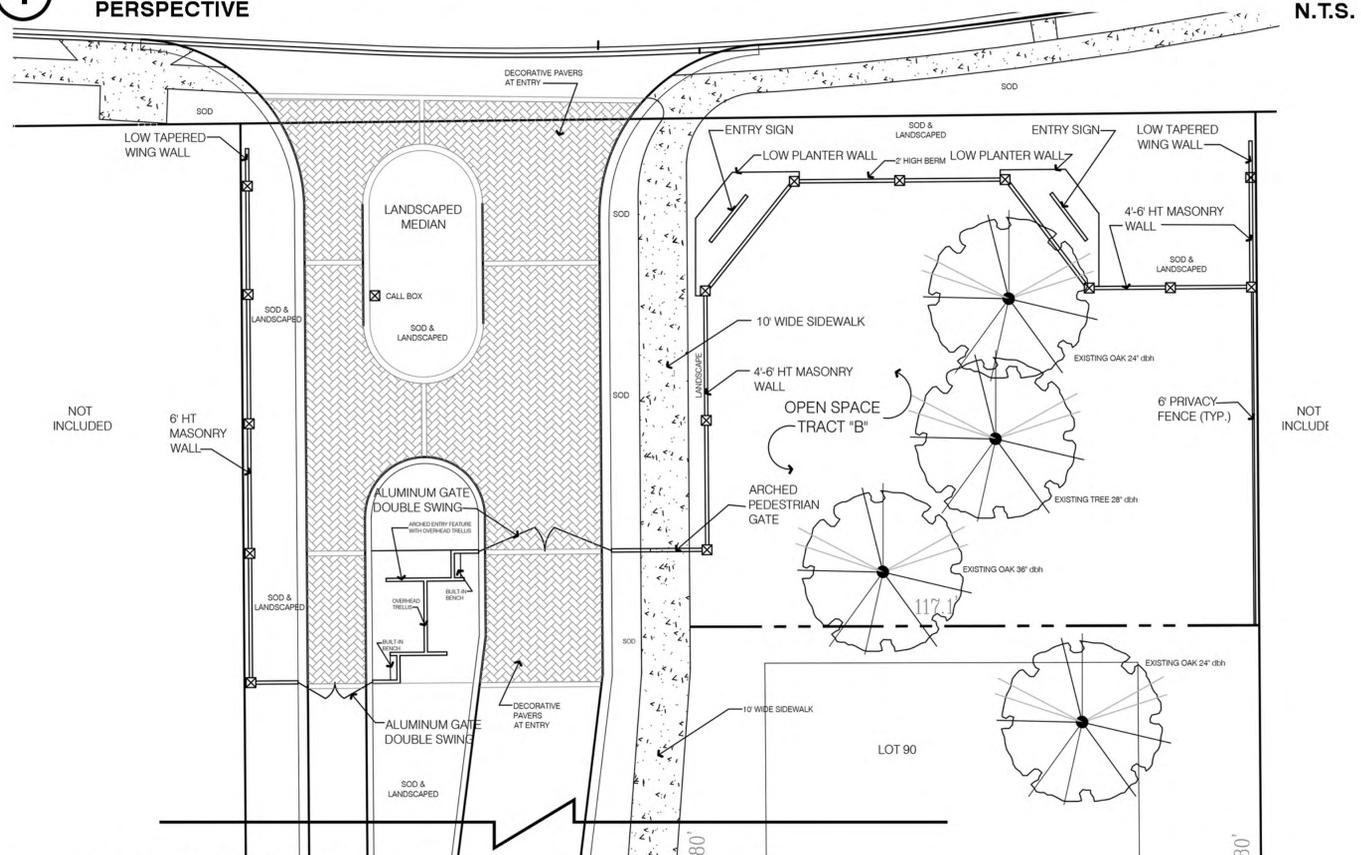
PERSPECTIVE

N.T.S.

3 ENTRANCE GATES

AERIAL PERSPECTIVE

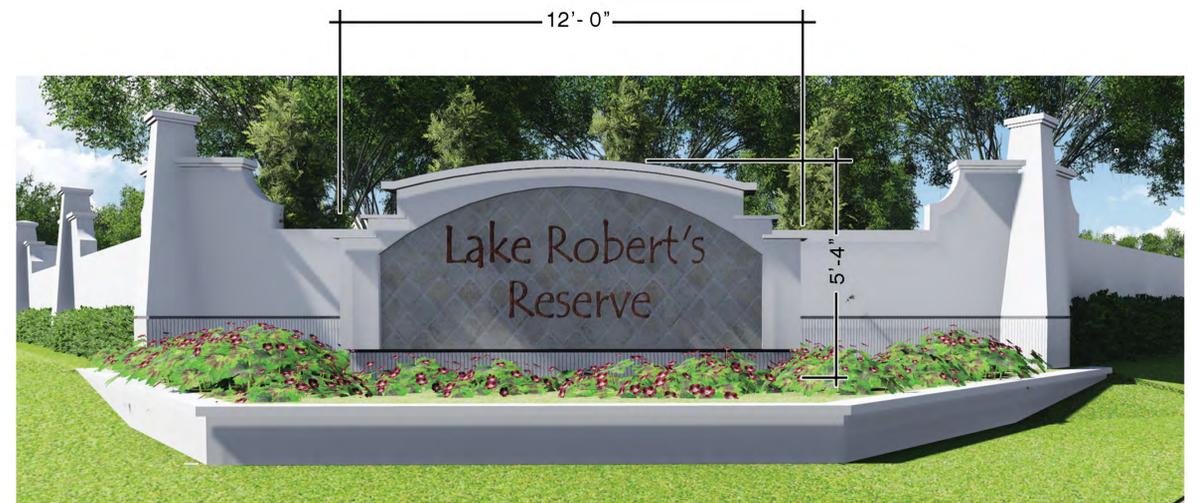
N.T.S.



2 ENTRANCE FEATURES

PLAN

N.T.S.



4 ENTRANCE SIGN

ELEVATION

N.T.S.



LAKE ROBERT'S RESERVE

Winter Garden, Florida



5 VEHICULAR GATES
PERSPECTIVE-ELEVATION

N.T.S.



7 PEDESTRIAN GATE
ELEVATION

N.T.S.



6 ENTRANCE FEATURES
ELEVATION

N.T.S.



8 GATEWAY TRELLIS
PERSPECTIVE

N.T.S.

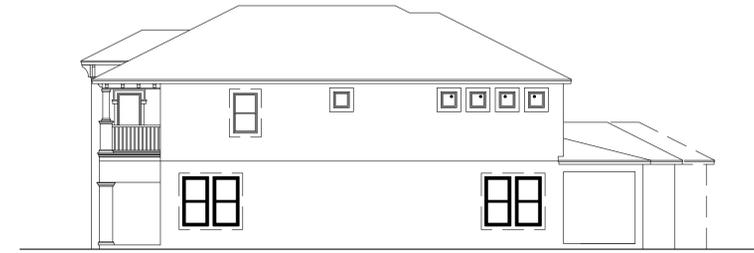




1 **ELEVATION SEBASTIAN FRONT**
SCALE: NTS



1A **ELEVATION SEBASTIAN LEFT**
SCALE: NTS



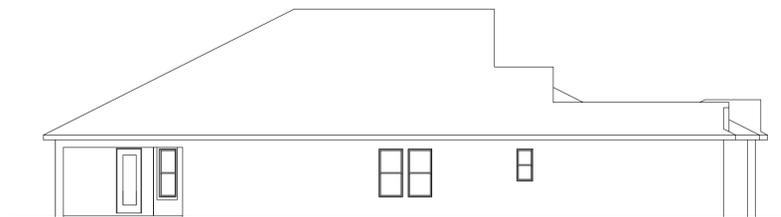
1B **ELEVATION SEBASTIAN RIGHT**
SCALE: NTS



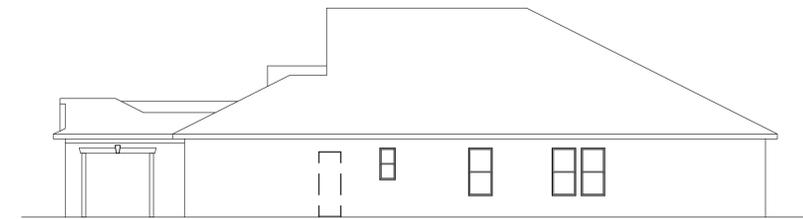
1C **ELEVATION SEBASTIAN REAR**
SCALE: NTS



2 **ELEVATION CANNES FRONT**
SCALE: NTS



2A **ELEVATION CANNES LEFT**
SCALE: NTS



2B **ELEVATION CANNES RIGHT**
SCALE: NTS



2C **ELEVATION CANNES REAR**
SCALE: NTS

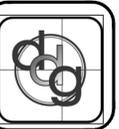
NOTE:
ALL REAR & SIDE ELEVATIONS MUST HAVE THE
SAME ARCHITECTURAL FEATURES AS THE
FRONT ELEVATIONS.



Date:

REV.	DATE	DESCRIPTION	BY
4	9-20-2016	REV. PER CITY COMMENTS DATED 7/19/2016	jcc
3	7-13-2016	REV. PER CITY COMMENTS DATED 7/5/2016	jcc
2	6-24-2016	REV. PER CITY COMMENTS DATED 5/23/2016	jcc
1	4-25-2016	REV. PER CITY COMMENTS DATED 3/1/2016	jcc

ELEVATIONS
LAKE ROBERT'S RESERVE
WINTER GARDEN, FLORIDA



PROJECT NO.
1441
SCALE
NTS
DATE
09/20/16
SHEET
EL-301

daly design group inc.
Urban Planning, Landscape Architecture, Project Management, Development Consulting
913 N Pennsylvania Ave, Winter Park, FL 32789 (407) 740-7373 www.dalydesign.com

ORDINANCE 16-42

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA PROVIDING FOR THE ANNEXATION OF CERTAIN ADDITIONAL LANDS GENERALLY DESCRIBED AS APPROXIMATELY 78.87 ± ACRES LOCATED ON THE SOUTH SIDE OF STONEYBROOK WEST PARKWAY, NORTH OF MCKINNON ROAD AND WEST OF WINDERMERE ROAD INTO THE CITY OF WINTER GARDEN FLORIDA; REDEFINING THE CITY BOUNDARIES TO GIVE THE CITY JURISDICTION OVER SAID PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner of the land, generally described as approximately 78.87 ± acres located at 12564 Stoneybrook West Pkwy and 12451, 12304, and 12174 Walker Pond Road on the south side of Stoneybrook West Parkway, north of McKinnon road and west of Windermere road and legally described in Section 2 of this Ordinance, which land is reasonably compact and contiguous to the corporate limits of the City of Winter Garden, Florida (“City”), has, pursuant to the prerequisites and standards set forth in § 171.044, Fla. Stat., petitioned the City Commission for voluntary annexation;

WHEREAS, the petition for voluntary annexation referenced herein bears the signatures of all owners of the property or properties described in Section 2 of this Ordinance (*i.e.*, the property or properties to be annexed); and

WHEREAS, the City has determined that the property described in Section 2 of this Ordinance is located in an unincorporated area of the County and that annexation of such property will not result in the creation of an enclave.

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: *Annexation.* That the City Commission through its Planning and Zoning Board has conducted an investigation to determine whether the described property meets the prerequisites and standards set forth in Chapter 171, Fla. Stat. and has held a public hearing and said petition and made certain findings.

SECTION 2: *Description of Area Annexed.* That, after said public hearing and having found such petition meets said prerequisites and standards, the property legally defined in ATTACHMENT “A” and graphically shown on the attached map shall be annexed into the City of Winter Garden, Florida.

SECTION 3: *Effect of Annexation.* That the City of Winter Garden, Florida, shall have all of the power, authority, and jurisdiction over and within the land as described in Section 2 hereof, and the inhabitants thereof, and property therein, as it does and have

over its present corporate limits and laws, ordinances, and resolutions of said City shall apply and shall have equal force and effect as if all territory had been part of said City at the time of the passage of such laws, ordinances, and resolutions.

SECTION 4: *Apportionment of Debts and Taxes.* Pursuant to § 171.061, Fla. Stat., the area annexed to the City shall be subject to all taxes and debts of the City upon the effective date of annexation. However, the annexed area shall not be subject to municipal ad valorem taxation for the current year if the effective date of the annexation falls after the City levies such tax.

SECTION 5: *Instructions to Clerk.* Within seven (7) days following the adoption of this Ordinance, the City Clerk or his/her designee is directed to file a copy of this ordinance, including ATTACHMENT "A" hereto, with the clerk of the circuit court and the chief administrative officer of Orange County as required by § 171.044(3), Fla. Stat.

SECTION 6: *Severability.* Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

SECTION 7: *Effective Date.* This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2016.

SECOND READING AND PUBLIC HEARING: _____, 2016.

ADOPTED this _____ day of _____, 2016, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

KATHY GOLDEN, City Clerk

ATTACHMENT "A"
LEGAL DESCRIPTION

PARCEL ID#: 36-22-27-0000-00-058, 01-23-27-0000-00-009 (a portion),
01-23-27-0000-00-004, 01-23-27-0000-00-058,
01-23-27-0000-00-030, 01-23-27-0000-00-003,
01-23-27-0000-00-066, 01-23-27-0000-00-050

DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ORANGE, STATE OF FL, AND IS DESCRIBED AS FOLLOWS:
PARCEL "A-1"

PARCEL 1:

Begin at the Northeast corner of Government Lot 2 in Section 1, Township 23 South, Range 27 East, and run West 1043.75 feet, thence South 417.42 feet, thence East 1043.75 feet, thence North 417.42 feet to place of beginning, in Orange County, Florida.

PARCEL 2:

The North half (N 1/2) of Government Lot 2 in Section 1, Township 23 South, Range 27 East, Orange County, Florida, less the following described tracts:

Begin at the Northeast corner of Government Lot 2 in Section 1, Township 23 South, Range 27 East, and run West 1043.75 feet, thence South 417.42 feet, thence East 1043.75 feet, thence North 417.42 feet to place of beginning, in Orange County, Florida.

AND

The East 1/2 of the South 370 feet of the North 1/2 of Government Lot 2, Section 1, Township 23 South, Range 27 East, less the South 19 feet, more or less, Public Records of Orange County, Florida.

AND

The South 379 feet of W 1/2 of N 1/2, Government Lot 2, Section 1, Township 23 South, Range 27 East, in Orange County, Florida.

PARCEL 3:

From the Southeast corner of the Northeast 1/4 of Section 1, Township 23 South, Range 27 East, Orange County, Florida, run N 00°36'11" E along the East line of the Southeast 1/4 of the Northeast 1/4 of said Section 1, 1337.56 feet; thence run N 89°53'46" W, 1324.32 feet to the Southeast corner of the North 1/2 of Government Lot 2, said Section 1; thence run N 00°34'06" E along the East line of the North 1/2 of said Government Lot 2 a distance of 370.01 feet to the Northeast corner of the East 1/2 of the South 370.00 feet of said Government Lot 2 and the Point of Beginning; thence run N 89°53'46" W along the North line of said East 1/2 of the South 370.00 feet of said Government Lot 2 a distance of 662.28 feet to the Northwest corner of the said East 1/2 of the South 370.00 feet; thence run N 00°33'03" E along the East line of the West 1/2 of the South 379.00 feet, 9.00 feet to the Northeast corner of the West 1/2 of the South 379.00 feet of said North 1/2 of Government Lot 2 a distance of 86.09 feet; thence run N 00°34'06" E, parallel to the East line of the North 1/2 of said Government Lot 2, a distance of 281.65 feet; thence run N 89°52'47" E, 748.40 feet to a point on the East line of the North 1/2 of said Government Lot 2; thence run S 00°34'06" W along the East line of said Government Lot 2 a distance of 293.58 feet to the Point of Beginning.

PARCEL 4:

The East 1/2 of the South 370 feet of the North 1/2 of Government Lot 2, Section 1, Township 23 South, Range 27 East, less the South 19 feet, more or less, Public Records of Orange County, Florida.

PARCEL "A-2" (A) (McMurtrey):

PARCEL 1:

THE EAST 1/2 OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA.

TOGETHER WITH AN EASEMENT FOR ACCESS RESERVED IN QUIT CLAIM DEED RECORDED JULY 14, 2000 IN OFFICIAL RECORDS BOOK 6045, PAGE 26, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

AND

PARCEL 2:

THE WEST ¼ OF THE SOUTHWEST ¼ OF THE NORTHEAST ¼ OF THE NORTHEAST ¼ OF SECTION 1, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA.

TOGETHER WITH AN EASEMENT FOR ACCESS RESERVED IN QUIT CLAIM DEED RECORDED JULY 14, 2000 IN OFFICIAL RECORDS BOOK 6045, PAGE 24, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PARCEL "A-2" (B) (Balgobin):

BEGIN AT THE SOUTHEAST CORNER OF THE SOUTHEAST ¼ OF THE SOUTHWEST ¼ OF SECTION 36, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, THENCE RUN SOUTH 88 DEGREES 42' 04" WEST ALONG THE SOUTH LINE OF THE SOUTHEAST ¼ OF THE SOUTHWEST ¼ 256.59 FEET; THENCE NORTH 00 DEGREES 37' 05" WEST, 1,332.48 FEET TO A POINT ON THE NORTH LINE OF THE SOUTHEAST ¼ OF THE SOUTHWEST ¼; THENCE NORTH 88 DEGREES 58' 00" EAST ALONG THE NORTH LINE OF THE SOUTHEAST ¼ OF THE SOUTHWEST ¼ 208.70 FEET; THENCE SOUTH 00 DEGREES 37' 05" EAST 346.00 FEET; THENCE NORTH 88 DEGREES 57' 41" EAST PARALLEL TO THE SOUTH LINE OF THE SOUTHWEST ¼ OF THE SOUTHEAST ¼ 49.48 FEET; THENCE SOUTH 00 DEGREES 31' 27" EAST 985.31 FEET TO THE POINT OF BEGINNING.

AND

THE SOUTH 985.27 FEET OF THE WEST ¼ OF THE SOUTHWEST ¼ OF THE SOUTHEAST ¼ OF SECTION 36, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA.

PARCEL "A-2" (C) (Busby)

The Northeast one quarter (NE ¼), of the Northwest one quarter (NW ¼), of Section 1, Township 23 South, Range 27 East, Orange County, Florida.

LESS

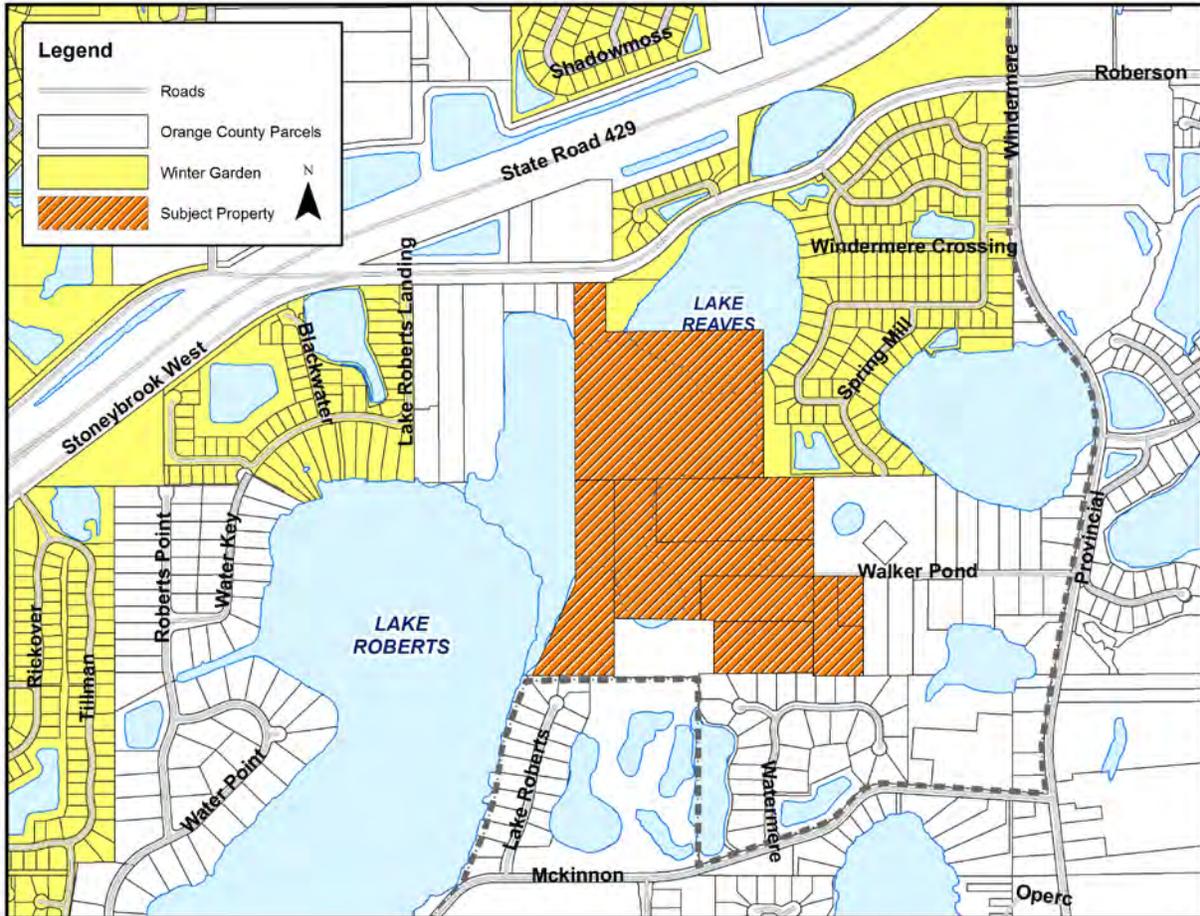
That part of the Northeast 1/4 of the Northwest 1/4 of Section 1, Township 23 South, Range 27 East, Orange County, Florida being more particularly described as follows:

COMMENCE at the Northeast corner of the Northeast 1/4 of the Northwest 1/4 of Section 1, Township 23 South, Range 27 East Orange County, Florida and also being a point on the South Boundary of that certain parcel of land described and recorded in Orange County Document #20160208547, of the Public Records of Orange County Florida; thence South 89 degrees 11 minutes 18 seconds West 256.59 feet along the North boundary of said Northeast 1/4 of the Northwest 1/4 and said South boundary of said parcel of land to the POINT OF BEGINNING, said point being the Southwest corner of said parcel of land; thence South 00 degrees 00 minutes 00 seconds West 688.26 feet; thence South 25 degrees 23 minutes 00 seconds West 673.88 feet to a point on the South boundary of said Northeast 1/4 of the Northwest 1/4; thence North 89 degrees 58 minutes 03 seconds West 781.22 feet along said South boundary to the Southwest corner of said Northeast 1/4 of the Northwest 1/4; thence North 00 degrees 00 minutes 59 seconds West 1281.47 feet along the West boundary of said Northeast 1/4 of the Northwest 1/4 to the Northwest corner of said Northeast 1/4 of the Northwest 1/4; thence North 89 degrees 11 minutes 18 seconds East 1070.56 feet along said North boundary of the Northeast 1/4 of the Northwest 1/4 to the Point of Beginning.

ATTACHMENT "B"

LOCATION MAP

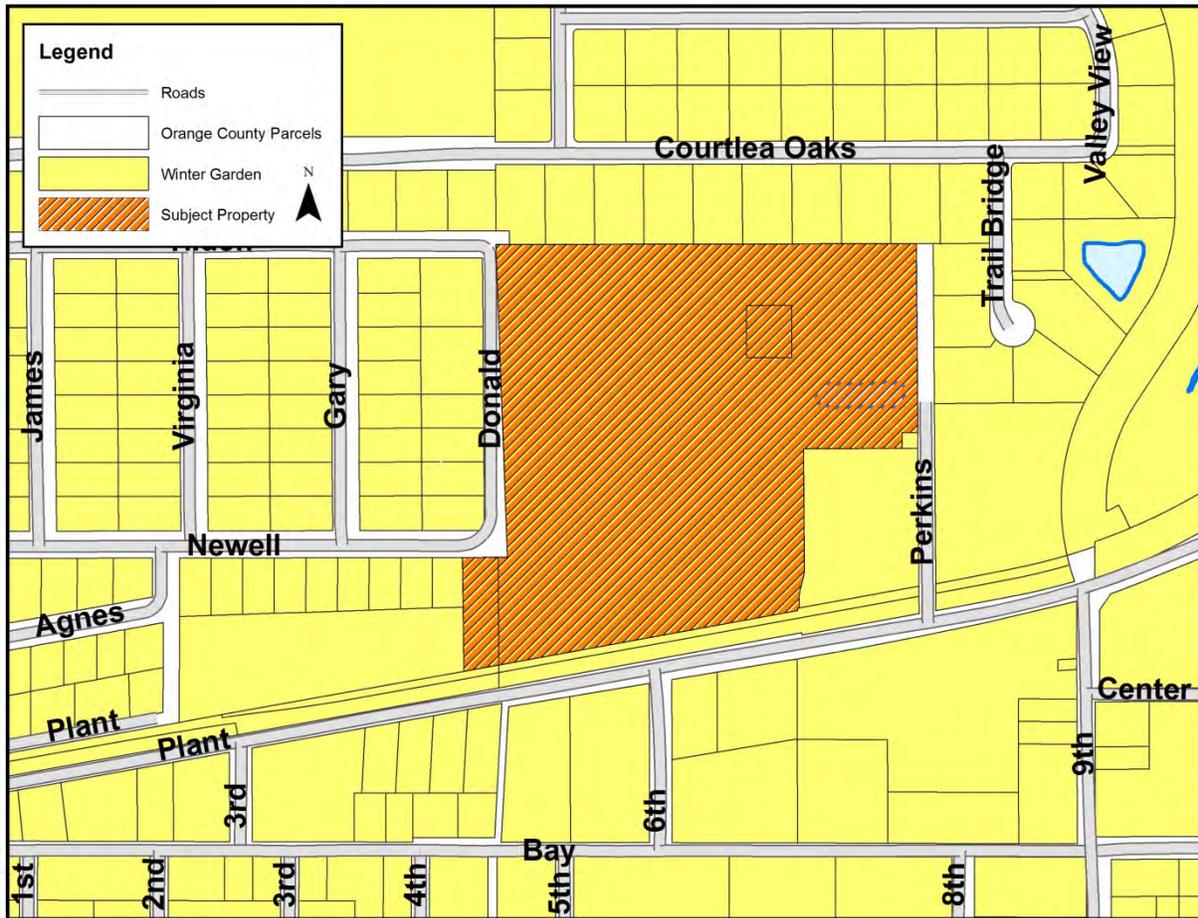
Lake Roberts Reserve



LOCATION MAP

Heritage at Plant Street
605 E Plant St

PRELIMINARY PLAT



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

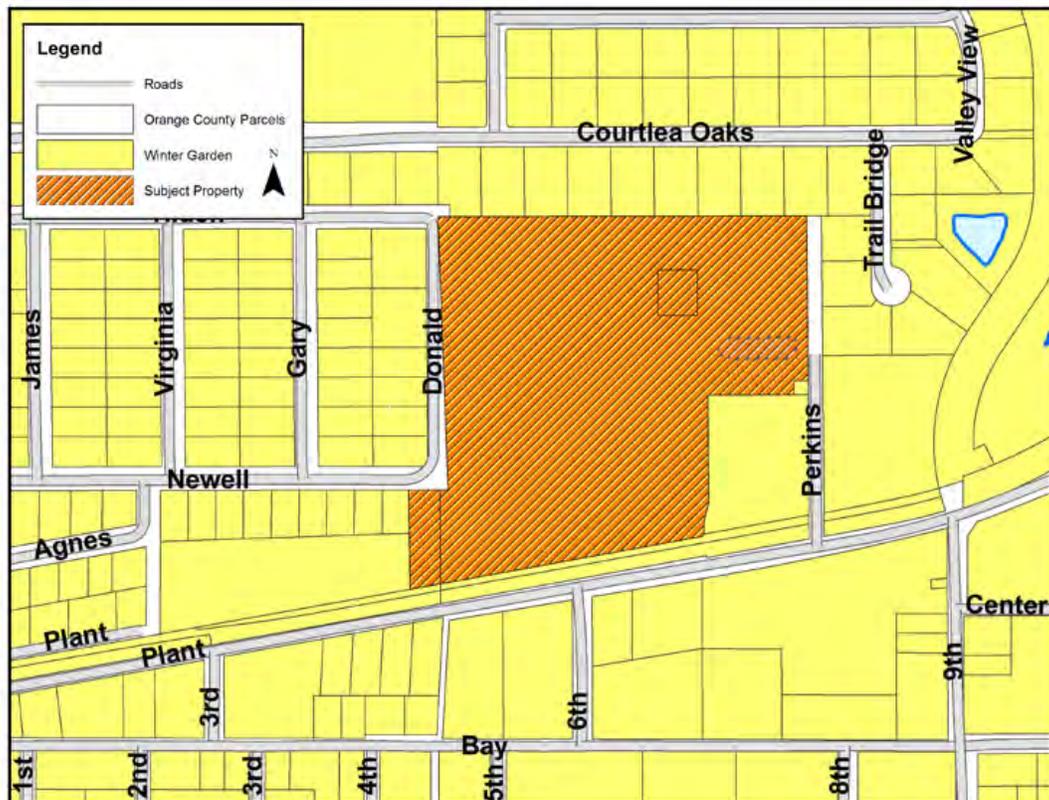
STAFF REPORT

TO: PLANNING AND ZONING BOARD
PREPARED BY: KELLY CARSON, URBAN DESIGNER
DATE: NOVEMBER 3, 2016
SUBJECT: PRELIMINARY PLAT
605 & 755 E. Plant Street & 290 E. Newell Street (16.66 +/-ACRES)
HERITAGE AT PLANT STREET
PARCEL ID # 14-22-27-0000-00-012; 14-22-27-0000-00-016;
14-22-27-5656-01-391

APPLICANT: M.I. Homes of Orlando, LLC

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan. The subject property, located north of East Plant Street, east of Donald Drive, and west of Perkins Street, is approximately 16.66± acres in size. The map below depicts the location of the subject property within the City of Winter Garden municipal limits.



The applicant is requesting approval of Preliminary Plat of the 16.66± acre property, which is the Heritage at Plant Street Subdivision for 43 new townhomes lots and 41 single family residential lots. The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation PUD (Planned Unit Development) in the City of Winter Garden (PUD rezoning was approved by the Planning and Zoning Board on October 3, 2016). The subject property is designated Downtown Transitional on the Future Land Use Map of the Comprehensive Plan.

EXISTING USE

The subject property currently contains several structures that remain from when the land was used for citrus production. There are several metal buildings located on site with associated parking areas and utility infrastructure. The remaining property contains remnant citrus groves, which are in poor condition. There is also an existing drainage pond on the property, which is currently utilized by both the subject property and the library parcel to the west.

ADJACENT LAND USE AND ZONING

The adjacent properties include a parcel to the east of the subject property at 805 East Plant Street, which is zoned R-1 and contains the Winter Garden branch of the Orange County library system. To the north of the subject property are a series of single-family residential lots that are part of the Courtlea Oaks subdivision, which are zoned R-1. There are also a series of single-family residential properties located to the west of the subject property across from Donald Drive, which are zoned R-2. There is also a West Orange Trail facility and recreation area property located to the west at 455 East Plant Street. This property is also zoned R-2. To the south of the subject property are four parcels zoned I-2 and located at 606, 640, 646, and 730 East Plant Street. The contents of these parcels include office buildings and a metal warehouse building. There is also a vacant City-owned property zoned C-2 located to the south at 848 East Plant Street. All of the adjacent properties are located within the City of Winter Garden's jurisdictional limits.

PROPOSED USE

The developer intends to purchase the subject property and construct 43 new townhomes and 41 single family residences. A portion of the townhomes (25 out of the proposed 43) will be permitted to build a granny flat above the detached garage. The project will include associated streets and vehicular alleys, pedestrian walks, entrance design features, a centrally-located recreation area with a swimming pool, a golf cart access path, retention ponds with fountain features, perimeter fencing, and other site improvements.

SUMMARY

Staff and DRC recommends conditional approval of the proposed Preliminary Plat, subject to the following conditions:

1. The applicant is required to pay for the undergrounding of the overhead utility lines along E Plant Street.
2. The entrance on Plant Street shall have right and left turn exiting lanes – 12' minimum pavement width, as shown.
3. 5 foot wide side building setbacks will only be allowed provided that no obstructions of

any kind are allowed within the 5 foot setback area. 5 foot wide drainage and utility easements on side and rear lot lines and 10' drainage, utility & sidewalk encroachment easement are required adjacent to rights-of-way.

4. There is a significant grade change between the existing Library site and the proposed project. This issue will need to be addressed with Final Engineering.
5. A Right-of-Way maintenance agreement for landscaping, irrigation, medians, signs, special pavements, etc. within City rights-of-way will be required if any of these improvements are within City R/W.
6. Library drainage shall be accommodated and shall include the necessary easements, etc. SJRWMD permit modification required.
7. When Plant Street was improved a few years ago, a storm stub-out was provided for the existing flow from this parcel that doesn't go towards the Library/Perkins. Pre/Post conditions shall be met.
8. Per the plan, HDPE pipe is proposed. HDPE pipe shall meet all City requirements, including Class I bedding, laser profiling, etc. City Standards can be found on the website. Revise as necessary if this is not the case.
9. The existing lift station and discharge force main shall be examined/analyzed for capacity with the new development. Any upgrades required will be at the Developer's expense.
10. All construction shall meet City of Winter Garden requirements for drainage, roadways and utilities.
11. Existing utility and access easements shown on the Boundary Survey shall be vacated or extinguished prior to final plat recording.
12. West Orange Trail R/W is owned by the City of Winter Garden with an easement to Orange County for the Trail. Orange County Parks & Rec shall review and approve the crossing over the Trail, prior to construction. Additional details shall be provided on the final construction plans to prevent vehicular access to the Trail; signage; etc.
13. Final plans and drainage calculations shall show the maximum impervious surface allowed on each lot, based on the approved SJRWMD permit. In any case however, this cannot exceed 65% ISR for single family per the PUD zoning, but must be supported by the approved St. Johns calculations/permit.
14. Tree Removal Permit issued by the City of Winter Garden Building Department will be required prior to final plan approval.
15. Traffic impact analysis is being reviewed by the City's transportation consultant. Turn lanes, etc. will be reviewed further during the final construction plan phase.
16. Preliminary Geotechnical Report has been provided. More detailed soil borings in roadway and pond are required to be submitted with Final Engineering. Phase 1 Environmental Site Assessment provided but only evaluated the potential for obvious environmental concerns from activities on or near the site. Endangered/threatened species or wetlands were not addressed.
17. All proposed easements shall be 30' minimum width for sanitary, water and storm; improvements shall be centered within the easement. Common areas not abutting right-of-

way shall include a tract (not easement) for access and maintenance.

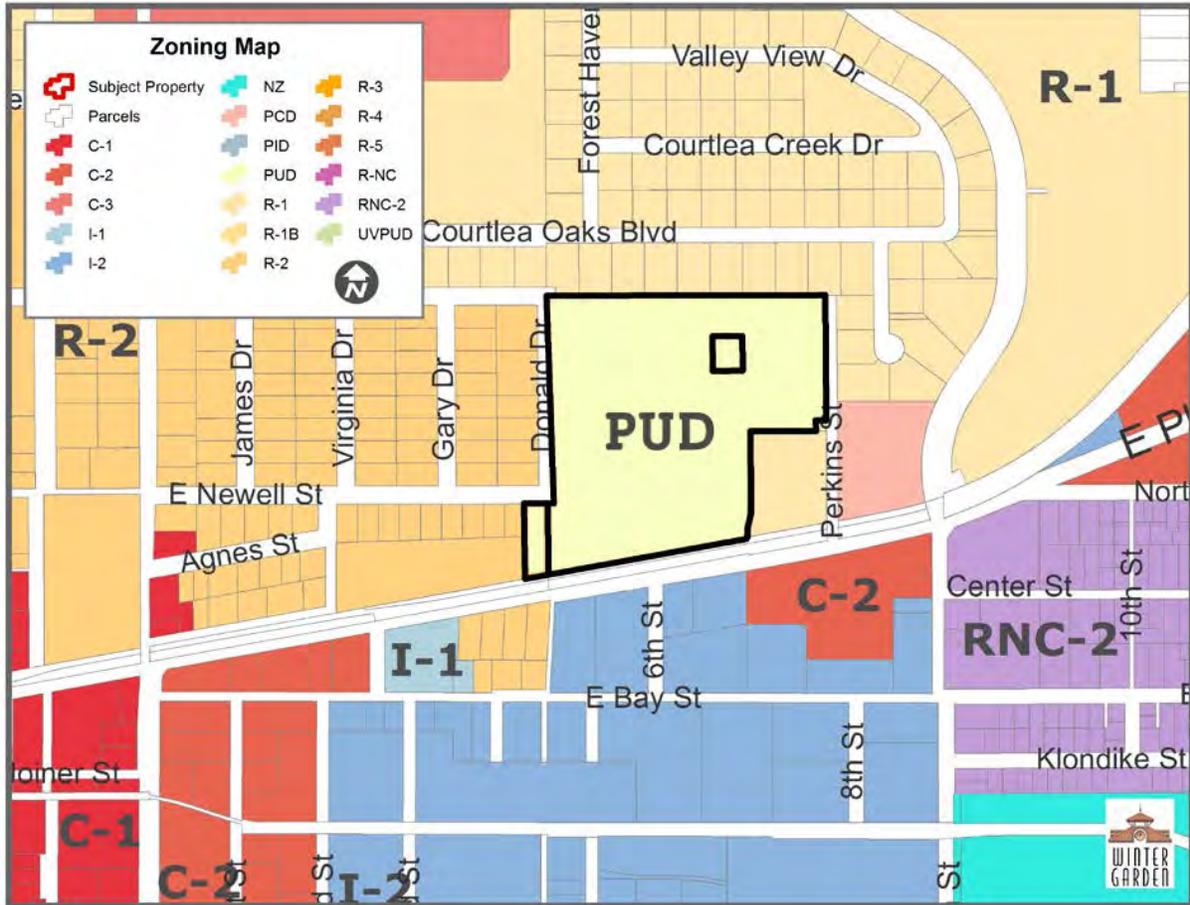
Conditional approval of the Preliminary Plat will allow the owner to proceed with development plans as well as the final plat.

MAPS

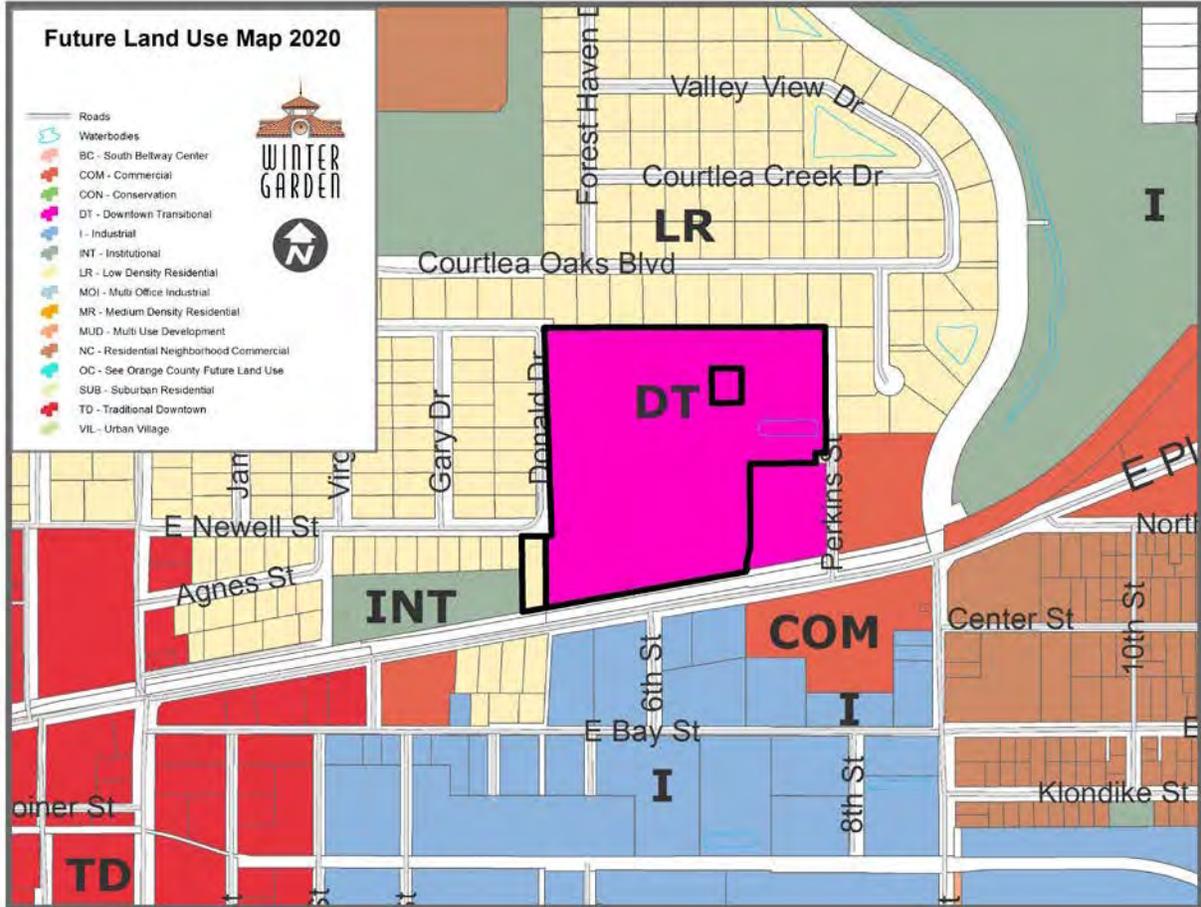
AERIAL PHOTO Heritage at Plant Street



ZONING MAP
 Heritage at Plant Street



FUTURE LAND USE MAP
Heritage at Plant Street



END OF STAFF REPORT

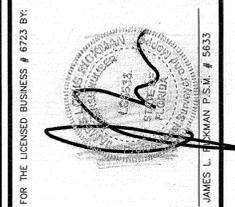
BOUNDARY SURVEY



1420 EAST ROBINSON STREET
ORLANDO, FLORIDA 32801
(407) 897-1443

BOUNDARY + TOPOGRAPHIC SURVEY
 OF
605 EAST PLANT STREET
 SECTION 14, TOWNSHIP 22 SOUTH, RANGE 27 EAST
 ORANGE COUNTY, FLORIDA

FOR:
 BATTALIA FRUIT CO., INC.
 250 PARK AVENUE SOUTH
 SUITE 630
 PLANT PARK
 FLORIDA 32789



DATE	REVISIONS

JOB # 21135
 DATE: 02/18/05
 SCALE: N/A
 CALC BY: JLR
 FIELD BY: KH / MC
 DRAWN BY: PJR/DM
 CHECKED BY: JLR

LEGAL DESCRIPTION (Overall Boundary):

PARCEL 1:

Begin 24 feet, Easterly along North right of way line of Atlantic Coast line R.R. from West line of SE 1/4 of SE1/4 of Section 14, Township 22 South, Range 27 East, run North 0 Deg, 32 minutes, West 250 feet, to Point 669.5 feet, South of North line of SE 1/4 of SE 1/4, thence West 100 feet, thence 0 Deg, 32 minutes, East to Atlantic Coast line R.R. right of way, thence Easterly 100 feet to the Point of Beginning.

PARCEL 2:

That part of the Southeast Quarter (SE 1/4) of the Southeast Quarter (SE 1/4) of Section Fourteen (14), Township 22 South, Range 27 East, lying North of the Atlantic Coast Line Railroad right-of-way LESS the East 393.75 feet thereof, Also less and except the following description: Begin at the Southwest corner of the Southeast Quarter (SE 1/4) of the Southeast Quarter (SE 1/4) of said Section Fourteen (14) aforesaid; run North 1326.3/4 feet to Northwest corner of Southeast Quarter (SE 1/4) of Southeast Quarter (SE 1/4) of said Section Fourteen (14). Return to the same beginning point; run Northeasterly 406 feet to a point 24 feet East of the West line of the Southeast Quarter (SE 1/4) of the Southeast Quarter (SE 1/4) of said Section Fourteen (14) aforesaid; thence North 264 feet to a point which is 670 feet from the Point of Beginning and is 21.5 feet East of the West line of Southeast Quarter (SE 1/4) of Southeast Quarter (SE 1/4) of said Section Fourteen (14) aforesaid; thence Northwesterly 659 feet to the Northwest corner of the Southeast Quarter (SE 1/4) of the Southeast Quarter (SE 1/4) of said Section Fourteen (14).

PARCEL 3:

Lot 57 of SHOWALTER PARK, according to the Plat thereof as recorded in Plat Book "T", page 6, Public Records of Orange County, Florida.

PARCEL 4:

That part of the Southeast Quarter (SE 1/4) of the Southeast Quarter (SE 1/4) of Section Fourteen (14), Township 22 South, Range 27 East, described as follows: Begin 671 feet West and 136.4 feet South of the Northeast corner of the Southeast Quarter (SE 1/4) of the Southeast Quarter (SE 1/4) of Section Fourteen (14) aforesaid; run West 100 feet; thence South 115.6 feet; thence East 100 feet; thence North 115.6 feet to the Point of Beginning.

Together with all right, title and interest in a certain easement and right-of-way (contained in a certain Deed dated February 17, 1953, recorded February 19, 1953, in Deed Book 932, Page 456, Public Records of Orange County, Florida) for ingress and egress over and across a strip of land Twenty (20) feet in width which is more particularly described as follows:

From the Northeast Corner of the Southeast Quarter (SE 1/4) of the Southeast Quarter (SE 1/4) of Section Fourteen (14), Township 22 South, Range 27 East, run thence West 671 feet, South 252 feet; thence West 65 feet for a point of beginning; from said Point of Beginning run due South to the North right-of-way line of the Atlantic Coast Line Railroad; commence again at the Point of Beginning; run West 20 feet; thence due South to the Northern right-of-way line of the Atlantic Coast Line Railroad. Said strip of land is presently in use as a means of ingress and egress to the house located upon the above described excepted parcel of land. The center line of said easement is more fully shown by that certain survey made by H.M. Tinklepaugh dated December 5, 1952.

Contains 18.795 acres, more or less per description.

Contains 18.734 acres, more or less per occupation.

LESS AND EXCEPT:

A portion of land lying in Section 14, Township 22 South, Range 27 East, Orange County, Florida.

Being more particularly described as follows:

Commence at the Southeast corner of the Southeast 1/4 of aforesaid Section 14; thence run North 00°06'41" West along the East line of said Southeast 1/4 for a distance of 1332.66 feet to the Northeast corner of said Southeast 1/4 of the Southeast 1/4 of Section 14; thence departing said East line run South 89°49'50" West along the North line of said Southeast 1/4 of the Southeast 1/4 of Section 14, also being the Southerly line of Courtlea Oaks Phase 2A, according to the Plat thereof as recorded in Plat Book 38, Page 78 of the Public Records of aforesaid Orange County for a distance of 393.75 feet to a point on the West line of the East 393.75 feet of said Southeast 1/4 of the Southeast 1/4 of Section 14, also being a point on the Westerly right-of-way line of Perkins Street; thence run South 00°06'41" East along said Westerly right-of-way line for a distance of 453.95 feet to the POINT OF BEGINNING; thence continuing along said Westerly right-of-way line run South 00°06'41" East for a distance of 306.50 feet to a point on the Northerly right-of-way line of East Plant Street according to Official Records Book 5017, Page 3567 of the Public Records of aforesaid Orange County; thence departing said Westerly right-of-way line run South 79°39'14" West along said Northerly right-of-way line for a distance of 270.50 feet; thence departing said Northerly right-of-way line run North 00°00'00" East for a distance of 19.41 feet to a point of curvature of a curve concave Easterly and having a radius of 85.50 feet; thence run Northerly along said curve through a central angle of 14°32'04" for an arc distance of 21.69 feet to a point of tangency; thence run North 14°32'04" East for a distance of 28.62 feet to a point of curvature of a curve concave Westerly and having a radius of 65.00 feet; thence run Northerly along said curve through a central angle of 14°32'04" for an arc distance of 16.49 feet to a point of tangency; thence run North 00°00'00" East for a distance of 269.91 feet; thence run North 89°56'10" East for a distance of 253.51 feet to aforesaid POINT OF BEGINNING.

Contains 1.934 acres, more or less.

ALSO DESCRIBED AS:

A portion of land lying in Section 14, Township 22 South, Range 27 East, Orange County, Florida.

Being more particularly described as follows:

Commence at the Southeast corner of the Southeast 1/4 of aforesaid Section 14; thence run North 00°06'41" West along the East line of said Southeast 1/4 for a distance of 1332.66 feet to the Northeast corner of said Southeast 1/4 of the Southeast 1/4 of Section 14; thence departing said East line run South 89°49'50" West along the North line of said Southeast 1/4 of the Southeast 1/4 of Section 14, also being the Southerly line of Courtlea Oaks Phase 2A, according to the Plat thereof as recorded in Plat Book 38, Page 78 of the Public Records of aforesaid Orange County for a distance of 393.75 feet to a point on the West line of the East 393.75 feet of said Southeast 1/4 of the Southeast 1/4 of Section 14, also being a point on the Westerly right-of-way line of Perkins Street, also being the POINT OF BEGINNING; thence departing said North line and said Southerly line run South 00°06'41" East along said West line and said Westerly right-of-way line for a distance of 453.51 feet; thence departing said West line and said Westerly right-of-way line run South 89°56'10" West for a distance of 253.51 feet; thence run South 00°00'00" West a distance of 269.91 feet to a point of curvature concave Westerly having a radius of 65.00 feet; thence run Southerly along said curve through a central angle of 14°32'04" for a distance of 16.49 feet; thence departing said curve run South 14°32'04" West for a distance of 28.62 feet to a point of curvature concave to the East having a radius of 85.50 feet; thence run Southerly along said curve through a central angle of 14°32'04" for a distance of 21.69 feet; thence departing said curve run South 00°00'00" West for a distance of 19.41 feet to a point on the Northerly right-of-way line of East Plant Street according to Official records Book 5017, Page 3567 of aforesaid Public Records of Orange County; thence run South 79°39'14" West along said Northerly right-of-way line for a distance of 10.28 feet; thence continuing along said Northerly right-of-way line run South 10°20'46" East for a distance of 5.00 feet; thence run South 79°39'14" West for a distance of 752.98 feet; thence departing said Northerly right-of-way line run North 00°52'09" West for a distance of 142.73 feet to the Southeast corner of Lot 57, Showalter Park according to the plat thereof as recorded in Plat Book T, Page 6 of said Public Records of Orange County; thence run South 88°00'28" West along the South line of said Lot 57 for a distance of 67.80 feet to the Southwest corner of said Lot 57; thence departing said South line run North 00°09'59" West along the West line of said Lot 57 for a distance of 112.15 feet to the Northwest corner of said Lot 57; thence departing said West line run North 89°50'01" East along the North line of said Lot 57 for a distance of 66.41 feet to the Northeast corner of said Lot 57; thence departing said North line run North 00°52'09" West for a distance of 26.10 feet; thence run South 90°00'00" East for a distance of 102.01 feet; thence run North 00°37'07" West for a distance of 3.55 feet; thence run North 01°57'00" West for a distance of 666.27 feet to a point on the Southerly line of Courtlea Oaks Phase 1A, according to the Plat thereof as recorded in Plat Book 35, Page 34 of aforesaid Public Records of Orange County; thence run North 89°49'50" East along the North line of said Southeast 1/4 of the Southeast 1/4 of Section 14, also being said Southerly line of Courtlea Oaks Phase 1A, also being aforesaid Southerly line of Courtlea Oaks Phase 2A for a distance of 939.51 feet to aforesaid POINT OF BEGINNING.

Contains 16.861 acres, more or less.

SURVEYOR'S NOTES:

Bearings shown hereon are based on the Northerly right-of-way line of Plant Street as being South 79°39'14" West, being an assumed bearing for angular designation only.

This Survey was performed with the benefit of Ownership and Encumbrance Reports prepared by Old Republic National Title Insurance Company and a Certificate of Title Information provided by First American Title Insurance Company, File No. 01.03104, revised May 16, 2001.

There may be easements and restrictions of record and/or private agreements not furnished to this surveyor or shown on this boundary survey that may affect property rights and/or land use rights of the subject property.

There may be environmental issues and/or other matters regulated by various Departments of Federal, State or Local Governments affecting the subject property not shown on this survey.

This Survey was performed for the sole and exclusive benefit of the entities listed hereon and shall not be relied upon by any other entity or individual whomsoever.

This Survey is not valid without the signature and original raised seal of a Florida licensed surveyor and mapper.

Underground utilities and improvements were not located, unless shown hereon.

Underground utilities shown hereon were located and marked by the individual utility companies. This surveyor only shows these above ground markings as field located and is not responsible for inaccurate and/or possible utilities not shown.

Subject property shown hereon is in Zone "C", area of minimal flooding, according to Flood Insurance Rate Map panel number 120187 0005 B map date September 29, 1978.

SURVEYOR'S COMMENTS ON TITLE COMMITMENT:

First American Title Insurance Company
 File No. 01.03104 Revised May 16, 2001

Schedule B - Section 2 (Exceptions).

- Easement per Deed Book 932, Page 456, Orange County, Florida
- Restrictions per Warranty Deed recorded in Official Records Book 2, Page 575, Public Records of Orange County, Florida, affects Parcel 3 of subject property and is not plottable on the face of this survey.
- Certificate establishin Water Basin Boundaries per Official Records Book 992, Page 634, Public Records of Orange County, Florida, affects subject property and is not plottable on the face of this survey.
- Southwest Florida Water Management District Resolution per Official Records Book 2735, Page 539, Public Records of Orange County, Florida, affects subject property and is not plottable on the face of this survey.
- Easement in favor of Florida Power Corporation recorded in Official Records Book 1897, Page 646, Public Records of Orange County, Florida, affects subject property and is plotted on the face of this survey.
- Easement in favor of City of Winter Garden recorded in Official Records Book 2456, Page 826, Public Records of Orange County, Florida, affects subject property and is plotted on the face of this survey.
- Membership Agreement recorded in Official Records Book 4793, Page 4896, Public Records of Orange County, Florida, affects subject property and is not plottable on the face of this survey.



1420 EAST ROBINSON STREET
ORLANDO, FLORIDA 32801
(407) 897-1443

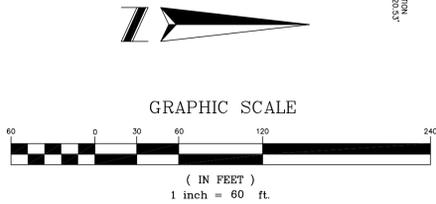
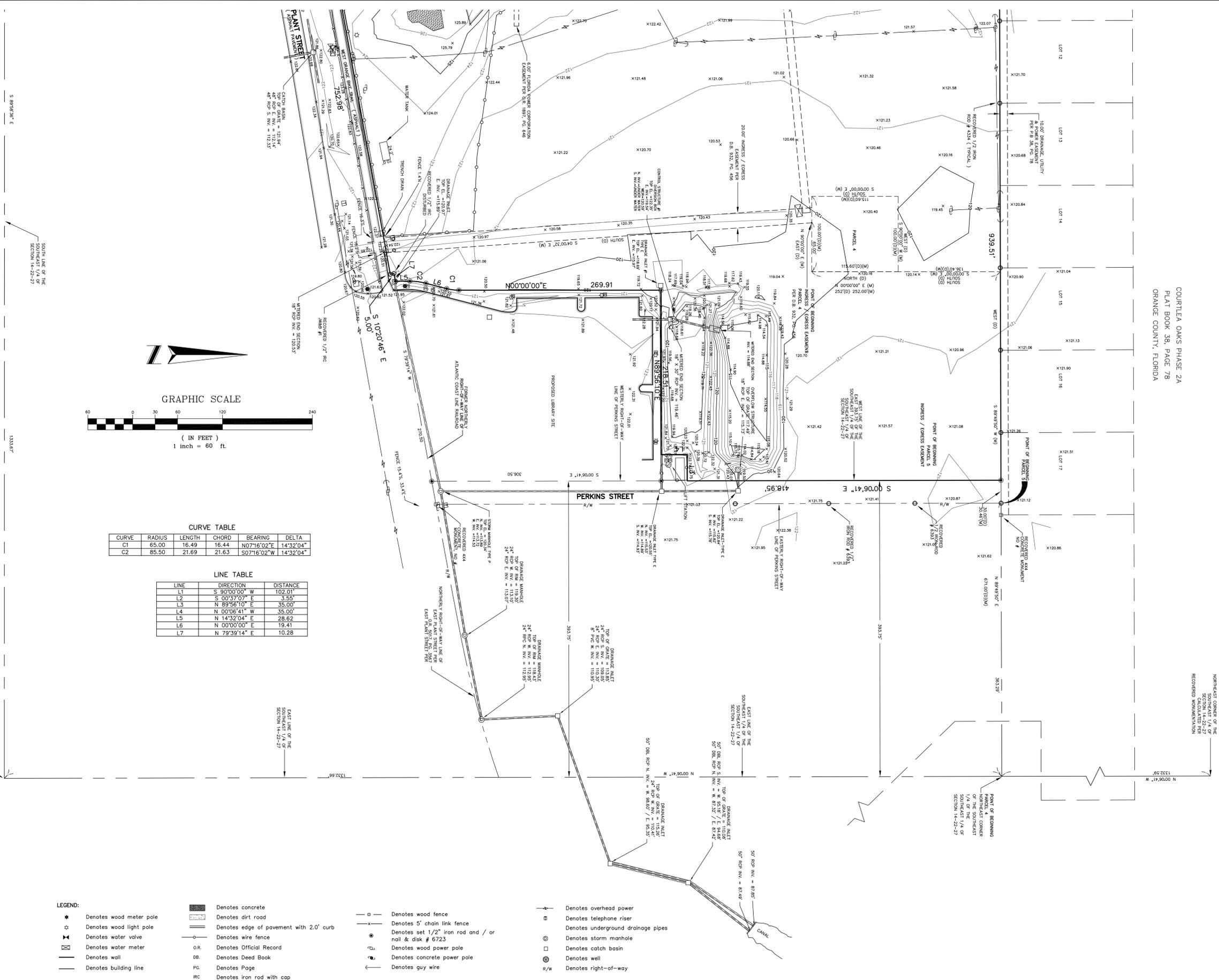
BOUNDARY + TOPOGRAPHIC SURVEY
OF
605 EAST PLANT STREET
SECTION 14, TOWNSHIP 22 SOUTH, RANGE 27 EAST
ORANGE COUNTY, FLORIDA

FOR:
BATTALIA FRUIT CO., INC.
250 PARK AVENUE SOUTH
WINTER PARK
FLORIDA 32789

NO.	REVISIONS	DATE

JOB # 21135
DATE: 2/18/05
SCALE: 1" = 60 FEET
CALC BY: JLR
FIELD BY: KH / MC
DRAWN BY: PJR/DM
CHECKED BY: JLR

COURTLEA OAKS PHASE 2A
PLAT BOOK 38, PAGE 78
ORANGE COUNTY, FLORIDA



CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	65.00	16.49	16.44	N07°16'02"E	14°32'04"
C2	85.50	21.69	21.63	S07°16'02"W	14°32'04"

LINE	DIRECTION	DISTANCE
L1	S 90°00'00" W	120.00
L2	S 00°37'02" W	3.55
L3	N 89°56'10" W	35.00
L4	N 00°06'41" W	35.00
L5	N 14°32'04" E	28.62
L6	N 00°00'00" W	19.41
L7	N 79°39'14" E	10.28

LEGEND:

- ★ Denotes wood meter pole
- ☆ Denotes wood light pole
- ⊠ Denotes water valve
- ⊞ Denotes water meter
- ▬ Denotes wall
- Denotes building line
- ▬ Denotes concrete
- ▬ Denotes dirt road
- ▬ Denotes edge of pavement with 2.0' curb
- Denotes wire fence
- O.R. Denotes Official Record
- DB. Denotes Deed Book
- PG. Denotes Page
- IRC Denotes iron rod with cap
- Denotes wood fence
- × Denotes 5' chain link fence
- Denotes 1/2" iron rod and / or nail & disk # 6723
- Denotes wood power pole
- Denotes concrete power pole
- ← Denotes guy wire
- Denotes overhead power
- ⊞ Denotes telephone riser
- ⊞ Denotes underground drainage pipes
- ⊞ Denotes storm manhole
- ⊞ Denotes catch basin
- ⊞ Denotes well
- R/W Denotes right-of-way



MADDEN
MOORHEAD & STOKES, INC.
CIVIL ENGINEERS
431 E. Horatio Avenue
Suite 260
Maitland, Florida 32751
(407) 629-8330

PRELIMINARY SITE PLAN
FOR
HERITAGE AT PLANT STREET
WINTER GARDEN, FLORIDA

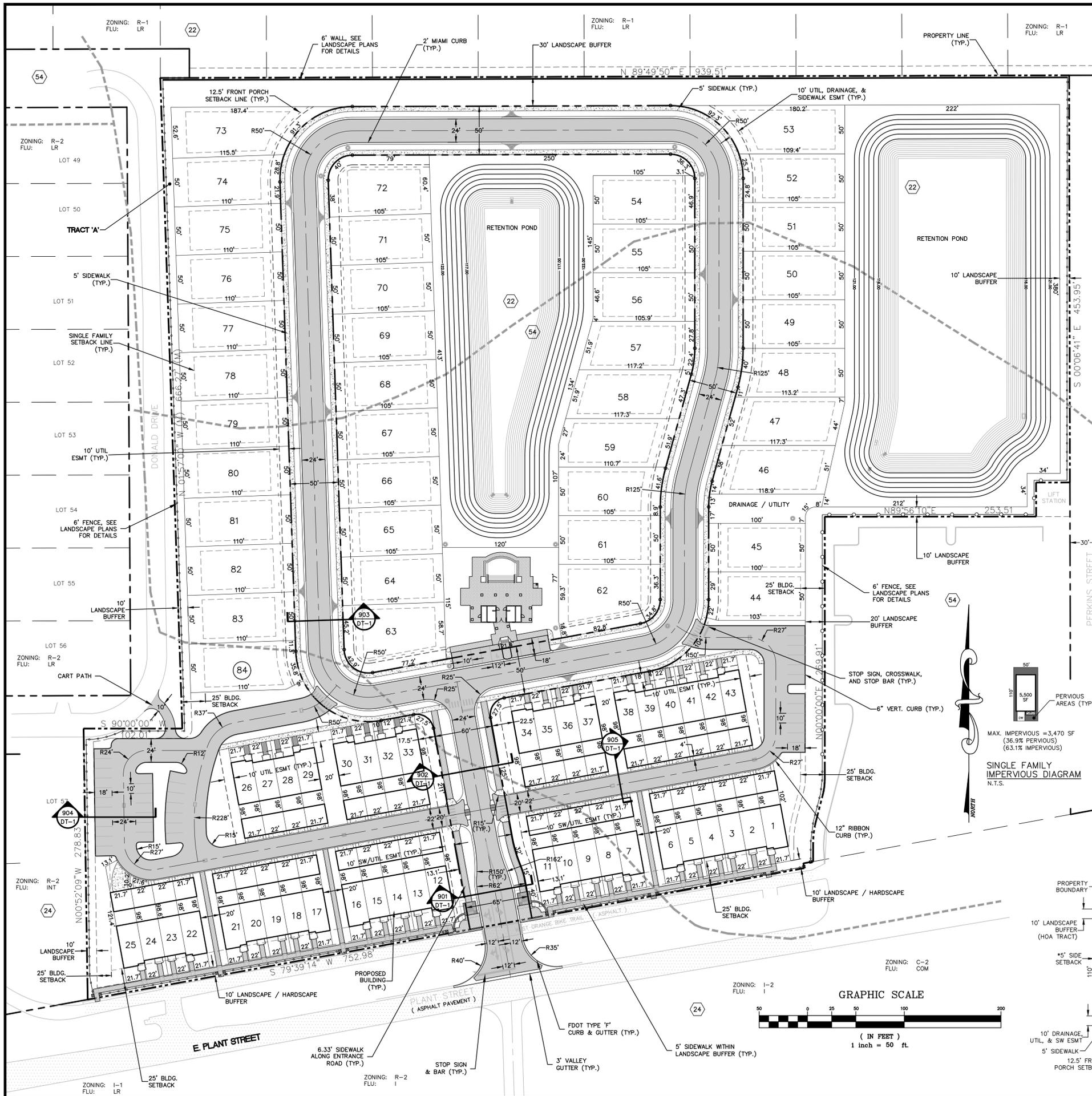
M.I. HOMES OF ORLANDO, LLC
400 INTERNATIONAL PKWY, SUITE 470
LAKE MARY, FL
(407) 531-5133



NO.	DATE	REVISIONS
1	02/17/16	ISSUED FOR PERMITS
2	02/17/16	REVISED PER CITY OF WINTER GARDEN COMMENTS

JOB # 15024
DATE: 02/17/16
SCALE: 1" = 50'
DESIGNED BY: RJS
DRAWN BY: RJS
APPROVED BY: CHM

PSP - 1



SITE DATA

- TOTAL AREA: 16.66 ACRES
- PARCEL IDS: 14-22-27-0000-00-012, 14-22-27-5656-01-391
- PROPOSED ZONING: PLANNED UNIT DEVELOPMENT
- EXISTING FLU: DOWNTOWN TRANSITIONAL
- LINEAR FOOTAGE OF ROAD FRONTAGE: DONALD DR.: 811 LF, PLANT ST.: 784 LF, PERKINS ST.: 454 LF
- TOTAL RESIDENTIAL DWELLING UNITS: 84 DU (167 - MAXIMUM / 10 DU PER ACRE)
- NET DENSITY: 84 DU / 16.66 AC. = 5.04 DU/AC.
- MAX BUILDING HEIGHT: 35 FEET.
- SINGLE FAMILY MINIMUM BUILDING SETBACKS: FRONT- 20' (GARAGE) 12.5' (PORCH), REAR- 10' (LOTS 44 & 45 = 5'), SIDE- 5' (15' SIDESTREET) (*NO OBSTRUCTIONS ALLOWED IN 5' SIDE YARDS)
- TOWNHOME MINIMUM SETBACKS: FRONT- 15', REAR- 4', SIDE- ZERO
- ALL ACCESS POINTS ARE SUBJECT TO APPROVAL BY THE CITY OF WINTER GARDEN, AND FDOT. ACCESS LOCATIONS ARE APPROXIMATE. LOCATIONS WILL BE FINALIZED DURING PDP PROCESS.
- WATER AND SEWER TO BE PROVIDED BY THE CITY OF WINTER GARDEN.
- UTILITY SERVICE GENERATION RATES: (PER RESOLUTION NO. 2507-12)
WATER: RESIDENTIAL: 84 DU X 350 GPD = 29,400 GPD
WASTEWATER: RESIDENTIAL: 84 DU X 300 GPD = 25,200 GPD
- PROPOSED FIRE HYDRANT LOCATIONS SHALL BE DETAILED AT THE PDP STAGE. FIRE HYDRANTS SHALL BE INSTALLED, COMPLETED AND IN SERVICE PRIOR TO BUILDING PERMIT ISSUANCE.
- ALL FIRE HYDRANTS SHALL BE LOCATED NO CLOSER THAN 5 FEET AND NO MORE THAN 10' FROM THE EDGE OF PAVEMENT, MEASURED FROM THE EDGE OF ASPHALT TO THE CENTER OF HYDRANT.
- PLANT STREET IS A 3-LANED NEWLY PAVED ROADWAY WITH THE ORANGE COUNTY TRAIL RUNNING ALONG THE FRONTAGE. NO TURN LANES ARE EXPECTED, BUT SOME ADDITIONAL STRIPING/SIGNAGE IS EXPECTED TO CROSS THE TRAIL WITH THE PROPOSED DRIVEWAY ONTO PLANT STREET.
- THE ENTIRE SITE LIES WITHIN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) ACCORDING TO FEMA FLOOD INSURANCE RATE MAPS PANEL NUMBER 12095C0205F DATED 09/25/09.
- RECREATIONAL AREA PROVIDED: 1.176 ACRES
- RECREATIONAL AREA REQUIRED: 5% OF THE PROPERTY TOTAL ACRES (16.66 X 5%) = 0.833 ACRES REQUIRED
- INTERIOR BUILDING SEPARATION SHALL BE PER THE FLORIDA UNIFIED BUILDING CODE.
- RESIDENTIAL RECREATION SHALL MEET THE WINTER GARDEN LDC.
- GRANNY FLATS ARE PERMITTED ABOVE GARAGES FOR REAR LOAD UNITS.
- LOTS 53 & 73 SHALL BE LIMITED TO 1-STORY.
- BUILDING ARCHITECTURE SHALL BE IN ACCORDANCE WITH THE RENDERINGS INCLUDED WITH THIS PUD.
- OUTDOOR EQUIPMENT SUCH AS A/C UNITS CANNOT BE PLACED IN EASEMENTS.
- INDIVIDUAL LOTS WILL NOT HAVE POOLS OR ACCESSORY STRUCTURES.
- PROJECT WILL BE CONSTRUCTED IN ONE PHASE.

SOILS LEGEND

- SOILS LINE
- 22 LOCHLOOSA FINE SAND
- 24 MILLHOPPES-URBAN LAND COMPLEX, 0 TO 5 PERCENTS SLOPE
- 54 ZOLFO FINE SAND

PARKING SPACE CALCULATION

REQUIRED PARKING COUNT:
(1.75 SPACES PER UNIT) = 147 SPACES

PROVIDED PARKING COUNT:

10' X 18' REGULAR PARKING STALLS:	45 SPACES
7' X 22' PARALLEL ON-STREET PARKING:	30 SPACES
12' X 18' HANDICAP PARKING STALLS:	1 SPACE
SINGLE FAMILY GARAGES:	82 SPACES
SINGLE FAMILY DRIVEWAYS:	82 SPACES
TOWNHOME GARAGES:	86 SPACES
TOTAL PARKING PROVIDED:	326 SPACES

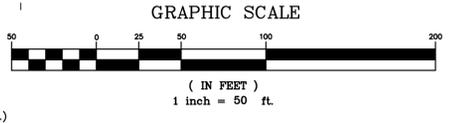
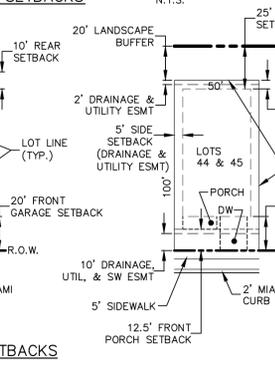
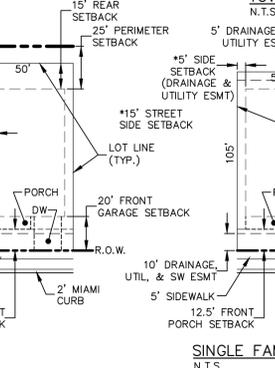
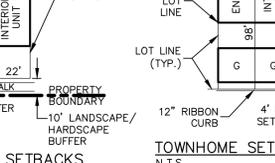
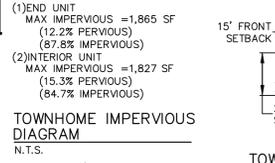
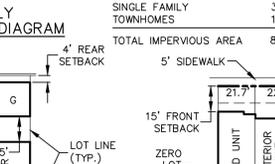
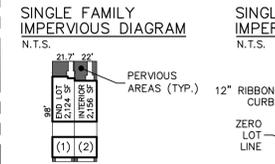
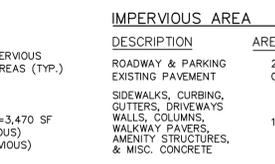
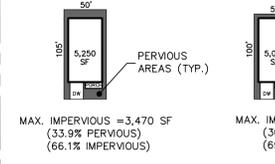
OPEN SPACE CALCULATION

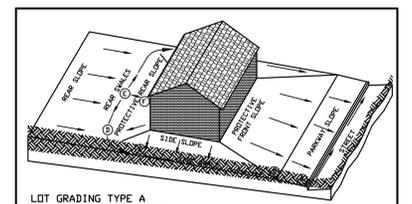
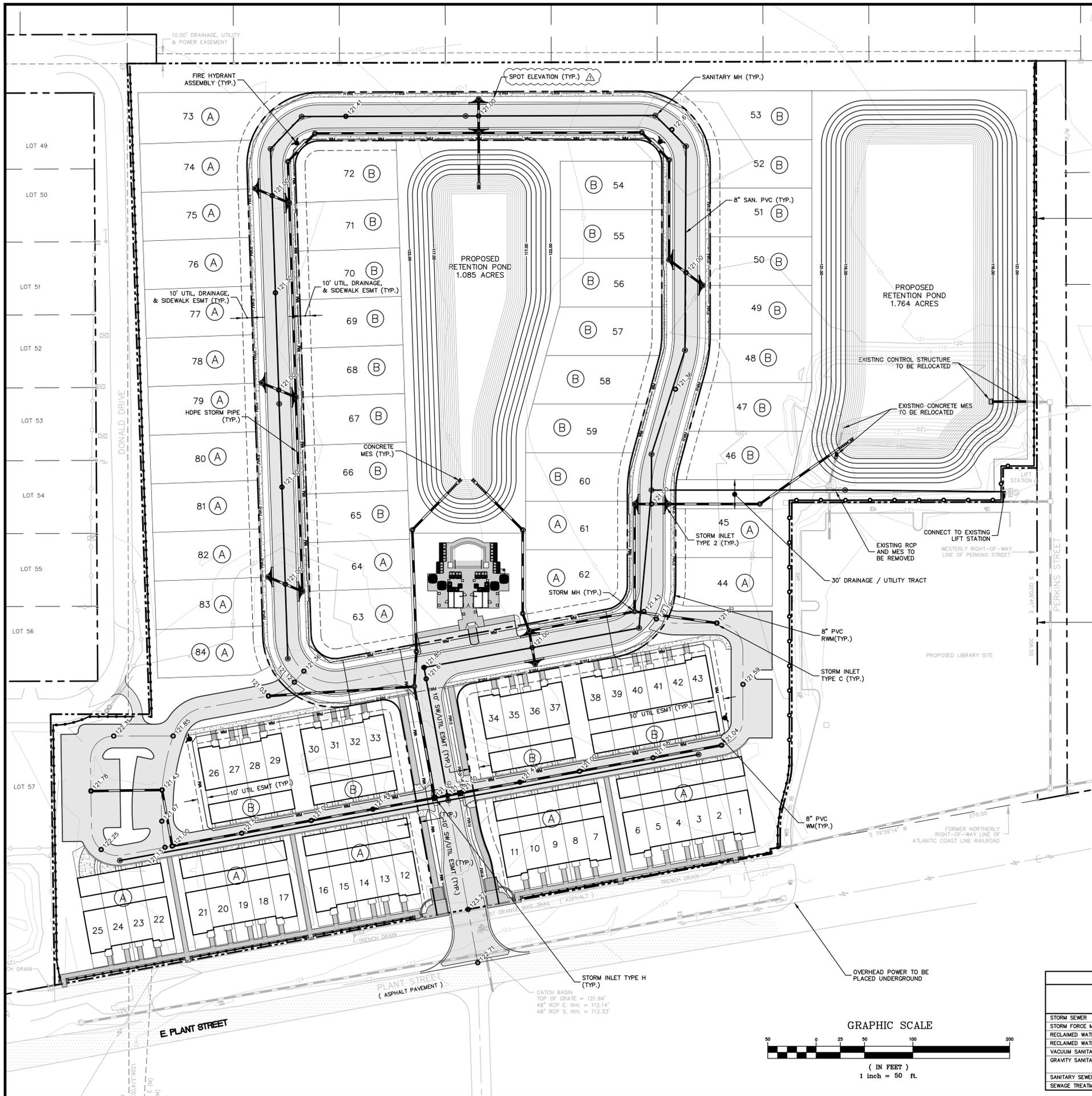
TOTAL NET BUILDABLE AREA*

REQUIRED OPEN SPACE	3.332 AC (20%)
PROPOSED OPEN SPACE	RECREATION AREA/USABLE OPEN SPACE 1.176 AC (7.06%)
PERVIOUS AREAS OUTSIDE TOWNHOME & SINGLE FAMILY LOTS	0.465 AC (2.79%)
RETENTION PONDS	2.849 AC (17.10%)
REQUIRED BUFFER YARDS	1.355 AC (8.13%)
TOTAL OPEN SPACE PROPOSED	5.845 AC (35.08%)

IMPERVIOUS AREA

DESCRIPTION	AREA (AC)
ROADWAY & PARKING	2.032
EXISTING PAVEMENT	0.005
SIDEWALKS, CURBING, GUTTERS, DRIVEWAYS, WALLS, COLUMNS, WALKWAY PAVERS, AMENITY STRUCTURES, & MISC. CONCRETE	1.680
SINGLE FAMILY TOWNHOMES	3.289
TOWNHOMES	1.819
TOTAL IMPERVIOUS AREA	8.825 (52.97%)





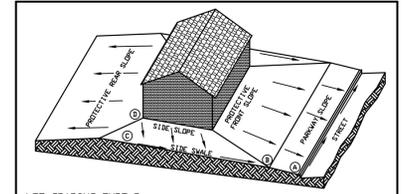
**LOT GRADING TYPE A
ALL DRAINAGE TO STREET**

SAMPLE COMPUTATION OF GRADING CONTROL LINE A-F FOR A 60' LOT ON AN 8' SIDE STREET, WITH 20' SETBACK, 20' BUILDING DEPTH AND 24' SVALES

ITEM	RESULTS USING 1% SVALES
A - Curb-top on lot-line extension at high lot corner	3' (0.3')
B - Side slope 10' grass and walk at 1/4% (2%)	2' (0.2')
C - Side slope 30' grass at 1/4% (2%)	14' (1.4')
D - Rear slope 10' grass at 1/4% (2%)	2' (0.2')
E - Protective rear slope at high-point of eaves	1' (0.1')
F - Sub-total A-F from curb-top to ground at rear building wall	19' (1.9')

Minimum rise from curb-top to slab floor: 20' + 8' = 28' (2.8')
 Minimum rise for wood floor using 8" joists: 20' + 19' = 39' (3.9')

900A FHA TYPE 'A' LOT GRADING
N.T.S.



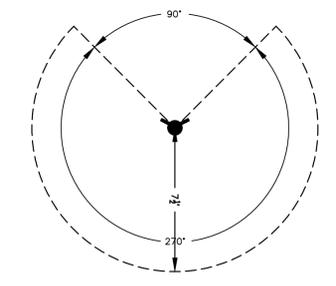
**LOT GRADING TYPE B
DRAINAGE BOTH TO STREET AND TO REAR LOT LINE**

SAMPLE COMPUTATION OF GRADING CONTROL LINE A-B FOR A 60' LOT WITH 20' SETBACK, 20' BUILDING DEPTH AND 24' SVALES

ITEM	RESULTS USING 1% SVALES
A - Curb-top on lot-line extension at high lot corner	3' (0.3')
B - Side slope 10' grass and walk at 1/4% (2%)	2' (0.2')
C - Side slope 30' grass at 1/4% (2%)	14' (1.4')
D - Rear slope 10' grass at 1/4% (2%)	2' (0.2')
E - Protective rear slope at high-point of eaves	1' (0.1')
F - Sub-total A-F from curb-top to ground at rear building wall	16' (1.6')

Minimum rise from curb-top to slab floor: 20' + 8' = 28' (2.8')
 Minimum rise for wood floor using 8" joists: 20' + 19' = 39' (3.9')

900B FHA TYPE 'B' LOT GRADING
N.T.S.



FIRE HYDRANT CLEARANCE DETAIL

NO OBSTRUCTIONS SHALL BE PLACED WITHIN A 7 1/2' CLEARANCE DISTANCE FROM THE REAR AND SIDES OF A FIRE HYDRANT AND NO OBSTRUCTIONS SHALL BE PLACED OR GROWN IN FRONT OF A FIRE HYDRANT.

FIRE FLOW DEMAND CALCULATIONS

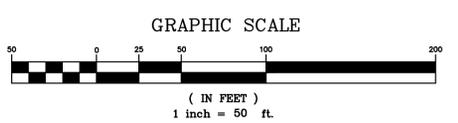
FIRE FLOWS WERE BASED ON NFPA 1, TABLE 18.4.5.2.1
 PROPOSED BUILDINGS TO BE TYPE V

4 UNIT BUILDINGS = < 5,000 S.F., PER 18.4.5.1 NFF = 1000 GPM
 5 UNIT BUILDINGS = 5,280 S.F., PER TABLE 18.4.5.2.1 = 2000 GPM
 6 UNIT BUILDINGS = 7,040 S.F., PER TABLE 18.4.5.2.1 = 2250 GPM

- NOTES:**
- AN APPROVED FIRE DEPARTMENT ACCESS ROAD SHALL BE PROVIDED AT THE START OF CONSTRUCTION AND MAINTAINED AT ALL TIMES.
 - THE PROPOSED FIRE HYDRANTS SHALL BE INSTALLED AND ACCEPTED BY THE CITY PRIOR TO THE ACCUMULATION OF COMBUSTIBLES ON SITE.
 - COMMON AREA IRRIGATION METERS WILL BE REQUIRED AND SHOWN AT FINAL ENGINEERING.

FDEP SEPARATION REQUIREMENTS UNDER 62-555.314 EFFECTIVE 8-28-2003

HAZARD	HORIZONTAL SEPARATION	VERTICAL SEPARATION		JOINT SPACING
		WATER ABOVE	WATER BELOW	
STORM SEWER	3FT MIN	12IN PREF, 6IN MIN	12IN MIN	3FT MIN
STORM FORCE MAIN	3FT MIN	12IN MIN	12IN MIN	3FT MIN
RECLAIMED WATER IF REGULATED UNDER 62-610	3FT MIN	12IN MIN	12IN MIN	3FT MIN
RECLAIMED WATER IF NOT REGULATED UNDER 62-610	10FT PREF, 6FT MIN	12IN MIN	12IN MIN	6FT MIN
VACUUM SANITARY SEWER	10FT PREF, 3FT MIN	12IN PREF, 6IN MIN	12IN MIN	3FT MIN
GRAVITY SANITARY SEWER	10FT PREF, 6FT MIN, 3FT MIN IF WATER MAIN IS 12IN PREF, 6IN MIN	12IN PREF, 6IN MIN	12IN MIN	6FT MIN
SANITARY SEWER FORCE MAIN	10FT PREF, 6FT MIN	12IN MIN	12IN MIN	6FT MIN
SEWAGE TREATMENT & DISPOSAL SYSTEM	10FT MIN	NONE	NONE	NONE



MADDEN
 MOORHEAD & STOKES, INC.
 CIVIL ENGINEERS
 431 E. Horatio Avenue
 Suite 260
 Maitland, Florida 32751
 (407) 629-8330

UTILITY AND DRAINAGE PLAN
 FOR
HERITAGE AT PLANT STREET
 WINTER GARDEN, FLORIDA

M.I. HOMES OF ORLANDO, LLC
 400 INTERNATIONAL PKWY, SUITE 470
 LAKE MARY, FL
 (407) 531-5133

ENGINEER IN CHARGE
 MADDEN MOORHEAD & STOKES, INC.
 No. 81781
 STATE OF FLORIDA
 CHADWICK H. MOORHEAD, P.E.
 SEP 13 2016
 CERTIFICATE OF AUTHORIZATION NO. EP-0007223

REVISIONS

NO.	DATE	DESCRIPTION

JOB # 15024
 DATE: 02/17/16
 SCALE: 1" = 50'
 DESIGNED BY: RJS
 DRAWN BY: RJS
 APPROVED BY: CHM

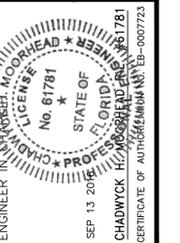
UT - 1



MADDEN
 MOORHEAD & STOKES, INC.
 CIVIL ENGINEERS
 431 E. Horatio Avenue
 Suite 260
 Maitland, Florida 32751
 (407) 629-8330

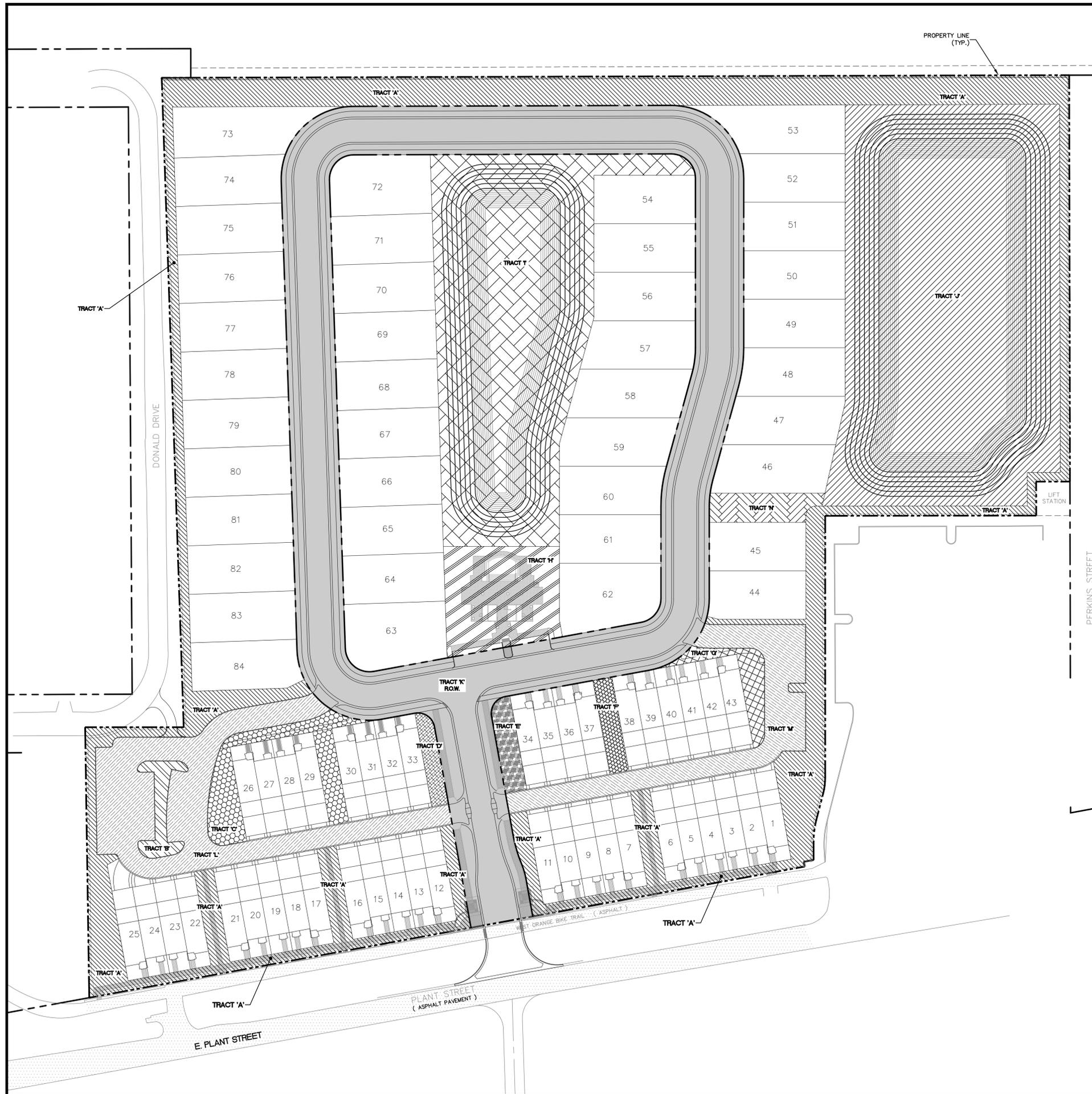
TRACT DESIGNATION PLAN
 FOR
HERITAGE AT PLANT STREET
 WINTER GARDEN, FLORIDA

M.I. HOMES OF ORLANDO, LLC
 400 INTERNATIONAL PKWY, SUITE 470
 LAKE WARY, FL
 (407) 531-5133



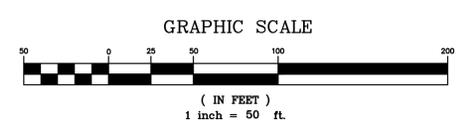
NO.	DATE	REVISIONS

JOB # 15024
 DATE: 07/26/16
 SCALE: 1" = 50'
 DESIGNED BY: RJS
 DRAWN BY: RJS
 APPROVED BY: CHM



TRACT TABLE:			
TRACT	DESCRIPTION	OWN / OPERATE / MAINTAIN	AREA (ACRES)
A	LANDSCAPE BUFFER HARDSCAPE OPEN SPACE RECREATION	HOA	1.745
B	OPEN SPACE	HOA	0.048
C	OPEN SPACE RECREATION	HOA	0.151
D	OPEN SPACE RECREATION	HOA	0.038
E	OPEN SPACE RECREATION	HOA	0.049
F	OPEN SPACE RECREATION	HOA	0.045
G	OPEN SPACE RECREATION	HOA	0.062
H	CLUBHOUSE AMENITY	HOA	0.285
I	RETENTION	HOA	1.420
J	RETENTION	HOA	2.113
K	R.O.W.	CITY OF WINTER GARDEN	2.442
L	ALLEY	HOA	0.524
M	ALLEY	HOA	0.308
N	DRAINAGE UTILITY	HOA	0.075
SINGLE FAMILY LOTS			5.234
TOWNHOME LOTS			2.121
TOTAL AREA:			16.66

NOTE:
 BLANKET UTILITY EASEMENT TO BE PROVIDED
 OVER TRACTS 'L' AND 'M'.



THE CITY OF WINTER GARDEN
PLANNING AND ZONING BOARD AGENDA ITEM

ITEM # 6 (Public Hearing)

DATE: November 3, 2016 **MEETING DATE:** November 7, 2016

SUBJECT: 14131 W Colonial Drive (SPECIAL EXCEPTION PERMIT)
PROJECT NAME Romp n' Roll
PARCEL ID# 22-22-27-0000-00-037

ISSUE: The applicant is requesting a Special Exception Permit to allow for the property located at 14131 W Colonial Drive to operate a Children's Activity Center with associated child care programs.

SUPPLEMENTAL MATERIAL/ANALYSIS:

OWNER/APPLICANT: Marie Simmons

CURRENT ZONING: C-2

PROPOSED ZONING: N/A

CURRENT FLU: Commercial

PROPOSED FLU: N/A

SUMMARY:

The applicant is requesting a Special Exception Permit to allow the suite addressed 14131 W. Colonial Drive within the Winter Garden Shopping Center (14001 W. Colonial Drive) to be used for a children's activity center with associated child care programs, such as, interactive classes for various age groups, day camps, Parent's Night/Morning Out events, and children's parties.

STAFF RECOMMENDATION(S):

Staff recommends approval of the Special Exception subject to the conditions outlined in the staff report.

NEXT STEP(S):

Obtain all necessary building permits for interior build-out.

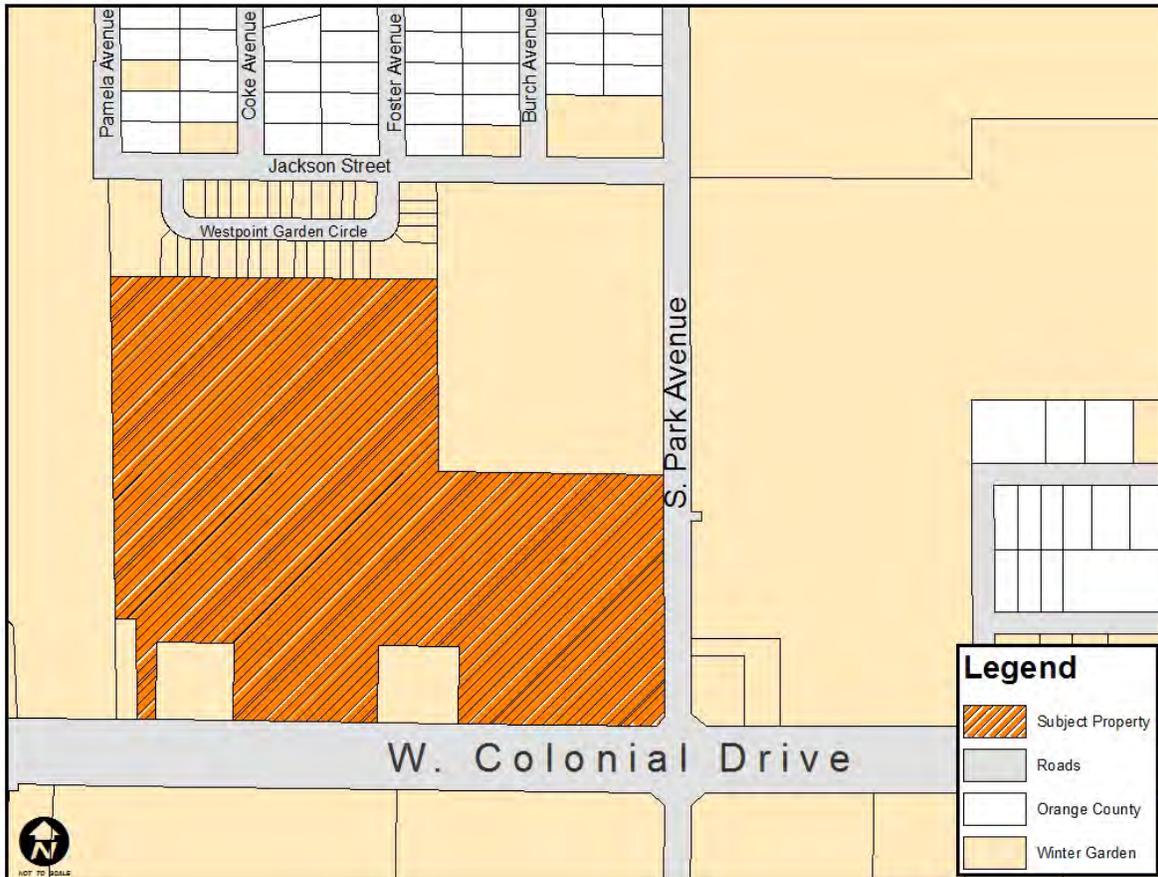
ATTACHMENT(S):

Location Map
Staff Report

LOCATION MAP

14131 W Colonial Drive

SPECIAL EXCEPTION PERMIT



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

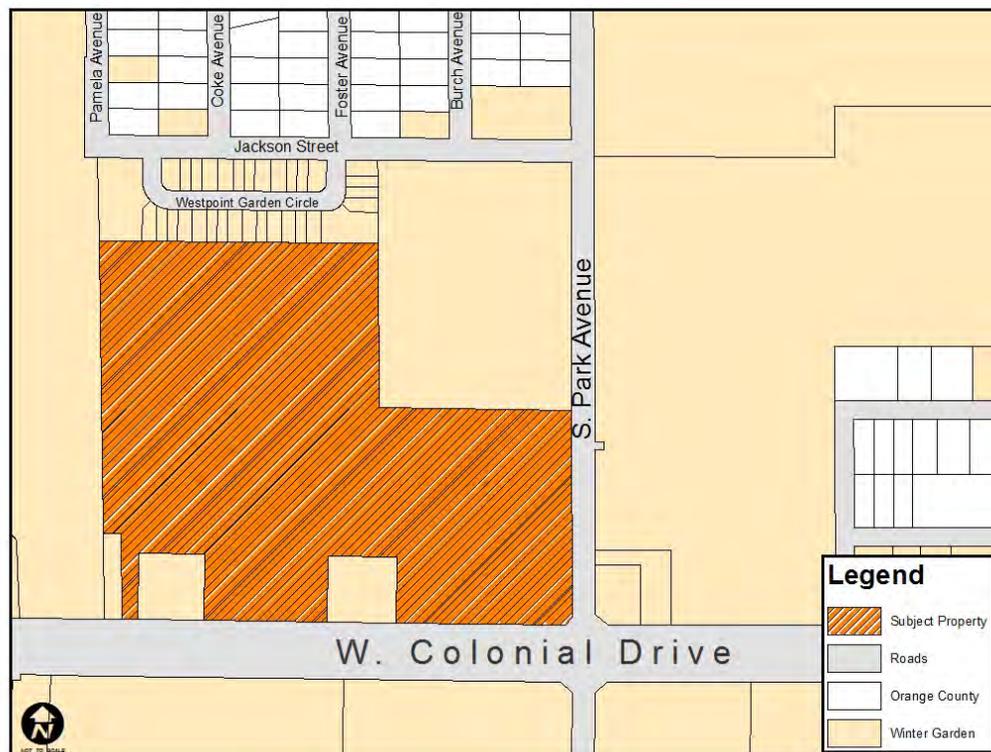
TO: PLANNING AND ZONING BOARD
PREPARED BY: JESSICA FRYE, PLANNER I
DATE: November 2, 2016
SUBJECT: SPECIAL EXCEPTION PERMIT
14131 W COLONIAL DRIVE
(ROMP N' ROLL)
Winter Garden Business Park
PARCEL ID # 22-22-27-0000-00-037

APPLICANT: Marie Simmons

INTRODUCTION

The purpose of this report is to evaluate the proposed Special Exception Permit for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located at 14131 W. Colonial Drive. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation of C-2 and is within the West State Road 50 Commercial Overlay. The subject property is designated Commercial on the Future Land Use Map of the Comprehensive Plan.

The applicant is requesting a Special Exception Permit to allow the suite addressed 14131 W. Colonial Drive within the Winter Garden Shopping Center (14001 W. Colonial Drive) to be used for a children's activity center with associated child care programs, such as, interactive classes for various age groups, day camps, Parent's Night/Morning Out events, and children's parties.

The applicant has informed staff that the proposed use does not fall under the requirements of a day care center as determined by State criteria. Since the use is not defined in our code and has similar characteristics of a day care /child care facility, staff has determined the use will still have similar impacts to the surrounding business owners and roads. As such, based on the C-2 Zoning Criteria for a Special Exception outlined in section 118-579 (7) "[o]ther uses which the planning and zoning board determines are of the type of intensity of activity similar to and compatible with the permitted uses in the C-2 district" & (8) "Children day care centers", staff determined the use requires a Special Exception Permit.

EXISTING USE

The property consists of a large commercial building with numerous suites of various sizes, which total \pm 147,230 square feet, with the subject suite being about \pm 4,600 square feet. The current businesses within the Winter Garden Shopping Center are Florida Paints, H&R Block, Jets Orlando Skate, Black Tactical Guns, Blue 42, Direct Auto Insurance, Rosie Nail Salon, Primerica, Avon Independent Representative, Dollar General, Hectors Barber Shop, Servandos Restaurants, Winter Garden Florist, Solid Printer, Del Air, New Beginnings Thrift Store, Orange County Tax Collector Office, Little Cesar's Pizza, Merle Norman, Golden Apple Restaurant, Harbor Freight, and Aldi Food Market.

ADJACENT LAND USE AND ZONING

The subject property is generally located at the northwest corner of West State Road 50 and S. Park Avenue. The property to the west is the Hyde Park Mobile Home Community, zoned R-2. The property located to the north is the Townhomes of Winter Garden Community, and another series of townhomes situated on Westpoint Garden Circle (not associated with the Townhomes of Winter Garden Community), zoned R-3. The property located to the east of the subject property is the Winter Garden R-V Resort, and Enterprise Car Rental, zoned C-2. All of the surrounding properties are within the City of Winter Garden.

PROPOSED USE

The applicant proposes to open a children's activity center with associated child care programs including day camps, Parents' Night/Morning Out, and children's parties. The business will also offer a variety of programs such as fitness classes, art classes, science class, tumbling, and gymnastics/dance. General activity classes are held from 8:30 am to 7:00 pm, with an average of ten classes per day, Monday through Friday, running about 45-60 minutes per class, with some overlap. Each class expects to have an enrollment of 8-10 children, but gym classes have a maximum of 15 children, art classes have a maximum of 10 children, and camps have a maximum enrollment of 30 children.

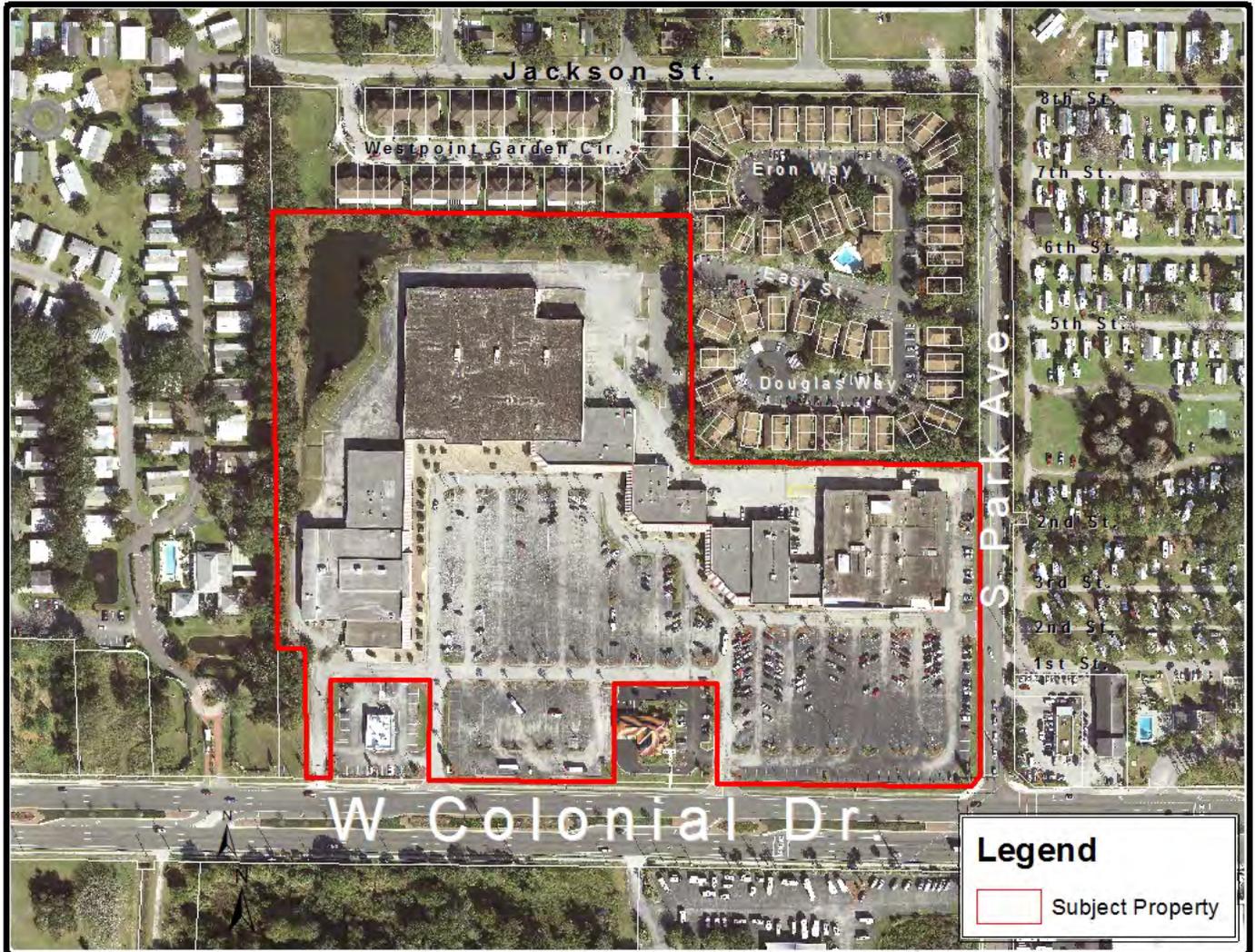
Birthday Parties are held on the weekends, and general classes are suspended on the weekend. Parent's Night Out Events are held on Saturday evenings for 3 hours, twice a month. Different franchise locations choose the hours for the Parent's Night Out events, beginning as early as 5pm and ending as late as 9pm. Parent's Morning Out is held for 3 hours, once a week on a scheduled weekday morning from 9am until 12pm. Summer Camps follow the Orange County Public School's calendar and are held twice a week on Tuesday and Thursdays from 9am to 12pm. This service is also offered during Winter Break.

SUMMARY

City Staff recommends approval of the request for the Special Exception Permit to allow the operation of an indoor children's activity center with associated child care programs with the following conditions:

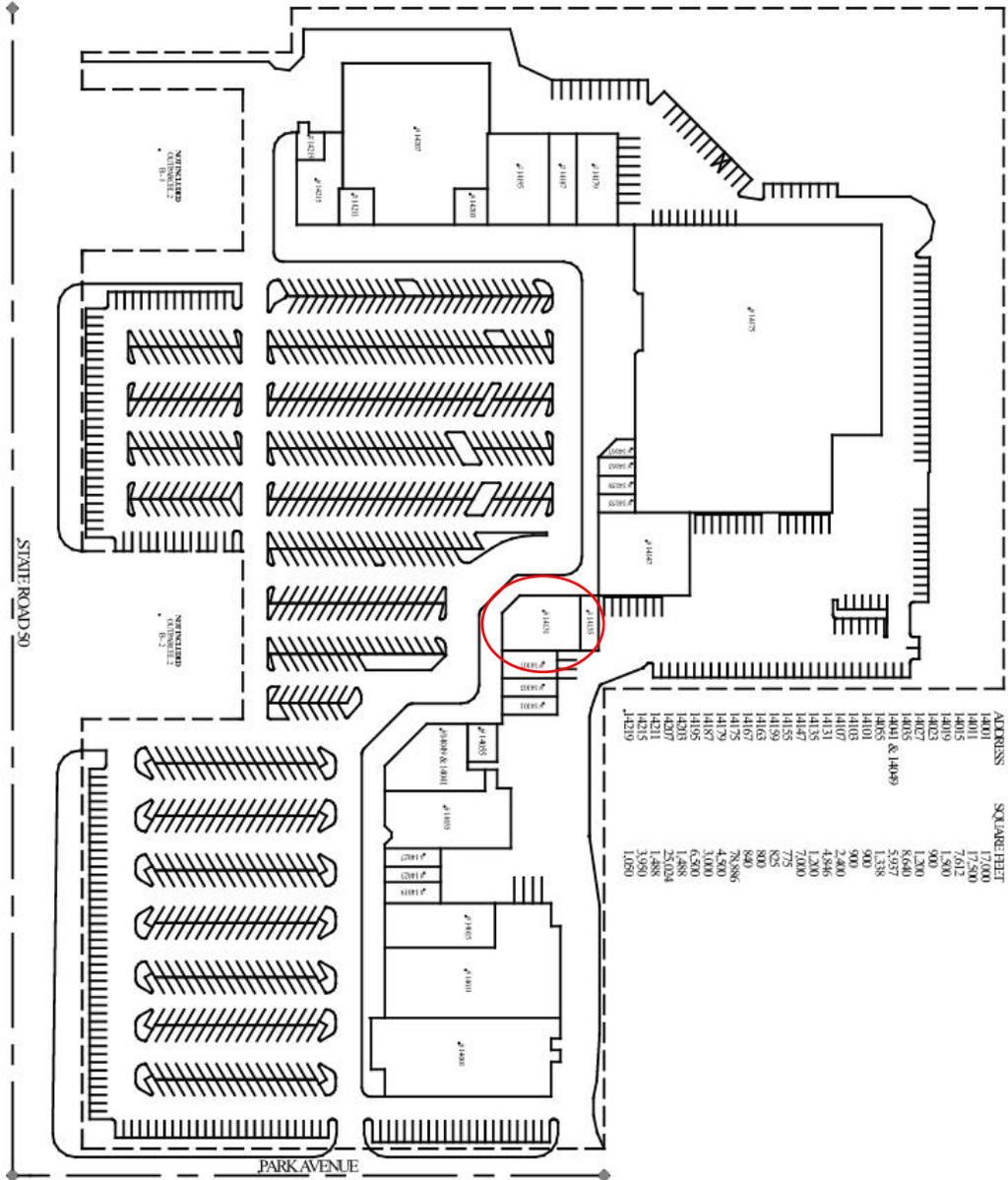
1. As proposed, the maximum child enrollment within the facility cannot exceed 50. Classes/programs offered at the same time cannot exceed the maximum of 50 students.
2. All activities and equipment must be contained within the building, outdoor activities are prohibited.
3. Interior Buildout of space requires separate building permits and has not been approved by this Special Exception Permit. Please submit plans for all necessary building permits.

AERIAL PHOTO



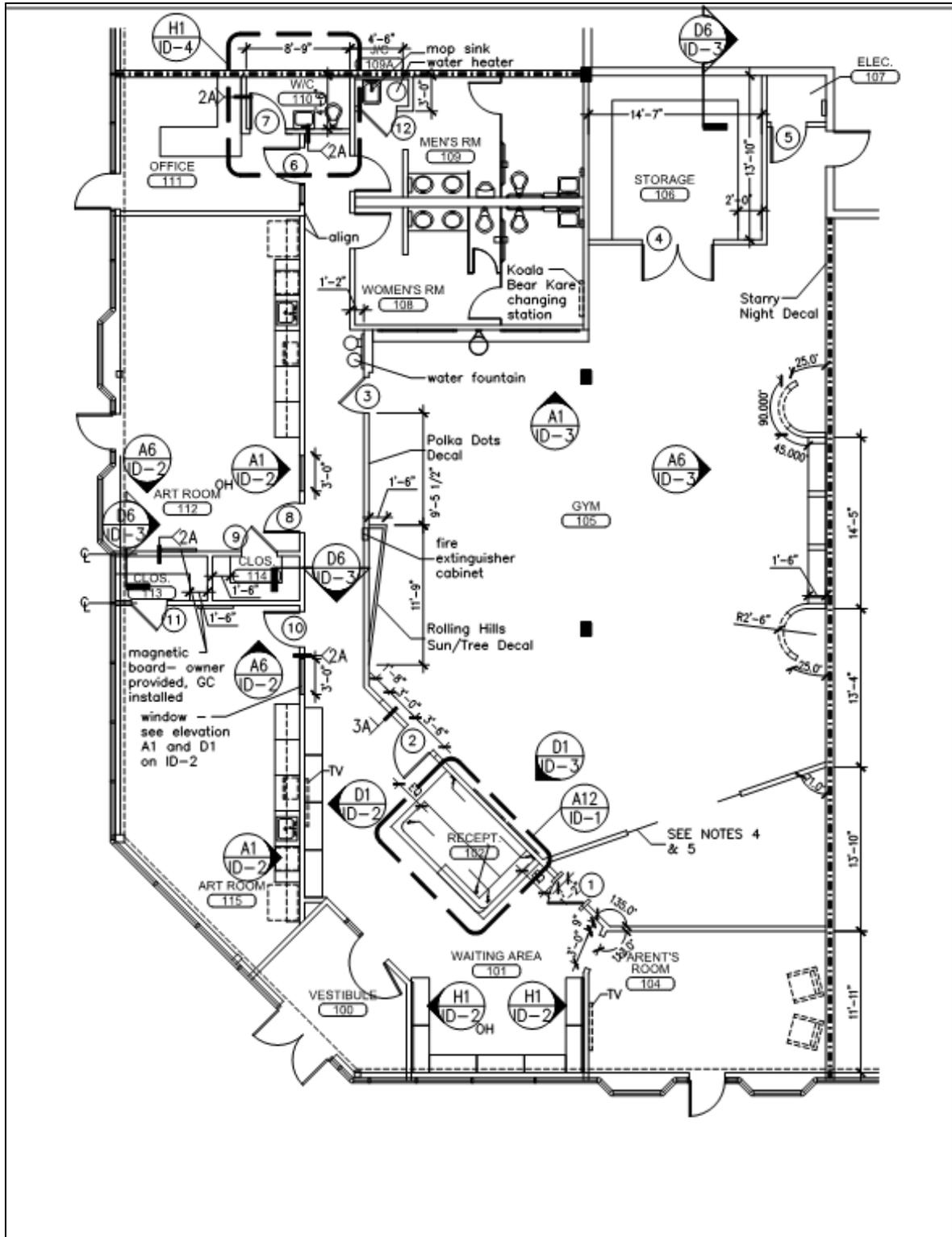
SITE PLAN

**AMERA WINTER GARDEN, LTD.
 MASTER SITE PLAN**



No warranty or representation, express or implied, is made as to the accuracy of the information contained herein, and same is submitted subject to errors, omissions, change of price, rental or other conditions.
 All dimensions approximate.
 UPDATED: 9/20/2016
 T:\Planning\PENDING PROJECTS\PROJECTS\Colonial Drive W - 14131 (Romp n'Roll) SEP\MISCELLANEOUS SUPPORT DOCUMENTS\Winter Garden Areas.doc

FLOOR PLAN



A7 FLOOR PLAN

SITE PHOTOS





SAMPLE SCHEDULE



Gym - Art - Music

Fall 2015
 WEST END



	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY	SUNDAY
8:30				8:30 - 9:15 Tumble Tunes 1 10 - 24 months			
9:00	9:00 - 10:00 Construction 2 1/2 - 5 years	9:00 - 10:00 Chief Rompy Around the World 3 - 5 years	9:00 - 12:00 Parent's Morning Out	9:30 - 10:15 Tumble Tunes 2 2 - 3 years	8:45 - 10:45 Rompy's Adventure 2 1/2 - 5 years	9:00 - 9:45 Tumble Tunes 2 2 - 3 years	9:30 - 10:15 Babies Gym
10:00	10:15 - 11:00 Tumble Tunes 1 10 - 24 months	10:15 - 12:15 Rompy's Adventure 2 1/2 - 5 years	10:15 - 11:00 Gym	10:15 - 11:15 Construction 2 1/2 - 5 years	9:30 - 10:15 Gym	10:00 - 10:45 Tumble Tunes 1 10 - 24 months	9:45 - 10:45 Chief Rompy Around the World 3 - 5 years
11:00	11:15 - 12:15 2 for Twos Gym & Art 2 - 3 years	11:00 - 11:45 Tumble Tunes 2 2 - 3 years	11:15 - 12:00 Gym	10:30 - 11:15 Gym	10:30 - 11:15 Gym	11:00 - 12:00 Gymnastics 3 - 5 years	10:30 - 11:15 Babies Gym
12:00	12:30 - 1:30 Gymnastics 3 - 5 years	12:30 - 1:30 Rhythm n' Roll 3 - 5 years	12:30 - 1:15 Babies 3 - 12 months	11:30 - 12:15 Gym	11:30 - 12:15 Gym	11:15 - 12:00 Art Explorers 2 2 - 3 years	12:00 - 1:30 Birthday Bash
1:00				1:30 - 4:00 Open Gym	12:45 - 1:30 Tumble Tunes 1 10 - 24 months	1:00 - 2:30 Birthday Bash*	
2:00	2:00 - 4:00 Open Gym	2:00 - 4:00 Open Gym	2:00 - 4:00 Open Gym		12:45 - 1:45 Princess 2 1/2 - 5 years		2:00 - 3:30 Birthday Bash
3:00	3:15 - 5:15 Rompy's Adventure 2 1/2 - 5 years	4:15 - 5:15 Princess 2 1/2 - 5 years	4:15 - 5:15 Construction 2 1/2 - 5 years	4:15 - 5:15 Crayons to Canvas 3 - 5 years		3:00 - 4:30 Birthday Bash	
4:00	4:15 - 5:00 Tumble Tunes 1 10 - 24 months	5:15 - 6:15 Rhythm n' Roll 3 - 5 years	4:15 - 5:15 Babies 3 - 12 months	4:15 - 5:15 Good Sports 3 - 5 years	4:00 - 5:30 Birthday Bash*		4:00 - 5:30 Birthday Bash
5:00	5:30 - 6:30 2 for Twos Gym & Art 16 months - 3 years	5:30 - 6:15 Art Explorers 1 16 - 24 months	5:30 - 6:15 Tumble Tunes 1 10 - 24 months	5:30 - 6:15 Gym		5:00 - 6:30 Birthday Bash*	
6:00			6:15 - 7:15 Silly Science 3 - 5 years	6:30 - 7:30 Gymnastics 3 - 5 years			6:00 - 7:30 Open Gym
7:00		6:30 - 7:30 Open Gym		6:30 - 7:30 Princess 2 1/2 - 5 years			6:00 - 7:30 Birthday Bash*

Schedule subject to change. Check www.rompnyroll.com/westend for most current schedule.

Parent inclusive

Parent optional

Drop off

*Our 2 hour birthday package is available during these times.

EXAMPLES OF INTERIOR SPACE



END OF STAFF REPORT

THE CITY OF WINTER GARDEN
PLANNING AND ZONING BOARD AGENDA ITEM

ITEM # 7 (Public Hearing)

DATE: November 3, 2016 **MEETING DATE:** November 7, 2016

SUBJECT: 315 Florida Avenue (Variance)
PROJECT NAME Lopez Front Porch Remodel
PARCEL ID# 23-22-27-2307-01-140

ISSUE: The applicant is requesting a variance to allow a front entryway structure to be built with a front yard setback of 25.3 feet in lieu of the minimum 30 feet.

SUPPLEMENTAL MATERIAL/ANALYSIS:

OWNER/APPLICANT: Ramiro Lopez
CURRENT ZONING: R-2- Residential District
PROPOSED ZONING: N/A
CURRENT FLU: LR- Low Density Residential
PROPOSED FLU: N/A

SUMMARY:

The applicant is proposing to add a new front entryway to the existing structure located 25.3 feet from the front property line. The R-2 zoning district requires a front yard setback of 30 feet. The applicant is seeking a variance of 4.7 feet to add the structure.

STAFF RECOMMENDATION(S):

Staff recommends approval of the Variance

NEXT STEP(S):

Obtain building permits

ATTACHMENT(S):

Location Map
Staff Report

LOCATION MAP

315 Florida Avenue

VARIANCE



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

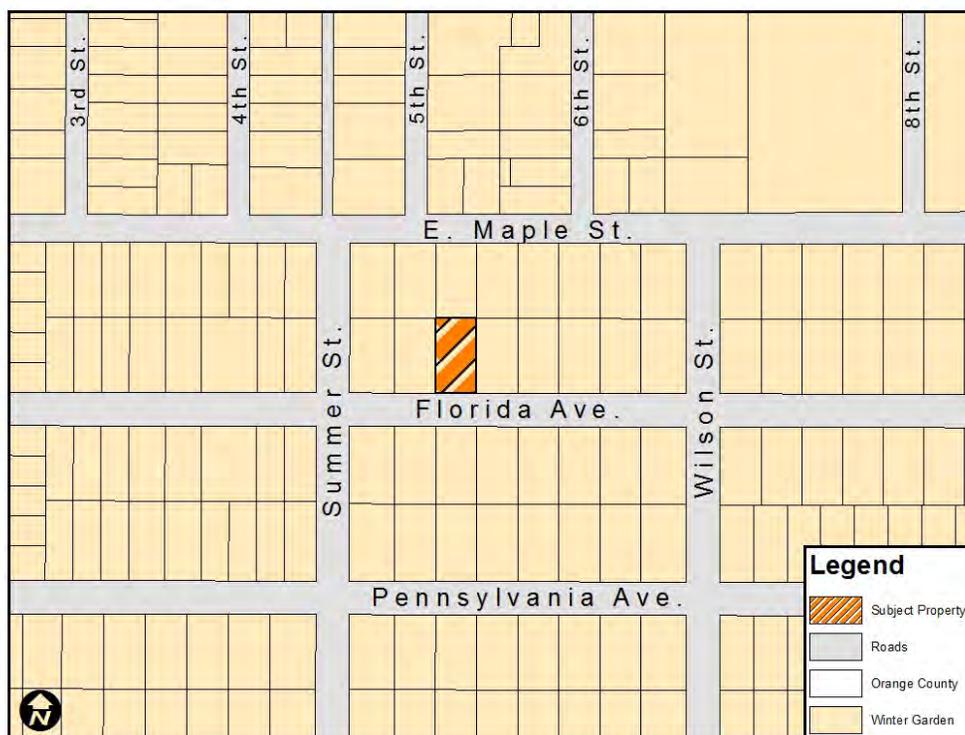
TO: PLANNING AND ZONING BOARD
PREPARED BY: JESSICA FRYE, PLANNER I
DATE: November 2, 2016
SUBJECT: VARIANCE
315 Florida Avenue (0.229 ± ACRES)
PARCEL ID # 23-22-27-2307-01-140

APPLICANT: Ramiro Lopez

INTRODUCTION

The purpose of this report is to evaluate the request for a front yard setback variance for the property located at 315 Florida Avenue in Winter Garden, Florida. The request is for a 25.3 foot front yard setback in lieu of the required 30 foot front yard setback. If approved, this variance will allow a new front entryway to be built 25.3 feet from the front property line.

The subject property, located on Florida Avenue, is approximately 0.229 ± acre lot in the East Garden Manor, 4th Addition. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The subject property carries the residential zoning designation of R-2 and is designated LR (Low Density Residential) on the Future Land Use Map of the City’s Comprehensive Plan.

EXISTING USE

The subject property is currently improved with a single family residence.

ADJACENT LAND USE AND ZONING

The adjacent properties to the north, south, east, and west of the subject property contain single-family residential homes, have the zoning designation R-2, the future land use designation of LR, and are located within the City of Winter Garden’s municipal limits.

PROPOSED USE

The applicant is proposing to construct a front entryway on the existing primary structure in the front of the property. The applicant will be renovating the home and adding to the existing primary structure; all other proposed additions and alterations will meet the R-2 zoning regulations, as presented.

CODE REFERENCE

Section 118-398 (a) The R-2 residential district requires the minimum front yard setback to be 30 feet.

The applicant is seeking a variance to the minimum front yard setback to allow a front entryway to be built with a 25.3 foot front yard setback in lieu of the minimum required 30 foot front yard setback.

CODE REQUIREMENTS / CRITERIA

Code Requirements/Criteria:

Section 118-131 of the City Code that relates to the review criteria states that, “A variance may be granted from land development regulations by the planning and zoning board if the planning and zoning board concludes that literal enforcement of the provisions of land development regulations would result in either practical difficulties (for setback and parking provisions) or unnecessary hardships (for all other land development regulations) for the property at issue.” The code also lists the following criteria that are to be addressed before a variance can be approved. Underlined text is Staff’s comments concerning this particular petition.

(1) *Granting the variance will not cause or allow interference with the reasonable enjoyment of adjacent or nearby property owners or negatively impact the standard of living of the citizens of the city;*

The proposed front entryway will be located 25.3 feet from the front property line and should not negatively impact or interfere with the reasonable enjoyment of adjacent or nearby property owners.

(2) *The variance will allow a reasonable use of the property, which use is not out of character with other properties in the same zoning category;*

The requested variance allowing a 25.3 foot front yard setback in lieu of the required 30 foot

front yard setback will allow reasonable use of the property. Many of the homes in the area were built with front yard setbacks ranging between 25' - 30', the applicants proposal is not inconsistent with the setbacks seen in the area. The property located at 332 Florida Avenue received a 20 foot variance on March 4, 2013 to build an attached open carport at a front yard setback of 10 feet.

(3) In the context presented, strict compliance with the land development regulation will not further any legitimate city objective or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under this criteria if the variance were denied;

Strict compliance with the City's land development regulations will not further any legitimate City objective. This request does not encroach into any recorded easements, does not exceed the maximum impervious surface allowed in the zoning district, and is in compliance with all other setbacks and development regulations for the Winter Garden Code of Ordinances.

(4) The granting of the variance is consistent with the city's comprehensive plan; and
The variance is consistent with the provisions of the City's Comprehensive Plan relating to low density residential neighborhood character.

(5) The variance requested is the minimum variance that will make reasonable use of the land, building, or structure or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under these criteria if the variance were denied.

The variance requested is the minimum variance that will make reasonable use of the land. The proposed house should not negatively impact the neighbors and is consistent with the other properties in the neighborhood. Denying this variance does not benefit the property owner or the City.

SUMMARY

City Staff recommends approval of a variance Section 118-398 (a) to allow a 25.3 foot front yard setback in lieu of the minimum required 30 foot front yard setback to allow construction of a new front entryway.

NEXT STEP

Apply for the appropriate Building Permits.

ATTACHMENTS

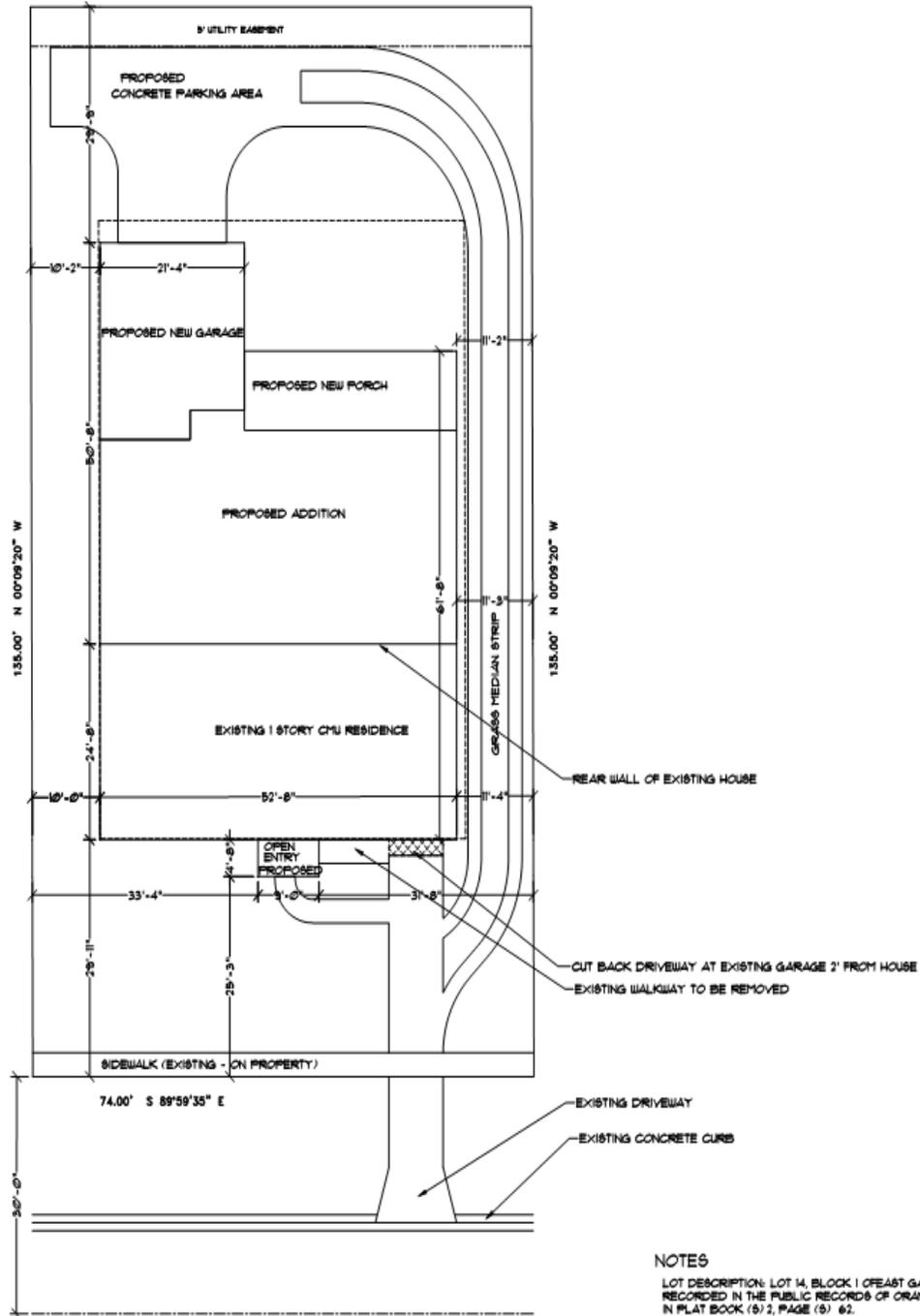
- Aerial Photo
- Site Plan
- Elevations of Proposed Structure
- Site Photos

AERIAL PHOTO
315 Florida Avenue



332 Florida Ave.
Received a 20 ft. Variance on
March 4, 2013

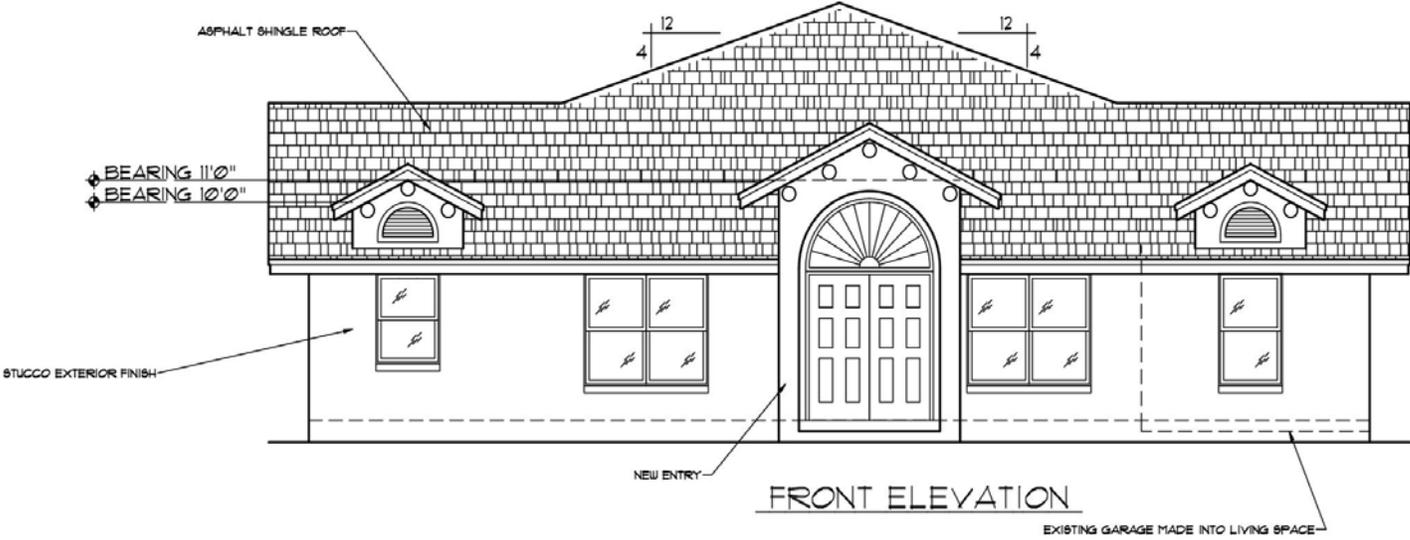
SITE PLAN
315 Florida Avenue



IMPERVIOUS CALCULATIONS	
DRIVE & WALK	1411
LIVING AREA	2126
ENTRY PORCH	43
REAR PORCH (S)	33
GARAGE	522
TOTAL IMPERVIOUS	5258
LOT - 9990 SQ FT	53%

NOTES
 LOT DESCRIPTION: LOT 14, BLOCK 1 OF EAST GARDEN MANOR FOURTH ADDITION, AS RECORDED IN THE PUBLIC RECORDS OF ORANGE COUNTY, FL IN PLAT BOOK (S) 2, PAGE (S) 62.
 LOT DRAINAGE/GRADING TYPE: _____
 FINISHED FLOOR ELEVATION: _____

FRONT ELEVATION ENLARGED
315 Florida Avenue



SITE PHOTOS
315 Florida Avenue





END OF STAFF REPORT

THE CITY OF WINTER GARDEN
PLANNING AND ZONING BOARD AGENDA ITEM

ITEM # 8 (Public Hearing)

DATE: November 2, 2016 **MEETING DATE:** November 7, 2016

SUBJECT: 1717 Bridgepebble Road (VARIANCE)
PROJECT NAME Holmes Screen Room Variance
PARCEL ID# 004-23-27-8229-21-219

ISSUE: The applicant is requesting a Variance to allow for a 15' rear yard setback in lieu of the minimum required setback of 20' to build a screen room with a solid roof at the property located at 1717 Bridgepebble Road in the Stone Creek Subdivision.

SUPPLEMENTAL MATERIAL/ANALYSIS:

OWNER/APPLICANT: Tim and Nelia Holmes

CURRENT ZONING: Planned Unit Development (PUD)

PROPOSED ZONING: N/A

CURRENT FLU: Low Density Residential (LR)

PROPOSED FLU: N/A

SUMMARY:

The applicant is requesting a variance of 5 feet to allow for a 25'x10' screen room addition on the rear of the property. The new screen room will be built at a 15 foot rear yard setback in lieu of a the minimum required 20' rear yard setback as defined in the Stone Creek (Stoneybrook West) PUD Ordinance (Ord. 98-79)

STAFF RECOMMENDATION(S):

Staff recommends approval of the Variance request subject to the following condition:

1. The room cannot become a fully enclosed air conditioned space.

ATTACHMENT(S):

Location Map
Staff Report
HOA Approval Letter

LOCATION MAP

1717 Bridgepebble Road

VARIANCE



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

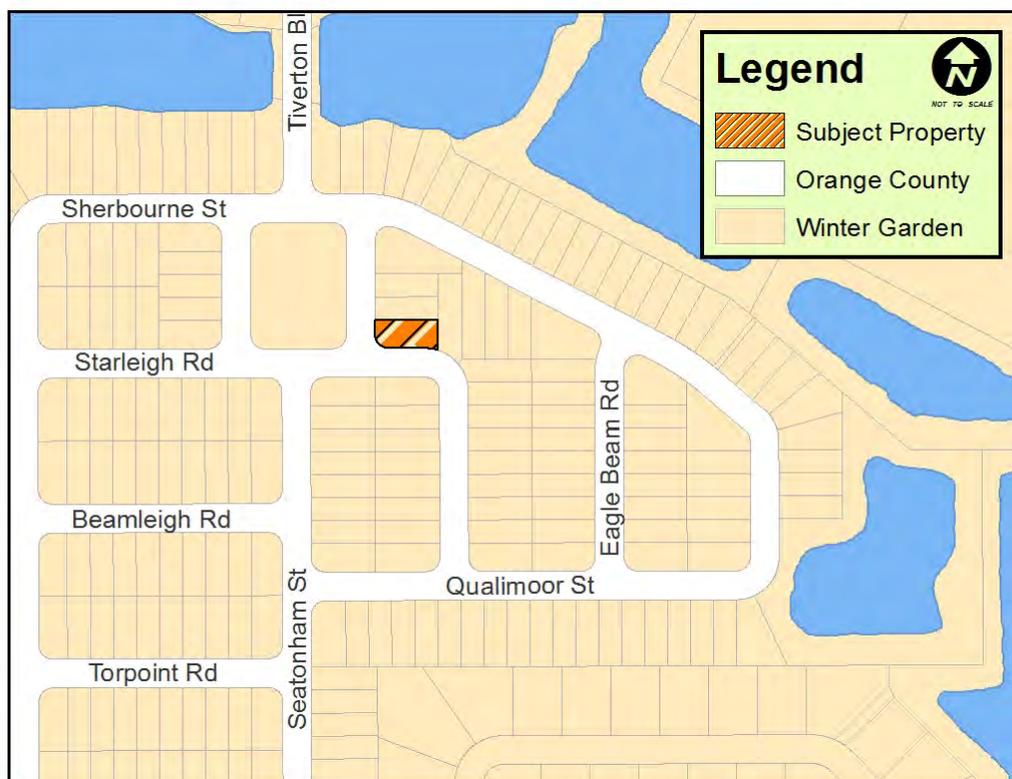
TO: PLANNING AND ZONING BOARD
PREPARED BY: STEVE PASH, COMMUNITY DEVELOPMENT DIRECTOR
DATE: NOVEMBER 1, 2016
SUBJECT: VARIANCE
1717 Bridgepebble Road (0.12+/- ACRES)
PARCEL ID # 04-23-27-8229-21-219

APPLICANT: Tim and Nelia Holmes

INTRODUCTION

The purpose of this report is to evaluate the request for a variance for property located at 1717 Bridgepebble Road in Winter Garden, Florida. The request is to allow an addition (screen room) to the primary structure to be built at a 15 foot rear yard setback in lieu of the minimum required 20 foot rear yard setback.

The subject property, located on Bridgepebble Road, is an approximately 0.12 ± acre lot in the Stone Creek Subdivision. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The subject property carries the zoning designation PUD (Planned Unit Development) Ordinance 98-79 and is designated LR (Low Density Residential) on the Future Land Use Map of the City's Comprehensive Plan. This neighborhood was included in the Stoneybrook West PUD, which was amended on several occasions through Resolution 03-12, Resolution 04-04, and Resolution 05-25. All of these Resolutions amended the original PUD Ordinance to change from apartments to single-family homes.

EXISTING USE

The subject property is currently developed with a single-family house.

ADJACENT LAND USE AND ZONING

All of the properties adjacent to the subject property are zoned PUD and in the Stone Creek neighborhood, which is within the City of Winter Garden's Municipal limits. The properties to the north, south, and east of the subject property are all developed with single family residences. The property to the west is a neighborhood park.

PROPOSED USE

The applicant is proposing to construct a screen room with a solid roof on the existing primary structure in the rear of the property.

CODE REFERENCE

Ord. 98-79. The Stoneybrook West PUD Ordinance addresses minimum yard requirements. This ordinance states that the minimum rear yard setback for a single-family residential building in the PUD is 20 feet.

The applicant is seeking a variance to the minimum rear yard setback to allow a screen room with a solid roof to be built at a 15 foot rear yard setback in lieu of the minimum required 20 foot rear yard setback.

CODE REQUIREMENTS / CRITERIA

Section 118-131 of the City Code that relates to the review criteria states that, "A variance may be granted from land development regulations by the planning and zoning board if the planning and zoning board concludes that literal enforcement of the provisions of land development regulations would result in either practical difficulties (for setback and parking provisions) or unnecessary hardships (for all other land development regulations) for the property at issue." The code also lists the following criteria that are to be addressed before a variance can be approved. Underlined text is Staff's comments concerning this particular petition.

(1) Granting the variance will not cause or allow interference with the reasonable enjoyment of adjacent or nearby property owners or negatively impact the standard of living of the citizens of the city;

The proposed screen room will be located 15 feet from the rear property line and should not negatively impact or interfere with the reasonable enjoyment of adjacent or nearby property owners. The Homeowners Association has approved the addition and this home will not negatively impact the standard of living of the citizens of the City.

(2) *The variance will allow a reasonable use of the property, which use is not out of character with other properties in the same zoning category;*

The requested variance allowing a 15 foot rear yard setback in lieu of the required 20 foot rear yard setback will allow reasonable use of the property. Other properties in the neighborhood have similar structures and granting this variance will not change the character of the neighborhood.

(3) *In the context presented, strict compliance with the land development regulation will not further any legitimate city objective or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under this criteria if the variance were denied;*

Strict compliance with the City's land development regulations will not further any legitimate City objective. This request does not encroach into any recorded easements, does not exceed the maximum impervious surface allowed in this PUD zoning district, and is in compliance with all other setbacks and development regulations in the Winter Garden Code of Ordinances

(4) *The granting of the variance is consistent with the city's comprehensive plan; and*

The variance is consistent with the provisions of the City's Comprehensive Plan relating to low density residential neighborhood character.

(5) *The variance requested is the minimum variance that will make reasonable use of the land, building, or structure or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under these criteria if the variance were denied.*

The variance requested is the minimum variance that will make reasonable use of the land and the location of the proposed screen room should not negatively impact the neighbors. Denying this variance does not benefit the property owner or the City.

SUMMARY

Staff recommends approval of a variance to Ordinance 98-79 to allow a 15 foot rear yard setback in lieu of the minimum required 20 foot rear yard setback to allow construction of a new screen room with the following condition:

1. The room cannot become a fully enclosed air conditioned space.

NEXT STEP

Follow all City regulations and apply for a building permit for the proposed screen room.

ATTACHMENTS

- Aerial Photo
- Site Plan
- Site Photos

AERIAL PHOTO
1717 Bridgepebble Road



SITE PHOTOS
1717 Bridgepebble Road

Looking north at back yard.



Looking east at property behind proposed screen room.



SITE PHOTOS
1717 Bridgepebble Road

View to show separation between subject home and neighbors house.



END OF STAFF REPORT

STONE CREEK HOMEOWNERS ASSOCIATION, INC.
2180 West State Road 434, Suite 5000
Longwood, Florida 32779-5044

August 29, 2016

110200
NELIA HOLMES
1717 BRIDGEPEBBLE RD
WINTER GARDEN FL 34787

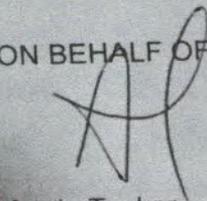
RE: ARB Application Request

Dear Homeowner(s):

Your ARB request to *install screen room addition with fixed roof* has been approved as submitted.

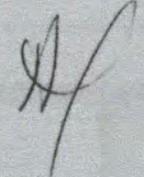
Should you have any questions, you may contact me at (407) 788-6700, Ext. 51101.

ON BEHALF OF THE BOARD OF DIRECTORS



Angie Tucker
Community Association Manager

Enclosure

Date Received: 8/18/14  Date Returned: _____

**ARCHITECTURAL REVIEW BOARD
APPLICATION**

This is a request form to be completed by the homeowner and submitted to the Architectural Review Board (ARB) for approval BEFORE any work commences. Please refer to your Declaration of Covenants and Restrictions for a description of the ARB and its purpose.

THIS SECTION TO BE COMPLETED BY HOMEOWNER

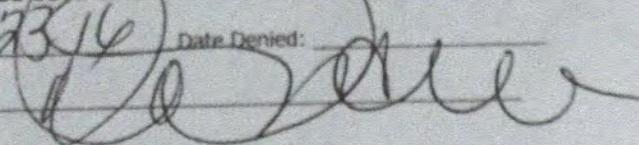
ASSOCIATION NAME: Stone Creek Homeowners Assoc., Inc. DATE: 8/15/14
 NAME: Nelia Holmes
 ADDRESS: 1717 Bridgepebble Rd. Winter Garden FL 34787
 PHONE: (HOME) 407 491 1437 WORK: NA
 DESCRIBE THE CHANGE/ADDITION/INSTALLATION: (i.e. Fence installation, repaint exterior (include paint number and color sample), screen enclosure, pool, etc.) Screen Room Addition with Fixed roof.

LOCATION: (attach a copy of a survey map with a suitable diagram showing where the addition is located)
On Back of House. Please see attached map.

SPECIFICATIONS: (attach copies of plans, paint samples, estimates or pictures)
 Dimensions: 25ft Long x 10ft. wide
 Material(s): Steel and Screen
 Color (s): Dark Copper Frame

Note: All requests must conform to all local Zoning and Building Regulations and you must obtain all necessary permits if the Architectural Review Board approves your request.

SECTION TO BE COMPLETED BY ARCHITECTURAL REVIEW BOARD

REQUEST: Date Approved: 8.23.14 Date Denied: _____
 BOARD MEMBER'S SIGNATURE: 

COMMENTS: _____
 SUBSTANTIAL COMPLETION: _____ Inspection Date: _____
 Final Inspection Date: _____

All approved construction must be completed within 60 days if approved. If work, additions or constructions of any kind have not commenced within 60 days, the application must be resubmitted. **Paint applications must be mailed along with color number and swatches for the body, door and trim of the home.**

Please return to:
 Angie Tucker
 2180 SR 434, Suite 5000
 Longwood, FL 32779
 FAX: (407) 788-7488