



AGENDA
CITY COMMISSION
CITY HALL COMMISSION CHAMBERS
300 W. Plant Street
Winter Garden, Florida

REGULAR MEETING

July 14, 2016

6:30 p.m.

CALL TO ORDER

Determination of a Quorum

Opening Invocation and Pledge of Allegiance

1. **APPROVAL OF MINUTES**

Regular Meeting Minutes of June 23, 2016

2. **FIRST READING AND PUBLIC HEARING OF PROPOSED ORDINANCES**

A. **Ordinance 16-36:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING APPROXIMATELY 0.34 +/- ACRES OF CERTAIN REAL PROPERTY LOCATED AT 16 EAST VINING STREET ON THE SOUTHWEST CORNER OF SOUTH WOODLAND STREET AND EAST VINING STREET FROM CITY R-2 RESIDENTIAL DISTRICT TO CITY R-NC RESIDENTIAL NEIGHBORHOOD COMMERCIAL DISTRICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE **with the second reading and public hearing being scheduled for July 28, 2016** - Community Development Director Pash

B. **Ordinance 16-37:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING APPROXIMATELY 67.7 +/- ACRES OF CERTAIN REAL PROPERTY GENERALLY LOCATED ON THE SOUTHEAST CORNER OF TILDEN ROAD AND AVALON/MANN ROAD, AT 15304 TILDEN ROAD, FROM R-1 (SINGLE-FAMILY RESIDENTIAL) TO PUD (PLANNED UNIT DEVELOPMENT); PROVIDING FOR CERTAIN PUD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE FOUNDATION ACADEMY PUD; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE **with the second reading and public hearing being scheduled for July 28, 2016** - Community Development Director Pash

3. **REGULAR BUSINESS**

A. Recommendation to approve the Site Plan for Oakland Park Phase 4A Amenity Center at 1000 Civitas Way **subject to staff recommended conditions** - Community Development Director Pash

B. Discussion on improvements to the Newton Park Pier – City Manager Bollhoefer

C. Recommendation to approve setting the proposed millage rate at 4.2500 mills for Fiscal Year 2016/2017 and schedule public hearing dates for September 7th and 21st, 2016 at 6:30 p.m. - City Manager Bollhoefer

- D. Recommendation to approve the sale of 109 S. Boyd Street to Tremaine Boyd, LLC for \$152,000 with waiving the transportation impact fees of \$174,177 and other fees approximately \$235,484 (RFP 15-103) – City Manager Bollhoefer
- E. Recommendation to approve awarding two Community Development Block Grants for housing rehabilitation contracts to Pat Lynch Construction for 526 S. Boyd Street at \$53,460 and Central Florida Renovation for 500 Seminole Street at \$69,050 both bid awards exceed the maximum grants – Economic Development Director Gerhartz
- F. **Resolution 16-06:** A RESOLUTION OF THE CITY COMMISSISON OF THE CITY OF WINTER GARDEN, FLORIDA, DELCARING A SPECIAL ELECTION TO FILL THE VACANCY IN CITY COMMISSIONER DISTRICT 3 DUE TO HIS RESIGNATION AND DECLARING THE CANDIDATE QUALIFYING PERIOD – City Clerk Golden

4. **MATTERS FROM PUBLIC** (*Limited to 3 minutes per speaker*)

5. **MATTERS FROM CITY ATTORNEY** – Kurt Ardaman

6. **MATTERS FROM CITY MANAGER** – Mike Bollhoefer

- A. Draft ordinance for bars on windows
- B. Update on golf carts
- C. Update on corner of Dillard and SR 50 project

7. **MATTERS FROM MAYOR AND COMMISSIONERS**

ADJOURN to a Regular Meeting on July 28, 2016 at 6:30 p.m. in City Hall Commission Chambers, 300 W. Plant Street, 1st floor

NOTICES:

In accordance with Florida Statutes 286.0105, if any person decides to appeal any decision made by said body with respect to any matter considered at such meeting, he/she will need a record of the proceedings and, for that purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The City of Winter Garden does not prepare or provide such record.

Any opening invocation that is offered before the official start of the Commission meeting shall be the voluntary offering of a private person, to and for the benefit of the Commission. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the City Commission or the city staff, and the City is not allowed by law to endorse the religious or non-religious beliefs or views of such speaker. Persons in attendance at the City Commission meeting are invited to stand during the opening invocation and to stand and recite the Pledge of Allegiance. However, such invitation shall not be construed as a demand, order, or any other type of command. No person in attendance at the meeting shall be required to participate in any opening invocation that is offered or to participate in the Pledge of Allegiance. You may remain seated within the City Commission Chambers or exit the City Commission Chambers and return upon completion of the opening invocation and/or Pledge of Allegiance if you do not wish to participate in or witness the opening invocation and/or the recitation of the Pledge of Allegiance. (Reference Resolutions 15-04 and 16-02)

	<p>Those needing assistance to participate in any of these proceedings should contact the City Clerk's Office at least 48 hours in advance of the meeting (407) 656-4111 x2254.</p>		<p>Help for the hearing impaired is available through the Assistive Listening System. Receivers can be obtained at the meeting from the Information Technology Department (407) 656-4111 x5455.</p>
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CITY OF WINTER GARDEN

CITY COMMISSION REGULAR MEETING MINUTES

June 23, 2016

A **REGULAR MEETING** of the Winter Garden City Commission was called to order by Mayor Rees at 6:30 p.m. at City Hall, 300 West Plant Street, Winter Garden, Florida. An Opening Invocation and Pledge of Allegiance were given.

Present: Mayor John Rees, Commissioners Bob Buchanan, Kent Makin, and Colin Sharman

Absent: Commissioner Robert Olszewski

Also Present: City Manager Mike Bollhoefer, City Attorney A. Kurt Ardaman, City Clerk Kathy Golden, Assistant City Manager of Administrative Services Frank Gilbert, Assistant City Manager of Public Services Don Cochran, Community Development Director Steve Pash, Finance Director Laura Zielonka, Fire Chief Matt McGrew, Information Technology Director Chad Morrill, and Police Chief George Brennan

1. **APPROVAL OF MINUTES**

Motion by Commissioner Sharman to approve the regular meeting minutes of June 9, 2016 as submitted. Seconded by Commissioner Makin and carried unanimously 4-0.

2. **SECOND READING AND PUBLIC HEARING OF PROPOSED ORDINANCE**

A. **Ordinance 16-35:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING THE CITY OF WINTER GARDEN FISCAL YEAR 2015-2016 BUDGET; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE

City Attorney Ardaman read Ordinance 16-35 by title and the following excerpt from Section 1 as follows:

REVENUES

General Fund	\$325,000
Law Enforcement Trust Fund	29,325
Law Enforcement Grants Fund	10,000
Local Option Gas Tax Fund	5,000
Police Impact Fee-General Fund	31,635
Utility Operating Fund	2,277,702
Utility Impact Fee Fund	2,049,943
Utility Renewal and Replacement Fund	3,075,000
Stormwater Fund	162,229
Solid Waste Fund	32,000
	<u>32,000</u>
	\$7,997,834

Mr. Ardaman stated that the expenditures are itemized identically to the revenues.

Finance Director Zielonka stated that this is the second reading and one change has been made since the first reading. The addition of \$250,000 to bury the power lines at Plant Street and Park Avenue.

Mayor Rees opened the public hearing; hearing and seeing none, he closed the public hearing.

Motion by Commissioner Sharman to adopt Ordinance 16-35. Seconded by Commissioner Makin and carried unanimously 4-0.

3. **FIRST AND FINAL READING WITH A PUBLIC HEARING OF PROPOSED RESOLUTION**

- A. **Resolution 16-05**: A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF WINTER GARDEN, FLORIDA NOTICING ITS INTENT TO USE THE UNIFORM METHOD FOR COLLECTION OF A NON-AD VALOREM SPECIAL ASSESSMENT FOR THE INITIAL REPAIR AND RESTORATION OF THE STORMWATER AND DRAINAGE MANAGEMENT INFRASTRUCTURE AND SYSTEMS AND DRIVE AREAS LOCATED ON, ABOUT, OR WITHIN THE BRANDY CREEK SUBDIVISION, LOTS 1 THROUGH 63, INCLUSIVE, AS RECORDED IN PLAT BOOK 38, PAGE 82 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THE LOT OWNERS' APPROVAL AND REQUEST FOR THE INITIAL REPAIR AND RESTORATION; STATING THE NEED FOR THE LEVY OF SUCH NON-AD VALOREM ASSESSMENT; PROVIDING A DESCRIPTION OF THE IMPROVEMENTS AND COSTS THEREOF; PROVIDING A DESCRIPTION OF THE REAL PROPERTY SUBJECT TO THE LEVY, NOTICE TO THE STATE AND COUNTY AS REQUIRED BY LAW; AND AN EFFECTIVE DATE

City Attorney Ardaman read Resolution 16-05 by title only.

City Manager Bollhoefer stated that this is the first resolution to establish the special assessment for the Brandy Lake (Creek) community. The work has started this week to redo their stormwater system. He shared that the City Commission has to go through a series of resolutions and ordinances to establish a means of reimbursing the City for the funds used to fix their stormwater system. He believes that to fix that entire stormwater system is about a 30 day process and another two weeks to redo the road.

Mayor Rees confirmed the total (estimated) cost is \$539,000 with the City paying two-thirds and the HOA will by one-third of \$180,000. He calculated there are 63 lots paying over a twenty-year period will be about \$142 a year per homeowner. There was discussion on the special assessment being less because the pipe estimate came in less. It was noted that it was pretty much unanimously supported by the community.

City Attorney Ardaman stated that the agreement has been approved and signed by the Homeowner's Association (HOA) with respect to reimbursement. He noted that they have also outlined what the City is paying and what the HOA is paying.

Mayor Rees opened the public hearing; hearing and seeing none, he closed the public hearing.

Motion by Commissioner Buchanan to approve Resolution 16-05. Seconded by Commissioner Sharman and carried unanimously 4-0.

4. **REGULAR BUSINESS**

A. **Recommendation to approve a special event at Plant Street Market Crooked Can Brewery located at 426 West Plant Street on Thursday, July 21, 2016 from 7:00 p.m. to 11:00 p.m. with conditions**

Community Development Director Pash stated that this special event application is for an event at the Plant Street Market Crooked Can Brewery on July 21, 2016 from 7:00 p.m. to 11:00 p.m. They have been contracted by the Microsoft Corporation, who is in town for another event, to have a private event with up to 500 people attending. They are requesting to close South Central Avenue from Smith Street to Plant Street. There will be live entertainment with service of beer and wine in that area. Staff has reviewed the application and recommends approval subject to the conditions provided.

Mayor Rees stated that the application notes the music will be from 7:00 p.m. to 11:00 p.m. but in the application they are asking the road be closed from 12:00 p.m. to 12:00 a.m. He inquired about what transpires during the other hours. Mr. Pash stated that staff will not deliver barricades until 4:30 p.m. and they have agreed to those terms. Mr. Pash noted that the additional hour is for clean-up.

There was discussion on a previous event held at this location and some minor issues that was dealt with by staff.

Motion by Commissioner Makin to approve a special event request at Plant Street Market Crooked Can Brewery located at 426 West Plant Street on Thursday, July 21, 2016 from 7:00 p.m. to 11:00 p.m. with conditions. Seconded by Commissioner Sharman and carried unanimously 4-0.

Dispensed as the City Commission and convened as the Community Redevelopment Agency at 6:42 p.m.

Members Present: Chairman John Rees, Members Bob Buchanan, Kent Makin, Colin Sharman, and Larry Cappleman

Members Absent: Robert Olszewski

B. **Recommendation by the Community Redevelopment Agency Advisory Board to approve up to \$8,000 Façade Matching Grant for 100 W. Plant Street (Winter Garden Investment LLC) with conditions and authorize the City Manager to execute the agreement**

City Planner Carson stated that this façade grant application has been reviewed and approved by City staff, the Architectural Review and Historic Preservation Board (ARHPB), and the Community Redevelopment Agency (CRA) Advisory Board. This

item is for a property located at 100 West Plant Street that is a two-story commercial building with a number of offices/retail businesses. The CRA Advisory Board recommends approval of a matching grant up to \$8,000.00 for improvements that include removing four existing windows in order to install two distinct storefronts along the South Boyd Street elevation. The storefronts will include new doors, storefront windows, transom windows, kick plates along the bases of the storefront and an awning that spans both. She noted that the CRA Advisory Board recommends approval of the matching grant subject to three conditions: storefront and awning colors need to be reviewed by the City and meet the ARHPB guidelines, the two existing storefronts along the South Boyd Street elevation must be painted a color that compliments these two new storefronts, and the west and south sides of the existing building must also be painted a color that meets ARHPB guidelines.

Mayor Rees sought clarification on the language “is not a contributing structure within the historic district”. Ms. Carson responded that a contributing structure is one that was deemed, during the inventory, to be significant because of architectural style or the age of the building. She stated that this building was too new and/or recently built.

Commissioner Buchanan asked about the kick plates being conducive to the other stores and spoke of the different materials available. Ms. Carson noted that the applicant is still getting pricing on the different materials, but right now he thinking of using wood. There was discussion that the final plans would be reviewed by the City.

Motion by Agency Member Cappleman to approve up to \$8,000 Façade Matching Grant for 100 W. Plant Street (Winter Garden Investment LLC) subject to the conditions recommended and authorize the City Manager to execute the agreement. Seconded by Agency Member Buchanan and carried unanimously 5-0.

Adjourned as the Community Redevelopment Agency and reconvened as the City Commission at 6:46 p.m.

5. **MATTERS FROM PUBLIC** – There were no items.

6. **MATTERS FROM CITY ATTORNEY** – There were no items.

7. **MATTERS FROM CITY MANAGER**

- City Manager Bollhoefer stated that he has distributed a cost sheet for repairing the (Lake Apopka City) dock and noted that something will need to be done and asked the City Commission to review the materials so it can be discussed at the next meeting.

Commissioner Makin noted that there may be some changes in that area in the future and he really did not want to put a lot of money into it but just do the necessary repairs for now. Commissioner Sharman asked Commissioner Makin if his request was because of his interest in bigger changes in the future. Commissioner Makin responded yes.

Commissioner Buchanan asked if there were changes that Commissioner Makin was aware of that had not been made known to the City Commission. Commissioner Makin responded that one of his goals is to make some improvements at this location and he knows that Mr. Barfield has got some things going on there as far as clean up. Commissioner Makin shared he is waiting to see Mr. Barfield's reports and where this may take him on doing some more restoration to clean up Lake Apopka. He noted that if this comes into play, this might allow the City to pursue and possibly receive some funding through grants to do more improvements to Newton Park as far as boat ramp, new dock, and/or boat slip and things of that nature. He stated that this is why he does not want to spend a lot of money now, but make it safe and then see how things progress.

There was discussion on making the dock safe and the estimated cost of repairing it right now. Commissioner Makin suggested that if funds were to be spent, look into getting some type of lighting on the dock. Mayor Rees asked that the City Commission to review this issue and get with the City Manager so that a decision can be made at the next meeting because we do not want to leave it too long, particularly during the summer time. City Manager Bollhoefer noted that he would investigate the types of grants available, the timing, and any other possibilities that are out there.

- **Dreyfus Property**

City Manager Bollhoefer stated that Dreyfus is changing their operations and are no longer utilizing a majority of their paved portion. He noted that the City has a great opportunity to partner with Shepard's Hope to put Shepard's Hope offices and a clinic on Ninth Street. Shepard's Hope has been awarded a grant to build an 8,000 to 10,000 square foot facility to serve people below the poverty level needing medical care. He stated that City staff has prepared a conceptual design (*a copy was distributed*) of what we feel would be a great outlay for the community.

Mr. Bollhoefer noted that we could add additional space in front of the community garden where other vegetables can be grown and set up a pavilion or outdoor space where the City can bring in a smaller farmer's market to the community. He spoke of partnering with groups and members within the community to work the farm, which tends to make these types of projects more successful.

Mr. Bollhoefer stated that the City has been working with Shepard's Hope for some time and would like to move forward on this project to bring it back to the City Commission in three weeks whereby we can lease this property to Shepard's Hope for a long-term 20 year lease for a minimal charge of \$20 per year and they would provide this service. He noted that this would provide the citizens of East Winter Garden a great entrepreneurial opportunity. Mr. Bollhoefer gave some historical information about the Shepard's Hope organization.

*There were **no objections** noted about moving forward with this plan and bringing it back to the City Commission.*

8. **MATTERS FROM MAYOR AND COMMISSIONERS**

Commissioner Sharman noted how the City has received attention on how the property values in the Winter Garden zip code have outpaced every other zip codes across the country.

Commissioner Sharman asked for an update on the patrolling of dump trucks has been going. City Manager Bollhoefer noted that the City is beginning to expand its patrol and start writing tickets out at Marsh Road. He noted that all of the dump trucks are speeding excessively. He also noted that the City has full right to possibly implement certain weight limits for trucks in that area.

City Manager Bollhoefer shared that the traffic light at Marsh Road and Avalon Road went on today.

There was discussion and updates on some of the current projects and their timelines.

Commissioner Buchanan thanked the City Manager and City staff for handling issues in the areas of Brandy Creek, the new subdivision on Bay Street, and Valencia Shores.

Commissioner Makin also thanked the City Manager Bollhoefer and staff for handling the same type of issues in his District and voiced his appreciation for staff and all they do.

Mayor Rees reiterated that we do thank the City Staff and City Manager for the handling of these issues.

The meeting adjourned at 6:57 p.m.

APPROVED:

Mayor John Rees

ATTEST:

City Clerk Kathy Golden, CMC

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: July 7, 2016 **Meeting Date:** July 14, 2016

Subject: 16 E Vining Street
Davis Property Rezoning
Ordinance 16-36
PARCEL ID # 23-22-27-8576-02-010

Issue: The applicant is requesting to rezone a property located at 16 E Vining Street.

Discussion:
The subject property makes up a 0.34 ± acre parcel located at 16 E Vining Street. The applicant has requested to rezone the property from City R-2 to City R-NC. (See attached Staff Report).

Recommended Action:
Staff recommends approval of Ordinance 16-36 with the second reading and adoption hearing scheduled for July 28, 2016.

Attachment(s)/References:

Location Map
Ordinance 16-36
Staff Report

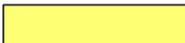
Legend



Roads



Orange County Parcels

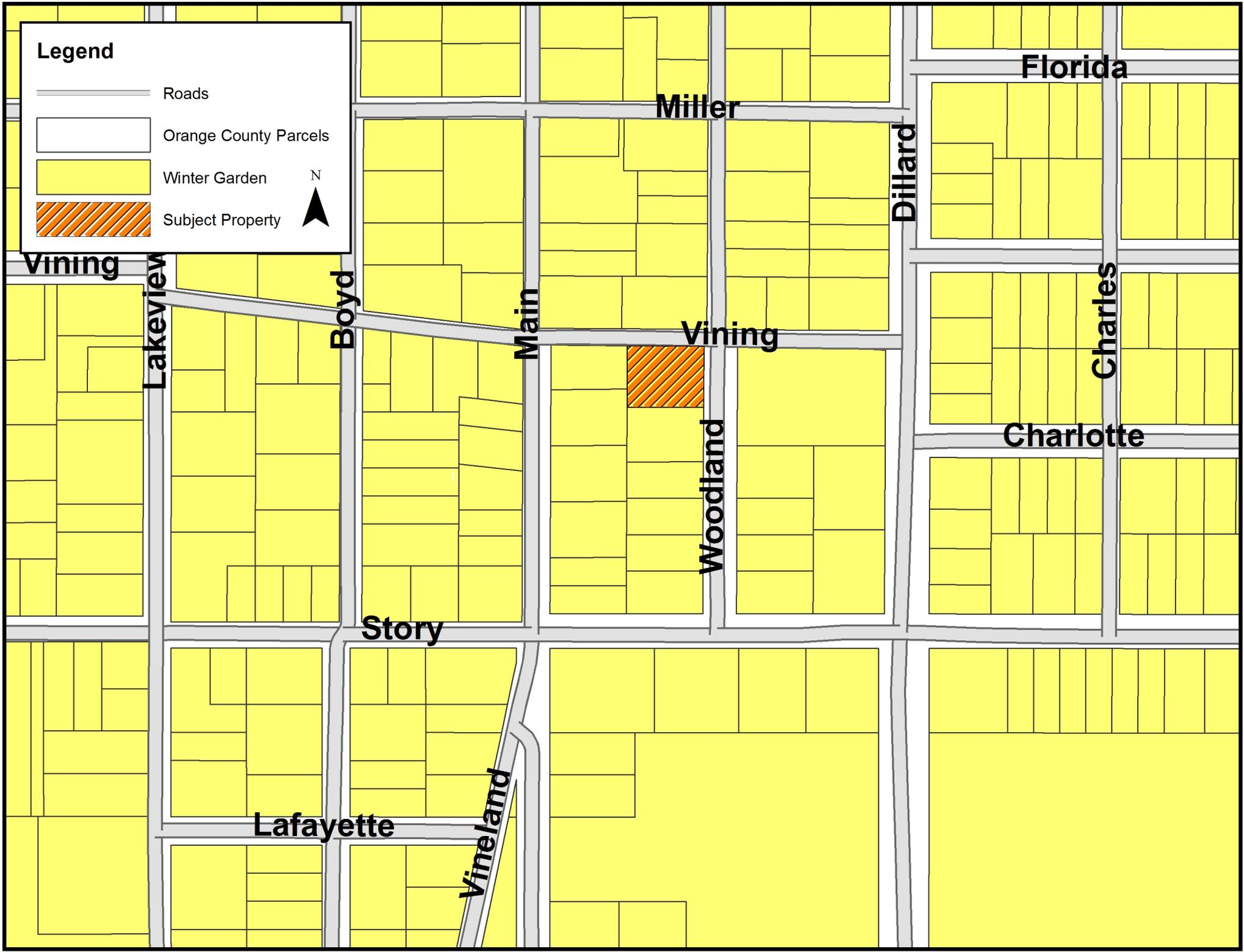


Winter Garden



Subject Property

N



ORDINANCE 16-36

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING APPROXIMATELY 0.34 ± ACRES OF CERTAIN REAL PROPERTY LOCATED AT 16 EAST VINING STREET ON THE SOUTHWEST CORNER OF SOUTH WOODLAND STREET AND EAST VINING STREET FROM CITY R-2 RESIDENTIAL DISTRICT TO CITY R-NC RESIDENTIAL NEIGHBORHOOD COMMERCIAL DISTRICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner of that certain real property generally described as 0.34 ± acres located at 16 East Vining Street on the southwest corner of South Woodland Street and East Vining Street, and legally described in Section 1 of this ordinance has petitioned the City to rezone said property from the City’s R-2 Residential District to the City’s R-NC Residential-Neighborhood Commercial District zoning classification, therefore; and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the rezoning approved by this Ordinance is consistent with the City of Winter Garden Comprehensive Plan; and

WHEREAS, further, the City Commission finds that based on competent, substantial evidence in the record, the rezoning approved by this Ordinance meets all applicable criteria for rezoning the Property to R-NC Residential-Neighborhood Commercial District contained within the City of Winter Garden Comprehensive Plan and the Code of Ordinances.

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: *Rezoning.* The above “Whereas” clauses constitute findings by the City Commission. After due notice and public hearing, the zoning classification of real property legally described on ATTACHMENT “A,” is hereby rezoned from City R-2 Residential District to City R-NC Residential-Neighborhood Commercial District in the City of Winter Garden, Florida.

SECTION 2: *Zoning Map.* The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION 3: *Non-Severability.* Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 4: *Effective Date.* This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2016.

SECOND READING AND PUBLIC HEARING: _____, 2016.

ADOPTED this _____ day of _____, 2016, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

KATHY GOLDEN, City Clerk

ATTACHMENT "A"

LEGAL DESCRIPTION

PARCEL ID#: 23-22-27-8576-02-010

DESCRIPTION:

LOT 1 AND THE NORTH 1/2 OF LOT 2, TANNER SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK S, PAGE 139, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

TO: PLANNING AND ZONING BOARD
PREPARED BY: KELLY CARSON, URBAN DESIGNER
DATE: JULY 6, 2016
SUBJECT: REZONING (R-2 to R-NC)
16 E VINING STREET (0.34+/- ACRES)
PARCEL ID #: 23-22-27-8576-02-010

APPLICANT: Mary Ann Davis

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located at 16 E Vining Street and is approximately 0.34 ± acres in size. The map below depicts the subject property within the City's jurisdictional limits:



The property is located within the City of Winter Garden jurisdictional limits, is zoned R-2 Residential District, and has a Future Land Use Designation of NC Residential Neighborhood Commercial. The applicant is now requesting to rezone the property from R-2 Residential District to R-NC Residential-Neighborhood Commercial District.

EXISTING USE

The subject property contains two single-story concrete block residential homes that are separated by a white PVC fence. One of the homes fronts on E Vining Street and the other fronts on S Woodland Street. The S Woodland Street home features an attached carport and separate utility building, while the E Vining Street home contains a metal shed in the rear yard.

ADJACENT LAND USE AND ZONING

The properties located to the south and west of the subject property are developed with single family residences, are zoned R-2 (Residential District), and are located within the City of Winter Garden's municipal limits. The R-2 zoned property to the north is also in the City, but is developed with a triplex building. The property to the east contains the Ace Hardware store. This property is zoned C-2 (Arterial Commercial District) and is located in Winter Garden.

PROPOSED USE

If the rezoning application is approved, the applicant has no immediate plans to pursue a commercial use on the property. In the future, the applicant may sell the lot as a residential property with the potential for certain neighborhood commercial uses. A Special Exception Permit would need to be granted by the Planning & Zoning Board prior to commencing any commercial operations on the property.

PUBLIC FACILITY ANALYSIS

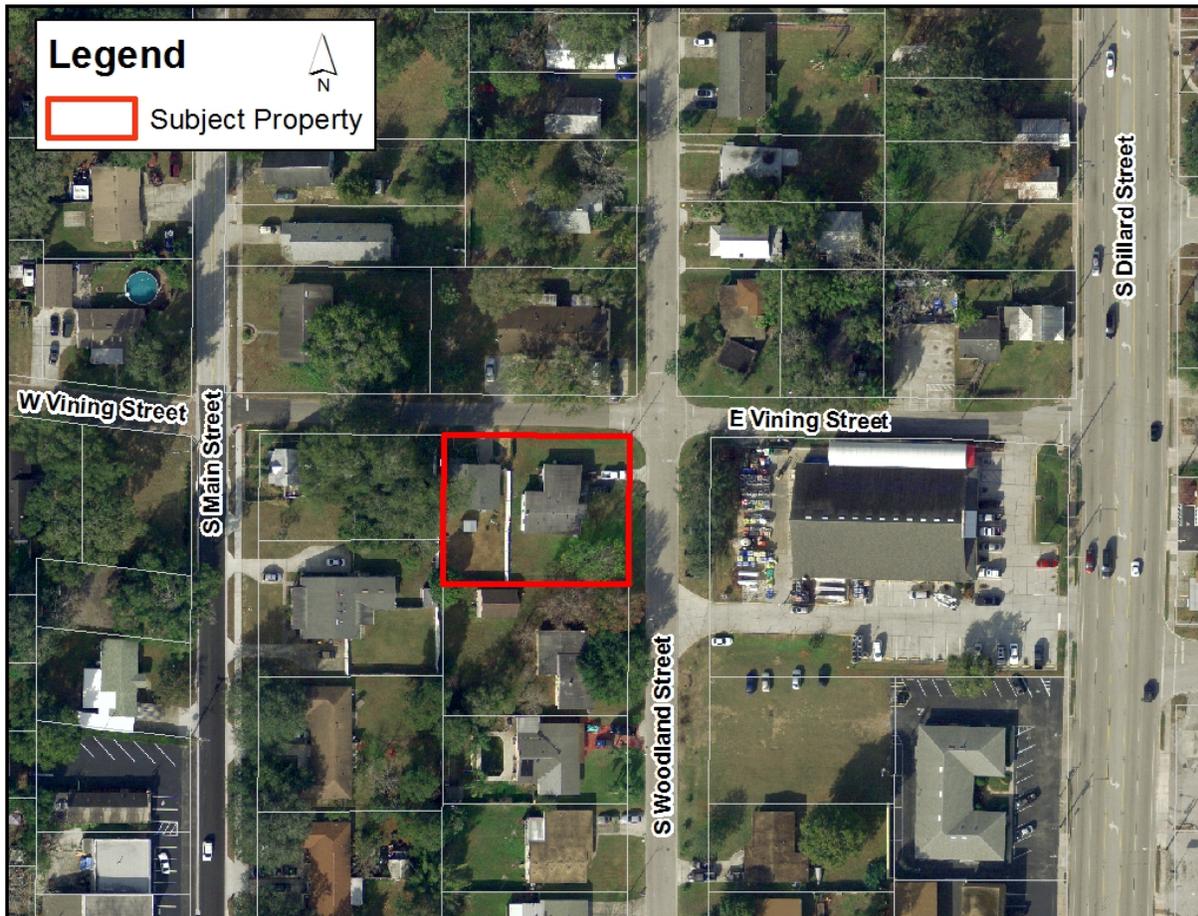
The City will continue providing garbage collection, police protection, City utilities, and all other services regularly provided to City of Winter Garden residents. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department under the First Response System.

SUMMARY

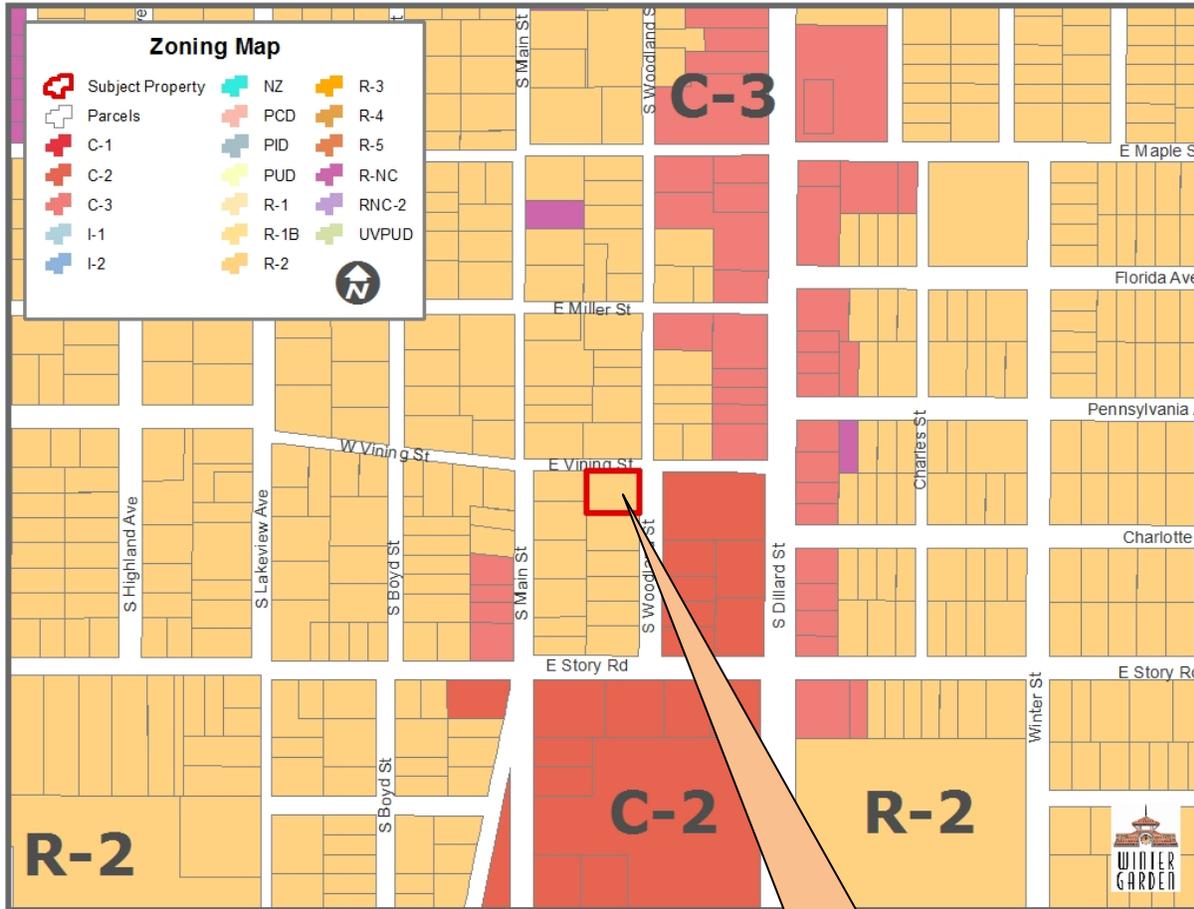
The applicant's proposal to rezone the subject property from R-2 to R-NC is consistent with the property's Future Land Use designation of NC Residential Neighborhood Commercial as well as the policies contained within the City's Comprehensive Plan. City Staff recommends approval of Rezoning Ordinance 16-36 with the following condition:

1. After rezoning, any proposed commercial and/or live/work uses on the property will need to procure approval of a Special Exception Permit from the Planning & Zoning Board prior to commencing operations. Conditions of approval will include any required commercial upgrades to the site or building(s), as well as all necessary buffering from surrounding residential properties.

AERIAL PHOTO
16 E VINING STREET

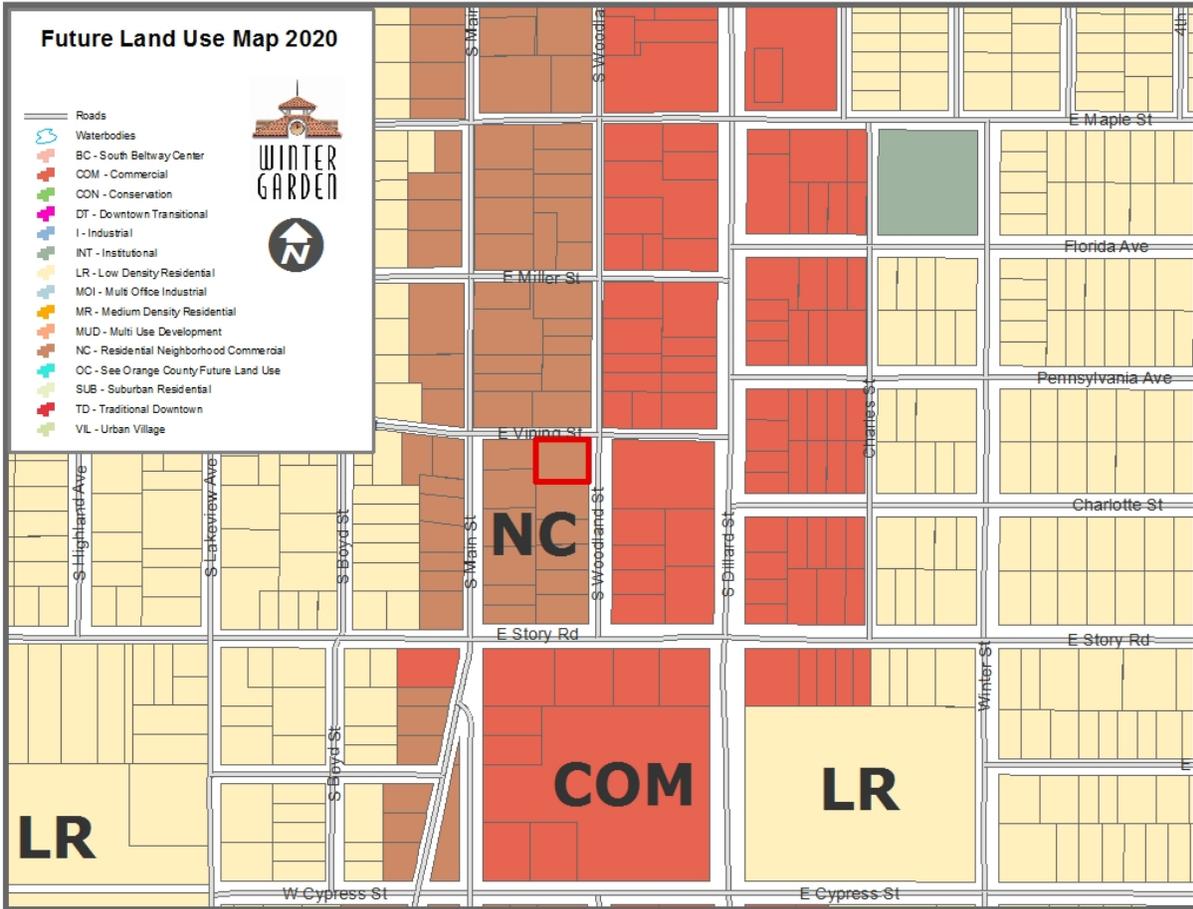


ZONING MAP 16 E VINING STREET



**Subject property change
from City R-2 to R-NC**

FUTURE LAND USE MAP 16 E VINING STREET



END OF STAFF REPORT

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: July 7, 2016 **Meeting Date:** July 14, 2016

Subject: 15304 Tilden Road (Ordinance 16-37)
Foundation Academy Planned Unit Development Rezoning
PARCEL ID# 09-23-27-0000-00-009

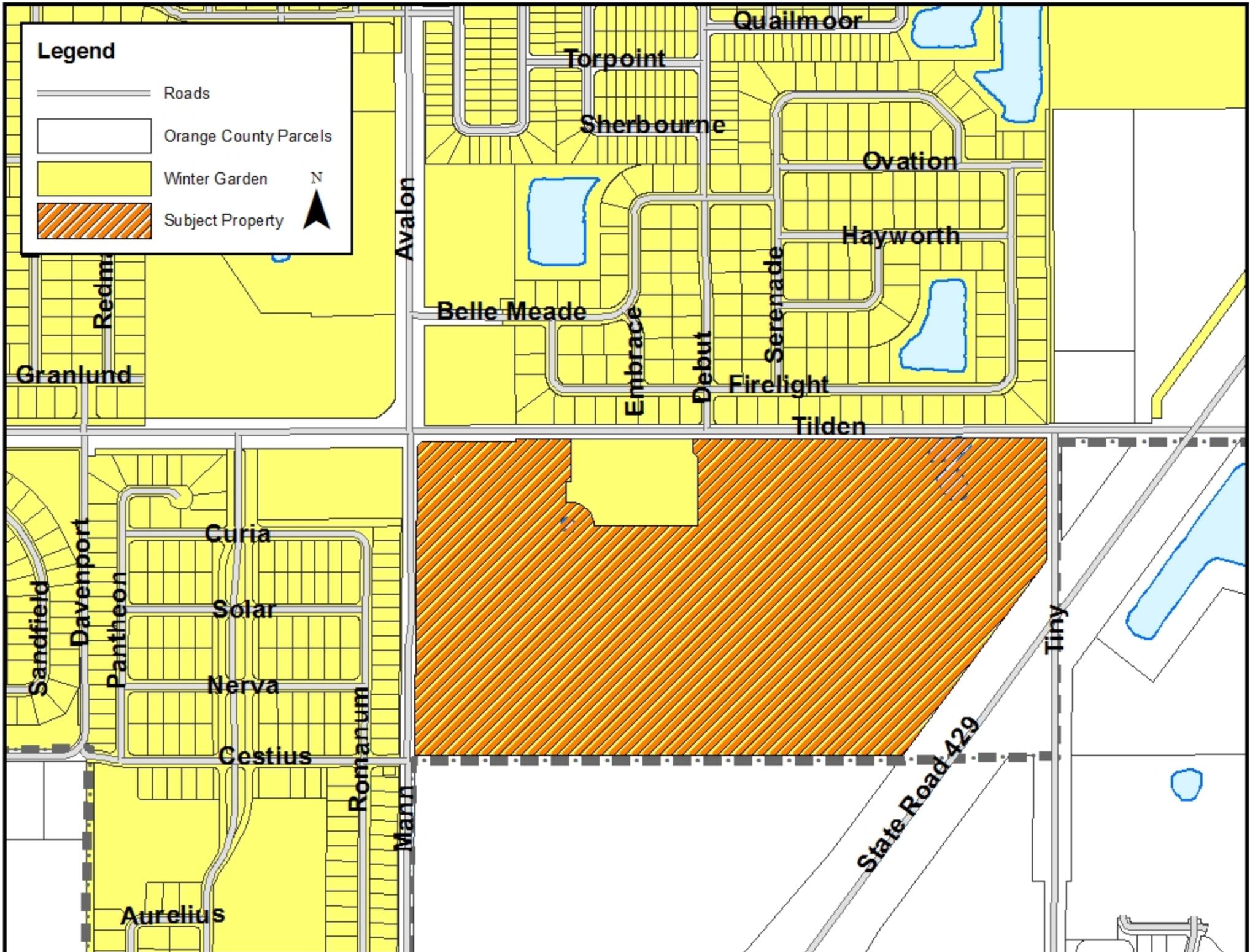
Issue: The applicant is requesting to rezone 67.66 ± acres of land from R-1 to Planned Unit Development (PUD).

Discussion: The subject property contains Foundation Academy's South Campus (grades 7-12). The applicant is requesting to rezone 67.66 +/- acres of land to allow the development of additional educational and sports facilities, a commercial development at the Tilden/Mann Road intersection, and a communication tower at the southeast corner of the site. The property will also contain related infrastructure and open spaces. The subject property is located within the City of Winter Garden's municipal limits, and carries the zoning designation R-1 and is designated Suburban Residential on the Future Land Use Map of the Comprehensive Plan. City staff recommends approval of the proposed Ordinance. Rezoning the subject property from City R-1 to City PUD is consistent with the Code of Ordinances, the Future Land Use Map, the City's Comprehensive Plan, and the surrounding property uses. (See attached Staff Report).

Recommended Action: Staff recommends approval and adoption of Ordinance 16-37, subject to the Conditions of the attached Staff Report, with the second reading and adoption scheduled for July 28, 2016.

Attachment(s)/References:

Location Map
Ordinance 16-37
Staff Report



ORDINANCE 16-37

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING APPROXIMATELY 67.7 ± ACRES OF CERTAIN REAL PROPERTY GENERALLY LOCATED ON THE SOUTHEAST CORNER OF TILDEN ROAD AND AVALON/MANN ROAD, AT 15304 TILDEN ROAD, FROM R-1 (SINGLE-FAMILY RESIDENTIAL) TO PUD (PLANNED UNIT DEVELOPMENT); PROVIDING FOR CERTAIN PUD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE FOUNDATION ACADEMY PUD; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner(s) of real property generally described as approximately 67.7 ± acres of certain real property generally located on the southeast corner of Tilden Road and Avalon/Mann Road in Winter Garden, Florida, being more particularly described on Exhibit "A" attached hereto and incorporated herein by this reference (the "Property"), desire to rezone their property from R-1 (Single-Family Residential) to PUD (Planned Unit Development"), and

WHEREAS, recently adopted Ordinance 16-25 amended Chapter 118, Article V, Division 2 of the City of Winter Garden Code to allow Planned Unit Developments with primary institutional uses and secondary commercial and residential uses; and

WHEREAS, the Planning and Zoning Board has considered this Ordinance and made a recommendation to the City Commission concerning its adoption; and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the adoption of this Ordinance and the proposed development of the Property is consistent with the City of Winter Garden Comprehensive Plan, and the land development regulations set forth in the City of Winter Garden Code of Ordinances; and

WHEREAS, based on competent substantial evidence in the record, the requested rezoning set forth in this Ordinance meets all applicable criteria specified in the City of Winter Garden Comprehensive Plan and the Code of Ordinances; Now therefore;

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: Rezoning. After due notice and public hearing, the zoning classification of the Property, as described in Exhibit "A" attached hereto, is hereby rezoned from City R-1 to City PUD in the City of Winter Garden, Florida subject to the following conditions, provisions and restrictions:

- a. **Conceptual Plan-** All development on the Property must substantially

conform to the requirements identified in the Foundation Academy Planned Unit Development Plan attached hereto as Exhibit "B." Should any conflict be found between this Ordinance and the Foundation Academy Planned Unit Development Plan attached hereto as Exhibit "B", then the standards and conditions established by this Ordinance shall control. The City owned parcel shown on Exhibit "B" is not incorporated into this PUD and thus, is not governed by or subject to this PUD.

b. Zoning- Unless specifically noted elsewhere in Exhibit "B" attached hereto, or expressly provided for herein, all development on the Property must comply with the general zoning requirements of the Planned Unit Development zoning district as they pertain to properties that have primary institutional uses. These requirements include any approval procedures of the Planned Unit Development zoning district.

c. Permitted Uses- The permitted uses for the subject property correspond with the areas depicted in Exhibit "B", which are as follows:

1. Education

a) Permitted Uses:

- Schools and other educational uses.
- Churches.

b) Permitted accessory structures and uses:

- Customary accessory uses and structures clearly incidental and subordinate to a principal use.

2. Athletics – A & B

a) Permitted Uses:

- Schools and other educational uses.
- Indoor & outdoor sports facilities.
- Churches.
- Dormitories.
- Communication Tower (Athletics B only).

b) Permitted accessory structures and uses:

- Customary accessory uses and structures clearly incidental and subordinate to a principal use.

3. Commercial

a) Permitted Uses:

- Retail shops of a neighborhood scale.
- Offices, studios.
- Personal services.

- Public buildings.
- Upper story residential dwelling units.

b) Permitted accessory structures and uses:

- Customary accessory uses and structures clearly incidental and subordinate to a principal use.

4. The Conservation and Pond Areas depicted on Exhibit B are to be used only for open space, conservation of wetlands and stormwater treatment, collection and retention subject to all applicable permits and approvals.

d. Special Exception Uses- There are no special exception uses for this property.

e. Prohibited Uses- The prohibited uses for all areas of the subject property are as follows:

- Residential uses other than those specifically permitted in this Ordinance.
- Vehicle sales.
- Daycares.
- Nursing homes.
- Dry cleaners.
- Medical laboratories.
- Manufacturing and industrial uses, transportation terminals, storage warehousing and other activities of a similar nature.
- Bars or nightclubs.
- Fuel sales.
- Buildings with drive-thru lanes.
- All uses prohibited by Sec. 118-858(5), City of Winter Garden Code of Ordinances.
- All uses not specifically permitted in this Ordinance; any use not in keeping with a neighborhood-scale institutional character.

f. Design Criteria/Architectural Standards-

1. Architectural Standards- All buildings and site elements within the Commercial area depicted in Exhibit “B” shall adhere to the Foundation Academy Planned Unit Development Commercial Design Standards, attached hereto as Exhibit “C”.

2. Maximum Building Height- The maximum building height shall not

exceed 35 feet.

3. **Landscape Design-** Unless specifically identified or allowed in Exhibit "C", all areas shall be required to adhere to the landscape design standards for specified commercial corridors in accordance with Chapter 118, Article X, Division 3 of the City of Winter Garden Code of Ordinances.
4. **Setbacks and Required Yards-** All buildings shall be set back no less than 30 feet adjacent to Tilden Road; and 20 feet adjacent to Mann Road and Tiny Road. Unless otherwise noted herein, buildings and accessory structures shall be set back no less than 35 feet from all other adjacent properties.
5. **Communication Tower-** The one permitted communication tower shall comply with the regulations of the Winter Garden Code of Ordinances Chapter 70, Article II.
6. **Outdoor Storage-** Outdoor storage of materials or equipment is prohibited.
7. **Signage-** All signage proposed for the Property shall comply with the City of Winter Garden's sign standards in accordance with Chapter 102. All signage within the Commercial area depicted in Exhibit "B" shall conform to the regulations of Chapter 102, Article III, Division 3. All signage within the Education, Athletics A, and Athletics B areas area depicted in Exhibit "B" shall conform to the "Permitted Nonresidential Uses in Residential Districts" regulations of Chapter 102, Article III, Division 2. The signage shall be reviewed at time of Site Plan Review.
8. **Impervious Surface Area Ratio-** The maximum impervious surface area ratio for the Property shall be consistent with the overall maximum impervious surface area ratio that the Planned Unit Development is permitted by Saint John's River Water Management District.
9. **Lighting-** all exterior lighting shall be designed to provide safe, convenient and efficient lighting for pedestrians and vehicles.
 - a) **Street Lighting:** All lighting provided along public streets shall comply with the requirements pertaining to construction and installation of public improvements in accordance with Appendix A, Article II, Section 2.
 - b) **Site Lighting:** Vehicular, building, and pedestrian site

lighting shall be designed as dark skies lighting in a consistent and coordinated manner for the entire project in compliance with the requirements of Chapter 118, Article X, Division 4 of the City Code of Ordinances. During the site plan review, a photometric lighting plan will be required.

- c) **Stadium Lighting:** Lighting for outdoor sports facilities may be permitted if the light and glare from these fixtures does not present a nuisance for neighboring properties. During the site plan review of the proposed stadium(s), a photometric lighting plan will be required to ensure there will be no adverse impacts.

- g. **Delivery Hours-** No deliveries shall occur between the hours of 7:00pm and 7:00am.

- h. **Vehicular Connections-** Before any new development receives Major Commercial or Institutional Site Plan Approval from the Development Review Committee, a traffic impact analysis is required to determine the principal and secondary site access points that will have the least impact on surrounding residential properties. At that time, certain restrictions may be placed on vehicular movement including limiting permitted ingress/egress points and turning movements during school drop off & pick up times.

- i. **Staff Conditions-** All development on the Property must comply with the following staff conditions:

 - 1. DRC and City Commission review and approval of site plans for all Project phases will be required prior to construction of those phases.
 - 2. Additional information on the proposed Wet Pond/Park shall be provided as part of any additional development on the site, especially considering the proximity to the City's stormwater pond/parcel.
 - 3. Phase I shall not exceed a total of 800 students and the overall student count shall not exceed 1,200. If the number of students exceeds 800 it shall trigger development requirements of subsequent phases as outlined in the original Developers Agreement. If the overall student count exceeds 1,200 it shall trigger a Developers Agreement.
 - 4. Per the Special Exception Permit that was approved by City Commission in October of 2014, the temporary classroom facilities are only permitted to be located on site for a maximum of three years. After this three year period, Foundation Academy must apply for site plan approval to construct permanent buildings.

5. Pursuant to City Code, sidewalks are required along all public street frontages.
6. The Tilden Road drainage system shall be capable of handling the proposed discharge (flow and character) from this developed site. Drainage calculations shall support the 100 year retention design as certified by the Design Engineer.
7. All parking needs will be calculated on a per-use basis rather than the PUD as a whole.
8. This project will be required to meet the City's adopted Comprehensive Plan Amendment including the Wekiva Protection Act provisions for open space, drainage and protection of Karst features. Based on the information received to date, total retention of the 25 year, 24 hour storm event will be required if a positive outfall is available; retention of the 100 year, 24 hour storm event will be required if a positive outfall is not available.
9. All utilities required for the development shall be run to the site at the developer's expense, including potable water, reclaimed water and sanitary sewer. 100% of all water and sewer impact fees shall be paid prior to City execution of FDEP permits and issuance of site or building permits.
10. All irrigation on the site shall be designed to be supplied by reclaimed water.
11. Permits from SJRWMD and FDEP (water, wastewater and NPDES) are required prior to issuance of site or building permits.
12. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
13. All work shall conform to City of Winter Garden standards and specifications.
14. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
15. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others, including by way of any development order or permit issued. Obtaining permission,

easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City shall not be responsible and any corrective measures required will be the responsibility of the Owner/Developer. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.

16. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of the building permit.

SECTION 2: *General Requirements.*

- a. **Development Agreement-** If deemed necessary by City Staff, a Development Agreement shall be drafted, approval obtained and recorded prior to approval of any site or building permits for the Property.
- b. **Stand Alone Clause-** Each phase of development of the Property must operate as an individual unit in that each particular phase will be able to stand-alone in the event that no other phase is developed.
- c. **Land Development Approvals and Permits-** This Ordinance does not require the City to issue any permit or approval for development, construction, building permit, or other matter by the City relating to the Property or the project or any portion thereof. These and any other required City development approvals and permits shall be processed and issued by the City in accordance with procedures set forth in the City's Code of Ordinances and subject to this Ordinance.
- d. **Amendments-** Minor amendments to this Ordinance will be achieved by Resolution of the City Commission of the City of Winter Garden. Major amendments to this Ordinance will require approval of the City Commission of the City of Winter Garden by Ordinance.
- e. **Expiration/Extension-** Expiration of this PUD shall be governed in accordance with Section 118-830, City of Winter Garden Code of

Ordinances. Time extensions may be granted in accordance with Section 118-829, City of Winter Garden Code of Ordinances.

SECTION 3: *Zoning Map.* The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION 4: *Non-Severability.* Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 5: *Effective Date.* This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2016.

SECOND READING AND PUBLIC HEARING: _____, 2016.

ADOPTED this _____ day of _____, 2016, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

KATHY GOLDEN, City Clerk

Exhibit "A"

Parcel ID: 09-23-27-0000-00-009

LEGAL DESCRIPTION:

A TRACT OF LAND LYING IN SECTION 9, TOWNSHIP 23 SOUTH, RANGE 27 EAST, CITY OF WINTER GARDEN, ORANGE COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:

THE NW 1/4 OF NE 1/4 OF SAID SECTION 9, LESS THE NORTH AND EAST 30 FEET FOR ROAD RIGHT OF WAY AND LESS THAT PART TAKEN FOR RIGHT OF WAY ON THE EAST AS RECORDED IN OFFICIAL RECORDS BOOK 6090, PAGE 2803, OF THE PUBLIC RECORDS OF ORANGE COUNTY FLORIDA,

AND

THE NE 1/4 OF NW 1/4, LESS THE NORTH AND WEST 30 FEET FOR ROAD RIGHT OF WAY AND LESS THAT PART TAKEN FOR ROAD RIGHT OF WAY PER OFFICIAL RECORDS BOOK 9484, PAGE 1174 OF THE PUBLIC RECORDS OF ORANGE COUNTY FLORIDA,

LESS

A PORTION OF THE NW 1/4 OF SECTION 9, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTH 1/4 CORNER OF SECTION 9, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA; THENCE SOUTH 00°48'24" WEST, A DISTANCE OF 30.00 FEET, ALONG THE EAST LINE OF THE NW 1/4 OF SAID SECTION 9 TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF TILDEN ROAD AS SHOWN ON THE PLAT OF BELLE MEADE - PHASE 2, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 66, PAGES 25 THROUGH 27, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE SOUTH 89°56'14" WEST, A DISTANCE OF 159.22 FEET, ALONG SAID SOUTH RIGHT OF WAY LINE TO THE POINT OF BEGINNING; THENCE DEPARTING SAID SOUTH RIGHT OF WAY LINE, SOUTH 00°03'46" EAST, A DISTANCE OF 56.24 FEET; THENCE SOUTH 50°19'05" EAST, A DISTANCE OF 25.90 FEET; THENCE SOUTH 00°00'00" EAST, A DISTANCE OF 284.82 FEET TO A POINT ON A LINE THAT IS 124.71 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 10711, PAGES 3950 THROUGH 3954, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE SOUTH 90°00'00" WEST, A DISTANCE OF 426.87 FEET, ALONG SAID PARALLEL LINE, TO A POINT ON A NON-TANGENT CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 97.30 FEET, A CENTRAL ANGLE OF 90°00'00" AND A CHORD BEARING OF NORTH 45°00'00" WEST, SAID POINT BEING ON THE WEST LINE OF SAID LANDS; THENCE FROM A TANGENT BEARING NORTH 00°00'00" WEST, NORTHWESTERLY, A DISTANCE OF 152.50 FEET ALONG THE ARC OF SAID CURVE AND ALONG SAID WEST LINE TO THE POINT OF TANGENCY OF SAID CURVE; THENCE CONTINUE ALONG SAID WEST LINE THE FOLLOWING TWO (2) COURSES AND DISTANCES: NORTH 90°00'00" WEST, A DISTANCE OF 20.00 FEET; THENCE NORTH 00°00'00" EAST, A DISTANCE OF 87.99 FEET TO A POINT ON THE NORTH LINE OF SAID LANDS; THENCE NORTH 90°00'00" EAST, A DISTANCE OF 20.00 FEET, ALONG SAID NORTH LINE; THENCE DEPARTING SAID NORTH LINE NORTH 00°00'00" EAST, A DISTANCE OF 171.75 FEET TO A POINT ON SAID SOUTH RIGHT OF WAY LINE; THENCE NORTH 89°56'14" EAST, A DISTANCE OF 504.17 FEET, ALONG SAID RIGHT OF WAY LINE TO THE POINT OF BEGINNING.

Exhibit "B"

COVER PAGE

FOUNDATION ACADEMY PUD PLAN

(2 PAGES - ATTACHED)

PLANNED UNIT DEVELOPMENT PLAN FOUNDATION ACADEMY 15304 Tilden Road

Development Standards

Maximum Building Height:	35 Feet
Maximum Gross Floor Area Ratio (FAR):	35%
Minimum Building Setbacks:	
Tilden Road :	30 feet
Mann Road:	20 feet
Tiny Road:	20 feet
Expressway:	35 feet
Southern Boundary:	35 feet

Stormwater: The stormwater system shall be designed to meet the requirements of Chapter 106 of the City of Winter Garden Code Stormwater) and the requirements of the St. Johns River Water Management District.

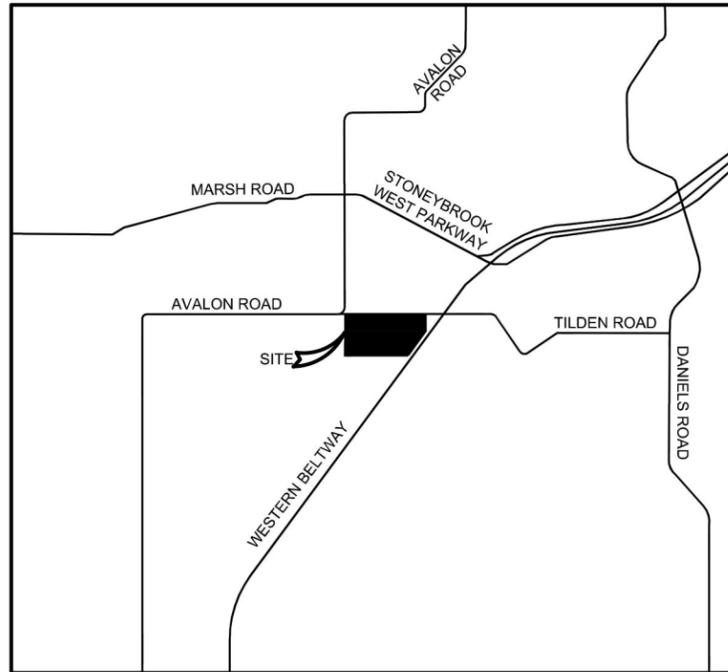
NOTE: Final Site Plans including building footprints, elevations, lighting, landscaping, and signage will be in accordance with City Code and Ordinances. Final site plans shall also conform to the City's adopted Comprehensive Plan Amendment including the Wekiva Protection Act as currently adopted and revised by the City.

NOTE: A traffic impact analysis will be provided when site construction plans are submitted in the future.

NOTE: All on-site utilities shall be privately owned and maintained.

NOTE: The site shall be served by City water, sewer and reuse. All utilities required for the development shall be run to the site at the Developer's expense, including potable water, reclaimed water and sanitary sewer. Final plans shall detail all connections including fire protection, sanitary sewer, and domestic water supply and reclaimed water.

NOTE: All street/parking lot lighting shall be installed in accordance with City Code and shall meet dark skies requirements (Code Section 118-1536(k)). Street/Parking Lot lights shall be shielded from residential areas



LOCATION MAP

Parcel ID: 09-23-27-0000-00-009

Address 15304 Tilden Road

OWNER:	Foundation Academy, Inc. Att'n: David Buckles 15304 Tilden Road Winter Garden, Florida 34787	407-230-5052 david.buckles@foundationacademy.net
ENGINEER:	Kirby Engineering, L.L.C. John Kirby, P.E. P. O. Box 770669 Winter Garden, Florida 34787	407-877-9400 407-877-9983 (Fax) jkwg1@earthlink.net

Project Area Summary

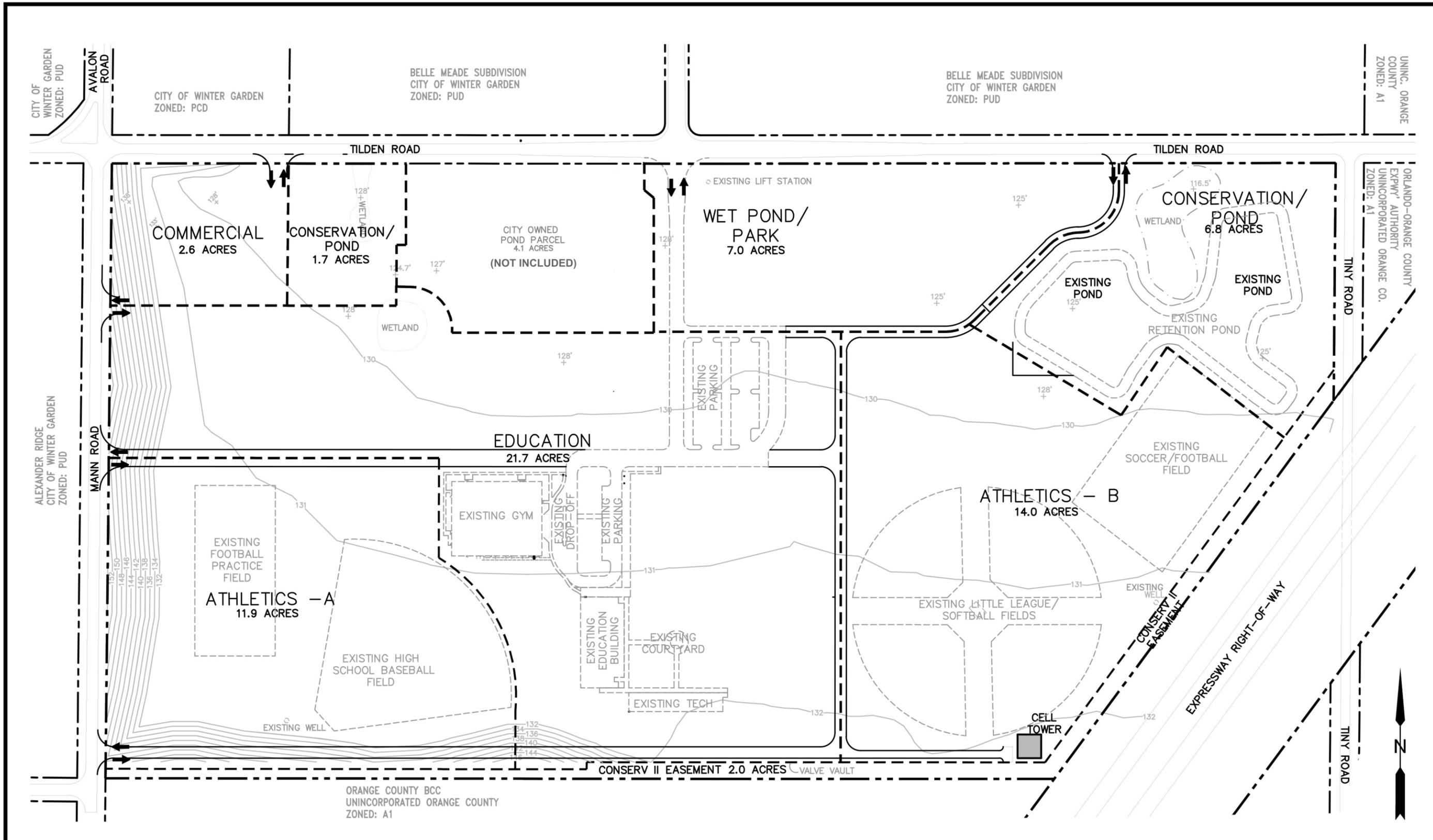
Total Site: 67.7 AC.

Conservation/Pond:	8.4 Acres	Athletics - B:	14.0 Acres
Pond/Park:	7.0 Acres	Commercial:	2.6 Acres
Education:	21.7 Acres	Conserv II Easement:	2.1 Acres
Athletics - A:	11.9 Acres		

Project Notes

Existing Future Land Use:	Suburban Residential
Existing Zoning:	R-1 with Special Exception for School and Athletic Facilities
Proposed Zoning:	Planned Unit Development
Phasing:	Multiple Phases
Existing Use:	Education and Athletics

INDEX OF SHEETS	
SHEET TITLE	No.
Cover Sheet	C1
PCD Plan	C2



LEGEND

Property Boundary		Existing Contour	
Land Use Boundary		Existing Elevation	
Full Ingress/Egress			

**PUD PLAN FOR
FOUNDATION ACADEMY**

SCALE: 1" = 200'

Exhibit "C"

COVER PAGE

FOUNDATION ACADEMY PUD Commercial Design Standards

(7 PAGES - ATTACHED)

Foundation Academy Planned Unit Development

Commercial Design Standards

1. Project Overview

Development Program – The commercial component of this project will substantially comply with the architectural standards outlined below, as well as comply with City Ordinance 16-37.

Site Plan Requirements – The Site plan is conceptual and is for zoning purposes only. Any new development on the subject property must be submitted individually for site plan approval.

2. Architectural Character

Design Criteria – The overall commercial architectural design of the parcel identified as commercial will substantially comply with a **Florida Vernacular architectural style**. Final elevations associated with specific site plans will be subject to change by the end user provided the architectural theme is consistent, the standard of quality is maintained, the architectural standards are achieved, and the design is approved by the City.

A consistent and compatible standard will be applied to the building on the commercial portion of the PUD. The following outline of massing, finishes, treatments, colors and use of materials are representative of a theme and a level of “quality” to be maintained throughout the development.

These architectural standards are to be used for the commercial component of the PUD. However, all architectural elevations are required to be reviewed and approved by City staff prior to Site Plan Approval, and there should be consistency between all developments in terms of design style and quality.

Building Massing & Articulation–

- A. The building facades that are visible to pedestrians and/or vehicles along major internal and external circulation routes are required to have architectural variation that is consistent with the Florida Vernacular style (similar to that depicted in Exhibit 1).

- B. Buildings will be designed to have façade features on multiple planes. No wall facing a street or connecting walkway shall have a blank, uninterrupted façade that exceeds 15' in length.
- C. There shall not be any façade that has a run greater than a 50 lineal feet without a change in depth or materials.
- D. Building facades along major circulation routes (internal or external) are required to incorporate a minimum of three of the following design details for every 25 lineal feet of span:
- Porches with columns (Min. 60" depth)
 - Porch railings
 - Shutters
 - Awnings or overhangs for windows or balconies
 - Doors with transom windows
 - Decorative light fixtures
 - Other architectural features consistent with the building design and approved by the City.
- E. Architectural design details and window treatments will be utilized to unify all sides of the buildings.
- F. Landscaping and planting beds along the building frontage are to be incorporated to vary massing.

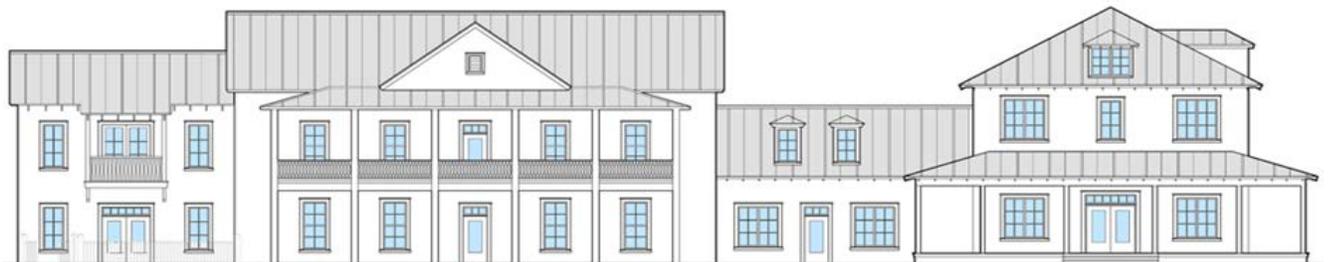


Exhibit 1

Building Materials and Theming

- A. A consistent architectural theme (as depicted in Exhibit 1) will be utilized to unify the development, including complimentary colors, finished materials and textures.

- B. The following are acceptable exterior building materials:
- Board and batten
 - Wood/Hardboard-type Siding
 - Stained Hardwood
 - Smooth stucco or EIFS panels may be used along elevations that are not adjacent to major internal or external circulation routes.
 - Smooth stucco, veneer bricks, or another cladding material may also be used as a secondary material to another main building material such as siding.
- C. Store fronts: Display windows should encompass a minimum of 40% and a maximum of 80% of a storefront's lineal frontage.
- D. Building colors shall be drawn from a light "earth tone" color palette; the color chip shall be submitted to the City for approval. No fluorescent colors are permitted.

Roof Treatments

- A. A metal panel seam or metal shake roof is acceptable. A dimensional shingle roof or manufactured equivalent of a wood shake roof is also acceptable.
- B. Pitch of main roof, hipped or gable, shall be no greater than 10:12; porch roof shall be a lower pitch than the main roof. All structures must have a minimum 3:12 slope roof. Flat and/or mansard roofs are not permitted.
- C. A minimum 10" overhang is required for any roof structure. Multiple roof systems with matching roof slopes are permissible.
- D. Eaves shall exhibit an "open soffit" or "open rafter tail" style, which may be terminated by a fascia or left exposed. "Closed soffit" styles may be considered if used in conjunction with decorative roof brackets.

Building Projections and Entryways

- A. Building exteriors will provide shelter from sun and rain. Awnings and overhangs will be provided for all pedestrian walkways.
- B. Primary pedestrian entrances will be clearly expressed and be recessed by a sheltering element. This element will preferably be a porch with columns, but elements such as awnings, arcades, and/or porticos may be considered if they achieve the overall intent of these architectural design standards. The minimum height of this element shall be 10', and the minimum depth shall be 8'.

Building Orientation and Site Design

- A. Building elevations that include the primary entrances shall be visually and physically oriented towards the street. There may be secondary entrances provided along other building facades.
- B. Parking areas shall not visually dominate the road frontages. Parallel to the front face of the building, there shall be no more than two rows (one on either side of an access drive) of angled or 90 degree parking between the front building façade and the adjacent right-of-way.
- C. Parking areas shall provide pedestrian-friendly pathways to primary and secondary building entrances. Pedestrians must also be provided safe and accessible pathways to adjacent properties including vehicular walkways, as well as pedestrian access and circulation paths.
- D. Site furnishings such as benches, trash receptacles, and bicycle parking facilities shall also be provided on site.

Utilities and Equipment

- A. All utility equipment must be properly screened with walls and/or landscaping. All loading docks and loading areas must be screened from public view with appropriate screen walls, which are architecturally integrated with the main structure.

Lighting

- A. Lighting will comply with the design standards, requirements, and regulations pertaining to specified commercial corridors within City of Winter Garden in accordance with Chapter 118, Article X, Division 4.
- B. Poles, globes, and other light fixtures that are of a high design quality are required and shall be consistent with the overall building architecture.
- C. All lighting shall follow “dark sky” requirements.

Signage and Monuments

- A. Opportunities for community-oriented/arrival signage shall be provided.
- B. Proposed signage shall meet the City requirements for commercial signage found in City Code Chapter 102. Proposed exterior signage packages shall be reviewed and approved during the Site Plan approval process.
- C. All signage shall be consistent with the established architectural standards and themes.

Landscaping

Unless otherwise stated the development shall follow the City's Landscape Code, Article X, division 3, Landscape Design Standards, (Sec. 118-1421) requiring all landscaping be designed and located to provide a logical, consistent, and attractive pattern of landscaping that softens the as-built environment, provides visual relief, separates different land uses, eliminates or minimizes potential nuisances or adverse impacts such a dirt, litter, or noise and assists in reducing air pollution hazards.

- A. Incorporate "Florida Friendly" Landscaping techniques to minimize site irrigation needs.
- B. All stormwater facilities should be generally designed as landscape amenities utilizing "Low Impact Development" techniques where practical.

Examples of Florida Vernacular Style Buildings







CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

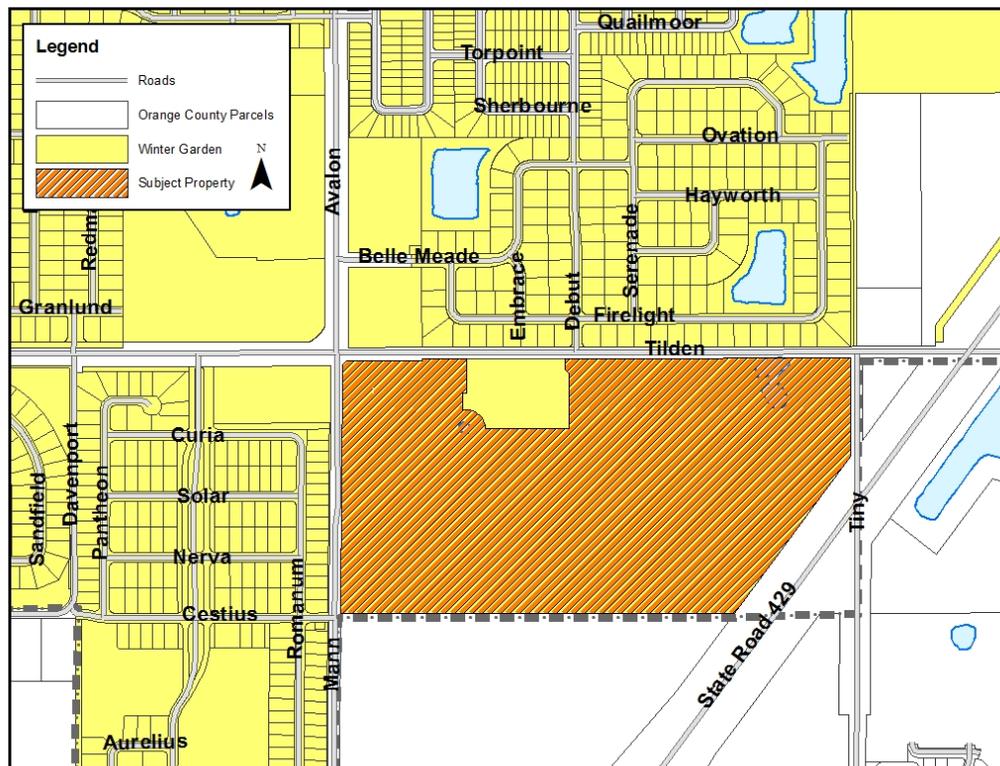
STAFF REPORT

TO: PLANNING AND ZONING BOARD
PREPARED BY: KELLY CARSON, URBAN DESIGNER
DATE: JULY 6, 2016
SUBJECT: PLANNED UNIT DEVELOPMENT REZONING (ORDINANCE 16-37)
15304 Tilden Road (67.66+/- ACRES)
Parcel ID# 09-23-27-0000-00-009

APPLICANT: Foundation Academy of Winter Garden, Inc.

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Land Development Regulations, Comprehensive Plan, and Future Land Use Map. The subject property, located on the southeast corner of Tilden Road and Avalon/Mann Road is approximately 67.66 ± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The subject property is located within the City of Winter Garden municipal limits and carries the zoning designation R-1 (Single-Family Residential District). The subject property is designated SUB (Suburban Residential) on the Future Land Use Map of the Comprehensive Plan. The applicant is requesting to rezone the 67.66 ± acre property to PUD (Planned Unit Development).

EXISTING USE

The subject property currently features the south campus of Foundation Academy, which is an accredited private K-12 Christian school. The property is developed with educational facilities, which house the school's 7th-12th grade programs. These facilities include three masonry educational/administrative buildings, two temporary modular buildings, and associated parking areas. In addition, the property contains four softball/little league fields with a central recreation building, a baseball field, and a football practice field. The balance of the subject property consists of undeveloped land, stormwater retention, and wetland conservation areas.

ADJACENT LAND USE AND ZONING

The parcels located to the north of the subject property include a City-owned property containing a stormwater pond, which is zoned R-1; a vacant property slated to be developed as the Belle Meade Commercial project, which is zoned PCD (Planned Commercial Development); and a number of properties developed with single-family residential homes that are part of the Belle Meade subdivision, which are all zoned PUD (Planned Unit Development). All of these properties are located within Winter Garden's jurisdictional limits. The parcels to the west of the subject property, which are also located in the City, are developed with single family residential homes that are part of the Alexander Ridge subdivision and are zoned PUD. The properties to the east of the subject properties are owned and operated by the Central Florida Expressway Authority and contain a segment of the Western Beltway (SR 429). These properties are zoned A-1 and located in Unincorporated Orange County. The property to the south of the subject property is also zoned A-1 and located in Orange County. This property contains a series of Orange County utility-related ponds.

PROPOSED USE

The applicant proposes to rezone the 67.66 ± acre property to allow for additional uses including +/- 2.6 acres of commercial development at the corner of Tilden Road and Mann/Avalon Road; a communication tower site; several new sports facilities including a football stadium with associated lighting; and additional facilities that will expand the school's academic capacity and allow for potential student boarding. The new institutional PUD zoning designation will permit the school's conceptual master plan to be developed in phases as funding becomes available. The exact phases have yet to be determined and the applicant has not yet submitted any applications for site plan approval.

COMMUNITY MEETING

On May 4, 2016, a community meeting was held in the City Commission Chambers to discuss the proposed PUD rezoning with surrounding property owners. Many attendees were supportive of the project, but there were a number of concerns. One of the major concerns voiced by attendees was the potential for more vehicles utilizing the Alexander Ridge subdivision's internal

roads to access the proposed Foundation Academy entrance off of Mann Road. There was also concern about the existing site access driveway on Tilden Road across from the Belle Meade subdivision's access driveway. Residents stated that Belle Meade residents often have difficulty maneuvering onto Tilden Road's eastbound lane in the morning during school drop-off times. City staff addressed these concerns by amending the ordinance to require the submittal of a traffic impact study prior to approval of any major site development to determine which site access points will have the least impact on surrounding residential properties. At that time, certain restrictions may be placed on vehicular movement including limiting permitted ingress/egress points and turning movements during school drop off & pick up times.

Lighting for new sports facilities including a new football stadium was discussed. Residents did not take issue with the proposed lighting as long as there are assurances in place guaranteeing that the light and glare from new fixtures would not negatively impact the surrounding residential properties.

APPROVAL CRITERIA

In accordance with the City's Comprehensive Plan and Land Development Regulations, a proposed planned unit development and its associated preliminary development plan may be approved only after competent, substantial evidence has been presented which allows the following determinations to be made: (staff conclusions/findings are underlined)

- (1) The proposed PUD is consistent with the land development regulations, comprehensive plan and the future land use map;

The proposed PUD is consistent with the City's land development regulations, comprehensive plan, and the future land use map. See other portions of this report concerning consistency with the land development regulations.

- (2) The proposed PUD will not substantially devalue or prevent reasonable use and enjoyment of the adjacent properties;

The proposed PUD project will not deprive or prevent adjacent property owners of any rights or abilities to enjoy or continue existing uses of their property or to develop their property in accordance with the city's land development regulations and comprehensive plan goals, objectives, and policies. Further, in accordance with land development regulations and the comprehensive plan, the proposed PUD will provide for adequate buffering against adjoining residential properties and rights-of-way in the form of either landscaping to create a visual screen and/or perimeter walls/fencing.

- (3) Adequate public infrastructure facilities and water and sewer service to support the development of the proposed PUD are available or an agreement or binding conditions have been established that will provide these facilities, improvements and services in a reasonable time frame;

The existing potable water and reclaimed water flow pressure of the City's utility system within the surrounding area is sufficient to support the development of the subject property. The property is currently a water and sewer customer of the City of Winter Garden; utility lines are connected to the existing facilities. At such time that the property is developed with new facilities, additional utility lines (water, sewer, and

wastewater) will be extended and connections made to serve the new development. All extension and connection costs shall be borne by the property owner.

Prior to any board approvals, a Developer's Agreement detailing the obligations of the developer associated with the proposed PUD may be required. The requirement for a Developer's Agreement will be determined during Site Plan Review.

- (4) The proposed PUD will not allow a type or intensity of development that is premature or presently out of character in relationship to the surrounding area;

The proposed PUD project is consistent with the comprehensive plan's goals, objectives and policies for the Suburban Residential future land use designation; the PUD zoning criteria; and the City's land development regulations. The commercial zone will be limited to a floor area ratio of 0.35. Additionally, if upper story residential uses are proposed within the commercial zone, the proposed PUD project will be limited to a gross residential density of 4 dwelling units per acre. This is consistent with the Comprehensive Plan policy for the Suburban Residential FLU.

The proposed PUD is not premature or presently out of character in relationship to the surrounding area. There are many commercial and residential developments within the surrounding area which have similar or greater density and/or intensity than the proposed PUD project. The commercial zone as depicted on the PUD plan is consistent with the future uses of the other properties located at the Tilden Road and Avalon/Mann Road intersection. All of these properties have a future land use designation of COM (Commercial), and the property on the northeast corner is currently going through the site plan approval process in order to build three commercial buildings that will have a combined 36,977 sf of office and retail space. Furthermore, schools are typically permitted uses within residential areas as they serve the educational needs of the surrounding community within a walkable distance. Some of the residential developments within the surrounding area include Belle Meade, Alexander Ridge, Stone Creek, and Carriage Pointe. The other surrounding uses include minimally-developed municipal pond fields and a segment of SR-429. Neither of these uses would be adversely impacted by the proposed PUD development.

- (5) The rezoning will not interfere with an adjacent property owner's reasonable expectation of use or enjoyment; and

In accordance with the City's comprehensive plan, the zoning designations permitted within the Suburban Residential future land use designation include Planned Unit Development. Further, in accordance with land development regulations and the comprehensive plan, the proposed PUD will provide for adequate buffering against adjoining properties and rights-of-way in the form of either landscaping to create a visual screen and/or perimeter walls/fencing.

- (6) There is availability and adequacy of primary streets and thoroughfares to support traffic to be generated within the proposed PUD and the surrounding area, or an agreement or binding conditions have been established that will provide such transportation facilities to support said traffic in a reasonable time frame.

The current conceptual layout depicts transportation access being provided in the form of one main access point to the school facilities on Tilden Road (existing) and another on Mann Road (proposed). The plan also depicts the commercial property having access points on both Tilden Road and Mann Road. Additionally, a secondary school access point is shown on Tilden Road to the east, as well as a secondary access on Mann Road to the south leading to a proposed communication tower site. Cross access connections will be provided internally to minimize the need to utilize Tilden and/or Mann Road to access different areas of the site.

Traffic studies/analyses are submitted with any proposed development and reviewed for accuracy and consistency with the goals, objectives, and policies of the City's comprehensive plan in addition to the City's vision for future growth and expansion. In response to feedback received from surrounding property owners at a Community Meeting, a full traffic impact study is required to be submitted prior to approval of any major site development to determine which site access points will have the least impact on surrounding residential properties. At that time, certain restrictions may be placed on vehicular movement including limiting permitted ingress/egress points and turning movements during school drop off & pick up times.

All roadway improvements will be constructed at the owner's expense and in compliance with City concurrency standards for transportation.

- (7) The degree of departure or conformity of the proposed PUD with surrounding areas in terms of character and density.

The proposed PUD project is consistent with the comprehensive plan's goals, objectives and policies for the Suburban Residential future land use designation and the PUD zoning criteria and land development regulations. As stated above, the commercial zone will be limited to a floor area ratio of 0.35. Additionally, if upper story residential uses are proposed within the commercial zone, the proposed PUD project will be limited to a gross residential density of 4 dwelling units per acre. This is consistent with the Comprehensive Plan policy for the Suburban Residential FLU.

- (8) Compatibility of uses and improvements within the PUD and the relationship with surrounding existing or proposed developments.

The proposed PUD project integrates several elements that provide for cohesion between existing natural features/resources and the existing and proposed uses surrounding the property. The project includes construction of a 5 foot wide sidewalk extending the length of the property frontage on Mann Road to enhance pedestrian circulation in the area. The project will also include the preservation of open space areas in accordance with City Code requirements for common open space. Recreation areas will also be provided when and if residential uses are proposed, although the multiple on-site sports facilities will likely satisfy any and all recreation requirements. The property will also comply with the open space requirements of the Wekiva Resource Protection Overlay, providing no less than 25% Wekiva Study Area Open Space. Internal cross access connection points will be provided to ensure maximum site connectivity and to lessen the amount of traffic being routed to surrounding roads. In addition, multiple access points will be provided on Tilden Road and Mann Road to ensure multiple points of entry/exit

to the subject property.

- (9) Prevention of erosion and degrading or enhancement of the surrounding areas.

The proposed PUD project meets the environmental standards of the Wekiva Study Area. To the greatest extent possible, stormwater management features will be designed as landscape amenities. Proper erosion and sedimentation control measures will be taken during the construction process.

- (10) Provision for recreation facilities, surface drainage, flood control and soil conservation as shown in the preliminary development plan.

As specific development projects are proposed, they must comply with the open space requirements of City Code as well as any recreation requirements if residential uses are proposed, although the multiple on-site sports facilities will likely satisfy any and all recreation requirements. Recreational facilities must comply with the Wekiva Study Area Resource Protection Overlay requirements for passive recreation.

Stormwater management for the proposed PUD project will be provided in on-site stormwater management areas to satisfy the City of Winter Garden, St. John's Water Management District and strict requirements of the Wekiva Study Area criteria.

- (11) The nature, intent and compatibility of any common open space, including the proposed method for the maintenance and conservation of the common open space.

The property on which the PUD project is proposed to be developed is located within the Wekiva Study Area Resource Protection Overlay as defined by the City's Comprehensive Plan, and therefore must comply with the Wekiva Study Area Open Space requirements as defined by the City's Comprehensive Plan Policies 1-3.1.7 & 1-3.1.8, which requires that a minimum of 25% of the developable area be Wekiva Study Area Open Space. Wekiva Study Area (WSA) Open Space is land area that remains undisturbed or minimally disturbed such as trails and boardwalks, as part of a natural resource preserve or passive recreation area and includes land preserved for Conservation purposes. WSA Open Space may include dry retention, passive recreation, school playgrounds and buffers. Up to 50% of the WSA Open Space requirement may be met with dry stormwater retention areas. None of the 25% WSA Open Space may be chemically treated with pesticides or fertilizers. WSA Open Space shall not include setback areas, private yards, street right of way, parking lots, impervious surfaces or active recreation areas. The proposed PUD project must comply with the Wekiva Study Area Open Space requirements.

- (12) The feasibility and compatibility of the specified stage(s) or phase(s) contained in the preliminary development plan to exist as an independent development.

Each phase of development of the proposed PUD project must operate as an individual unit in that each particular phase will be able to stand-alone in the event that no other phase is developed.

- (13) The availability of existing or planned reclaimed water service to support the proposed PUD.

Reclaimed water capacity is available to serve the property on which the PUD is proposed to be developed. All necessary utility lines (water, sewer, and reclaimed water)

will be connected to serve the development of the property, and all connection costs shall be borne by the property owner.

- (14) The benefits within the proposed PUD development and to the general public to justify the requested departure from standard land use requirements inherent in a PUD classification.

The proposed PUD includes the requirement that commercial structures must comply with specific development and architectural requirements, as outlined in an exhibit as part of the PUD ordinance. The architectural elevations of all structures- both commercial and institutional- as well as the overall site design will be reviewed during the Site Plan Approval process. Proposed designs must receive Staff support to ensure architectural quality, adequate buffering, and aesthetic harmony with surrounding properties.

- (15) The conformity and compatibility of the proposed common open space, residential and/or nonresidential uses within the proposed PUD.

As development is proposed, plans will be reviewed to ensure the proposals include a variety of open spaces that are inclusive, pedestrian friendly, and meet all requirements of City Code and the Comprehensive Plan.

- (16) Architectural characteristics of proposed residential and/or nonresidential development.

A variety of architectural requirements have been incorporated into the commercial building standards in the proposed UVPUD project including requirements for architectural character, varying building massing, roof treatments, building projections and recesses, entryways and arcades, building articulation and theming, retail lighting, signage and monuments, and landscaping.

- (17) A listing of the specific types of nonresidential uses to be allowed.

The proposed PUD includes primary institution uses with secondary commercial and residential uses, which was permitted by the recently-adopted Ordinance 16-25 that amended Chapter 118, Article V, Division 2 of the Winter Garden Municipal Code.

Permitted non-residential uses within the commercial zone include retail stores and shops of a neighborhood scale, offices & studios, personal services, and public buildings. Upper story residential uses are permitted in this commercial zone. Permitted non-residential uses within the educational zone includes schools and other educational uses and churches. Permitted non-residential uses within the athletics zones include schools and other educational uses, churches, indoor & outdoor sports facilities, and a communication tower (Athletics B only). Dormitories are a permitted residential use in the athletics zones.

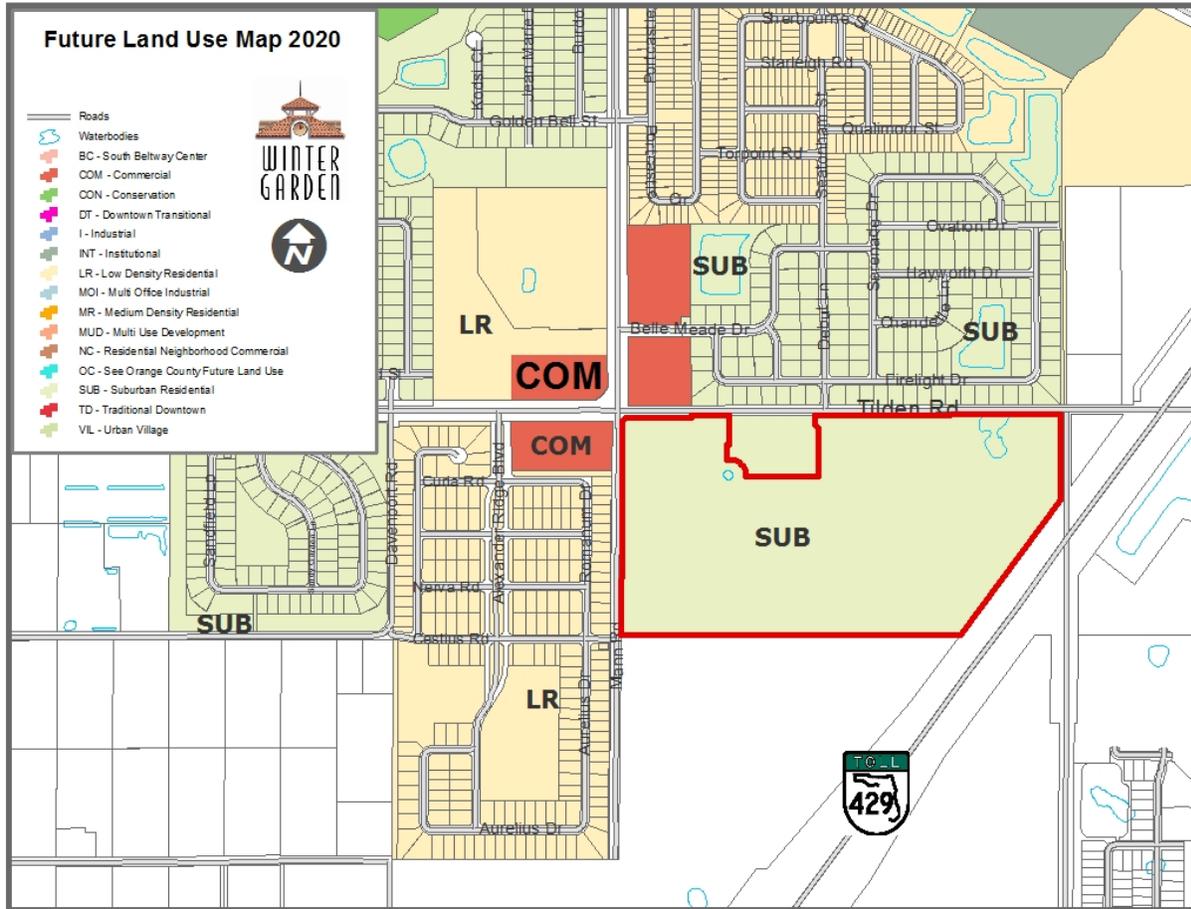
SUMMARY

City Staff recommend approval of the proposed Ordinance 16-37. Rezoning the subject property from City R-1 to City PUD is consistent with the City's Comprehensive Plan, Future Land Use Map and land development regulations, and is consistent with the trend of development in the area.

AERIAL PHOTO
15304 Tilden Road



FUTURE LAND USE MAP
15304 Tilden Road



END OF STAFF REPORT

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: Mike Bollhoefer, City Manager

Date: July 7, 2016 **Meeting Date:** July 14, 2016

Subject: Site Plan Approval
Oakland Park Phase 4A Amenity Center
1000 Civitas Way (6.88 ± Acres)
Parcel ID # 21-22-27-6098-16-000

Issue: Applicant is requesting Site Plan Approval to construct an amenity center on a 6.88 ± acre parcel of land in the Oakland Park Subdivision.

Discussion:

The applicant is proposing to develop this site as a large neighborhood amenity center with a community building, pool with beach entry, several pavilions with restrooms, play area, slide hill, event & flex lawns, outdoor fireplace, lake feature with dock, walking trails, and an associated parking area.

Recommended action:

Staff recommends approval of the Site Plan subject to the conditions contained in the Staff Report.

Attachments/References:

Location Map
Oakland Park Phase 4A Amenity Center Site Plan Set
DRC Staff Report

Legend

- Roads
- Orange County Parcels
- Winter Garden
- Subject Property



FINAL SITE PLAN FOR OAKLAND PARK AMENITY CENTER

CITY OF WINTER GARDEN, FLORIDA

OCTOBER 2015

SHEET INDEX

- 1 COVER SHEET
- 2 GENERAL NOTES
- 3 GENERAL NOTES
- 4 EXISTING CONDITIONS PLAN
- 5 SWPPP PLAN
- 6 SWPPP DETAILS
- 7 SWPPP DETAILS
- 8 SITE PLAN
- 9 GRADING AND DRAINAGE PLAN
- 10 UTILITY PLAN
- 11 TYPICAL SECTIONS
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- 18 PUBLIC WORKS AND POND DETAILS
- LA-1.00 LANDSCAPE PLANS
- LA-1.01 PLANT LIST
- A-201 BUILDING ELEVATIONS
- A-202 BUILDING ELEVATIONS

UTILITY COMPANIES

WATER
CITY OF WINTER GARDEN
300 WEST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 656-4111

WASTEWATER - STORMWATER
CITY OF WINTER GARDEN
300 WEST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 656-4111 EXT. 5447

RECLAIMED WATER
CITY OF WINTER GARDEN
300 WEST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 656-4111 EXT. 5459

PHONE
BRIGHTHOUSE NETWORKS,
CENTURY LINK
3767 ALL AMERICAN BLVD.
ORLANDO, FLORIDA 32810
(407)291-2500

CABLE
BRIGHTHOUSE NETWORKS,
CENTURY LINK
3767 ALL AMERICAN BLVD.
ORLANDO, FLORIDA 32810
(407)291-2500

GAS
LAKE APOPKA NATURAL GAS
1320 S. VINELAND ROAD
WINTER GARDEN, FLORIDA 34777
(407)656-2734

ELECTRIC
DUKE ENERGY
P.O. BOX 14042
ST. PETERSBURG, FLORIDA 33733
(407)629-1010

OWNER / APPLICANT

LAKE APOPKA 2012, LLC
15241 EAST OAKLAND AVENUE
WINTER GARDEN, FLORIDA 34787
CONTACT: THOMAS CUNNINGHAM
(407) 905-5667

GEOTECHNICAL ENGINEER

TERRACON INC.
1675 LEE ROAD
WINTER PARK, FLORIDA 32789
(407) 740-6110

ARCHITECT

BUTLER MOORE ARCHITECTS
LANDMARK CENTER ONE SUITE 675
315 EAST ROBINSON STREET
ORLANDO, FLORIDA 32801
(407) 718-7984

TRANSPORTATION ENGINEER

TRAFFIC PLANNING & DESIGN, INC.
535 VERSAILLES DRIVE
MAITLAND, FLORIDA 32751
(407) 628-9955

ENGINEER

EVANS ENGINEERING, INC.
719 IRMA AVENUE ORLANDO,
FLORIDA 32803
CONTACT: DAVID KELLY P.E.
(407) 872-1515

SURVEYOR

BENCHMARK SURVEYING AND MAPPING, LLC
3110 RED FOX RUN
KISSIMMEE, FLORIDA 34746
CONTACT: JOSEPH JENKINS P.S.M.
PHONE: (407) 654-6183

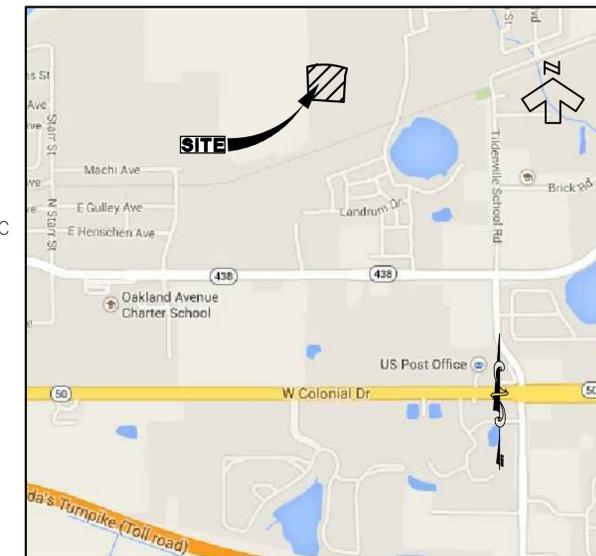
LANDSCAPE ARCHITECT

DIX.HITE + PARTNERS, INC.
150 W JESSUP AVENUE
LONGWOOD, FLORIDA 32750
(407) 667-1779

PLAN PROVIDED FOR:

- PRELIMINARY PLAN
- BID SET
- PERMIT REVIEW SET
- CONSTRUCTION SET
- RECORD DRAWING

* THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION UNLESS APPROVED FOR CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL PERMITS HAVE BEEN OBTAINED PRIOR TO STARTING CONSTRUCTION.



VICINITY MAP
N.T.S.

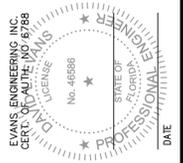
PROJECT ADDRESS:

SW CORNER OF CITAVIS WAY & KERSHAW DRIVE
WINTER GARDEN, FL 34787

PARCEL ID:
P.O. 21-22-27-0000-00-059

LEGAL DESCRIPTION

A PORTION OF TRACT 16, OAKLAND PARK UNIT 4A PLAT,
RECORDATION PENDING



S 21 T 22S, R 27E

GENERAL	
<p>1. UNLESS OTHERWISE SPECIFIED, ALL CONSTRUCTION SHALL BE PERFORMED CONSISTENT WITH THE MOST RECENT PUBLICATION OF THE FOLLOWING CODES, STANDARDS AND SPECIFICATIONS AS WELL AS THE LATEST EDITIONS OF ALL OTHER APPLICABLE SPECIFICATIONS & STANDARDS: CITY OF WINTER GARDEN ORANGE COUNTY ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT (SJRWMD) FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) AMERICANS WITH DISABILITIES ACT (ADA) BY U.S. DEPARTMENT OF JUSTICE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION</p> <p>2. ALL CONSTRUCTION IS TO BE GOVERNED BY ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, ORDINANCES, BUILDING AND SAFETY CODES.</p> <p>3. IN THE EVENT THAT ANY STANDARDS OR SPECIFICATIONS AS DESCRIBED HEREIN ARE IN CONFLICT WITH EACH OTHER, OR THAT SHOWN IN THE PLANS, THE MORE STRINGENT CRITERIA WILL APPLY. CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IMMEDIATELY AND IN WRITING SHOULD THE MORE STRINGENT CRITERIA BE UNCLEAR, FOR ENGINEER'S INTERPRETATION OF THE MORE STRINGENT CRITERIA TO BE USED.</p> <p>4. THESE PLANS WERE BASED ON THE BOUNDARY AND TOPOGRAPHIC SURVEY BY BENCHMARK SURVEYING & MAPPING, LLC.</p> <p>5. ELEVATIONS SHOWN HEREON ARE BASED ON LOCAL DATUM AND DERIVE FROM BENCHMARKXXXXXXXXXXXXXXXXXXXX XX XX XXXXXXXXXXXXXXXXXXXXXXXXXXXX (NGVD 1929)</p> <p>6. THESE PLANS WERE BASED ON THE GEOTECHNICAL REPORT(S) PROJECT NO. XX. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE A COPY OF THE REPORT(S) FROM THE GEOTECHNICAL ENGINEER, FAMILIARIZE THEMSELVES WITH THE CONDITIONS AS DESCRIBED IN THE REPORT(S), AND COMPLY WITH ALL RECOMMENDATIONS MADE IN THE REPORT(S) SPECIFICALLY FOR SOIL PREPARATION ON THE SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY ALL SUPPLEMENTAL REPORTS FOR THIS PROJECT FROM THE OWNER AND TO FOLLOW THE SUPPLEMENTAL REPORTS' RECOMMENDATIONS.</p> <p>7. GEOTECHNICAL RECOMMENDATIONS OR RECOMMENDATIONS AS PROVIDED IN SUPPLEMENTAL REPORTS BY OTHERS ARE NOT THE RESPONSIBILITY OF BOWYER-SINGLETON & ASSOCIATES, INC., WHO HAS RELIED UPON THE REFERENCED GEOTECHNICAL REPORT(S) IN THE PREPARATION OF THE PLANS. ANY CONFLICT BETWEEN INFORMATION CONTAINED IN THE REPORT(S) AND THESE PLANS SHALL BE REPORTED TO THE ENGINEER AND OWNER IMMEDIATELY AND IN WRITING. BOWYER-SINGLETON & ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS, COMPLETENESS, OR ACCURACY OF THE REPORT(S). WHEN THE PLANS AND/OR SPECIFICATIONS CONTAIN THE RESULTS OF A SOILS SURVEY, THE CONTRACTOR SHALL NOT ASSUME THE INFORMATION IS A GUARANTEE OF THE DEPTH, EXTENT OR CHARACTER OF MATERIAL PRESENT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE A NECESSARY EXAMINATION OF THE SITE AND OF ANY MATERIAL SOURCES INDICATED ON THE PLANS TO BE INFORMED OF THE CONDITIONS UNDER WHICH CONSTRUCTION IS TO OCCUR.</p> <p>8. THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF PERMITS FOR ALL AGENCIES HAVING JURISDICTION, SUCH AS GOVERNMENTAL, REGULATORY OR LOCAL ENTITIES. THE CONTRACTOR SHALL BE EXPECTED TO REVIEW AND ABIDE BY ALL THE TERMS, CONDITIONS, REQUIREMENTS AND LIMITATIONS SET FORTH IN ALL OF THESE PERMITS. A COPY OF THE PERMITS SHALL BE KEPT ON THE CONSTRUCTION SITE AND MADE AVAILABLE FOR REVIEW AT ALL TIMES.</p> <p>9. IF ITEMS APPEARING TO BE HISTORICAL OR ARCHEOLOGICAL ARTIFACTS ARE DISCOVERED AT ANY TIME DURING CONSTRUCTION WITHIN THE PROJECT LIMITS, IMMEDIATE NOTIFICATION SHALL BE PROVIDED TO THE OWNER, THE ENGINEER, AND THE BUREAU OF HISTORICAL PRESERVATION, DIVISION OF HISTORICAL RESOURCES R.A. GRAY BUILDING, 500 S. BRONOUGH ST. TALLAHASSEE, FLORIDA 32399-0250.</p>	<p>19. ALL DAMAGE OR LOSS TO ANY PROPERTY REFERRED TO IN HEREIN CAUSED IN WHOLE OR IN PART BY THE CONTRACTOR, A SUBCONTRACTOR, OR BY ANYONE FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE, SHALL BE REMEDIED BY THE CONTRACTOR, EXCEPT DAMAGE OR LOSS PROPERLY ATTRIBUTABLE SOLELY TO THE ACTS OR OMISSIONS OF THE OWNER, OR THE ENGINEER OR ANYONE EMPLOYED BY THEM, OR FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE, AND NOT PROPERLY ATTRIBUTABLE IN WHOLE OR IN PART, TO THE FAULT OR NEGLIGENCE OF THE CONTRACTOR.</p> <p>20. UNTIL FINAL ACCEPTANCE OF THE WORK BY OWNER, THE CONTRACTOR SHALL HAVE THE CHARGE AND CARE OF AND SHALL BEAR THE RISK OF INJURY OR DAMAGE, LOSS OR EXPENSE TO ANY PART THEREOF, OR TO ANY MATERIALS STORED ON SITE, BY THE ACTION OF THE ELEMENTS OR FROM ANY OTHER CAUSE WHETHER ARISING FROM THE EXECUTION OR NON-EXECUTION OF THE WORK. THE CONTRACTOR SHALL REBUILD, REPAIR, RESTORE AND MAKE GOOD ALL INJURIES OR DAMAGES TO ANY PORTION OF THE WORK OCCASIONED BY ANY OF THE ABOVE CAUSES BEFORE FINAL ACCEPTANCE AND SHALL BEAR THE EXPENSES THEREOF.</p> <p>21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL INSPECTION CRITERIA AND SCHEDULES, AND SIGNING FOR SAID INSPECTIONS.</p> <p>22. THE CONTRACTOR SHALL CONTROL AND BE RESPONSIBLE FOR THEIR OPERATIONS AND THOSE OF THEIR SUBCONTRACTORS AND ALL SUPPLIERS, TO ASSURE THE LEAST INCONVENIENCE TO THE PUBLIC. THE CONTRACTOR SHALL MAINTAIN FREE AND UNOBSTRUCTED MOVEMENT OF VEHICULAR TRAFFIC AND SHALL LIMIT THEIR OPERATIONS IN RELATION TO THE SAFETY AND CONVENIENCE OF THE TRAVELING PUBLIC. UNDER ALL CIRCUMSTANCES, SAFETY SHALL BE THE MOST IMPORTANT CONSIDERATION.</p> <p>23. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE POLICIES AND GUIDELINES ESTABLISHED BY ALL AGENCIES HAVING JURISDICTION FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE OR INJURY TO PROPERTY OF ANY CHARACTER DURING THE EXECUTION OF THE WORK, RESULTING FROM ANY ACT, OMISSION, NEGLECT, OR MISCONDUCT IN THEIR MANNER OR METHOD OF EXECUTING THE WORK, OR AT ANYTIME DUE TO DEFECTIVE WORK OR MATERIALS.</p> <p>24. THE CONTRACTOR SHALL NOT EXCAVATE, REMOVE, OR OTHERWISE DISTURB ANY MATERIAL, STRUCTURE OR PART OF A STRUCTURE WHICH IS LOCATED OUTSIDE THE LINES, GRADES OR GRADING SECTIONS ESTABLISHED FOR THIS PROJECT, EXCEPT WHERE SUCH EXCAVATION OR REMOVAL IS PROVIDED FOR IN THE CONTRACT, PLANS OR SPECIFICATIONS</p> <p>25. THE CONTRACTOR SHALL VERIFY THE QUANTITIES AND LENGTHS OF MATERIALS SHOWN ON THE PLANS. ANY DISCREPANCY BETWEEN MATERIAL CALLOUTS AND ACTUAL SHOWN IN PLAN VIEW IS TO BE BROUGHT TO THE ENGINEER'S ATTENTION BY THE CONTRACTOR PRIOR TO BIDDING. IT IS THE ENGINEER'S INTENTION TO CONSTRUCT WHAT IS SHOWN ON THE PLANS.</p> <p>26. ANY DISCREPANCY BETWEEN THE DIMENSIONS AND MEASUREMENTS SHOWN ON THE PLANS AND THE ACTUAL FIELD CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ENGINEER'S ATTENTION. FAILURE TO DO SO AND TO CONTINUE CONSTRUCTION SHALL MAKE THE CONTRACTOR RESPONSIBLE FOR ALL ERRORS AND NECESSARY CORRECTIONS THAT MAY SUBSEQUENTLY ARISE.</p>

CONTRACTOR RESPONSIBILITIES	
<p>1. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE, INCLUDING ALL SURFACE AND SUBSURFACE CONDITIONS, THE WORK REQUIRED AND ALL OTHER CONDITIONS THAT MAY EFFECT THE SUCCESSFUL COMPLETION OF THE JOB PRIOR TO COMMENCEMENT OF WORK.</p> <p>2. THE LOCATION OF EXISTING UTILITY SERVICES, FACILITIES, AND STRUCTURAL FEATURES SHOWN ON THESE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF THE LOCATION INFORMATION PROVIDED. ANY INACCURACY OR OMISSION IN SUCH INFORMATION SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PROTECT THE EXISTING FEATURES FROM DAMAGE OR UNSCHEDULED INTERRUPTION OF SERVICE. SHOULD A DISCREPANCY ARISE BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, WHICH WOULD APPRECIABLY AFFECT THE EXECUTION OF THESE PLANS, THE CONTRACTOR SHALL STOP ALL CONSTRUCTION AND NOTIFY THE ENGINEER IMMEDIATELY.</p> <p>3. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND PERMIT CONDITIONS BEARING ON THE CONDUCT OF THE WORK, AS DRAWN AND SPECIFIED. IF THE CONTRACTOR OBSERVES THAT THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE THEREWITH, HE SHALL PROMPTLY NOTIFY THE ENGINEER, IN WRITING, AND ANY NECESSARY CHANGES SHALL BE ADJUSTED, AS PROVIDED IN THE AGREEMENT FOR CHANGES IN THE WORK.</p> <p>4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE BUFFERS, RETENTION AND DETENTION FACILITIES UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE OWNER. ALL DISTURBED AREAS SHALL BE RETURNED TO EQUAL OR BETTER CONDITION.</p> <p>5. ALL WORK AND FURNISHED MATERIALS SHALL BE IN REASONABLE CONFORMITY WITH THE LINES, GRADES, GRADING SECTIONS, CROSS SECTIONS, DIMENSIONS, MATERIAL REQUIREMENTS AND TESTING REQUIREMENTS THAT ARE SPECIFIED IN THE CONTRACT, PLANS, DETAILS OR SPECIFICATIONS.</p> <p>6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL NECESSARY ARRANGEMENTS WITH GOVERNMENTAL DEPARTMENTS, PUBLIC UTILITIES, PUBLIC CARRIERS, SERVICE COMPANIES, AND CORPORATIONS OWNING OR CONTROLLING ROADWAYS, RAILWAYS, WATER, SEWER, GAS, ELECTRICAL, TELEPHONE, AND TELEGRAPH FACILITIES SUCH AS PAVEMENTS, TRACKS, PIPING, WIRES, CABLES, CONDUITS, POLES, GUYS, OR OTHER SIMILAR FACILITIES, INCLUDING INCIDENTAL STRUCTURES CONNECTED THEREWITH THAT ARE ENCOUNTERED IN THE WORK IN ORDER THAT SUCH ITEMS MAY BE PROPERLY SUPPORTED, PROTECTED OR LOCATED.</p> <p>7. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL FURNISH, ERECT AND MAINTAIN ALL BARRICADES, LIGHTS, WARNING SIGNS, AND PAVEMENT MARKINGS FOR HAZARDS AND THE CONTROL OF TRAFFIC THROUGH THE CONSTRUCTION ZONE IN CONFORMITY WITH THE ALL AGENCIES HAVING JURISDICTION STANDARDS TO EFFECTIVELY PREVENT ACCIDENTS AT ALL LOCATIONS WHERE CONSTRUCTION CAUSES AN OBSTRUCTION TO THE NORMAL FLOW OF TRAFFIC OR CREATES A HAZARD IN ANY WAY TO THE PUBLIC.</p> <p>8. IN THE EVENT THE CONTRACTOR DISCOVERS ANY ERRORS OR OMISSIONS IN THE PLANS HE SHALL IMMEDIATELY NOTIFY THE OWNER OR OWNER'S AGENT.</p> <p>9. THE CONTRACTOR SHALL COMPLY WITH ALL LEGAL LOAD RESTRICTIONS IN THE HAULING OF MATERIALS ON PUBLIC ROADS BEYOND THE LIMITS OF THE WORK. A SPECIAL PERMIT WILL NOT RELIEVE THE CONTRACTOR OF LIABILITY FOR ANY DAMAGE THAT MAY RESULT FROM THE MOVING OF MATERIALS AND EQUIPMENT.</p> <p>10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SURVEY MONUMENTATION, SUCH AS THE PRESERVATION OF ALL PERMANENT REFERENCE MONUMENTS, PERMANENT CONTROL POINTS, PERMANENT BENCH MARKS, PROPERTY CORNERS, POINTS OR MARKERS. IN THE EVENT ANY MONUMENTATION IS DISTURBED, IT SHALL BE RESTORED BY A FLORIDA LICENSED SURVEYOR AND MAPPER SELECTED BY THE OWNER AT THE CONTRACTOR'S EXPENSE.</p> <p>11. THE OWNER, OWNER'S REPRESENTATIVES AND INSPECTORS OF APPLICABLE GOVERNMENT AGENCIES HAVING JURISDICTION, SHALL AT ALL TIMES HAVE ACCESS TO THE WORK SITE WHEREVER AND WHENEVER IT IS IN PREPARATION OR PROGRESS. THE CONTRACTOR SHALL PROVIDE PROPER FACILITIES FOR SUCH ACCESS AND INSPECTIONS.</p> <p>12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE ALL REASONABLE AND PRUDENT PRECAUTIONS TO INSURE THAT ALL COMPLETED WORK, MATERIALS AND EQUIPMENT STORED ON SITE ARE SAFE AND SECURED FROM UNAUTHORIZED ACCESS OR USE. SUCH PRECAUTIONS MAY INCLUDE INSTALLATION OF SIGNS, FENCES, OR POSTING OF SECURITY GUARDS.</p> <p>13. CONTRACTOR SHALL, AT ALL TIMES, UTILIZE ALL NORMALLY ACCEPTED AND REASONABLY EXPECTED SAFETY PRACTICES AND COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND GUIDELINES PERTAINING TO SAFE UTILIZATION OF EQUIPMENT OR MATERIALS AS PUBLISHED BY MANUFACTURER.</p> <p>14. ADEQUATE TRAFFIC CONTROL, SIGNAGE, BARRICADES AND FLAGMAN SERVICES SHALL BE FURNISHED AND MAINTAINED BY THE CONTRACTOR AT ALL POINTS WHERE CONSTRUCTION EQUIPMENT ENGAGED IN WORK ENTERS ONTO OR CROSSES FUNCTIONING TRAFFIC-CARRYING ROADWAY.</p> <p>15. THOSE PARTS OF WORK IN PLACE THAT ARE SUBJECT TO DAMAGE BECAUSE OF OPERATIONS BEING CARRIED ON ADJACENT THERETO SHALL BE COVERED, BOARDED UP OR SUBSTANTIALLY ENCLOSED WITH ADEQUATE PROTECTION BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE, PROTECTING WORK COMPLETED.</p> <p>16. THE CONTRACTOR SHALL COMPLY IN EVERY RESPECT WITH THE FEDERAL OCCUPATIONAL HEALTH AND SAFETY ACT OF 1970 AND ALL RULES AND REGULATIONS NOW OR HEREAFTER IN EFFECT UNDER SAID ACT, AND THE CONTRACTOR FURTHER AGREES TO COMPLY WITH ANY AND ALL APPLICABLE STATE LAWS AND REGULATIONS PERTAINING TO JOB SAFETY AND HEALTH.</p> <p>17. THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS FOR THE SAFETY OF, AND SHALL PROVIDE ALL REASONABLE PROTECTION TO PREVENT DAMAGE, INJURY OR LOSS TO: A. ALL EMPLOYEES ON THE WORK SITE AND ALL OTHER PERSONS WHO MAY BE AFFECTED THEREBY; B. ALL THE WORK AND ALL MATERIALS AND EQUIPMENT TO BE INCORPORATED THEREIN, WHETHER IN STORAGE ON OR OFF THE SITE, UNDER THE CARE, CUSTODY OR CONTROL OF THE CONTRACTOR OR ANY OF ITS SUBCONTRACTORS; AND C. OTHER PROPERTY AT THE SITE OR ADJACENT THERETO, INCLUDING TREES, SHRUBS, LAWNS WALKS, PAVEMENTS, ROADWAY, STRUCTURES AND UTILITIES NOT DESIGNATED FOR DEMOLITION IN THE COURSE OF CONSTRUCTION</p> <p>18. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY CODES AND WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC, QUASI PUBLIC OR OTHER AUTHORITY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY OR FOR THEIR PROTECTION AGAINST DAMAGE, INJURY OR LOSS, OR DESIGNED TO PROTECT THE ENVIRONMENT. THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY EXISTING CONDITIONS AND PROGRESS OF THE WORK, ALL REASONABLE SAFEGUARDS FOR SAFETY AND PROTECTION, INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS, PROMULGATING SAFETY REGULATIONS AND NOTIFYING OWNERS AND USERS OF ADJACENT UTILITIES OF THE EXISTENCE OF HAZARDS AND OF THE SAFETY REGULATIONS.</p>	<p>19. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS AND ALL REGULATIONS CONTROLLING POLLUTION OF THE ENVIRONMENT.</p> <p>20. THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) ACCORDING TO EPA/FDEP NPDES CRITERIA TO MINIMIZE EROSION AND INSURE PROPER FUNCTIONING OF STORM WATER MANAGEMENT SYSTEM UPON COMPLETION OF CONSTRUCTION. IN ADDITION TO MEETING EPA/FDEP NPDES CRITERIA, THE SWPPP SHALL BE SUBMITTED TO AND COMPLY WITH LOCAL AGENCY HAVING JURISDICTION'S MINIMUM EROSION CONTROL CRITERIA.</p> <p>3. CONTRACTOR SHALL EXECUTE ALL MEASURES NECESSARY TO LIMIT THE TRANSPORTATION OF SEDIMENTS OUTSIDE THE LIMITS OF THE PROJECT TO THE VOLUME AND AMOUNT AS THOSE THAT EXIST PRIOR TO COMMENCEMENT OF CONSTRUCTION. THIS CONDITION MUST BE SATISFIED UNTIL PROJECT IS FULLY COMPLETED AND ACCEPTED. CONTRACTOR SHALL PROVIDE ROUTINE MAINTENANCE ON TEMPORARY EROSION CONTROL FEATURES AT HIS EXPENSE. PROVISION MUST BE MADE TO PRESERVE THE INTEGRITY AND CAPACITY OF CHECK WEIRS, SEDIMENT BASINS, SLOPE DRAINS, GRADING PATTERNS, ETC. REQUIRED TO MEET THIS PROVISION THROUGH OUT THE LIFE OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE HAY BALES, SILT BARRIERS, MURAFI FILTERS, TEMPORARY GRASSING, ETC., AS REQUIRED TO FULLY COMPLY WITH THE INTENT OF THIS SPECIFICATION. CONTRACTOR SHALL PROVIDE CONTINUOUS MONITORING OF EROSION AND SEDIMENT CONTROLS TAKEN AND SHALL DOCUMENT ALL CORRECTIVE MEASURES. A COPY OF THE APPROVED SWPPP SHALL BE KEPT ON SITE AT ALL TIMES FOR REVIEW BY OWNER'S REPRESENTATIVE AND BY NPDES INSPECTORS. THIS PERMIT MUST BE SUBMITTED TO CITY OF WINTER GARDEN BY THE CONTRACTOR PRIOR TO THE ISSUANCE OF PERMITS.</p> <p>4. THE OWNER AND/OR CONTRACTOR SHALL PROVIDE A NOTICE OF INTENT IN ACCORDANCE WITH CRITERIA SET FORTH IN THE NPDES PERMIT REQUIREMENTS 48 HOURS PRIOR TO BEGINNING CONSTRUCTION, CLEARING, OR DEMOLITION.</p> <p>5. PROVIDE EFFECTIVE TEMPORARY AND PERMANENT EROSION CONTROL FOLLOWING THE REQUIREMENTS IN SECTION 104 OF THE STATE DEPT. OF TRANSPORTATION STANDARDS SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. (F.D.O.T. SECTION 104)</p> <p>6. INLETS AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENTATION RESULTING FROM SURFACE RUNOFF UNTIL COMPLETION OF ALL CONSTRUCTION OPERATION THAT MAY CAUSE SEDIMENT RUNOFF. FILTER FABRIC SHALL BE PLACED AND MAINTAINED UNDER THE GRATE AND FILTER SOCKS PLACED IN FRONT OF THE THROAT OF CURB INLETS, DURING CONSTRUCTION.</p> <p>7. TURBIDITY BARRIERS MUST BE INSTALLED AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SEDIMENTS AND SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO CONSTRUCTION. TURBIDITY BARRIERS SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED, SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.</p> <p>8. IN ACCORDANCE WITH FEDERAL AND WATER MANAGEMENT DISTRICT PERMITS, ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS OF NO CONSTRUCTION ACTIVITIES.</p>

DEMOLITION AND CLEARING	
<p>1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CLEARLY DESIGNATE THE LIMITS OF CONSTRUCTION ON-SITE. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE THE LIMITS OF CONSTRUCTION.</p> <p>2. THE CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES THAT ARE TO BE SAVED, WHETHER SHOWN IN THE PLANS OR DESIGNATED IN THE FIELD.</p> <p>3. ALL PRACTICAL AND NECESSARY EFFORT SHALL BE TAKEN DURING CONSTRUCTION TO PREVENT UNNECESSARY TREE REMOVAL.</p> <p>4. ANY PROPOSED CUT OR FILL MATERIAL TO BE REMOVED OR PLACED WITHIN THE DRIP LINE OF SPECIMEN TREES TO REMAIN, INCLUDING TRENCHING FOR PROPOSED IMPROVEMENTS SUCH AS UTILITIES, WILL REQUIRE THE ADVANCED PRE-TREATMENT OF EACH IMPACTED TREE BY A QUALIFIED ARBORIST OR AT THE DIRECTION OF THE LANDSCAPE ARCHITECT TO MINIMIZE THE POTENTIALLY ADVERSE IMPACTS OF CONSTRUCTION.</p> <p>5. TREE PROTECTION BARRICADES OR EQUIVALENT PROTECTIVE MEASURES WILL BE CONSTRUCTED ACCORDING TO THE LOCAL JURISDICTION'S CRITERIA FOR TREES TO REMAIN WITHIN THE LIMITS OF CONSTRUCTION.</p> <p>6. IN AREAS REQUIRING FILL MATERIAL, THE CONTRACTOR SHALL STRIP OR OTHERWISE REMOVE ALL VEGETATION SUCH AS BRUSH, HEAVY SODS, HEAVY GROWTH OF GRASS, DECAYED VEGETATION MATTER, RUBBISH AND ANY OTHER DELETERIOUS MATERIAL BEFORE EMBANKMENT IS PLACED. IMMEDIATELY PRIOR TO THE PLACING OF FILL MATERIAL, THE ENTIRE AREA UPON WHICH FILL IS TO BE PLACED, SHALL BE SCARIFIED IN A DIRECTION APPROXIMATELY PARALLEL TO THE AXIS OF FILL. THE GEOTECHNICAL ENGINEER SHALL APPROVE THE AREA PRIOR TO THE PLACEMENT OF FILL.</p>	<p>1. THE CONTRACTOR SHALL PERFORM ALL WORK PERTAINING TO DRAINAGE INCLUDING EXCAVATION OF STORMWATER MANAGEMENT PONDS OR EQUIVALENT FACILITIES PRIOR TO THE COMMENCEMENT OF OTHER WORK INCLUDED IN THESE PLANS.</p> <p>2. THE CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE RECORD PLAT. THE CONTRACTOR SHALL VERIFY WITH THE ENGINEER THAT THE PLAT IS CORRECT PRIOR TO ANY CONSTRUCTION. IF A PLAT DOES NOT EXIST, CONTRACTOR IS TO VERIFY USE OF THE SURVEY FOR LAYOUT WITH ENGINEER PRIOR TO STARTING WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLETELY STAKE AND CHECK ALL IMPROVEMENTS TO INSURE CORRECT POSITIONING, BOTH HORIZONTAL AND VERTICAL, INCLUDING MINIMUM BUILDING SETBACKS PRIOR TO THE INSTALLATION OF ANY IMPROVEMENT. ANY DISCREPANCY BETWEEN PLATTED INFORMATION AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY AND IN WRITING.</p> <p>3. PRIOR TO INITIATING ANY EXCAVATION (INCLUDING BUT NOT LIMITED TO TUNNELS, DITCHES, STORM WATER PONDS, CANALS, ARTIFICIAL LAKES) CONTRACTOR SHALL INSTALL FENCES AND TAKE ALL OTHER REASONABLE AND PRUDENT STEPS TO INSURE THAT ACCESS TO EXCAVATION BY UNAUTHORIZED PERSONNEL IS PREVENTED</p> <p>4. ALL DRAINAGE STRUCTURES ARE TO BE TRAFFIC BEARING UNLESS OTHERWISE NOTED. ALL PRECAST CIRCULAR STRUCTURES SHALL BE CONSTRUCTED WITH A MINIMUM 5-INCH WALL THICKNESS.</p> <p>5. ALL PROPOSED PAVING SURFACES IN INTERSECTIONS AND ADJACENT EXISTING SECTIONS SHALL BE GRADED TO DRAIN POSITIVELY IN THE DIRECTION SHOWN BY THE PROPOSED GRADES AND FLOW ARROWS ON THE PLANS AND TO PROVIDE A SMOOTHLY TRANSITIONED DRIVING SURFACE FOR VEHICLES WITH NO SHARP BREAKS IN GRADE, AND NO UNUSUALLY STEEP OR REVERSE CROSS SLOPES. APPROACHES TO INTERSECTIONS AND ENTRANCE AND EXIT GRADES TO INTERSECTIONS MAY REQUIRE MINOR LOCAL FIELD ADJUSTMENTS SHOULD ACTUAL CONDITIONS VARY FROM THE SURVEYED INFORMATION THE DESIGN WAS BASED UPON IN ORDER TO ACCOMPLISH THE INTENT OF THE PLANS. IN ADDITION, THE STANDARD CROWN WILL HAVE TO BE CHANGED IN ORDER TO DRAIN POSITIVELY IN THE AREA OF INTERSECTIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH THE ABOVE AND CONSULT THE ENGINEER AS NEEDED TO MAKE ANY AND ALL REQUIRED INTERPRETATIONS OF THE PLANS OR GIVE SUPPLEMENTARY INSTRUCTIONS SHOULD THE INTENT OF THE PLANS BE UNCLEAR.</p> <p>6. CONSTRUCTION OF ROADWAYS SHALL MEET THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE LOCAL AGENCY(S) HAVING JURISDICTION AND THE MINIMUM SUGGESTED SECTIONS AS OUTLINED IN THE SOILS REPORT'S RECOMMENDATIONS, UNLESS OTHERWISE NOTED.</p> <p>7. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY EXCESS CUTS OR SUPPLYING FILL AS NECESSARY TO GRADE THE SITE TO THE PROPOSED ELEVATIONS AS DESIGNED WITHIN THE CONSTRUCTION DOCUMENTS.</p> <p>8. IF LIMESTONE BEDROCK IS ENCOUNTERED DURING EXCAVATION OF THE RETENTION BASINS OR A SINKHOLE OR SOLUTION CAVITY FORMS DURING CONSTRUCTION, EXCAVATION OF THE BASIN MUST BE HALTED IMMEDIATELY. THE OWNER, ENGINEER, AND WATER MANAGEMENT DISTRICT MUST BE NOTIFIED, AND REMEDIAL ACTION WILL BE REQUIRED.</p>

EROSION CONTROL	
<p>1. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS AND ALL REGULATIONS CONTROLLING POLLUTION OF THE ENVIRONMENT.</p> <p>2. THE CONTRACTOR SHALL DEVELOP AND IMPLEMENT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) ACCORDING TO EPA/FDEP NPDES CRITERIA TO MINIMIZE EROSION AND INSURE PROPER FUNCTIONING OF STORM WATER MANAGEMENT SYSTEM UPON COMPLETION OF CONSTRUCTION. IN ADDITION TO MEETING EPA/FDEP NPDES CRITERIA, THE SWPPP SHALL BE SUBMITTED TO AND COMPLY WITH LOCAL AGENCY HAVING JURISDICTION'S MINIMUM EROSION CONTROL CRITERIA.</p> <p>3. CONTRACTOR SHALL EXECUTE ALL MEASURES NECESSARY TO LIMIT THE TRANSPORTATION OF SEDIMENTS OUTSIDE THE LIMITS OF THE PROJECT TO THE VOLUME AND AMOUNT AS THOSE THAT EXIST PRIOR TO COMMENCEMENT OF CONSTRUCTION. THIS CONDITION MUST BE SATISFIED UNTIL PROJECT IS FULLY COMPLETED AND ACCEPTED. CONTRACTOR SHALL PROVIDE ROUTINE MAINTENANCE ON TEMPORARY EROSION CONTROL FEATURES AT HIS EXPENSE. PROVISION MUST BE MADE TO PRESERVE THE INTEGRITY AND CAPACITY OF CHECK WEIRS, SEDIMENT BASINS, SLOPE DRAINS, GRADING PATTERNS, ETC. REQUIRED TO MEET THIS PROVISION THROUGH OUT THE LIFE OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE HAY BALES, SILT BARRIERS, MURAFI FILTERS, TEMPORARY GRASSING, ETC., AS REQUIRED TO FULLY COMPLY WITH THE INTENT OF THIS SPECIFICATION. CONTRACTOR SHALL PROVIDE CONTINUOUS MONITORING OF EROSION AND SEDIMENT CONTROLS TAKEN AND SHALL DOCUMENT ALL CORRECTIVE MEASURES. A COPY OF THE APPROVED SWPPP SHALL BE KEPT ON SITE AT ALL TIMES FOR REVIEW BY OWNER'S REPRESENTATIVE AND BY NPDES INSPECTORS. THIS PERMIT MUST BE SUBMITTED TO CITY OF WINTER GARDEN BY THE CONTRACTOR PRIOR TO THE ISSUANCE OF PERMITS.</p> <p>4. THE OWNER AND/OR CONTRACTOR SHALL PROVIDE A NOTICE OF INTENT IN ACCORDANCE WITH CRITERIA SET FORTH IN THE NPDES PERMIT REQUIREMENTS 48 HOURS PRIOR TO BEGINNING CONSTRUCTION, CLEARING, OR DEMOLITION.</p> <p>5. PROVIDE EFFECTIVE TEMPORARY AND PERMANENT EROSION CONTROL FOLLOWING THE REQUIREMENTS IN SECTION 104 OF THE STATE DEPT. OF TRANSPORTATION STANDARDS SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. (F.D.O.T. SECTION 104)</p> <p>6. INLETS AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENTATION RESULTING FROM SURFACE RUNOFF UNTIL COMPLETION OF ALL CONSTRUCTION OPERATION THAT MAY CAUSE SEDIMENT RUNOFF. FILTER FABRIC SHALL BE PLACED AND MAINTAINED UNDER THE GRATE AND FILTER SOCKS PLACED IN FRONT OF THE THROAT OF CURB INLETS, DURING CONSTRUCTION.</p> <p>7. TURBIDITY BARRIERS MUST BE INSTALLED AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SEDIMENTS AND SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO CONSTRUCTION. TURBIDITY BARRIERS SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED, SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.</p> <p>8. IN ACCORDANCE WITH FEDERAL AND WATER MANAGEMENT DISTRICT PERMITS, ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS OF NO CONSTRUCTION ACTIVITIES.</p>	<p>9. AFTER THE ROADWAY HAS BEEN CONSTRUCTED TO SUBGRADE, IT SHALL BE PROOF-ROLLED TO ASSURE THAT PROPER COMPACTION HAS BEEN ATTAINED. THE PROOF-ROLLING AND COMPACTION OPERATIONS SHALL BE INSPECTED AND TESTED BY A FLORIDA LICENSED GEOTECHNICAL ENGINEER TO ASSURE THAT THE SPECIFIED COMPACTION IS MAINTAINED AND ALL DELETERIOUS MATERIALS HAVE BEEN REMOVED.</p> <p>10. THE CONTRACTOR SHALL INSURE THAT A MINIMUM SOIL DENSITY OF 98% COMPACTION IS ACHIEVED UNLESS OTHERWISE NOTED FOR PLACEMENT OF ALL HEADWALL/ENDWALL FOOTINGS, RETAINING WALL FOOTINGS, AND IN GENERAL, ANY FOOTING SUPPORT DESCRIBED ON THESE PLANS. IT WILL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT SUFFICIENT GEOTECHNICAL TESTING AND DESIGN HAS BEEN PERFORMED PRIOR TO CONSTRUCTION.</p> <p>11. BLUE REFLECTIVE PAVEMENT MARKERS SHALL BE PLACED IN THE CENTER OF THE DRIVING LANE OPPOSITE EACH FIRE HYDRANT.</p> <p>12. STORM PIPE LENGTHS SHOWN ON THE PLANS INCLUDE MITERED END SECTIONS. IF THE CONTRACTOR ELECTS TO USE AN APPROVED ALTERNATE, THE PIPE LENGTHS MUST BE ADJUSTED.</p> <p>13. INLET OFFSETS ARE TO THE CENTERLINES SHOWN ON F.D.O.T. DESIGN STANDARDS INDEXES.</p> <p>14. THE CONTRACTOR IS RESPONSIBLE FOR PAVING ALL ROADWAYS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE A SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE. IF AN AREA OF POOR DRAINAGE IS OBSERVED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PAVING SO THAT A SOLUTION OR RECOMMENDATION FOR CORRECTION MAY BE MADE.</p> <p>15. ALL REINFORCED CONCRETE PIPE (R.C.P.) SHALL BE MINIMUM CLASS III, UNLESS OTHERWISE APPROVED OR NOTED ON THE PLANS OR SPECIFICATIONS.</p> <p>16. ALL STORMWATER PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC.</p>

PUBLIC RIGHTS-OF-WAY	
<p>1. THE CONTRACTOR SHALL COORDINATE ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY WITH THE RESPECTIVE LOCAL AGENCY(S) HAVING JURISDICTION (CITY OR COUNTY) DIRECTOR OF PUBLIC WORKS AND THE JURISDICTION'S ENGINEER. IN ADDITION, ANY WORK WITHIN A STATE ROAD RIGHT-OF-WAY MUST BE APPROVED AND COORDINATED WITH THE FDOT THROUGH THE LOCAL MAINTENANCE OFFICE FOR EACH DISTRICT.</p> <p>2. PRIOR TO PERFORMING ANY WORK WITHIN ANY PUBLIC OR UTILITY RIGHT-OF-WAY, CONTRACTOR SHALL OBTAIN AUTHORIZATION AND PERMIT FROM ALL JURISDICTIONS RESPONSIBLE FOR SUCH RIGHT-OF-WAY.</p> <p>3. PRIOR TO PERFORMING ANY WORK WITHIN ANY PUBLIC RIGHT-OF-WAY, CONTRACTOR SHALL DEVELOP AND SUBMIT A MAINTENANCE OF TRAFFIC PLAN TO THE LOCAL AGENCY HAVING JURISDICTION OVER SAID ROW FOR THEIR APPROVAL. THIS PLAN MUST MEET THE MINIMUM REQUIREMENTS AS OUTLINED IN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION AND THE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS.</p>	<p>1. THE CONTRACTOR SHALL COORDINATE ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY WITH THE RESPECTIVE LOCAL AGENCY(S) HAVING JURISDICTION (CITY OR COUNTY) DIRECTOR OF PUBLIC WORKS AND THE JURISDICTION'S ENGINEER. IN ADDITION, ANY WORK WITHIN A STATE ROAD RIGHT-OF-WAY MUST BE APPROVED AND COORDINATED WITH THE FDOT THROUGH THE LOCAL MAINTENANCE OFFICE FOR EACH DISTRICT.</p> <p>2. PRIOR TO PERFORMING ANY WORK WITHIN ANY PUBLIC OR UTILITY RIGHT-OF-WAY, CONTRACTOR SHALL OBTAIN AUTHORIZATION AND PERMIT FROM ALL JURISDICTIONS RESPONSIBLE FOR SUCH RIGHT-OF-WAY.</p> <p>3. PRIOR TO PERFORMING ANY WORK WITHIN ANY PUBLIC RIGHT-OF-WAY, CONTRACTOR SHALL DEVELOP AND SUBMIT A MAINTENANCE OF TRAFFIC PLAN TO THE LOCAL AGENCY HAVING JURISDICTION OVER SAID ROW FOR THEIR APPROVAL. THIS PLAN MUST MEET THE MINIMUM REQUIREMENTS AS OUTLINED IN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION AND THE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS.</p>

UTILITIES	
<p>UTILITY PROVIDERS:</p> <p>WATER:----- CITY OF WINTER GARDEN RECLAIMED WATER:----- CITY OF WINTER GARDEN SANITARY SEWER:----- CITY OF WINTER GARDEN SOLID WASTE:----- CITY OF WINTER GARDEN ELECTRIC:----- DUKE ENERGY TELEPHONE:----- BRIGHOUSE NETWORKS, CENTURY LINK CABLE:----- BRIGHOUSE NETWORKS, CENTURY LINK GAS:----- LAKE APOPKA NATURAL GAS</p>	<p>1. THE EXISTING UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES AS TO SIZE, LOCATION, AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY AND ALL CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.</p> <p>2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING SIZE, TYPE, LOCATION, AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFYING THE INVOLVED UTILITY PROVIDERS TO MAKE ANY NECESSARY ARRANGEMENTS FOR RELOCATION, DISRUPTION OF SERVICE, OR CLARIFICATION OF ACTIVITY REGARDING SAID UTILITY. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN CROSSING AN UNDERGROUND UTILITY, WHETHER SHOWN ON THESE PLANS OR FIELD LOCATED. THE RESPECTIVE UTILITY PROVIDERS SHALL RELOCATE UTILITIES THAT INTERFERE WITH THE PROPOSED CONSTRUCTION AND THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY PROVIDERS DURING RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE CAUSED BY THE INVOLVED UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT. THE CONTRACTOR SHALL CONFORM TO FLORIDA STATUTE CHAPTER 556 AND THE SUNSHINE STATE ONE-CALL OF FLORIDA.</p> <p>3. CONTRACTOR SHALL NOTIFY ALL UTILITY OWNERS AND THE SUNSHINE UNDERGROUND UTILITIES NOTIFICATION CENTER AT 1-800-432-4770 AT LEAST 72 HOURS PRIOR TO START OF WORK. CONTRACTOR IS RESPONSIBLE FOR CONTINUAL MAINTENANCE OF ALL UTILITY LOCATES, FLAGS, MARKING, ET CETERA THROUGH THE ENTIRE DURATION OF CONSTRUCTION.</p> <p>4. THE POWER DISTRIBUTION SYSTEM SHALL BE DESIGNED AND INSTALLED BY THE POWER SERVICE PROVIDER. THE CONTRACTOR SHALL COORDINATE WITH SAID POWER SERVICE PROVIDER TO INSURE PROPER CONSTRUCTION PHASING IS ACHIEVED, AND TO ALLOW THE INSTALLATION OF STREET CROSSINGS, SLEEVES, CONDUITS, POLES, TRANSFORMERS, AND OTHER REQUIRED EQUIPMENT.</p> <p>5. THE TELEPHONE, CABLE TV, DATA, AND/OR COMMUNICATION SYSTEMS SHALL BE DESIGNED AND INSTALLED BY THEIR RESPECTIVE SERVICE PROVIDER. THE CONTRACTOR SHALL COORDINATE WITH SAID SERVICE PROVIDER TO INSURE PROPER CONSTRUCTION PHASING IS ACHIEVED, CONFLICT FREE, AND TO ALLOW THE INSTALLATION OF STREET CROSSINGS, SLEEVES, CONDUITS, POLES, AND OTHER REQUIRED EQUIPMENT.</p> <p>6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY COORDINATE THE FINAL DESIGNS AND SUBSEQUENT INSTALLATIONS OF ALL SERVICE PROVIDERS' UTILITIES AND THEIR MINIMUM CRITERIA AS SET FORTH THEREIN FOR ITEMS SUCH AS MAINTAINING THE MINIMUM SEPARATION DISTANCES BETWEEN THE VARIOUS UTILITIES.</p> <p>7. UNLESS OTHERWISE NOTED, THE TOP 24 INCHES OF ALL UTILITY TRENCHES WITHIN ROADWAYS IN MAXIMUM 12" LIFTS, SHALL BE COMPACTED TO 98% OF THE MODIFIED PROCTOR MAXIMUM DENSITY; ALL OTHER UTILITY TRENCHES SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR MAXIMUM DENSITY.</p> <p>8. THE CONTRACTOR SHALL NOTIFY THE APPLICABLE UTILITIES CONSTRUCTION DEPARTMENT FOR THE CORRESPONDING LOCAL UTILITY PROVIDED A MINIMUM OF 48 HOURS PRIOR TO STARTING ANY UTILITIES CONSTRUCTION.</p> <p>9. PIPE ALIGNMENT, DEFLECTION, AND INTEGRITY TESTING SHALL BE PERFORMED BY THE 'LAMPING' METHOD AND UTILIZING VIDEO INSPECTION. THE CONTRACTOR SHALL PERFORM INTERNAL VIDEO INSPECTION FOR THE GRAVITY SEWER TO CHECK PIPE ALIGNMENT AND DEFLECTION.</p> <p>10. ALL FIRE HYDRANTS AND APPARATUS MUST COMPLY WITH FFPC SECTION 3-5.6 AND SECTION 3-7.1 WHEN APPLICABLE.</p> <p>11. MAXIMUM SPACING OF FIRE HYDRANTS IS 500' IN ACCORDANCE WITH CITY CODE 24.30 (F)(L).</p>

PAVING, GRADING & DRAINAGE	
<p>1. THE CONTRACTOR SHALL PERFORM ALL WORK PERTAINING TO DRAINAGE INCLUDING EXCAVATION OF STORMWATER MANAGEMENT PONDS OR EQUIVALENT FACILITIES PRIOR TO THE COMMENCEMENT OF OTHER WORK INCLUDED IN THESE PLANS.</p> <p>2. THE CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE RECORD PLAT. THE CONTRACTOR SHALL VERIFY WITH THE ENGINEER THAT THE PLAT IS CORRECT PRIOR TO ANY CONSTRUCTION. IF A PLAT DOES NOT EXIST, CONTRACTOR IS TO VERIFY USE OF THE SURVEY FOR LAYOUT WITH ENGINEER PRIOR TO STARTING WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLETELY STAKE AND CHECK ALL IMPROVEMENTS TO INSURE CORRECT POSITIONING, BOTH HORIZONTAL AND VERTICAL, INCLUDING MINIMUM BUILDING SETBACKS PRIOR TO THE INSTALLATION OF ANY IMPROVEMENT. ANY DISCREPANCY BETWEEN PLATTED INFORMATION AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY AND IN WRITING.</p> <p>3. PRIOR TO INITIATING ANY EXCAVATION (INCLUDING BUT NOT LIMITED TO TUNNELS, DITCHES, STORM WATER PONDS, CANALS, ARTIFICIAL LAKES) CONTRACTOR SHALL INSTALL FENCES AND TAKE ALL OTHER REASONABLE AND PRUDENT STEPS TO INSURE THAT ACCESS TO EXCAVATION BY UNAUTHORIZED PERSONNEL IS PREVENTED</p> <p>4. ALL DRAINAGE STRUCTURES ARE TO BE TRAFFIC BEARING UNLESS OTHERWISE NOTED. ALL PRECAST CIRCULAR STRUCTURES SHALL BE CONSTRUCTED WITH A MINIMUM 5-INCH WALL THICKNESS.</p> <p>5. ALL PROPOSED PAVING SURFACES IN INTERSECTIONS AND ADJACENT EXISTING SECTIONS SHALL BE GRADED TO DRAIN POSITIVELY IN THE DIRECTION SHOWN BY THE PROPOSED GRADES AND FLOW ARROWS ON THE PLANS AND TO PROVIDE A SMOOTHLY TRANSITIONED DRIVING SURFACE FOR VEHICLES WITH NO SHARP BREAKS IN GRADE, AND NO UNUSUALLY STEEP OR REVERSE CROSS SLOPES. APPROACHES TO INTERSECTIONS AND ENTRANCE AND EXIT GRADES TO INTERSECTIONS MAY REQUIRE MINOR LOCAL FIELD ADJUSTMENTS SHOULD ACTUAL CONDITIONS VARY FROM THE SURVEYED INFORMATION THE DESIGN WAS BASED UPON IN ORDER TO ACCOMPLISH THE INTENT OF THE PLANS. IN ADDITION, THE STANDARD CROWN WILL HAVE TO BE CHANGED IN ORDER TO DRAIN POSITIVELY IN THE AREA OF INTERSECTIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH THE ABOVE AND CONSULT THE ENGINEER AS NEEDED TO MAKE ANY AND ALL REQUIRED INTERPRETATIONS OF THE PLANS OR GIVE SUPPLEMENTARY INSTRUCTIONS SHOULD THE INTENT OF THE PLANS BE UNCLEAR.</p> <p>6. CONSTRUCTION OF ROADWAYS SHALL MEET THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE LOCAL AGENCY(S) HAVING JURISDICTION AND THE MINIMUM SUGGESTED SECTIONS AS OUTLINED IN THE SOILS REPORT'S RECOMMENDATIONS, UNLESS OTHERWISE NOTED.</p> <p>7. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY EXCESS CUTS OR SUPPLYING FILL AS NECESSARY TO GRADE THE SITE TO THE PROPOSED ELEVATIONS AS DESIGNED WITHIN THE CONSTRUCTION DOCUMENTS.</p> <p>8. IF LIMESTONE BEDROCK IS ENCOUNTERED DURING EXCAVATION OF THE RETENTION BASINS OR A SINKHOLE OR SOLUTION CAVITY FORMS DURING CONSTRUCTION, EXCAVATION OF THE BASIN MUST BE HALTED IMMEDIATELY. THE OWNER, ENGINEER, AND WATER MANAGEMENT DISTRICT MUST BE NOTIFIED, AND REMEDIAL ACTION WILL BE REQUIRED.</p>	<p>9. AFTER THE ROADWAY HAS BEEN CONSTRUCTED TO SUBGRADE, IT SHALL BE PROOF-ROLLED TO ASSURE THAT PROPER COMPACTION HAS BEEN ATTAINED. THE PROOF-ROLLING AND COMPACTION OPERATIONS SHALL BE INSPECTED AND TESTED BY A FLORIDA LICENSED GEOTECHNICAL ENGINEER TO ASSURE THAT THE SPECIFIED COMPACTION IS MAINTAINED AND ALL DELETERIOUS MATERIALS HAVE BEEN REMOVED.</p> <p>10. THE CONTRACTOR SHALL INSURE THAT A MINIMUM SOIL DENSITY OF 98% COMPACTION IS ACHIEVED UNLESS OTHERWISE NOTED FOR PLACEMENT OF ALL HEADWALL/ENDWALL FOOTINGS, RETAINING WALL FOOTINGS, AND IN GENERAL, ANY FOOTING SUPPORT DESCRIBED ON THESE PLANS. IT WILL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT SUFFICIENT GEOTECHNICAL TESTING AND DESIGN HAS BEEN PERFORMED PRIOR TO CONSTRUCTION.</p> <p>11. BLUE REFLECTIVE PAVEMENT MARKERS SHALL BE PLACED IN THE CENTER OF THE DRIVING LANE OPPOSITE EACH FIRE HYDRANT.</p> <p>12. STORM PIPE LENGTHS SHOWN ON THE PLANS INCLUDE MITERED END SECTIONS. IF THE CONTRACTOR ELECTS TO USE AN APPROVED ALTERNATE, THE PIPE LENGTHS MUST BE ADJUSTED.</p> <p>13. INLET OFFSETS ARE TO THE CENTERLINES SHOWN ON F.D.O.T. DESIGN STANDARDS INDEXES.</p> <p>14. THE CONTRACTOR IS RESPONSIBLE FOR PAVING ALL ROADWAYS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE A SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE. IF AN AREA OF POOR DRAINAGE IS OBSERVED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PAVING SO THAT A SOLUTION OR RECOMMENDATION FOR CORRECTION MAY BE MADE.</p> <p>15. ALL REINFORCED CONCRETE PIPE (R.C.P.) SHALL BE MINIMUM CLASS III, UNLESS OTHERWISE APPROVED OR NOTED ON THE PLANS OR SPECIFICATIONS.</p> <p>16. ALL STORMWATER PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC.</p>

DEMOLITION AND CLEARING	
<p>1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CLEARLY DESIGNATE THE LIMITS OF CONSTRUCTION ON-SITE. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE THE LIMITS OF CONSTRUCTION.</p> <p>2. THE CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES THAT ARE TO BE SAVED, WHETHER SHOWN IN THE PLANS OR DESIGNATED IN THE FIELD.</p> <p>3. ALL PRACTICAL AND NECESSARY EFFORT SHALL BE TAKEN DURING CONSTRUCTION TO PREVENT UNNECESSARY TREE REMOVAL.</p> <p>4. ANY PROPOSED CUT OR FILL MATERIAL TO BE REMOVED OR PLACED WITHIN THE DRIP LINE OF SPECIMEN TREES TO REMAIN, INCLUDING TRENCHING FOR PROPOSED IMPROVEMENTS SUCH AS UTILITIES, WILL REQUIRE THE ADVANCED PRE-TREATMENT OF EACH IMPACTED TREE BY A QUALIFIED ARBORIST OR AT THE DIRECTION OF THE LANDSCAPE ARCHITECT TO MINIMIZE THE POTENTIALLY ADVERSE IMPACTS OF CONSTRUCTION.</p> <p>5. TREE PROTECTION BARRICADES OR EQUIVALENT PROTECTIVE MEASURES WILL BE CONSTRUCTED ACCORDING TO THE LOCAL JURISDICTION'S CRITERIA FOR TREES TO REMAIN WITHIN THE LIMITS OF CONSTRUCTION.</p> <p>6. IN AREAS REQUIRING FILL MATERIAL, THE CONTRACTOR SHALL STRIP OR OTHERWISE REMOVE ALL VEGETATION SUCH AS BRUSH, HEAVY SODS, HEAVY GROWTH OF GRASS, DECAYED VEGETATION MATTER, RUBBISH AND ANY OTHER DELETERIOUS MATERIAL BEFORE EMBANKMENT IS PLACED. IMMEDIATELY PRIOR TO THE PLACING OF FILL MATERIAL, THE ENTIRE AREA UPON WHICH FILL IS TO BE PLACED, SHALL BE SCARIFIED IN A DIRECTION APPROXIMATELY PARALLEL TO THE AXIS OF FILL. THE GEOTECHNICAL ENGINEER SHALL APPROVE THE AREA PRIOR TO THE PLACEMENT OF FILL.</p>	<p>9. AFTER THE ROADWAY HAS BEEN CONSTRUCTED TO SUBGRADE, IT SHALL BE PROOF-ROLLED TO ASSURE THAT PROPER COMPACTION HAS BEEN ATTAINED. THE PROOF-ROLLING AND COMPACTION OPERATIONS SHALL BE INSPECTED AND TESTED BY A FLORIDA LICENSED GEOTECHNICAL ENGINEER TO ASSURE THAT THE SPECIFIED COMPACTION IS MAINTAINED AND ALL DELETERIOUS MATERIALS HAVE BEEN REMOVED.</p> <p>10. THE CONTRACTOR SHALL INSURE THAT A MINIMUM SOIL DENSITY OF 98% COMPACTION IS ACHIEVED UNLESS OTHERWISE NOTED FOR PLACEMENT OF ALL HEADWALL/ENDWALL FOOTINGS, RETAINING WALL FOOTINGS, AND IN GENERAL, ANY FOOTING SUPPORT DESCRIBED ON THESE PLANS. IT WILL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT SUFFICIENT GEOTECHNICAL TESTING AND DESIGN HAS BEEN PERFORMED PRIOR TO CONSTRUCTION.</p> <p>11. BLUE REFLECTIVE PAVEMENT MARKERS SHALL BE PLACED IN THE CENTER OF THE DRIVING LANE OPPOSITE EACH FIRE HYDRANT.</p> <p>12. STORM PIPE LENGTHS SHOWN ON THE PLANS INCLUDE MITERED END SECTIONS. IF THE CONTRACTOR ELECTS TO USE AN APPROVED ALTERNATE, THE PIPE LENGTHS MUST BE ADJUSTED.</p> <p>13. INLET OFFSETS ARE TO THE CENTERLINES SHOWN ON F.D.O.T. DESIGN STANDARDS INDEXES.</p> <p>14. THE CONTRACTOR IS RESPONSIBLE FOR PAVING ALL ROADWAYS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE A SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE. IF AN AREA OF POOR DRAINAGE IS OBSERVED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PAVING SO THAT A SOLUTION OR RECOMMENDATION FOR CORRECTION MAY BE MADE.</p> <p>15. ALL REINFORCED CONCRETE PIPE (R.C.P.) SHALL BE MINIMUM CLASS III, UNLESS OTHERWISE APPROVED OR NOTED ON THE PLANS OR SPECIFICATIONS.</p> <p>16. ALL STORMWATER PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC.</p>

PUBLIC RIGHTS-OF-WAY	
<p>1. THE CONTRACTOR SHALL COORDINATE ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY WITH THE RESPECTIVE LOCAL AGENCY(S) HAVING JURISDICTION (CITY OR COUNTY) DIRECTOR OF PUBLIC WORKS AND THE JURISDICTION'S ENGINEER. IN ADDITION, ANY WORK WITHIN A STATE ROAD RIGHT-OF-WAY MUST BE APPROVED AND COORDINATED WITH THE FDOT THROUGH THE LOCAL MAINTENANCE OFFICE FOR EACH DISTRICT.</p> <p>2. PRIOR TO PERFORMING ANY WORK WITHIN ANY PUBLIC OR UTILITY RIGHT-OF-WAY, CONTRACTOR SHALL OBTAIN AUTHORIZATION AND PERMIT FROM ALL JURISDICTIONS RESPONSIBLE FOR SUCH RIGHT-OF-WAY.</p> <p>3. PRIOR TO PERFORMING ANY WORK WITHIN ANY PUBLIC RIGHT-OF-WAY, CONTRACTOR SHALL DEVELOP AND SUBMIT A MAINTENANCE OF TRAFFIC PLAN TO THE LOCAL AGENCY HAVING JURISDICTION OVER SAID ROW FOR THEIR APPROVAL. THIS PLAN MUST MEET THE MINIMUM REQUIREMENTS AS OUTLINED IN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION AND THE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS.</</p>	

POTABLE WATER	
<ol style="list-style-type: none"> ALL PVC WATERMANS 2" OR LESS SHALL BE SDR21 (200 PSI) UNLESS OTHERWISE NOTED. WATER MAINS SHALL COMPLY WITH AWWA STANDARDS. ALL PVC PIPE 3 TO 12 INCHES SHALL BE AWWA C900 DR18; ALL PVC PIPE 14 INCHES AND LARGER SHALL COMPLY WITH AWWA C905 DR25. ALL WATER MAINS SHALL BEAR THE NSF LOGO AND SHALL BE COLOR-CODED OR MARKED USING BLUE AS A PREDOMINANT COLOR TO DIFFERENTIATE DRINKING WATER FROM OTHER WATER LINES. WHERE DUCTILE IRON PIPE IS REQUIRED FOR WATER MAINS, IT SHALL CONFORM TO ANSI/AWWA A21.51. A MINIMUM THICKNESS FOR PRESSURE CLASS 350 PER ANSI/AWWA SHALL BE SUPPLIED. DIP SIZES UP TO 12 INCHES IN DIAMETER SHALL BE PRESSURE CLASS 350. DIP SIZES 14 INCHES AND LARGER SHALL BE PRESSURE CLASS 250. ALL WATER MAIN FITTINGS, VALVES, RESTRAINTS, COUPLINGS, PIPE, AND IN GENERAL, THOSE MATERIALS REQUIRED FOR INSTALLING SHALL PROVIDE TEMPORARY STURST WITH THE MINIMUM MATERIAL STANDARDS, RATINGS AND CLASSIFICATIONS ESTABLISHED BY THE RESPECTIVE UTILITY PROVIDER. ALL WATER MAIN FITTINGS SHALL BE DIP FOR ALL 3" THRU 12" PVC AND DIP WATER MAINS CONFORMING TO THE REQUIREMENTS OF ANSI/AWWA C153/A21.53 AND EPOXY COATED EXTERIOR, UNLESS NOTED OTHERWISE. THESE FITTINGS SHALL INCORPORATE RESTRAINING RINGS, MEGA-LUGS OR OTHER APPROVED EQUIVALENT MECHANICAL DEVICES. DUCTILE IRON PIPE AND FITTINGS SHALL HAVE A CEMENT MORTAR INTERIOR LINING CONFORMING TO THE REQUIREMENTS OF ANSI/AWWA C104/A21.4. VALVES FOR POTABLE AND RAW WATER MAINS SHALL BE DUCTILE IRON (D.I.) EPOXY COATED GATE VALVES OR BUTTERFLY VALVES. SEE SPECIFICATIONS FOR DETAILS. ALL POLYETHYLENE PRESSURE PIPE AND FITTINGS 4-INCH AND LARGER SHALL CONFORM TO AWWA STANDARD C906-99 (DR11) PRESSURE CLASS 160 AND ASTM STANDARD D3350, D2837 PE 3408. ALL POLYETHYLENE PIPES FOR SERVICE TUBING SHALL CONFORM TO AWWA STANDARD C901 (DR9) PRESSURE CLASS 200 AND STANDARD D2737 PE 340. ALL PIPE AND POLYETHYLENE SERVICE TUBING SHALL BEAR THE NATIONAL SANITATION FOUNDATION (NSF) SEAL OF APPROVAL FOR POTABLE WATER SERVICE. PVC PIPE LESS THAN 2-INCHES SHALL CONFORM TO ASTM D1785. THREADED PIPE AND FITTINGS SHALL BE SCH. 80 AND CONFORM TO ASTM D2464. UNTHREADED PIPE AND FITTINGS SHALL BE SCH. 40 WITH SOLVENT-CEMENTED JOINTS. CEMENTED JOINTS AND FITTINGS SHALL COMPLY WITH ASTM D2466 AND D2855. 2", 2" AND 3" PVC PIPE SHALL CONFORM TO ASTM D2241. PIPE SHALL BE FURNISHED IN 20-FOOT LENGTHS, SHALL HAVE DIMENSION RATIO (DR129) AND A WATER PRESSURE RATING OF 200 PSI. PIPE MEASUREMENTS SHALL BE CENTER TO CENTER OF FITTINGS OR VALVES. CONTRACTOR SHALL PROVIDE TEMPORARY RESTRAINTS, BRACING, TEST LUGS AND/OR OTHER DEVICES NECESSARY TO SUCCESSFULLY COMPLETE PRESSURE TESTING OF ALL PRESSURE PIPING SYSTEMS, UNCLAY TO THE WORK. AUTOMATIC AIR RELEASE/VACUUM AIR RELEASE VALVES FOR UNDERGROUND INSTALLATION SHALL CONFORM WITH 62-555.320(21)(B)FAC & RSWM 8.4. ALL BURIED PIPING SPECIFIED FOR PRESSURE SERVICE SHALL BE PROVIDED WITH RESTRAINING DEVICES AT ALL DIRECTIONAL CHANGES, UNLESS NOTED OTHERWISE. ALL FASTENERS SHALL BE MANUFACTURED OF NON-CORROSIVE MATERIALS. LOCATIONS AND DIMENSIONS OF EXISTING RIGHTS-OF-WAY AND EASEMENTS ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY ALL THE LIMITS OF RIGHTS-OF-WAY AND EASEMENTS IN ORDER TO AVOID ENCROACHMENTS. THE CONTRACTOR SHALL REPAIR OR REPLACE WITH EQUAL MATERIALS IN KIND OR AS DIRECTED BY THE OWNER OR INSPECTOR ANY ITEMS DISTURBED OR DAMAGED BY THE UTILITY CONSTRUCTION OR ITS RELATED ACTIVITIES FOR ITEMS SUCH AS BUT NOT LIMITED TO, PAVING, STABILIZED EARTH, DRIVEWAYS, ETC. CONTRACTOR SHALL PAINT THE HYDRANTS ACCORDING TO FIRE DEPARTMENT REQUIREMENTS. WHERE APPLICABLE FIRE HYDRANTS SHALL BE INSTALLED WITHIN THE ROW. PROPER BACKFLOW PREVENTION ASSEMBLIES SHALL BE PROVIDED IN ACCORDANCE WITH RULE 62-555.360, F.A.C. AND AWWA MANUAL M14, "RECOMMENDED PRACTICE FOR BACKFLOW PREVENTION AND CROSS CONNECTION CONTROL" (LATEST EDITIONS) AS INCORPORATED IN RULE 62-555-330 FAC. THE METHOD OF CONNECTION TO THE EXISTING ACTIVE MAIN SHOULD BE CHOSEN TO ENSURE THAT THE PRESSURE DOES NOT DROP BELOW 20PSI OTHERWISE A BOIL WATER NOTICE IS REQUIRED TO BE ISSUED BY THE UTILITY SUPPLYING THE WATER. CONTRACTOR SHALL COORDINATE WITH AGENCY HAVING JURISDICTION AND WATER SERVICE PROVIDER TO HAVE WATER SAMPLES TAKEN AT LOCATIONS AS SPECIFIED BY THEIR MINIMUM STANDARDS AND AS OUTLINED IN THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION PERMIT FOR CONSTRUCTION OF THE WATER DISTRIBUTION SYSTEM (IF PERMIT IS REQUIRED). DOCUMENTATION OF THE MINIMUM TESTING RESULTS SUCH AS BACTERIOLOGICAL REPORTS WITH RESIDUAL CL LEVELS SHALL BE SUBMITTED TO THE ENGINEER WITHIN 4 DAYS FROM THE DAY OF SAMPLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW AND VERIFY THE RESULTS AS PASSING PRIOR TO SUBMITTAL TO THE ENGINEER. ALL WATER MAINS SHALL BE HYDROSTATICALLY TESTED AND DISINFECTED IN ACCORDANCE WITH AWWA STANDARDS, LATEST REVISIONS. HYDROSTATIC TESTING FOR PVC MAINS SHALL BE 150 PSI FOR MINIMUM OF 2 HOURS AND MEET AWWA STANDARD C605/M23. DUCTILE IRON MAINS SHALL BE TESTED AT 150 PSI FOR 2 HOURS PER AWWA C600. ALL NEW MAINS SHALL BE DISINFECTED PER AWWA STANDARD C651. BACTERIOLOGICAL TESTS FOR 2 CONSECUTIVE DAYS SHALL BE APPROVED PRIOR TO PLACING SYSTEM INTO SERVICE. ALL WATER MAINS SHALL HAVE AN "EARLY WARNING" PROTECTION TAPE INSTALLED CONTINUOUSLY ALONG THE ENTIRE LENGTH. THE PROTECTION TAPE SHALL BE INSTALLED DURING THE BACKFILLING 6 TO 12 INCHES BELOW FINISH GRADE DIRECTLY OVER THE PIPE AND BE CONTINUOUSLY MARKED WITH "CAUTION - WATER MAIN BURIED BELOW". THE TAPE SHALL HAVE AN EMBEDDED METALLIC DETECTABLE STRIP AND BE BLUE IN COLOR FOR POTABLE WATER. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL EQUIPMENT AND MATERIALS FOR APPROVAL TO THE ENGINEER AND WATER SERVICE PROVIDER PRIOR TO PROCUREMENT. ALL PVC WATER MAINS SHALL BE INSTALLED WITH A SOLID COPPER "LOCATING WIRE" WITH SUFFICIENT GROUNDING POINTS AT MAXIMUM 500' SPACING. 	<ol style="list-style-type: none"> NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORMWATER FORCE MAINS OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY-OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

WATER LINE CONSTRUCTION NOTES PER FDEP

<ol style="list-style-type: none"> ALL PIPE, PIPE FITTINGS, PIPE JOINT PACKING AND JOINTING MATERIALS, VALVES, FIRE HYDRANTS, AND METERS INSTALLED WILL CONFIRM TO APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS. ALL PUBLIC WATER SYSTEM COMPONENTS, EXCLUDING FIRE HYDRANTS, THAT WILL BE INSTALLED AND THAT WILL COME INTO CONTACT WITH DRINKING WATER WILL CONFORM TO NSF INTERNATIONAL STANDARD 61 AS ADOPTED IN RULE 62-555.335, F.A.C., OR OTHER APPLICABLE STANDARDS, REGULATIONS, OR REQUIREMENTS REFERENCED IN PARAGRAPH 62-55-320 (3)(B), F.A.C. ALL PIPE AND PIPE FITTINGS INSTALLED WILL CONTAIN NO MORE THAN 8.0% LEAD, AND ANY SOLDER OR FLUX USED IN THIS PROJECT WILL CONTAIN NO MORE THAN 0.2% LEAD. ALL PIPE AND PIPE FITTINGS INSTALLED WILL BE COLOR-CODED OR MARKED IN ACCORDANCE WITH SUBPARAGRAPH 62-555.320 (21)(B) 3, F.A.C., USING BLUE AS A PREDOMINANT COLOR. (UNDERGROUND PLASTIC PIPE WILL BE SOLID-WALL BLUE PIPE, WILL HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN, OR WILL BE WHITE OR BLACK PIPE WITH BLUE STRIPES INCORPORATED INTO, OR APPLIED TO, THE PIPE WALL; UNDERGROUND METAL OR CONCRETE PIPE WILL HAVE BLUE STRIPES APPLIED TO THE PIPE WALL. PIPE STRIPED DURING MANUFACTURING OF THE PIPE WILL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE, THAT ARE LOCATED AT NO GREATER THAN 90-DEGREE INTERVALS AROUND THE PIPE, AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE OR PAINT WILL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE; FOR PIPE WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE OR PAINT WILL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE. ABOVEGROUND PIPE WILL BE PAINTED BLUE OR WILL BE COLOR-CODED OR MARKED LIKE UNDERGROUND PIPE.) ALL FIRE HYDRANTS THAT HAVE UNPLUGGED, UNDERGROUND DRAINS WILL BE LOCATED AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., OR VACUUM-TYPE SANITARY SEWER; AT LEAST SIX FEET FROM ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-10, F.A.C.; AND AT LEAST TEN FEET FROM ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM". NEW OR ALTERED CHAMBERS, PITS, OR MANHOLES THAT CONTAIN VALVES, BLOW-OFFS, METERS, OR OTHER SUCH WATER DISTRIBUTION SYSTEMS APPURTENANCES WILL NOT BE CONNECTED DIRECTLY TO ANY SANITARY OR STORM SEWER, AND BLOW-OFFS OR AIR RELIEF VALVES INSTALLED UNDER THIS PROJECT WILL NOT BE CONNECTED DIRECTLY TO ANY SANITARY OR STORM SEWER. NEW OR ALTERED WATER MAINS WILL BE INSTALLED IN ACCORDANCE WITH APPLICABLE AWWA STANDARDS OR IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDED PROCEDURES. A CONTINUOUS AND UNIFORM BEDDING WILL BE PROVIDED IN TRENCHES FOR UNDERGROUND PIPE INSTALLED; BACKFILL MATERIAL WILL BE TAMPED IN LAYERS AROUND UNDERGROUND PIPE INSTALLED AND TO A SUFFICIENT HEIGHT ABOVE THE PIPE TO ADEQUATELY SUPPORT AND PROTECT THE PIPE; AND UNSUITABLY SIZED STONES (AS DESCRIBED IN APPLICABLE AWWA STANDARDS OR MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES) FOUND IN TRENCHES WILL BE REMOVED FOR A DEPTH OF AT LEAST SIX INCHES BELOW THE BOTTOM OF UNDERGROUND PIPE. ALL WATER MAIN TEES, BENDS, PLUGS, AND HYDRANTS INSTALLED WILL BE PROVIDED WITH RESTRAINED JOINTS TO PREVENT MOVEMENT. WATER MAINS THAT ARE CONSTRUCTED OF ASBESTOS-CEMENT OR POLYVINYL CHLORIDE PIPE WILL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C603 OR C605, RESPECTIVELY, AS INCORPORATED INTO RULE 62-555-330, F.A.C., AND ALL OTHER NEW OR ALTERED WATER MAINS INCLUDED IN THIS PROJECT WILL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C600 AS INCORPORATED INTO RULE 62-555.330 FAC. WATER MAINS, INCLUDING FIRE HYDRANT LEADS AND INCLUDING SERVICE LINES THAT WILL BE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE INCHES OR GREATER, WILL BE DISINFECTED AND BACTERIOLOGICALLY EVALUATED IN ACCORDANCE WITH RULE 62-555.340, F.A.C.

<ol style="list-style-type: none"> NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORMWATER FORCE MAINS OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY-OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

SANITARY GRAVITY & FORCE MAINS

<ol style="list-style-type: none"> ALL PVC GRAVITY SANITARY SEWER SHALL BE SDR26, UNLESS OTHERWISE NOTED; AND ALL PVC SANITARY SEWER FORCEMAIN 4" THRU 12" SHALL BE C900/DR18, UNLESS OTHERWISE NOTED. LEAKAGE TESTS FOR THE SANITARY SEWER SYSTEM SHALL MEET PROVIDER'S SPECIFICATIONS USING THE LOW PRESSURE AIR TEST METHOD, 5 PSI FOR 5 MINUTES AND SHALL NOT EXCEED 400 FEET IN LENGTH AND SHALL BE TESTED BETWEEN ADJACENT MANHOLES AND SHALL INCLUDE ALL LATERALS. ALL PVC SANITARY FORCE MAINS SHALL BE COLOR-CODED OR MARKED USING GREEN AS A PREDOMINANT COLOR TO DIFFERENTIATE THE FORCE MAIN FROM OTHER UTILITY LINES. MINIMUM SLOPE ALLOWED FOR SANITARY SEWER PIPE IS 0.40%. PVC PIPE AND FITTINGS 4-INCHES THROUGH 15-INCHES SHALL CONFORM TO ASTM D3034, SDR35 OR 26. PVC PIPE AND FITTINGS 18-INCHES THROUGH 27-INCHES SHALL CONFORM TO ASTM F679-T1, SDR35. PVC PIPE AND FITTINGS SHALL BE SOLID GREEN IN COLOR. DUCTILE IRON PIPE FOR GRAVITY OR NON-PRESSURE SERVICE SHALL BE DESIGNED IN ACCORDANCE WITH AND CONFORMING TO THE REQUIREMENTS OF ASTM A746 FOR INSTALLATION WITH TRENCH TYPE II, OR IN ACCORDANCE WITH ANSI/AWWA C150/A21.50 AND ANSI/AWWA C151/A21.51. DUCTILE IRON FITTINGS FOR USE IN GRAVITY OR NON-PRESSURE SERVICE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C153/A21.53, COMPACT DUCTILE IRON FITTING. DUCTILE IRON PIPE AND FITTINGS FOR GRAVITY OR NON-PRESSURE SERVICE SHALL HAVE AN INTERIOR LINING CONSISTING OF A MINIMUM 40 MILS OF A CERAMIC EPOXY COATING. REFER TO SPECIFICATIONS FOR DETAILS. MATERIAL FOR GRAVITY SEWER PIPE AND FITTINGS SHALL BE PVC, ASTM 3034, SDR 26. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL EQUIPMENT AND MATERIALS FOR APPROVAL BY THE ENGINEER AND SERVICE PROVIDER PRIOR TO PROCUREMENT. PIPE MEASUREMENTS ON THE MAIN "TRUNK" SEWER SHALL BE FROM CENTER TO CENTER OF MANHOLES OR CLEANOUTS, UNLESS OTHERWISE NOTED. PIPE MEASUREMENTS FOR SERVICE LATERALS SHALL BE FROM THE MAIN "TRUNK" SEWER TO THE PROPERTY LINE. THE DEPTH OF THE LATERAL AT THE PROPERTY LINE SHALL BE MEASURED AND RECORDED ON THE RECORD DRAWINGS. FOR A SCHEDULED INTERRUPTION OF SANITARY SEWER MAIN FLOW, THE CONTRACTOR SHALL PROVIDE TO THE AGENCY HAVING JURISDICTION AND SERVICE PROVIDER FOR REVIEW A WRITTEN SCHEDULE AS TO THE METHOD AND DURATION OF FLOW INTERRUPTION. DURING NOISE ALLOWED FOR SANITARY SEWER MAIN FLOW INTERRUPTION, THE CONTRACTOR SHALL PROVIDE UNINTERRUPTED BY-PASS FLOW AND SHALL PROVIDE ALL EQUIPMENT NECESSARY TO ACCOMPLISH THE SAME IN THE FORM OF, BUT NOT LIMITED TO, THE FOLLOWING: POWER, PUMPS, PIPING, APPURTENANT VALVES AND FITTINGS AND/OR SEPTIC TANKER TRUCK PUMPING, HAULING AND DISPOSAL SERVICES. CONTRACTOR SHALL PAY FOR INSPECTION OF THE GRAVITY SEWER LINE BY A TV CAMERA SYSTEM. A DVD AND REPORT SHALL BE SUBMITTED TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FINAL INSPECTION BY SERVICE PROVIDER'S AUTHORIZED REPRESENTATIVE. ALL PVC FORCE MAINS SHALL BE INSTALLED WITH A SOLID COPPER "LOCATING WIRE" WITH SUFFICIENT Grounding points at maximum 500' spacing.
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HAZARDOUS MATERIALS

<ol style="list-style-type: none"> HAZARDOUS MATERIAL MEANS ANY SUBSTANCE: <ol style="list-style-type: none"> THE PRESENCE OF WHICH REQUIRES INVESTIGATION OR REMEDIATION UNDER ANY PRESENT FEDERAL, STATE OR LOCAL STATUTE, REGULATION, ORDINANCE, RULE, CODE, ORDER, ACTION, POLICY OR COMMON LAW, OR WHICH IS OR BECOMES DEFINED AS A "HAZARDOUS SUBSTANCE," "HAZARDOUS SUBSTANCE," POLLUTANT OR CONTAMINANT UNDER ANY PRESENT FEDERAL, STATE OR LOCAL STATUTE, REGULATION, RULE OR ORDINANCE OR AMENDMENTS THERETO INCLUDING, WITHOUT LIMITATION, THE COMPREHENSIVE ENVIRONMENTAL RESPONSE COMPENSATION AND LIABILITY ACT (42 U.S.C. SECTIONS 9601 ET SEQ.) AND/OR THE RESOURCE CONSERVATION AND RECOVERY ACT (42 U.S.C. SECTIONS 6901 ET SEQ.), OR WHICH IS OXIC, EXPLOSIVE, CORROSIVE, FLAMMABLE, INFECTIOUS, RADIOACTIVE, CARCINOGENIC, MUTAGENIC, OR OTHERWISE HAZARDOUS AND IS REGULATED BY ANY GOVERNMENTAL AUTHORITY, AGENCY, DEPARTMENT, COMMISSION, BOARD, AGENCY OR INSTRUMENTALITY OF THE UNITED STATES, THE STATE IN WHICH THE PREMISES ARE LOCATED OR ANY POLITICAL SUBDIVISION THEREOF, OR THE PRESENCE OF WHICH ON THE PREMISES CAUSES OR THREATENS TO CAUSE A NUISANCE UPON THE PREMISES OR TO ADJACENT PROPERTIES OR POSES OR THREATENS TO POSE A HAZARD TO THE HEALTH OR SAFETY OF PERSONS ON OR ABOUT THE PREMISES, OR WHICH CONTAINS GASOLINE, DIESEL FUEL OR OTHER PETROLEUM HYDROCARBONS, OR WHICH CONTAINS POLYCHLORINATED BIPHENYLS (PCBS), ASBESTOS, LEAD OR UREA FORMALDEHYDE FOAM INSULATION. CONTRACTOR AND ITS SUBCONTRACTORS SHALL USE, HANDLE, TRANSPORT, AND DISPOSE OF ALL HAZARDOUS MATERIALS (AS DEFINED HEREIN) IN COMPLIANCE WITH ALL PRESENT FEDERAL, STATE AND LOCAL ENVIRONMENTAL, HEALTH OR SAFETY LAW, INCLUDING, BUT NOT LIMITED TO, ALL SUCH STATUTES, REGULATIONS, RULES, ORDINANCES, CODES, AND RULES OF COMMON LAW. CONTRACTOR FURTHER AGREES THAT CONTRACTOR AND ITS SUBCONTRACTORS SHALL NOT CAUSE THE DISCHARGE, RELEASE OR DISPOSAL OF ANY HAZARDOUS MATERIAL CREATED BY ITS WORK ON OR ABOUT THE JOB SITE. IN THE EVENT OF ANY SPILL, RELEASE OR ANY OTHER REPORTABLE OCCURRENCE, CONTRACTOR SHALL NOTIFY THE APPROPRIATE GOVERNMENTAL AGENCY AND SHALL TAKE SUCH ACTION AS MAY BE NECESSARY TO MINIMIZE THE DELETERIOUS EFFECT OF SUCH SPILL ON PERSONS OR PROPERTY. CONTRACTOR AND ITS SUBCONTRACTORS SHALL, UPON COMPLETION OF PERFORMANCE OF ALL DUTIES UNDER THIS CONTRACT, REMOVE ALL SUPPLIES, MATERIALS, AND WASTE CONTAINING ANY HAZARDOUS MATERIAL FROM THE JOB SITE. CONTRACTOR SHALL BEAR FULL FINANCIAL RESPONSIBILITY, AS BETWEEN THE PARTIES OF THIS CONTRACT, FOR THE COMPLIANCE OF CONTRACTOR AND ITS SUBCONTRACTORS WITH THE PROVISIONS AS OUTLINED HEREIN. SHOULD CONTRACTOR OR ITS SUBCONTRACTORS DISCHARGE, RELEASE OR DISPOSE OF ANY HAZARDOUS MATERIAL ON OR ABOUT THE JOB SITE IN VIOLATION OF THIS PARAGRAPH, CONTRACTOR SHALL IMMEDIATELY INFORM THE OWNER IN WRITING. IN THE EVENT OF ANY SPILL, RELEASE OR ANY OTHER REPORTABLE OCCURRENCE, CONTRACTOR SHALL NOTIFY THE APPROPRIATE GOVERNMENTAL AGENCY(S) AND SHALL TAKE SUCH ACTION AS MAY BE NECESSARY TO MINIMIZE THE DELETERIOUS EFFECT OF SUCH SPILL ON PERSONS, PROPERTY OR THE ENVIRONMENT. IN THE EVENT CONTRACTOR OR ITS SUBCONTRACTORS ENCOUNTER ON THE PREMISES ANY PIPELINE, UNDERGROUND STORAGE TANK OR OTHER CONTAINER, OF ANY KIND, THAT MAY CONTAIN A HAZARDOUS MATERIAL, OR ENCOUNTER MATERIAL REASONABLY BELIEVED TO BE A HAZARDOUS MATERIAL, CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE AREA AFFECTED AND REPORT THE CONDITION TO THE OWNER IN WRITING. IF CONTRACTOR OR ITS SUBCONTRACTORS DO NOT COMPLY WITH THE REQUIREMENTS AS OUTLINED HEREIN, OWNER MAY, BUT IS NOT OBLIGATED TO, GIVE WRITTEN NOTICE OF VIOLATION TO CONTRACTOR. SHOULD CONTRACTOR OR ITS SUBCONTRACTORS FAIL TO COMPLY WITH THE REQUIREMENTS OF THE PARAGRAPH WITHIN TWENTY-FOUR (24) HOURS FROM THE TIME OWNER ISSUES SUCH WRITTEN NOTICE OF NONCOMPLIANCE OR WITHIN THE TIME OF AN ABATEMENT PERIOD SPECIFIED BY ANY GOVERNMENTAL AGENCY, WHICHEVER PERIOD IS SHORTER, CONTRACTOR SHALL BE IN MATERIAL DEFAULT OF THIS CONTRACT. ALL AREAS USED FOR FUEL STORAGE SHALL HAVE THE PROPERTY OWNER'S PRIOR APPROVAL AND APPROPRIATE MEASURES SHALL BE TAKEN TO INSURE PROTECTION OF GROUNDWATER AND SOIL RESOURCES. 9. DURING CONSTRUCTION, WHEN COMBUSTIBLES ARE BROUGHT ON TO THE SITE, ACCESS ROADS AND A SUITABLE TEMPORARY OR PERMANENT SUPPLY OF WATER ACCEPTABLE TO THE FIRE DEPARTMENT SHALL BE PROVIDED AND MAINTAINED CHAPTER 16, NFPA 1 2009 EDITION (FFPC 2010 EDITION).
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PRE-CONSTRUCTION									
<ol style="list-style-type: none"> CONTRACTOR SHALL ATTEND A MANDATORY PRE-CONSTRUCTION MEETING WITH THE ENGINEER OF RECORD AND APPLICABLE STAFF OF THE LOCAL AGENCY HAVING JURISDICTION (E.G. CITY OR COUNTY) PRIOR TO ANY DISTURBANCE OF LAND, CLEARING OR DEMOLITION. CONTRACTOR MUST PROVIDE WRITTEN NOTICE OF THE PRE-CONSTRUCTION MEETING'S TIME, DATE AND LOCATION TO THE OWNER AND ENGINEER OF RECORD A MINIMUM OF 48 HOURS PRIOR TO. SHOP DRAWINGS AND CERTIFICATIONS FOR ALL STORM DRAINAGE, WATER SYSTEM, SEWER SYSTEM, AND PAVING SYSTEM MATERIALS AND STRUCTURES ARE REQUIRED. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING THE MATERIALS REQUIRED FOR CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE THE ENGINEER 48-HOUR ADVANCE NOTIFICATION FOR THE FOLLOWING CONSTRUCTION AND OBSERVATION ACTIVITIES: <ol style="list-style-type: none"> SANITARY SEWER LAMPING AND VIDEO INSPECTION CONNECTIONS TO EXISTING SYSTEMS STORM DRAINAGE LAMPING INLET TOP POURS (REINFORCING STEEL CHECK) WATER AND FORCE MAIN PRESSURE TESTS BACTERIOLOGICAL SAMPLING GASE OBSERVATION & SOUNDING ASPHALT PLACEMENT PRE-FINAL OBSERVATION FINAL OBSERVATION 	<table border="1"> <tr> <td>BY:</td> <td>DMK</td> </tr> <tr> <td>REV PER CLIENT REQUEST (EVANS)</td> <td>JSK</td> </tr> <tr> <td>DATE:</td> <td>08-13-14</td> </tr> <tr> <td>DATE:</td> <td>1-28-16</td> </tr> </table>	BY:	DMK	REV PER CLIENT REQUEST (EVANS)	JSK	DATE:	08-13-14	DATE:	1-28-16
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REV PER CLIENT REQUEST (EVANS)	JSK								
DATE:	08-13-14								
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RECORD DRAWINGS & CERTIFICATION

<ol style="list-style-type: none"> PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL OBTAIN A COPY OF THE MINIMUM REQUIREMENTS FOR AS-BUILT RECORD DRAWING ACCEPTANCE FROM THE AGENCY HAVING JURISDICTION (SUCH AS THE CITY OR COUNTY) AND/OR UTILITY SERVICE PROVIDER, FAMILIARIZE THEMSELVES WITH THESE REQUIREMENTS, AND PRODUCE AS-BUILT RECORD DRAWINGS THAT SUBSTANTIALLY COMPLY WITH OR EXCEED THESE REQUIREMENTS, INCLUDING ANY REQUIRED ELECTRONIC DATA SUBMITTALS. AS-BUILT DRAWINGS SHALL BE ACCURATELY RECORDED AND CERTIFIED BY A LICENSED LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA AND SHALL MEET THE MINIMAL TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF SURVEYOR'S AND MAPPERS IN CHARTER 61G17-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 FLORIDA STATUTES. THE CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE SUFFICIENT AS-BUILT INFORMATION TO CONVEY THAT THE CONSTRUCTION HAS BEEN COMPLETED WITHIN ACCEPTABLE TOLERANCES TO THE APPROVED DESIGN AND SHALL INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING: <ol style="list-style-type: none"> SANITARY SEWER <ol style="list-style-type: none"> TOP ELEVATION OF EACH MANHOLE FRAME AND COVER. INVERT OF EACH LINE ENTERING AND LEAVING EACH MANHOLE/STRUCTURE. LENGTH OF EACH RUN OF MAIN BETWEEN MANHOLES (CENTER TO CENTER). ACTUAL GRADE OF PIPE BETWEEN MANHOLES. LOCATE ALL SERVICE WYES FROM DOWNSTREAM MANHOLE WITH DEPTH AT LOT LINE AND DISTANCE FROM THE MAIN LINE. LOCATE WITH MEASUREMENTS FROM PERMANENT VISIBLE OBJECTS ALL FITTINGS/ACCESSORIES NOT VISIBLE FROM THE SURFACE (MINIMUM TWO POINT TIES). STORM DRAINAGE <ol style="list-style-type: none"> TOP ELEVATION OF EACH MANHOLE FRAME AND COVER/GRATE AS WELL AS ALL OTHER STRUCTURES (HEADWALLS, CONTROL STRUCTURES, ETC.). INVERT OF EACH LINE ENTERING AND LEAVING EACH STRUCTURE, INCLUDING UNDERDRAIN PIPES. INVERTS OF ALL METER END SECTIONS. ACTUAL GRADE OF PIPE BETWEEN THE STRUCTURES. INVERT ELEVATION AND TWO HORIZONTAL TIES FROM PERMANENT VISIBLE OBJECTS TO ALL STORM STUB-OUTS. UNDERDRAINS WATER AND REUSE SYSTEM AND FORCE MAINS <ol style="list-style-type: none"> ACTUAL LENGTHS OF PIPE BETWEEN BRANCHES AND VALVES IN THE RUN. LOCATE WITH MEASUREMENTS FROM PERMANENT VISIBLE OBJECTS ALL FITTINGS/ACCESSORIES NOT VISIBLE FROM THE SURFACE (MINIMUM TWO POINT TIES). LIST THE DEPTHS OF THE LINES AT ALL VALVES, FITTINGS AND FIRE HYDRANTS. OTHER IMPROVEMENTS <ol style="list-style-type: none"> BUILDING(S), SIDEWALKS, PAVEMENT, CURB & GUTTER. SUBMIT CERTIFIED DRAWINGS TO THE ENGINEER TWO WEEKS PRIOR TO FINAL INSPECTION OF THE WORK TO BE CERTIFIED. THE ENGINEER STRONGLY RECOMMENDS THAT THE CONTRACTOR KEEP A DAILY "AS-BUILT" SET OF DRAWINGS WHILE THE WORK BEING DONE IS VISIBLY EXPOSED ACCORDING TO THE CRITERIA OUTLINED HEREIN. THE ENGINEER RESERVES THE RIGHT TO REQUIRE THE CONTRACTOR TO UNCOVER, RETEST AND/OR PERFORM ANY ACTION NECESSARY TO ENSURE THAT THE IMPROVEMENTS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. FINAL "AS-BUILT" DRAWINGS FOR POTABLE WATER SHALL CLEARLY INDICATE COMPLIANCE TO MINIMUM SEPARATION DISTANCES OR REQUIRED PIPE UPGRADES. ALL WATER MAIN AND FORCE MAIN PIPE FITTINGS SHALL BE REFERENCED TO AT LEAST TWO VISIBLE REFERENCE POINTS (SWING TIES) AND THE NEAREST DISTANCE TO THE CENTERLINE OF ROAD. THE OWNER'S GEOTECHNICAL ENGINEER SHALL CERTIFY ALL SITE, UTILITY, AND ROADWAY COMPACTION AND ALL UNDERDRAIN AND PAVEMENT CONSTRUCTION TO BOWYER-SINGLETON & ASSOCIATES, INC.

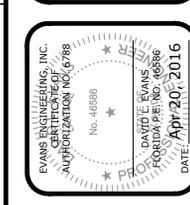
STANDARD GENERAL CONDITIONS

<ol style="list-style-type: none"> ALL WORK SHALL CONFORM TO CITY OF WINTER GARDEN STANDARDS AND SPECIFICATIONS. THE CITY OF WINTER GARDEN WILL INSPECT PRIVATE SITE IMPROVEMENTS ONLY TO THE EXTENT THAT THEY CONNECT TO CITY OWNED/MAINTAINED SYSTEMS (ROADWAYS, DRAINAGE, UTILITIES, ETC.). IT IS THE RESPONSIBILITY OF THE OWNER AND DESIGN ENGINEER TO ENSURE THAT PRIVATELY OWNED AND MAINTAINED SYSTEMS ARE CONSTRUCTED TO THE INTENDED SPECIFICATIONS. THE CITY IS NOT RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF PRIVATELY OWNED SYSTEMS, TO INCLUDE, BUT NOT LIMITED TO, ROADWAYS, PARKING LOTS, DRAINAGE, STORMWATER PONDS OR ON-SITE UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR THE NOTIFICATION, LOCATION AND PROTECTION OF ALL UTILITIES THAT MAY EXIST WITHIN THE PROJECT LIMITS. NO FILL OR RUNOFF WILL BE ALLOWED TO DISCHARGE ONTO ADJACENT PROPERTIES; EXISTING DRAINAGE PATTERNS SHALL NOT BE ALTERED. THE APPLICANT SHOULD NOTE THAT IF APPROVAL IS GRANTED, THE CITY OF WINTER GARDEN IS NOT GRANTING RIGHTS OR EASEMENTS FOR DRAINAGE FROM, OR ONTO, PROPERTY OWNED BY OTHERS. OBTAINING PERMISSION, EASEMENTS OR OTHER APPROVALS THAT MAY BE REQUIRED TO DRAIN ONTO PRIVATE PROPERTY IS THE OWNER/DEVELOPER'S RESPONSIBILITY. SHOULD THE FLOW OF STORMWATER RUNOFF FROM, OR ONTO ADJACENT PROPERTIES BE UNREASONABLE OR CAUSE PROBLEMS, THE CITY WILL NOT BE RESPONSIBLE AND ANY CORRECTIVE MEASURES REQUIRED WILL BE THE RESPONSIBILITY OF THE OWNER. SITE CONSTRUCTION SHALL ADHERE TO THE CITY OF WINTER GARDEN EROSION AND SEDIMENT CONTROL REQUIREMENTS AS CONTAINED IN CHAPTER 106 - STORMWATER. IF APPROVAL IS GRANTED BY THE CITY OF WINTER GARDEN, IT DOES NOT WAIVE ANY PERMITS THAT MAY BE REQUIRED BY FEDERAL, STATE, REGIONAL, COUNTY, MUNICIPAL OR OTHER AGENCIES THAT MAY HAVE JURISDICTION. USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK. ALL IRRIGATION SHALL BE METERED AND CONNECTED TO THE RECLAIM WATER MAINS WITHIN THE DEVELOPMENT. COORDINATE WITH UTILITIES DEPARTMENT ON LOCATION OF IRRIGATION SERVICE, METER, ETC. ALL IRRIGATION LINES WITHIN THE CITIES RIGHT OF WAY OR UTILITY EASEMENT SHALL BE PURPLE COLOR.
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ADA NOTES:

<ol style="list-style-type: none"> IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ADEQUATELY REVIEW THE CURRENT VERSION OF THE FLORIDA ACCESSIBILITY CODE (FAC) FOR SPECIFIC REQUIREMENTS OF CONSTRUCTING CODE COMPLIANT IMPROVEMENTS AND TO ENSURE THAT ALL WORK IS CONSTRUCTED IN STRICT COMPLIANCE WITH THOSE STANDARDS. ANY DISCREPANCIES IN FIELD CONDITIONS FROM THOSE SHOWN THAT WILL IN ANY WAY AFFECT THE COMPLIANT CONSTRUCTION OF ALL FAC REQUIRED DETAILS SHALL IMMEDIATELY BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO ANY CONSTRUCTION OF IMPROVEMENTS. CURB RAMPS SHALL BE TEXTURED IN CONFORMANCE WITH FAC STANDARDS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE THAT ALL CURB RAMP TEXTURED SURFACES AND SIDEWALK LONGITUDINAL AND CROSS SLOPES ARE IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL ADA STANDARDS. CONTRACTOR SHALL COORDINATE WITH ENGINEER FOR PRE-POUR INSPECTION PRIOR TO ANY SIDEWALK AND/OR CURB RAMP CONCRETE POURS.
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BY:	DMK
REV PER CLIENT REQUEST (EVANS)	JSK
DATE:	08-13-14
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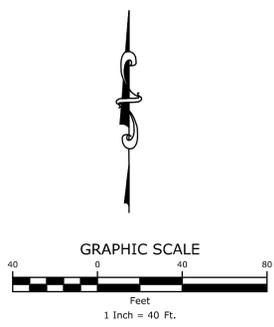
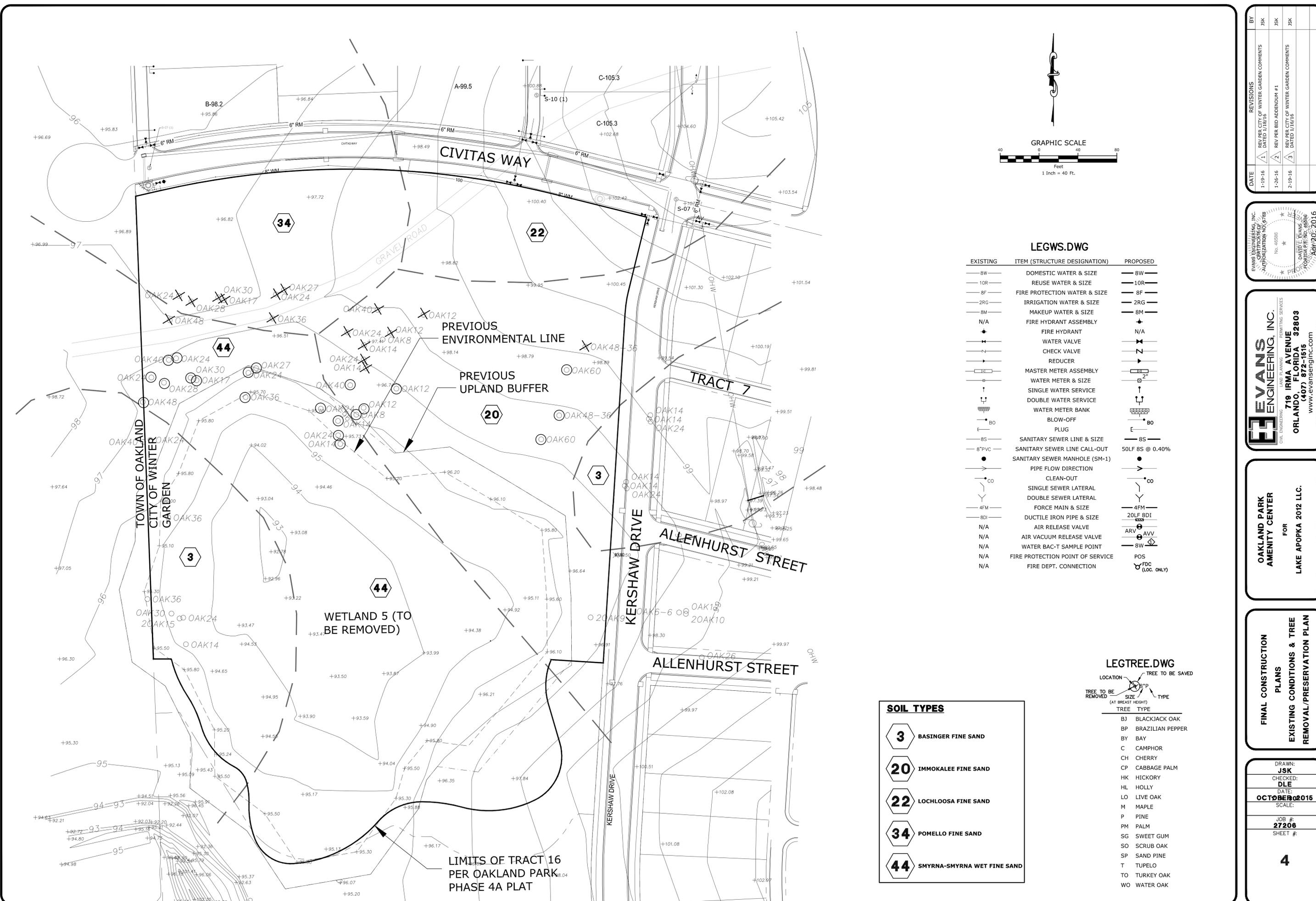


EVANS ENGINEERING, INC.
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 CIVIL ENGINEERING
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 CERTIFICATE OF AUTHORIZATION NO. 00006788

OAKLAND PARK AMENITY CENTER FOR LAKE APOPKA 2012 LLC. CITY OF WINTER GARDEN FLORIDA

FINAL CONSTRUCTION PLANS GENERAL NOTES

DRAWN:	JSK
CHECKED:	DLE
DATE:	OCTOBER 2015
SCALE:	N/A
JOB #:	27206
SHEET #:	



LEGWS.DWG

EXISTING	ITEM (STRUCTURE DESIGNATION)	PROPOSED
— 8W —	DOMESTIC WATER & SIZE	— 8W —
— 10R —	REUSE WATER & SIZE	— 10R —
— 8F —	FIRE PROTECTION WATER & SIZE	— 8F —
— 2RG —	IRRIGATION WATER & SIZE	— 2RG —
— 8M —	MAKEUP WATER & SIZE	— 8M —
N/A	FIRE HYDRANT ASSEMBLY	— F —
— F —	FIRE HYDRANT	N/A
— V —	WATER VALVE	— V —
— Z —	CHECK VALVE	— Z —
— R —	REDUCER	— R —
— MA —	MASTER METER ASSEMBLY	— MA —
— WM —	WATER METER & SIZE	— WM —
— WS —	SINGLE WATER SERVICE	— WS —
— DWS —	DOUBLE WATER SERVICE	— DWS —
— WMB —	WATER METER BANK	— WMB —
— BO —	BLOW-OFF	— BO —
— P —	PLUG	— P —
— 8S —	SANITARY SEWER LINE & SIZE	— 8S —
— 8" PVC —	SANITARY SEWER LINE CALL-OUT	50LF 8S @ 0.40%
— SM —	SANITARY SEWER MANHOLE (SM-1)	— SM —
— CO —	PIPE FLOW DIRECTION	— CO —
— C —	CLEAN-OUT	— C —
— SL —	SINGLE SEWER LATERAL	— SL —
— DSL —	DOUBLE SEWER LATERAL	— DSL —
— FM —	FORCE MAIN & SIZE	— FM —
— 8DI —	DUCTILE IRON PIPE & SIZE	— 20LF 8DI —
N/A	AIR RELEASE VALVE	— ARV —
N/A	AIR VACUUM RELEASE VALVE	— AVV —
N/A	WATER BAC-T SAMPLE POINT	— 8W —
N/A	FIRE PROTECTION POINT OF SERVICE	— POS —
N/A	FIRE DEPT. CONNECTION	— FDC (LOC. ONLY) —

SOIL TYPES

3	BASINGER FINE SAND
20	IMMOKALEE FINE SAND
22	LOCHLOSSA FINE SAND
34	POMELLO FINE SAND
44	SMYRNA-SMYRNA WET FINE SAND

LEGTREE.DWG

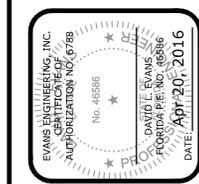
LOCATION: TREE TO BE SAVED

TREE TO BE REMOVED: SIZE TYPE

(AT BREAST HEIGHT)

TREE	TYPE
BJ	BLACKJACK OAK
BP	BRAZILIAN PEPPER
BY	BAY
C	CAMPHOR
CH	CHERRY
CP	CABBAGE PALM
HK	HICKORY
HL	HOLLY
LO	LIVE OAK
M	MAPLE
P	PINE
PM	PALM
SG	SWEET GUM
SO	SCRUB OAK
SP	SAND PINE
T	TUPELO
TO	TURKEY OAK
WO	WATER OAK

DATE	REVISIONS	BY
1-19-16	REV PER CITY OF WINTER GARDEN COMMENTS DATED 1/13/16	JSK
1-26-16	REV PER BID ADDENDUM #1	JSK
2-19-16	REV PER CITY OF WINTER GARDEN COMMENTS DATED 2/11/16	JSK



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OAKLAND PARK AMENITY CENTER
 FOR
LAKE APOPKA 2012 LLC.
 CITY OF WINTER GARDEN FLORIDA

FINAL CONSTRUCTION PLANS
EXISTING CONDITIONS & TREE REMOVAL/PRESERVATION PLAN

DRAWN: **JSK**
 CHECKED: **DLE**
 DATE: **OCTOBER 2015**
 SCALE:
 JOB #: **27206**
 SHEET #: **4**

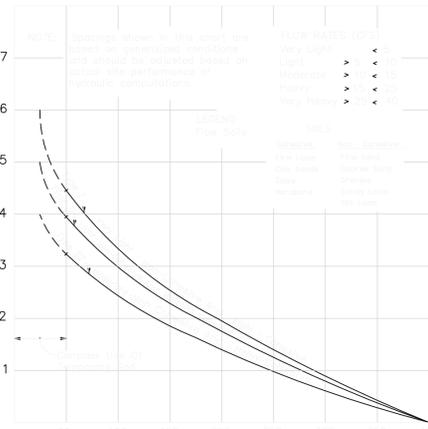
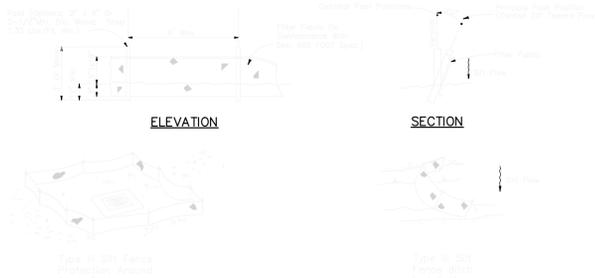


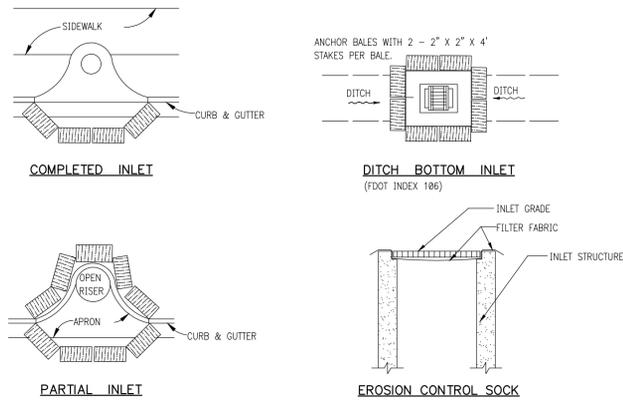
CHART
RECOMMENDED SPACING FOR TYPE III SILT FENCES



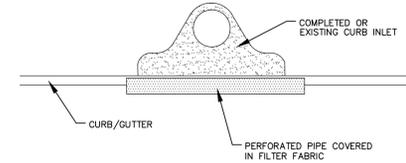
SILT FENCE APPLICATIONS

NOTES:
1. Silt fences shall be installed in a manner that will not allow any sediment to pass through the silt fence.
2. Silt fences shall be installed in a manner that will not allow any sediment to pass through the silt fence.
3. Silt fences shall be installed in a manner that will not allow any sediment to pass through the silt fence.
4. Silt fences shall be installed in a manner that will not allow any sediment to pass through the silt fence.

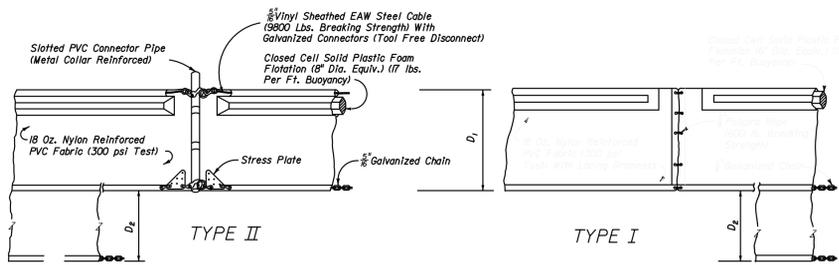
3 TYPE III SILT FENCE
9.0 NOT TO SCALE



4 PROTECTION AROUND INLETS OR SIMILAR STRUCTURES
9.0 NOT TO SCALE



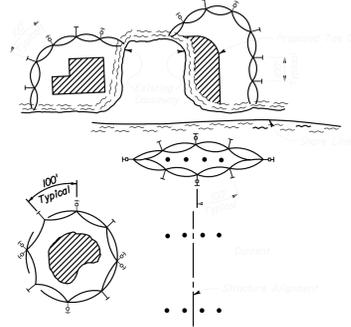
5 POLLUTION PREVENTION BARRIER FOR STORM CURB INLETS
9.0 NOT TO SCALE



2 ROCK CONSTRUCTION ENTRANCE
9.0 NOT TO SCALE

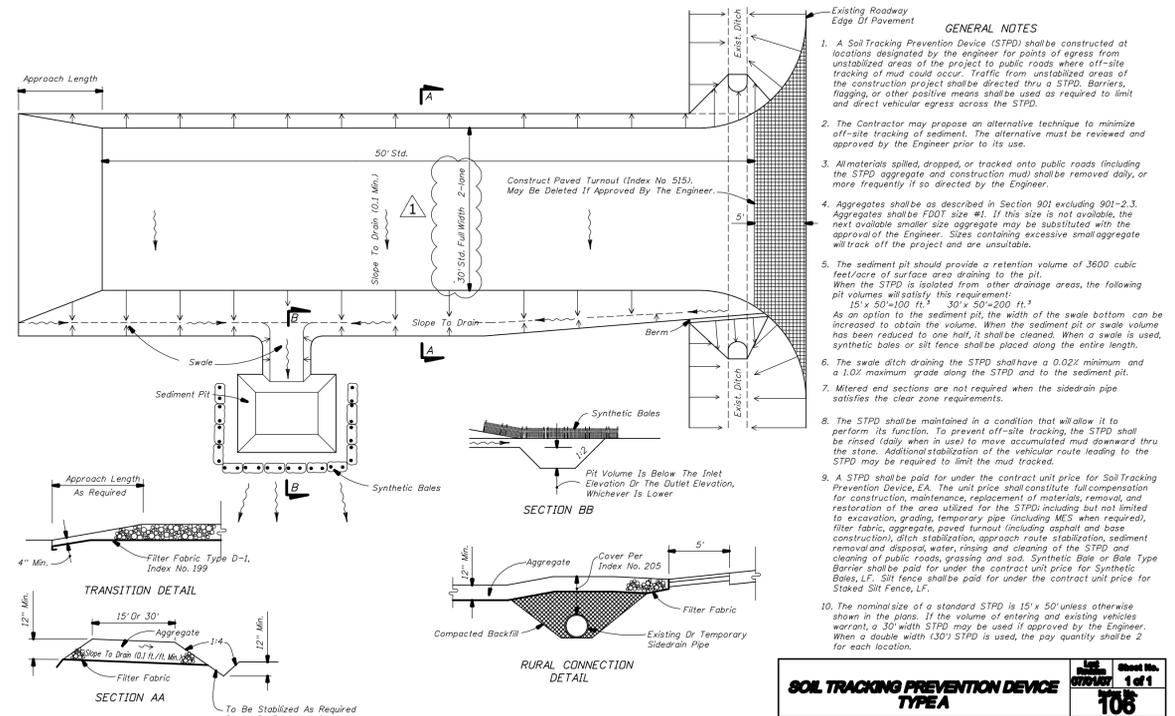
NOTES:
1. The rock construction entrance shall be constructed in accordance with the specifications for rock construction entrance.
2. The rock construction entrance shall be constructed in accordance with the specifications for rock construction entrance.
3. The rock construction entrance shall be constructed in accordance with the specifications for rock construction entrance.

FLOATING TURBIDITY BARRIERS



TURBIDITY BARRIER APPLICATIONS

1 TURBIDITY BARRIERS
9.0 NOT TO SCALE



SOIL TRACKING PREVENTION DEVICE
TYPE A
Sheet No. 1 of 1
106

- GENERAL NOTES
- A Soil Tracking Prevention Device (STPD) shall be constructed at locations designated by the engineer for points of egress from unstabilized areas of the project to public roads where off-site tracking of mud could occur. Traffic from unstabilized areas of the construction project shall be directed thru a STPD. Barriers, flagging, or other positive means shall be used as required to limit and direct vehicular egress across the STPD.
 - The Contractor may propose an alternative technique to minimize off-site tracking of sediment. The alternative must be reviewed and approved by the Engineer prior to its use.
 - All materials spilled, dropped, or tracked onto public roads (including the STPD aggregate and construction mud) shall be removed daily, or more frequently if so directed by the Engineer.
 - Aggregates shall be as described in Section 901 excluding 901-2.3. Aggregates shall be FDOT size #1. If this size is not available, the next available smaller size aggregate may be substituted with the approval of the Engineer. Sizes containing excessive small aggregate will track off the project and are unsuitable.
 - The sediment pit should provide a retention volume of 3600 cubic feet/acre of surface area draining to the pit. When the STPD is isolated from other drainage areas, the following pit volumes will satisfy this requirement:
15' x 50' = 100 ft³ 30' x 50' = 200 ft³
As an option to the sediment pit, the width of the swale bottom can be increased to obtain the volume. When the sediment pit or swale volume has been reduced to one half, it shall be cleaned. When a swale is used, synthetic bales or silt fence shall be placed along the entire length.
 - The swale ditch draining the STPD shall have a 0.02% minimum and a 1.0% maximum grade along the STPD and to the sediment pit.
 - Mitered end sections are not required when the side drain pipe satisfies the clear zone requirements.
 - The STPD shall be maintained in a condition that will allow it to perform its function. To prevent off-site tracking, the STPD shall be raised daily when in use to move accumulated mud downward through the stone. Additional stabilization of the vehicular route leading to the STPD may be required to limit the mud tracked.
 - A STPD shall be paid for under the contract unit price for Soil Tracking Prevention Device, CA. The unit price shall constitute full compensation for construction, maintenance, replacement of materials, removal, and restoration of the area utilized for the STPD including but not limited to excavation, grading, temporary pipe (including MCS when required), filter fabric, aggregate, paved turnout (including asphalt and base construction), ditch stabilization, approach route stabilization, sediment removal and disposal, water, rinsing and cleaning of the STPD and cleaning of public roads, grassing and sod. Synthetic Bale or Bale Type Barrier shall be paid for under the contract unit price for Synthetic Bales, LF. Silt fence shall be paid for under the contract unit price for Staked Silt Fence, LF.
 - The nominal size of a standard STPD is 15' x 50' unless otherwise shown in the plans. If the volume of entering and existing vehicles warrant, a 30' width STPD may be used if approved by the Engineer. When a double width (30') STPD is used, the pay quantity shall be 2 for each location.

DATE	REVISIONS	BY
1-19-16	1	JSK
1-26-16	2	JSK
2-19-16	3	JSK



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OAKLAND PARK AMENITY CENTER
FOR
LAKE APOPKA 2012 LLC.
FLORIDA
CITY OF WINTER GARDEN

FINAL CONSTRUCTION PLANS
STORM WATER POLLUTION PREVENTION PLAN DETAILS

DRAWN: JSK
CHECKED: DLE
DATE: OCTOBER 2015
SCALE: 1" = 30'
JOB #: 27206
SHEET #:

7

SITE DATA

PROPERTY LOCATION SW CORNER OF CIVITAS WAY & KERSHAW DRIVE.
 PARCEL ID: PARCEL ID NO. 21-22-27-0000-00-059
 JURISDICTION: CITY OF WINTER GARDEN
 EXISTING ZONING: PUD
 FUTURE LAND USE: SUB
 EXISTING USE: VACANT
 PROPOSED USE: AMENITY CENTER
 PROPOSED ZONING: PUD
 AMENITY SITE AREA 5.2 AC.

PROPOSED BUILDING AREA (CONDITIONED): 3,540 SF
 FLOOR AREA RATIO 0.02
BUILDING SETBACKS: MIN.
 FRONT: 20' FEET
 SIDE: 20' FEET
 REAR: 25' FEET

PROPOSED OPEN SPACE:
 IMPERVIOUS AREA (ASPHALT & CONCRETE PAVT/SIDEWALK/ROOF): 0.68 ACRES
 PERVIOUS AREA (GRASS, LANDSCAPE AREAS): 2.84 ACRES
 WET POND WATER SURFACE AREA: 1.68 AC.
 PERCENT OPEN SPACE: 86.9%
 IMPERVIOUS SURFACE RATIO 0.13

PHASING: SITE WILL BE CONSTRUCTED IN ONE PHASE

SPECIFIC LAND USE AREAS:
 SQ. FT. OF ASPHALT: 31,300 SQ. FT.
 SQ. FT. OF LAWN AREA (TO BE MOWED/IRRIGATED): 21,425 SQ. FT.
PARKING CALCULATIONS:
 PROPOSED STANDARD (10'x20') SPACES 22
 PROPOSED ADA (12'x20') SPACES 2
 TRUCK/OVERSIZED SPACES 0
 TOTAL PARKING SPACES PROVIDED 24
SOILS:
 BASED ON THE ORANGE COUNTY SCS SOIL SURVEY, THE SITE CONSISTS OF THE FOLLOWING SANDS: BASINGER FINE SAND DEPRESSIONAL AND SMYRNA FINE SAND. AN OVERALL GEOTECHNICAL SUBSURFACE REPORT WAS SUBMITTED IN SUPPORT OF THE MASTER STORMWATER MANAGEMENT SYSTEM AS PREPARED BY TERRACON, INC. AND IS ON FILE AT THE CITY OF WINTER GARDEN.

TRAFFIC:
 SINCE THIS SITE IS CONSIDERED AN INTERNAL USE FOR COMMUNITY RESIDENTS ONLY, A TRAFFIC IMPACT ANALYSIS ON ADJACENT ROADWAYS IS NOT NECESSARY.

LANDSCAPE:
 A LANDSCAPE PLAN MEETING THE CITY OF WINTER GARDEN IS INCLUDED HEREIN.

SOLID WASTE:
 TRASH RECEPTACLES WILL BE LOCATED WITHIN THE HARDSCAPE PAVING. A ROLL OUT DUMPSTER WILL BE LOCATED IN A 5' X 10' FENCED/SCREENED AREA NEXT TO THE A/C UNITS.

UTILITY PROVIDERS:
 WATER: CITY OF WINTER GARDEN
 WASTEWATER: CITY OF WINTER GARDEN
 RECLAIM WATER: CITY OF WINTER GARDEN
 ELECTRIC: DUKE ENERGY
 FIRE: CITY OF WINTER GARDEN
 SOLID WASTE: CITY OF WINTER GARDEN
 SOLID WASTE TO BE COLLECTED IN TRASH RECEPTACLES AS SHOWN.

OTHER UTILITY PROVIDER INFORMATION IS PROVIDED ON THE COVER SHEET.

STORMWATER:
 THE RUNOFF FROM THIS SITE SHALL RECEIVE WATER QUALITY TREATMENT AND RATE ATTENUATION WITHIN THE ADJACENT STORMWATER POND. THIS POND IS CURRENTLY BEING PERMITTED BY ATKINS AND IS SHOWN FOR INFORMATIONAL PURPOSES. THE HYDROLOGIC CHARACTERISTICS FOR THIS SITE WERE COORDINATED BETWEEN EVANS ENGINEERING AND ATKINS. THE DRY BOTTOM TREATMENT SWALES SHOWN PROVIDE AN ADDITIONAL LEVEL OF RUNOFF TREATMENT AND ARE NOT REQUIRED BY THE CURRENT SJRWMD PERMIT.
 FURTHER, THE SITE MEETS THE REQUIREMENTS SET FORTH IN SJRWMD PERMIT NO. 102535-15.

FLOOD STATEMENT:
 THE SITE LIES WITHIN ZONE X AS DELINEATED ON THE FEMA/FIRM PANEL NUMBER 12095C0215F DATED SEPTEMBER 25, 2009. THERE ARE NO FLOODPLAIN IMPACTS ASSOCIATED WITH THIS PROJECT.

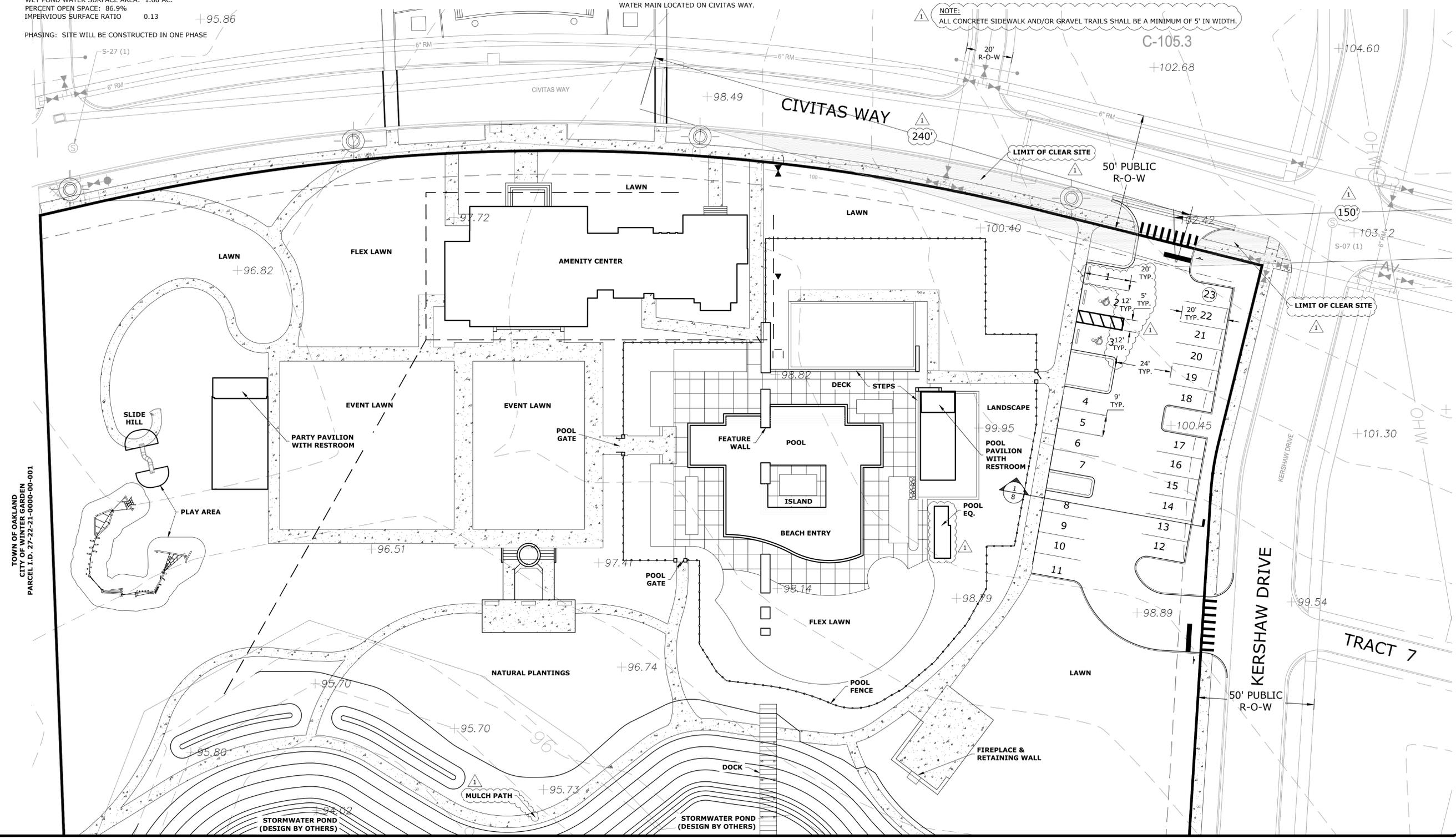
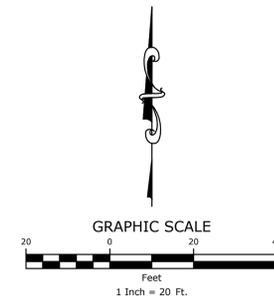
IRRIGATION:
 IRRIGATION SUPPLY WILL BE PROVIDED BY THE CITY OF WINTER GARDEN RECLAIMED WATER MAIN LOCATED ON CIVITAS WAY.

UTILITIES:
 WATER DEMAND: 642 GPD ADF (SEE CALCULATIONS BELOW FOR DETERMINATION)
 WASTEWATER FLOW: 550 GPD ADF (SEE CALCULATIONS BELOW FOR DETERMINATION)
 TOTAL FIXTURE UNITS:
 JANITORS SINK - 1
 DRINKING FOUNTAIN - 1
 LAVATORIES - 4
 SINKS - 4
 KITCHEN SINKS - 1
 UTINALS - 2
 WATER CLOSETS - 9
 TOTAL - 22
 22 F.U. X 25 GPD/F.U./300 = 1.833 ERU/ERC
 1.833 ERC X 350 GPD/ERC = 642 GPD
 1.833 ERU X 300 GPD/ERU = 550 GPD

FIRE PROTECTION:
 FIRE PROTECTION FOR THE SITE WILL BE PROVIDED BY THE ADJACENT FIRE HYDRANTS AT THE INTERSECTION OF CIVITAS WAY AND KERSHAW DRIVE WEST AND THE INTERSECTION OF CIVITAS WAY AND COLLETON AVENUE. THE SYSTEM IS DESIGNED TO DELIVER A MINIMUM NEEDED FIRE FLOW OF 2,000 GPM DISCHARGING FROM HYDRANTS.

LIGHTING:
 THE PARKING AREA WILL BE ILLUMINATED BY LIGHT FIXTURES AND POLES PROVIDED BY DUKE ENERGY. THE REMAINING SITE LIGHTING WILL BE PROVIDED BY INTERNAL PATHWAY LIGHTING, SINGLE BOLLARD LIGHTS AND LANDSCAPE ACCENT LIGHTING. THE DOCK WILL ALSO BE LIT, HOWEVER THE POOL AREA WILL NOT HAVE LIGHTING. ADDITIONALLY THERE ARE STREET LIGHTS PROPOSED IN CIVITAS WAY PROVIDED BY DUKE POWER THAT WILL LIGHT THE FRONT OF THE BUILDING.

NOTE:
 ALL CONCRETE SIDEWALK AND/OR GRAVEL TRAILS SHALL BE A MINIMUM OF 5' IN WIDTH.



DATE	REVISIONS	BY
1-19-16	REV PER CITY OF WINTER GARDEN COMMENTS DATED 1/18/16	JSK
1-26-16	REV PER BID ADDENDUM #1	JSK
2-19-16	REV PER CITY OF WINTER GARDEN COMMENTS DATED 1/16/16	JSK

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 AUTHORIZATION NO. 6788
 DATE: APR 20, 2016

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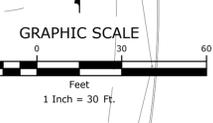
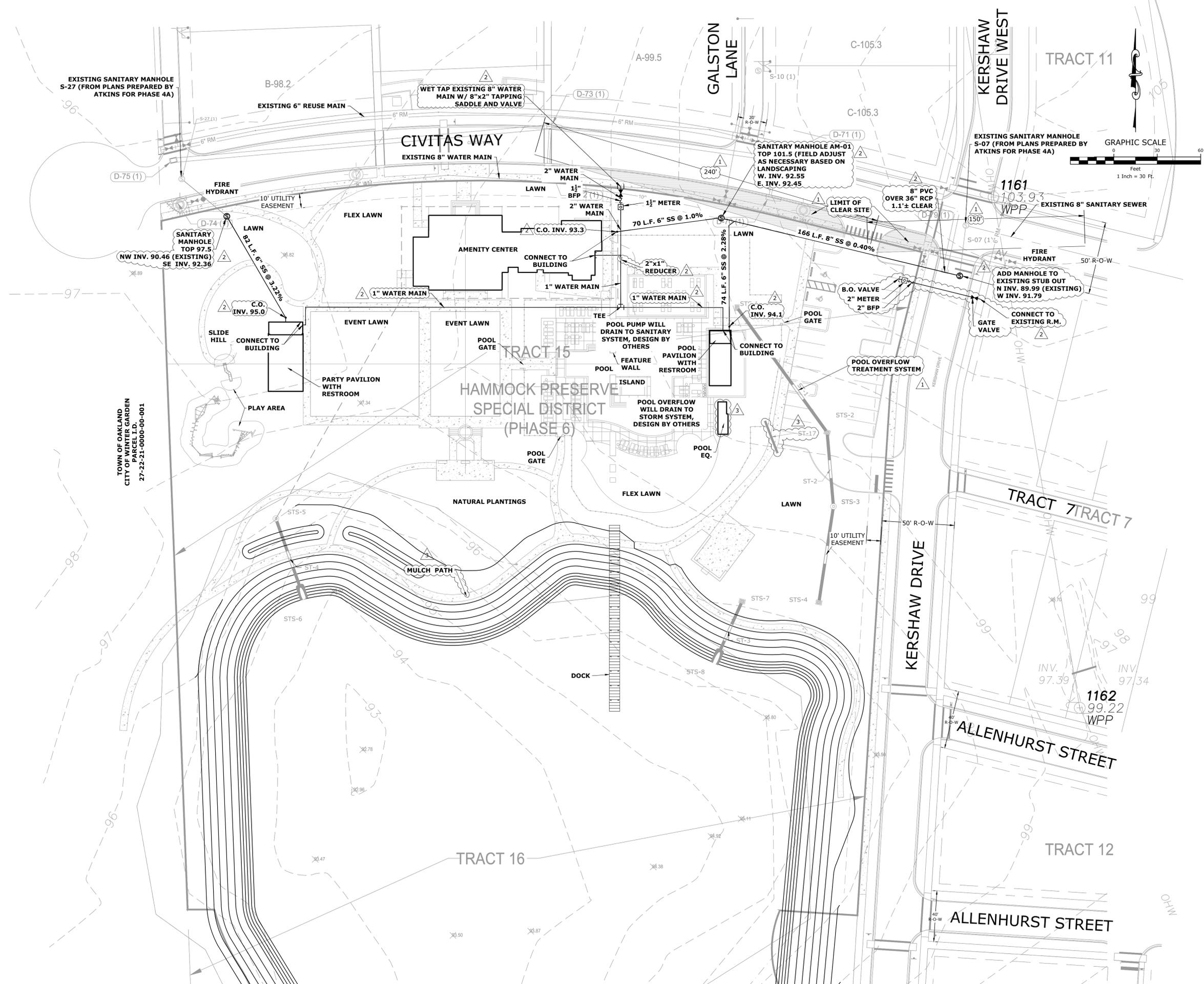
OAKLAND PARK AMENITY CENTER
 FOR
 LAKE APOPKA 2012 LLC.
 CITY OF WINTER GARDEN FLORIDA

FINAL CONSTRUCTION PLANS
 SITE PLAN

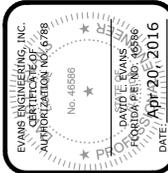
DRAWN: JSK
 CHECKED: DLE
 DATE: OCTOBER 2015
 SCALE: 1" = 30'
 JOB #: 27206
 SHEET #:

TOWN OF OAKLAND
 CITY OF WINTER GARDEN
 PARCEL I.D. 27-22-21-0000-00-001

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DATE	REVISIONS	BY
1-19-16	REV PER CITY OF WINTER GARDEN COMMENTS	JSK
1-26-16	REV PER BID ADDENDUM #1	JSK
2-19-16	REV PER CITY OF WINTER GARDEN COMMENTS	JSK



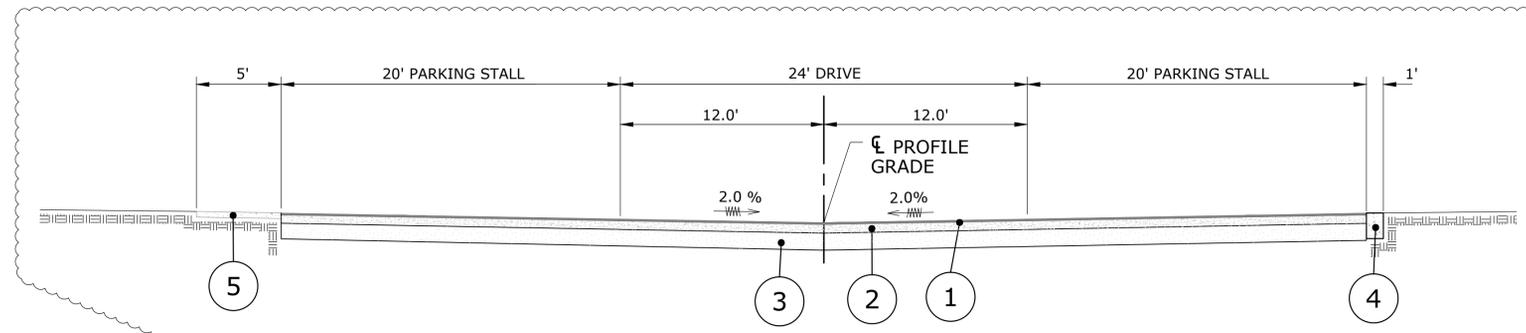
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OAKLAND PARK AMENITY CENTER
 FOR
 LAKE APOPKA 2012 LLC.
 CITY OF WINTER GARDEN FLORIDA

FINAL CONSTRUCTION PLANS
 UTILITY PLAN

DRAWN: JSK
 CHECKED: DLE
 DATE: OCTOBER 2015
 SCALE: 1" = 30'
 JOB #: 27206
 SHEET #:

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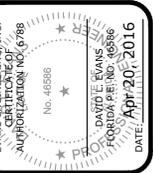


1 TYPICAL PAVEMENT SECTION
5 NOT TO SCALE

PAVEMENT KEY

- 1 1.5" FDOT (TYPE S-III, 1 LIFT)
- 2 6" BASE TYPE SOIL CEMENT (OR ALT. INCLUDING CRUSHED CONCRETE MEETING FDOT SPECIFICATION 204 FOR RECYCLED MATERIALS PER GEOTECH & CITY STANDARDS) COMPACTED TO 98% MAX. DENSITY (AASHTO T-134) ASPHALTIC PRIME COAT APPLIED AT 0.15 GAL./SF 300 PS17-DAY COMPRESSIVE STRENGTH
- 3 12" COMPACTED SUBGRADE (98% DENSITY) AASHTO T-180 & LBR40, CONSISTING OF WELL-DRAINING SANDS WITH COARSE ADMIXTURES ADDED. FINES SUCH AS SILTY AND/OR CLAYEY MATERIALS SHOULD BE AVOIDED.
- 4 1' RIBBON CURB
- 5 5' SIDEWALK

DATE	REVISIONS	BY
1-19-16	1 REV PER CITY OF WINTER GARDEN COMMENTS DATED 1/18/16	JSK
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2-19-16	3 REV PER CITY OF WINTER GARDEN COMMENTS DATED 1/16/16	JSK



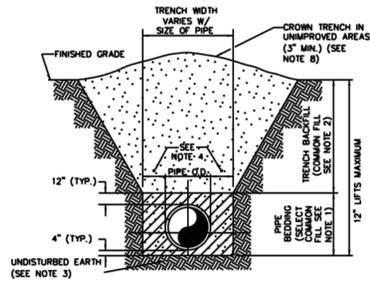
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OAKLAND PARK AMENITY CENTER
 FOR
 LAKE APOPKA 2012 LLC.
 CITY OF WINTER GARDEN FLORIDA

FINAL CONSTRUCTION PLANS
 TYPICAL SECTIONS

DRAWN: JSK
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 DATE: OCTOBER 2015
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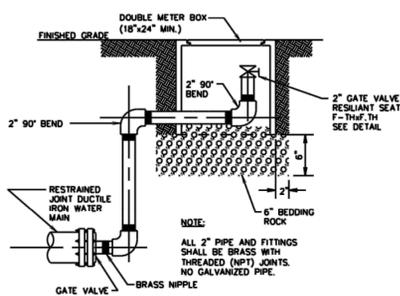
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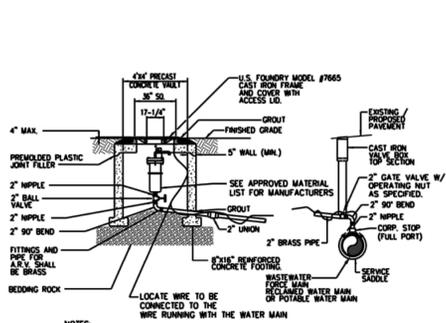
NOTES:

1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING MAY BE REQUIRED AS DIRECTED BY THE CITY OF WINTER GARDEN.
4. (*): 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.
5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
7. REFER TO SECTION 32.5 OF THE WINTER GARDEN MANUAL OF STANDARDS AND SPECIFICATIONS FOR UTILITIES CONSTRUCTION FOR SHEETING AND BRACING IN EXCAVATIONS.
8. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN CITY OF WINTER GARDEN RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

STANDARD BEDDING DETAIL
N.T.S.



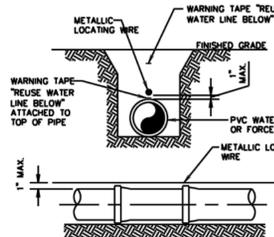
BLOWOFF VALVE DETAIL
N.T.S.



NOTES:

1. THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 4.0 FEET.
2. DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
3. PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
4. INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATING AS SPECIFIED FOR VALVE VAULTS.
5. CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
6. COVER SHALL READ "WINTER GARDEN UTILITIES DIVISION, "SEWER" "RECLAIMED WATER OR POTABLE WATER".
7. NO GALVANIZED PIPE/VALVES.
8. LOCATOR WIRE IN THE AIR VENT SHALL BE SPLICED TO THE WIRE RUNNING WITH THE WATER MAIN AND EXCESS WIRE TO BE PLACED IN AIR VENT. THE POINT OF CONNECTION AT THE MAIN SHALL HAVE A WATER PROOF CONNECTOR.

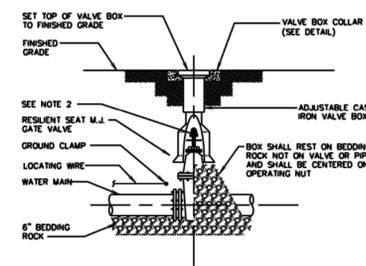
OFFSET TYPE AIR RELEASE VALVE ASSEMBLY
N.T.S.



NOTES:

1. PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (10 GAUGE COPPER) CAPABLE OF DETECTION BY A CABLE LOCATOR AND SHALL BE ATTACHED TO THE TOP OF PIPE WITH DUCT TAPE AT LEAST 5 TIMES PER JOINT.
2. LOCATING ROD SHALL TERMINATE AT THE TOP OF EACH VALVE BOX AND BE CAPABLE OF EXTENDING ABOVE TOP BOX 1" SO AS NOT TO INTERFERE WITH VALVE OPERATION.

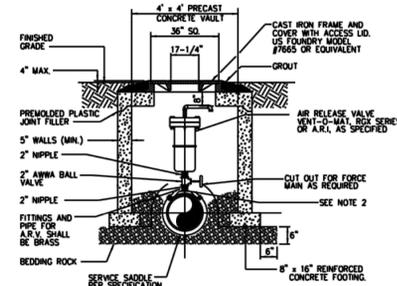
PVC PIPE LOCATING WIRE DETAIL
N.T.S.



GATE VALVE AND VALVE BOX DETAIL
N.T.S.

NOTES:

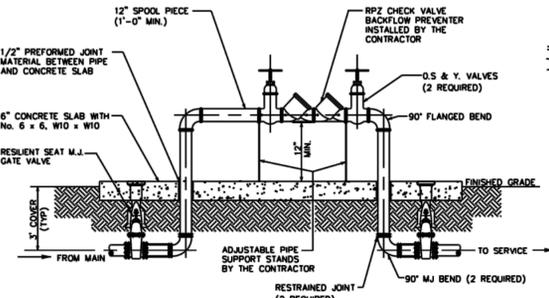
1. PVC EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
2. THE ACTUATING NUT FOR DEEPER VALVES SHALL BE EXTENDED TO COME UP TO 4 FOOT DEPTH BELOW FINISHED GRADE.



NOTES:

1. THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 3.0 FEET.
2. DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
3. PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
4. INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATING AS SPECIFIED FOR VALVE VAULTS.
5. CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
6. COVER SHALL READ "WINTER GARDEN UTILITIES DIVISION AND "RECLAIMED WATER".
7. NO GALVANIZED PIPE/VALVES.

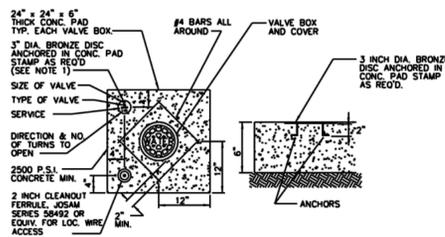
RECLAIMED WATER AIR RELEASE VALVE AND VAULT
N.T.S.



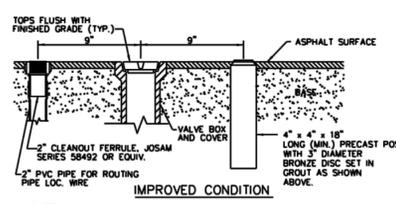
NOTES:

1. ALL PIPE AND FITTINGS 2" AND SMALLER SHALL BE THREADED SCHEDULE 80 PVC. NO GALVANIZED PIPE ALLOWED.
2. ALL PIPE LARGER THAN 2 INCH SHALL BE FLANGED DUCTILE IRON PIPE.
3. RECLAIMED WATER JUMPER SHALL BE SIZE ON SIZE.

RECLAIMED WATER JUMPER CONNECTION
N.T.S.



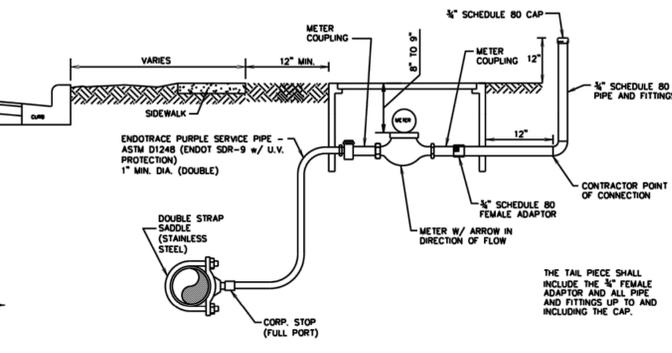
UNIMPROVED CONDITION



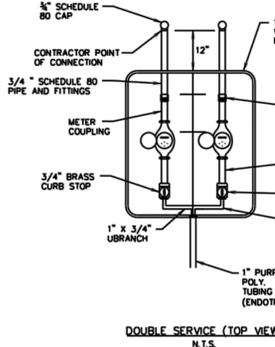
VALVE BOX COLLAR
N.T.S.

NOTES:

1. BRONZE IDENTIFICATION DISC SHALL BE REQUIRED FOR ALL VALVES. PROVIDE SIZE, TYPE, SERVICE, DIRECTION AND TURNS TO OPEN STAMPED ON DISC. DISC SHALL BE 3" MINIMUM.



DOUBLE SERVICE (TOP VIEW)
N.T.S.

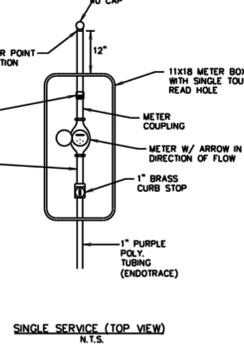


NOTES:

1. ALL FITTINGS BETWEEN THE WATER MAIN AND THE METER COUPLING SHALL BE BRASS WITH COMPRESSION/PACK JOINT CONNECTIONS.
2. NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
3. EACH SERVICE SHALL TERMINATE IN A METER BOX ASSEMBLY, WHICH SHALL BE PLACED TO GRADE IN THE UTILITY EASEMENT AT THE PROPERTY LINE(S) OF THE LOT(S) TO BE SERVED.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION TO AND INCLUDING THE METER BOX ASSEMBLY. THE CITY SHALL FURNISH THE METER AND THE TAIL PIECE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING THE METER BOX ASSEMBLY TO FINISH GRADE AND MAKING ANY GRADE ADJUSTMENTS TO THE METER BOX IF REGRADING OCCURS.
5. ALL SERVICE LINES SHALL BE POLY ENDOTRACE PIPE AND SHALL BE PURPLE IN COLOR W/METER.
6. THE POINT OF CONNECTION IS LOCATED ONE FOOT BEYOND THE METER BOX. THE PLUMBER/CUSTOMER SHALL BE RESPONSIBLE FOR MAINTENANCE BEYOND THE POINT OF CONNECTION.
7. IN NO CASE IS METER TO BE INSTALLED IN SIDEWALK OR OTHER PAVED AREAS.

RECLAIMED WATER SINGLE AND DOUBLE SERVICE DETAIL
N.T.S.

SINGLE SERVICE (TOP VIEW)
N.T.S.

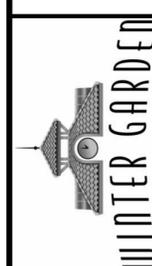


WINTER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEERS DOCUMENTS:

THE DETAILS, NOTES AND SPECIFICATIONS SHOWN ON THIS SHEET REPRESENT THE NOTED STANDARDS OF THE CITY OF WINTER GARDEN FOR CONSTRUCTION OF PUBLIC WORKS AND UTILITY INFRASTRUCTURE. BY INCLUDING THE STANDARDS, THE DESIGN ENGINEER HAS ACKNOWLEDGED THAT THEY ARE EFFECTIVE TO THE PROJECT AND THAT DETAILS, NOTES, OR SPECIFICATIONS ARE AS PROVIDED BY THE CITY AND HAVE NOT BEEN REVISED OR MODIFIED WITHOUT WRITTEN APPROVAL FROM THE CITY ENGINEER OR UTILITY DIRECTOR.

NO.	ITEM	DATE
1	WATER METER SERVICE	4/7/14
2	ARY DETAILS	4/7/14

City of Winter Garden, Florida
STANDARDS AND SPECIFICATIONS
For Utilities Construction



STANDARD DETAILS
FOR
RECLAIMED WATER SYSTEMS

DATE	JANUARY 2008
SHEET	7
	7 OF 10

DATE	REVISIONS
08/13/14	REVISED PER REVISED PERMITS (EVANS) COMMENTS
09/11/14	REV PER CITY COMMENT 9-9-2014 (EVANS)
1-26-16	REV PER BID ADDENDUM #1
2-19-16	REV PER CITY OF WINTER GARDEN COMMENTS



EVANS ENGINEERING, INC.
LAND PLANNING, PERMITTING SERVICES
719 IRMA AVENUE
ORLANDO, FLORIDA 32803
(407) 872-1515
www.evansenginc.com
CERTIFICATE OF AUTHORIZATION NO. 00006788

OAKLAND PARK AMENITY CENTER
FOR
LAKE APOPKA 2012 LLC.
CITY OF WINTER GARDEN FLORIDA

FINAL CONSTRUCTION PLANS
RECLAIMED WATER DETAILS

DRAWN: JSK
CHECKED: DLE
DATE: OCTOBER 2015
SCALE: N/A
JOB #: 27206
SHEET #:

CITY OF WINTER GARDEN - GENERAL NOTES:

1. ALL UTILITY SYSTEMS AND IMPROVEMENTS CONSTRUCTED IN THE CITY OF WINTER GARDEN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MANUAL OF STANDARDS AND SPECIFICATIONS FOR UTILITY CONSTRUCTION FOR THE CITY OF WINTER GARDEN, TO BE REFERRED TO AS MSS/CWG. THE LATEST EDITION AT THE TIME PERMITS ARE APPROVED SHALL BE EFFECTIVE FOR THE DURATION OF THE SUBJECT WORK OR PROJECT DEVELOPMENT.
2. THE CITY OF WINTER GARDEN GENERAL NOTES AND DETAILS ARE PROVIDED FOR THE CONVENIENCE OF FIELD PERSONNEL. THEY DO NOT INCLUDE ALL REQUIREMENTS OF THE MSS/CWG. THE CONTRACTOR SHALL REFER TO THE FULL TEXT OF THE MSS/CWG FOR FURTHER DETAIL AND CLARITY WHEN NEEDED.
3. ANY REQUEST FOR VARIANCE OR NONCOMPLIANCE FROM THE MSS/CWG NOTED ABOVE MUST BE APPROVED BY THE CITY ENGINEER OR UTILITIES DIRECTOR.
4. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN CLOSE PROXIMITY TO WATER, WASTEWATER, RECLAIMED WATER AND OTHER UTILITY SYSTEMS. THE CONTRACTOR SHALL COORDINATE UTILITY LOCATIONS WITH RESPECTIVE UTILITY OWNERS AND/OR CALL "SUNSHINE ONE CALL", 1-800-432-4770 A MINIMUM OF 72 HOURS IN ADVANCE.
5. CONTRACTOR'S DAMAGE OF WINTER GARDEN UTILITY SYSTEM: THE CONTRACTOR SHALL IMMEDIATELY NOTIFY AND REPORT DAMAGE TO THE CITY OF WINTER GARDEN UTILITY DIVISION, (NO MESSAGE) PHONE # 407-856-4100.
6. IMMEDIATELY REPAIR OF DAMAGED UTILITY SYSTEM: THE CONTRACTOR SHALL IMMEDIATELY REPAIR ANY DAMAGE TO THE CITY OF WINTER GARDEN UTILITY SYSTEM AS REQUIRED BY THE UTILITY OWNER AT CONTRACTOR'S COST. IN CASE OF UNRESPONSIVE ACTION BY THE CONTRACTOR, THE CITY RESERVES THE RIGHT TO REPAIR DAMAGE. THE CONTRACTOR SHALL REIMBURSE THE CITY OF WINTER GARDEN OF ALL REPAIR COST.
7. ADVANCE NOTIFICATION OF CONSTRUCTION: THE CONTRACTOR SHALL NOTIFY CITY OF WINTER GARDEN UTILITY DIVISION, PH # 407-856-4100, AT LEAST SEVEN (7) CALENDAR DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY.
8. ADVANCE NOTIFICATION OF UTILITY CONNECTION: THE CONTRACTOR SHALL NOTIFY THE CITY OF WINTER GARDEN AT LEAST SEVEN CALENDAR DAYS IN ADVANCE TO SCHEDULE CONNECTIONS TO UTILITY SYSTEM.
9. UTILITY VALVE OPERATION: ONLY CITY OF WINTER GARDEN UTILITY PERSONNEL SHALL OPERATE VALVES AND FIRE HYDRANTS. THE CONTRACTOR, WHEN NEEDED, SHALL CALL THE CITY TO REQUEST VALVE OPERATIONS AT LEAST TWO (2) DAYS IN ADVANCE OF CONSTRUCTION WORK.
10. OPERATIONS INVOLVING WATER OR WASTEWATER FACILITIES INCLUDING PUMPING STATIONS: THE CONTRACTOR SHALL COORDINATE AT LEAST TWO (2) WEEKS IN ADVANCE. ANY CONSTRUCTION OPERATION THAT MAY REQUIRE THE DISCONTINUATION OF SERVICE OR OPERATION OF A FACILITY, THE CITY WILL PROVIDE PERSONNEL TO OPERATE THE CITY FACILITIES.
11. REQUIRED TESTING BY CONTRACTOR: THE CONTRACTOR SHALL NOTIFY THE CITY OF WINTER GARDEN AT LEAST TWO (2) DAYS PRIOR TO SAMPLING ACTIVITIES FOR PURPOSE OF TESTING AS REQUIRED BY THE CITY. THE CONTRACTOR SHALL NOT TEST OR SAMPLE WITHOUT OBSERVATION BY CITY INSPECTION PERSONNEL.
12. TEMPORARY OR CONSTRUCTION WATER SERVICE CONNECTIONS PROVIDED BY FIRE HYDRANT CONNECTION: THE CITY WILL PROVIDE METER ON FIRE HYDRANT. THE CONTRACTOR SHALL PROVIDE NON-REFUNDABLE ACCOUNT INITIATION FEE, A REFUNDABLE SECURITY DEPOSIT FOR THE METER APPARATUS AND PAY ALL COST FOR WATER USED.
13. ALL AS BUILT MEASUREMENTS & ELEVATIONS ARE TO BE MADE BY A LICENSED LAND SURVEYOR.

CoWG WATER SYSTEM NOTES:

1. THE CONTRACTOR SHALL PROVIDE AND INSTALL A CITY APPROVED BACKFLOW DEVICE ASSEMBLY AT EACH CONNECTION POINT TO THE CITY WATER SYSTEM.
2. REPAIRS TO NEW WATER LINES, TO OBTAIN SPECIFIED PRESSURE TEST, WILL BE ALLOWED ONLY UP TO A NUMBER EQUAL TO 10% OF THE TOTAL NUMBER OF JOINT CONNECTIONS.
3. THE CONTRACTOR SHALL HYDROSTATICALLY TEST ALL WATER MAINS AND SERVICE LATERALS AT 150 PSI FOR A TWO HOUR PERIOD. TESTING MUST BE OBSERVED BY A CITY INSPECTOR.
4. THE CONTRACTOR SHALL INSTALL WARNING TAPE OVER ALL NEW WATER MAINS. WARNING TAPE SHALL BE AS FOLLOWS: NON-DETECTABLE, SIZE 2" WITH "WATER LINE BELOW", MUST BE PLACED 6" TO 12" BELOW FINISHED GRADE ON ALL PVC WATER MAINS, LATERALS AND HEADER TEES. NUMBER 10 GAUGE TRACER WIRE SHALL BE ATTACHED TO THE TOP OF THE PIPE WITH DUCT TAPE, AT LEAST FIVE TIMES PER JOINT. THE TRACER WIRE SHALL ALSO BE ATTACHED TO ALL PVC LATERALS AND ATTACHED TO THE OUTSIDE OF EACH VALVE BOX SO THAT A PIPE LOCATOR CAN BE CONNECTED TO IT.
5. THE CONTRACTOR SHALL INSTALL WATER MAINS PER MSS/CWG SPECIFICATIONS. SOLVENT CEMENTED JOINTS AND THRUST BLOCKS ON PIPING SYSTEMS SHALL NOT BE ALLOWED.
6. THE CONTRACTOR SHALL INSTALL ALL WATER MAINS TO A MINIMUM DEPTH OF 36 INCHES AND A MAXIMUM DEPTH OF 42 INCHES BELOW FINAL GRADE.
7. THE CONTRACTOR SHALL INSTALL ALL SERVICE LATERALS A UNIFORM DISTANCE APART, LOCATED ON PROPERTY LOT LINE AT 90° FROM THE WATER MAIN. SERVICE LATERALS SHALL BE SEPARATELY CONNECTED TO THE WATER MAIN, NOT SPLICED TOGETHER.
8. THE CONTRACTOR SHALL CUT A "W" INTO CONCRETE CURB, LOCATED INSIDE OF A PAINTED BLUE SQUARE, LOCATED DIRECTLY IN FRONT OF EACH SERVICE LATERAL.
9. THE CONTRACTOR SHALL INSTALL CURB STOP, IN METER BOX, CURB STOP SHALL BE SET 8" BELOW FINISHED GRADE.
10. THE CONTRACTOR SHALL PROVIDE AND INSTALL IN-LINE VALVES ON WATER MAINS AT 1000 FOOT MAXIMUM SPACING BETWEEN VALVES. VALVES SHALL BE LOCATED ON ALL TEES AND CROSSES. WATER MAINS SHALL BE PLACED UNDER SIDEWALKS WHERE POSSIBLE.
11. ALL WATERMANS SHALL BE CLEANED BY PIGGING THE LINE WITH A FOAM PIG (MINIMUM OF 2 TIMES). A FULL BORE FLUSH MAY BE REQUIRED AFTER PIGGING TO ENSURE THE PIPE IS CLEAN AND READY FOR SERVICE. THE CONTRACTOR SHALL COORDINATE LINE PIGGING AND FULL BORE FLUSH WITH THE CITY INSPECTOR.
12. THE CONTRACTOR SHALL DEMONSTRATE THAT LOCATION WIRE INSTALLED OVER ALL WATER MAINS IS IN WORKING CONDITION AT TIME OF ACCEPTANCE BY THE CITY.
13. ALL NEW SUBDIVISION CONSTRUCTION SHALL INSTALL DOUBLE POTABLE WATER SERVICES AT THE PROPERTY LINES.

CoWG - WASTEWATER SYSTEM NOTES:

1. SANITARY SEWER MAINS AND SERVICES SHALL BE PVC SDR-26 (MINIMUM). FITTINGS SHALL BE SDR-26. DUCTILE IRON IS NOT APPROVED FOR SANITARY SEWERS.
2. ALL SERVICES SHALL BE 6" (MINIMUM) DIAMETER AND TERMINATE AT THE PROPERTY LINE WITH 6" CLEAN OUT, (36" TO 48" DEEP AT LOT LINE)
3. MAGNETIC TAPE MUST BE PLACED 2" ABOVE THE TOP OF PIPE FOR THE ENTIRE LENGTH OF ALL MAINS AND SERVICES.
4. ALL SANITARY MANHOLES SHALL BE PAINTED INSIDE AND OUT WITH "BIMASTIC SUPER SERVICE BLACK", BY KOPPERS OR APPROVED EQUAL. MANHOLES RECEIVING FLOW FROM FORCE MAINS SHALL BE LINED WITH FIBERGLASS OR HOPE AT THE PRECASTERS FACILITY.
5. ALL PIPE CONNECTIONS TO PRE-CAST MANHOLES SHALL BE MADE USING A FLEXIBLE EPDM RUBBER BOOT AND STAINLESS STEEL STRAP OR CAST IN BOOT BY A-LOK, Z-LOK OR EQUAL.
6. CONNECTIONS MADE TO EXISTING MANHOLES SHALL BE CORE BORED WITH A MINIMUM 6" BORE AND CONNECTION SEALED WITH FLEXIBLE BOOT AND STAINLESS STEEL CLAMP.
7. DEAD END MANHOLES SHALL HAVE A MINIMUM OF 5 FEET OF COVER FROM FINISHED GRADE TO OUTLET PIPE INVERT.
8. ALL PRECAST SEWER MANHOLES SHALL HAVE A 4 FOOT MINIMUM HIGH BARREL CONE SECTIONS SHALL BE 3 FOOT MAXIMUM. CONCRETE DONUTS FOR EXTENDING ARE ACCEPTABLE TO RAISE MANHOLES UP TO 1 FOOT MAXIMUM.
9. THE CONTRACTOR SHALL PROVIDE AND INSTALL BALLCENTRIC PLUG VALVES IN FORCE MAINS AT 1000 FOOT MAXIMUM SPACING BETWEEN VALVES. VALVES SHALL BE LOCATED AT ALL TEES AND CROSSES.
10. THE CONTRACTOR SHALL CUT A "S" INTO CONCRETE CURB LOCATED INSIDE OF A PAINTED GREEN SQUARE BOX, IN FRONT OF EACH SERVICE LOCATION.
11. THE CONTRACTOR SHALL PROVIDE TV INSPECTION OF ALL SANITARY SEWER MAINS AFTER SYSTEM IS COMPLETED, THOROUGHLY CLEANED, DRAINED AND FULLY VISIBLE. TV INSPECTION SHALL BE PERFORMED IN ACCORDANCE WITH SPECIFICATIONS. FAULTY INSPECTION DUE TO POOR CONDITIONS WILL REQUIRE REINSPECTION BY CONTRACTOR.
12. THE CONTRACTOR SHALL PROVIDE A (WARRANTY) TV INSPECTION AT THE TWO YEAR IN SERVICE MILESTONE FOR EACH SYSTEM.
13. THE CONTRACTOR SHALL PROVIDE SANITARY SEWER TESTING, EXFILTRATION OR AIR, AS REQUIRED BY DESIGN ENGINEER AND SUBMIT CERTIFIED RESULTS TO THE CITY ENGINEER.
14. GRAVITY SEWERS DEPTHS SHALL NOT EXCEED 18 FEET.
15. THE DESIGN ENGINEER SHALL PROVIDE A MINIMUM OF ONE FOOT OF FREEBOARD BETWEEN THE LOWEST FINISHED FLOOR ELEVATION AND THE TOP ELEVATION OF THE WET WELL.
16. ALL PENETRATIONS INTO CONCRETE STRUCTURES SHALL BE PRE-CAST OR CORE-DRILLED.
17. WARRANTY - ALL MATERIALS & EQUIPMENT TO BE FURNISHED AND/OR INSTALLED BY THE CONTRACTOR SHALL BE WARRANTED FOR A PERIOD OF TWO YEARS FROM THE DATE OF FINAL ACCEPTANCE THEREOF AGAINST DEFECTIVE MATERIALS, DESIGN, AND WORKMANSHIP UPON RECEIPT OF NOTICE FROM THE CITY OF FAILURE OF ANY PART OF THE WARRANTED EQUIPMENT OR MATERIALS DURING THE WARRANTY PERIOD. THE AFFECTED PART, PARTS, OR MATERIALS SHALL BE PROMPTLY REPLACED BY THE CONTRACTOR WITH NEW PARTS OR MATERIALS AT NO EXPENSE TO THE CITY. IN THE EVENT THE CONTRACTOR FAILS TO MAKE THE NECESSARY REPLACEMENT OR REPAIRS IMMEDIATELY AFTER NOTIFICATION, THE CITY MAY ACCOMPLISH THE WORK AT THE EXPENSE OF THE CONTRACTOR.

CLOSED CIRCUIT TELEVISION (CCTV) INSPECTION OF SEWER LINES

GENERAL:

1. ALL NEW SANITARY SEWER LINES, PRIVATE OR CITY MAINTAINED, IN THE CITY OF WINTER GARDEN'S SERVICE AREA SHALL BE INSPECTED BY CLOSED CIRCUIT TV INSPECTION BY THE CONTRACTOR WITH A CITY INSPECTOR PRESENT PRIOR TO BEING ACCEPTED BY THE CITY.

REQUIREMENTS PRIOR TO INSPECTION RELEASE:

1. ALL ELEMENTS OF THE SEWER SYSTEM MUST BE INSTALLED AND BE COMPLETELY FINISHED, INCLUDING MAIN SEWER LINES, LATERALS, CLEAN OUTS, AND MANHOLES PRIOR TO CCTV INSPECTION.
2. ALL SEWER LINES SHALL BE COMPLETELY CLEANED OF ALL DEBRIS, SAND, WATER, ETC. PRIOR TO THE CCTV INSPECTION. ANY OBJECT OR MATTER THAT PREVENTS CCTV INSPECTION FROM VIEWING CONDITION OF PIPELINE IS CONSIDERED AN OBSTRUCTION REQUIRING ADDITIONAL CLEANING. WHEN CCTV VIEW IS OBSTRUCTED, INSPECTION SHALL BE INTERRUPTED. THE CONTRACTOR SHALL CLEAN THE SEWER SYSTEM COMPLETELY AND RESCHEDULE CCTV RE-INSPECTION WITH THE CITY.
3. A HYDRAULIC SEWER CLEANER SHALL NOT BE USED DURING THE CCTV INSPECTION. IF LINES ARE FOUND TO BE OBSTRUCTED AND THE OBSTRUCTION IS NOT REMOVED DURING THE INSPECTION SHALL BE TERMINATED AND RESCHEDULED TO A TIME WHEN SEWER CLEANING IS COMPLETE.
4. WHEN A SEWER LINE IS UNDER A PAVED AREA, THE AREA SHALL BE COMPACTED AND PRIMED BEFORE THE SYSTEM SHALL BE RELEASED FOR TV INSPECTION.

TELEVISION EQUIPMENT MINIMUM REQUIREMENTS:

1. THE CLOSED CIRCUIT TV CAMERA SHALL PRODUCE A CLEAR COLOR PICTURE ON THE MONITOR AND ON THE DVD RECORDING. THE CAMERA SHALL BE ABLE TO SHOW DETAIL TO THE POINT THAT ALL JOINTS AND ANY DEFECTS MAY BE READILY SEEN AT THE TIME OF THE INSPECTION. THE CAMERA SHALL STOP AND PAN AT EACH JOINT FOR COMPLETE 360 DEGREE INSPECTION.
2. REFER TO APPENDIX B OF THE REFERENCED STANDARDS FOR SPECIFICATION OF CLOSED CIRCUIT TELEVISION INSPECTION EQUIPMENT.
3. THE VIDEO RECORDER SHALL PRODUCE A NO NOISE STILL PICTURE, AND PROVIDE BOTH AUDIO AND VIDEO DURING THE INSPECTION.
4. A MEASURING DEVICE, APPROVED BY THE CITY, TO CHECK THE GRADE OF THE PIPE DURING THE INSPECTION, SHALL BE REQUIRED. GAUGE DEPTH, 0" TO 2" MIN. WITH 1/2" MARKINGS.
5. AUDIO OF THE INSPECTION SHALL BE SIMULTANEOUSLY RECORDED ON DVD DISC. THE AUDIO SHALL CONSIST OF ORDINARY DESCRIPTION AND COMMENTARY. A TAPE WILL BE GIVEN TO THE INSPECTOR ON SITE AT THE END OF THE DAY.

PROCEDURE FOR TELEVISION

1. THE CITY'S ENGINEERING INSPECTION DIVISION SHALL BE GIVEN AT LEAST THREE (3) BUSINESS DAYS NOTICE PRIOR TO THE TIME PLANNED FOR THE TV INSPECTION TO COMMENCE. A DEFINITE TIME AND DATE WILL BE AGREED UPON BY THE CONTRACTOR AND INSPECTOR AT THAT TIME.
2. NO INSPECTION SHALL COMMENCE WITHOUT THE PRESENCE OF THE INSPECTOR, EXCEPT WHEN PRIOR ARRANGEMENTS HAVE BEEN MADE BETWEEN THE CONTRACTOR, INSPECTOR, AND THE CITY. TV INSPECTION SHALL BE PERFORMED BY THE CONTRACTOR AT THE EXPENSE OF THE CONTRACTOR.
3. ALL CCTV INSPECTIONS SHALL COMMENCE UP STREAM OF THE SYSTEM TO PREVENT FOREIGN SUBSTANCES FROM ENTERING A SECTION PREVIOUSLY TELEVIEWED. THE CAMERA SHALL BE STARTED FROM THE DOWNSTREAM MANHOLE AND PROCEED UPSTREAM IN DIRECTION OPPOSING THE NORMAL FLOW IN THE LINE. THIS PROCEDURE WILL ALLOW FOR THE VIEWING OF THE SERVICE LATERALS.
4. BEFORE THE CAMERA IS PLACED IN THE SEWER LINE, WATER WITH YELLOW OR ORANGE DYE SHALL BE PUT INTO THE UPSTREAM MANHOLE OF THE SECTION BEING TELEVIEWED. CAMERA WILL HAVE A GAUGE SHOWING 1/2" MARKS FROM 1/2" TO 2-1/2". THIS WILL ENABLE THE CAMERA TO DETECT ANY CHANGES IN GRADE THAT MAY BE PRESENT IN THE SYSTEM.
5. THE CCTV AND DVD RECORDER SHALL BE TURNED ON BEFORE THE CAMERA IS PLACED IN THE MANHOLE FOR INSPECTION AND SHALL NOT BE TURNED OFF UNTIL THE CAMERA IS REMOVED FROM THE MANHOLE. THE CAMERA SHALL BE MOVED THROUGH THE LINE UNDER THE CONTROL OF THE CCTV CAMERA OPERATOR. THE CAMERA SHALL BE DRAIN THROUGH THE LINE AT A RATE NOT TO EXCEED THIRTY (30) FEET PER MINUTE AND SHALL STOP AT ALL SERVICE CONNECTIONS AND PIPE JOINTS IN THE PIPELINE.
6. A DVD RECORDING SHALL BE MADE OF THE ENTIRE SYSTEM BEING TELEVIEWED. THIS SHALL BECOME THE PROPERTY OF THE CITY UPON COMPLETION OF THE TV INSPECTION (NOT A COPY). THE TAPE(S) SHALL BE LABELED IN SUCH A MANNER THAT STATES THE PROJECT NAME, DATE OF INSPECTION AND LINE SECTION ACCORDING TO CONSTRUCTION PLANS CONTAINED ON EACH TAPE. A WRITTEN REPORT SHALL ACCOMPANY THE DVD DISC.

CoWG RECLAIMED WATER SYSTEM GENERAL NOTES:

1. ALL PRIVATE RECLAIMED WATER SYSTEMS SHALL HAVE A CITY APPROVED BACKFLOW DEVICE ASSEMBLY AT EACH CONNECTION POINT TO THE CITY WATER SYSTEM.
2. REPAIRS TO NEW WATER LINES, TO OBTAIN SPECIFIED PRESSURE TEST, WILL BE ALLOWED ONLY UP TO A NUMBER EQUAL TO 10% OF THE TOTAL NUMBER OF JOINT CONNECTIONS.
3. ALL MAINS AND SERVICE LATERALS SHALL BE HYDROSTATICALLY TESTED AT 150 PSI FOR A TWO HOUR PERIOD.
4. WARNING TAPE, NON-DETECTABLE, SIZE 2" WITH "REUSE WATER LINE BELOW", MUST BE PLACED 8" TO 12" BELOW FINISHED GRADE ON ALL PVC WATER MAINS, LATERALS AND HEADER TEES. NUMBER 10 GAUGE TRACER WIRE SHALL BE ATTACHED TO THE TOP OF THE PIPE WITH DUCT TAPE, AT LEAST FIVE TIMES PER JOINT. THE TRACER WIRE SHALL ALSO BE ATTACHED TO ALL PVC LATERALS AND ATTACHED TO THE OUTSIDE OF EACH VALVE BOX SO THAT A PIPE LOCATOR CAN BE CONNECTED TO IT. THE CONTRACTOR SHALL DEMONSTRATE THE LOCATE WIRE TO BE IN WORKING CONDITION AT PROJECT COMPLETION.
5. THE CONTRACTOR SHALL INSTALL RECLAIMED WATER MAINS PER MSS/CWG. SOLVENT CEMENTED JOINTS AND THRUST BLOCKS SHALL NOT BE ALLOWED.
6. REUSE WATER MAIN SHALL BE BURIED TO A MINIMUM DEPTH OF 36" AND A MAXIMUM DEPTH 42" BELOW FINAL GRADE.
7. SERVICE LATERALS MUST BE LOCATED A UNIFORM DISTANCE APART AND ALIGNED TO PROPERTY LOT LINE AT 90° FROM THE RECLAIMED WATERMAIN.
8. CUSTOMER SERVICE LATERALS SHALL NOT BE SPLICED TOGETHER BETWEEN THE WATER MAIN AND CURB STOP.
9. THE CONTRACTOR SHALL CUT CURB A "RW" INTO CONCRETE CURB LOCATED INSIDE OF A PAINTED SQUARE (PURPLE), DIRECTLY IN FRONT OF EACH SERVICE LATERAL AND VALVE.
10. THE CONTRACTOR SHALL SET DEPTH OF CURB STOP, IN METER BOX, 8" BELOW FINISHED GRADE.
11. THE CONTRACTOR SHALL INSTALL VALVE(S) IN MAIN, NO MORE THAN 1,000 FEET APART IN BETWEEN TEES AND CROSSES. VALVES SHALL BE PROVIDED AT EACH TEE OR CROSS LOCATED IN MAIN LINE.
12. RECLAIMED WATER MAINS MAY BE LOCATED UNDER SIDEWALKS. EXISTING MAINS LOCATED UNDER PAVEMENT SHOULD BE MINIMIZED.
13. ALL WATERMANS SHALL BE CLEANED BY PIGGING THE LINE WITH A FOAM PIG (MINIMUM OF 2 TIMES). A FULL BORE FLUSH MAY BE REQUIRED AFTER PIGGING TO ENSURE THE PIPE IS CLEAN AND READY FOR SERVICE. THE CONTRACTOR SHALL COORDINATE LINE PIGGING AND FULL BORE FLUSH WITH THE CITY INSPECTOR.
14. RECLAIMED WATERMAIN MAINS SHALL BE 8 INCH DIAMETER MINIMUM, 4 INCH IS ALLOWED ON DEAD END RUNS SERVING LESS THAN 20 HOMES. THE DESIGN ENGINEER SHALL SUBMIT HYDRAULIC CALCULATIONS THAT DEMONSTRATE THE PROPOSED SYSTEM WILL PROVIDE REQUIRED FLOWS AND MAINTAIN SYSTEM ABOVE MINIMUM PRESSURE. PEAK IRRIGATION RATE SHALL BE SIX(6) TIMES GREATER THAN THE AVERAGE IRRIGATION RATE OF FLOW.
15. RECLAIMED WATER SYSTEM COMPONENTS INCLUDING PIPE, VALVE BOX TOPS AND METER BOX TOPS SHALL BE RECLAIMED PURPLE IN COLOR.

CoWG - THRUST RESTRAINT TABLE

MINIMUM LENGTH(FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S)	PIPE SIZE						
	6"	8"	10"	12"	16"	20"	30" 36"
90° BEND	19	25	30	34	44	52	60 70 80
45° BEND	8	10	12	14	18	21	25 30 34
22-1/2° BEND	4	5	6	7	9	10	12 14 16
11-1/4° BEND	2	3	4	5	6	7	8 9 10
PLUG, DEAD END OR BRANCH OF TEE	40	52	63	72	93	111	130 155 178
VALVE	20	25	32	36	47	56	78 116 89

MINIMUM LENGTH(FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S)	PIPE SIZE						
	6"	8"	10"	12"	16"	20"	30" 36"
90° BEND	29	37	44	51	65	77	89 105 120
45° BEND	12	15	18	21	27	32	37 44 50
22-1/2° BEND	6	7	9	10	13	15	18 21 24
11-1/4° BEND	3	4	5	6	7	8	9 10 12
PLUG, DEAD END OR BRANCH OF TEE	59	77	93	108	138	166	194 231 265
VALVE	59	77	93	108	138	166	194 231 265

CoWG THRUST RESTRAINT NOTES:

1. THE TABLES INDICATE MINIMUM LENGTHS OF RESTRAINED JOINTS ON EACH SIDE OF FITTINGS AND CHANGES IN DIRECTION. WHERE PRACTICAL, FULL LENGTHS OF RESTRAINED PIPE SHALL BE LAID TO ACHIEVE THE REQUIRED MINIMUM RESTRAINT.
2. WHERE COMBINATIONS OF FITTINGS ARE USED, THE PIPING BETWEEN THE FITTINGS SHALL BE RESTRAINED. THE MINIMUM RESTRAINED LENGTH OF PIPE REQUIRED UPSTREAM AND DOWNSTREAM OF THE COMBINATION OF FITTINGS SHALL BE DETERMINED ON THE BASIS OF ONE EQUIVALENT FITTING (I.E., 2-45 DEGREE BENDS WILL BE CONSIDERED AS THOUGH A 90° BEND WERE LOCATED MIDWAY BETWEEN THE TWO 45° BENDS).
3. FOR PIPE THAT IS ENCASED IN POLYETHYLENE, RESTRAINED JOINTS MINIMUM LENGTHS SHALL BE INCREASED BY 50 PERCENT.
4. FOR FITTINGS OTHER THAN THOSE PRESENTED IN THE ABOVE TABLES, RESTRAINED JOINT LENGTHS SHALL BE DETERMINED IN ACCORDANCE WITH "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" BY THE DUCTILE IRON PIPE RESEARCH ASSOCIATION. RESTRAINED JOINT LENGTHS FOR A GIVEN PRESSURE RANGE SHALL BE BASED ON THE MAXIMUM PRESSURE. FOR THE TEST PRESSURE RANGE, SM (SAND SILT) SOIL, 3-FEET DEPTH, LAYING CONDITION NO. 3 AND FACTOR OF SAFETY OF 1.5.
5. IN-LINE VALVES: PROVIDE MECHANICAL RESTRAINT ON EACH SIDE OF THE VALVE.
6. ALL RECLAIMED WATER PIPING SHALL BE HYDROSTATICALLY TESTED AT A PRESSURE OF 150 PSI. ALL WASTEWATER PIPING SHALL BE HYDROSTATICALLY TESTED AT A PRESSURE OF 100 PSI.

PROPOSED UTILITY	POTABLE WATER		RECLAIMED WATER		SANITARY SEWER (GRAVITY)		SANITARY SEWER (FORCEMAIN)		STORM WATER		ACCEPTABLE VARIANCES
	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.	
POTABLE WATER	-	-	3'	12"	6'	12"	6'	12"	3'	12" B	SEE GENERAL NOTES, NO. 4 & 5
RECLAIMED WATER	3'	12"	-	-	3'	12" B	6" A	12" B	-	-	-
SANITARY SEWER (GRAVITY)	6'	12"	3'	12" B	-	-	-	-	-	-	-
SANITARY SEWER (FORCEMAIN)	6'	12"	3'	12"	-	-	-	-	-	-	-

GENERAL NOTES:

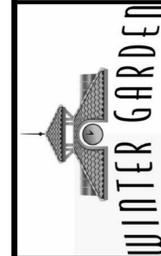
1. THE TABLE REPRESENTS THE MINIMUM SEPARATION REQUIREMENTS AS DESCRIBED IN F.D.E.P. RULES OF THE FLORIDA ADMINISTRATION CODE (F.A.C.). THESE SEPARATION REQUIREMENTS SHALL APPLY BETWEEN NEAREST PROPOSED UTILITY LINES AND EXISTING OR PROPOSED UTILITY LINES AND EXISTING OR PROPOSED UTILITY LINES.
2. * FOR THE PURPOSE OF THIS TABLE, RECLAIMED WATER SHALL MEAN UNRESTRICTED PUBLIC ACCESS REUSE WATER AS DEFINED BY F.A.C. 162-610, CHAPTER III. OTHER TYPES OF RECLAIMED WATER ARE CONSIDERED RAW SEWAGE AND SEPARATIONS LISTED FOR SANITARY SEWER SHALL APPLY.
3. ALL SEPARATION DISTANCES ARE FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE UNLESS OTHERWISE SPECIFIED. CRITERION PRODUCING GREATER CLEARANCE SHALL BE USED.
 - A - DENOTES POTABLE WATER ABOVE RECLAIMED WATER, SANITARY SEWER OR STORM WATER; OR RECLAIMED WATER ABOVE SANITARY SEWER.
 - B - DENOTES POTABLE WATER BELOW RECLAIMED WATER, SANITARY SEWER OR STORM WATER; OR RECLAIMED WATER BELOW SANITARY SEWER.
4. UTILITY SEPARATION - VERTICAL CLEARANCE MITIGATION
 - A. WHERE WATER AND GRAVITY SANITARY SEWER MAINS CROSS WITH LESS THAN REQUIRED VERTICAL CLEARANCE, THE WATER MAIN SHALL BE 20 FEET OF DUCTILE IRON PIPE CENTERED ON THE POINT OF CROSSING.
 - B. WHERE WATER MAINS AND STORM SEWER PIPES CROSS WITH LESS THAN REQUIRED VERTICAL CLEARANCE, THE WATER MAIN SHALL BE 20 FEET OF DUCTILE IRON PIPE CENTERED ON THE POINT OF CROSSING.
 - C. SEPARATION REQUIREMENTS BETWEEN FORCE MAINS AND POTABLE WATER MAINS MUST BE MAINTAINED UNLESS APPROVED IN ADVANCE BY THE DEPARTMENT.
5. UTILITY SEPARATION - HORIZONTAL SEPARATION MITIGATION
 - A. WHEN A WATER MAIN PARALLELS A GRAVITY SANITARY SEWER MAIN, A SEPARATION (MEASURED EDGE TO EDGE) OF AT LEAST SIX FEET SHOULD BE MAINTAINED. WHERE THIS SEPARATION IS NOT MET, ONE OF THE FOLLOWING MUST OCCUR.
 1. THE WATER MAIN IS LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 6 INCHES ABOVE THE TOP OF THE SEWER, OR:
 2. IF BOTH SANITARY SEWER AND POTABLE WATER MAINS ARE PROPOSED AND THE ABOVE (1) IS NOT MET, THE SANITARY SEWER PIPES SHALL BE UPGRADED TO THE EQUIVALENT PIPE MATERIAL AS THE WATER MAIN AND PRESSURE TESTED.
 3. IF THE SANITARY SEWER IS EXISTING AND THE POTABLE WATER MAIN IS PROPOSED, THE WATER MAIN SHALL, AT A MINIMUM, BE UPGRADED TO DUCTILE IRON PIPE, CONSTRUCTED IN SEPARATE TRENCHES, LAID AT A HIGHER ELEVATION THAN THE SANITARY SEWER, AND UTILIZE STAGGERED JOINTS.
 - B. SEPARATION REQUIREMENTS BETWEEN FORCE MAINS AND POTABLE WATER MAINS MUST BE MAINTAINED UNLESS APPROVED IN ADVANCE BY THE DEPARTMENT.
6. NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SANITARY OR STORM WATER MANHOLE OR STRUCTURE.

WINTER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEERS DOCUMENTS:

THE DETAILS, NOTES AND SPECIFICATIONS SHOWN ON THIS SHEET REPRESENT THE NOTED STANDARDS OF THE CITY OF WINTER GARDEN FOR CONSTRUCTION OF PUBLIC WORKS AND UTILITY INFRASTRUCTURE. BY INCLUDING THE STANDARDS, THE DESIGN ENGINEER HAS ACKNOWLEDGED THAT THEY ARE EFFECTIVE TO THE PROJECT AND THAT DETAILS, NOTES, OR SPECIFICATIONS ARE AS PROVIDED BY THE CITY AND HAVE NOT BEEN REVISED OR MODIFIED WITHOUT WRITTEN APPROVAL FROM THE CITY ENGINEER OR UTILITY DIRECTOR.

NO.	ITEM	DATE
1	Revised General Notes	4/4/14
2	Revised Note & Resub Notes	4/4/14
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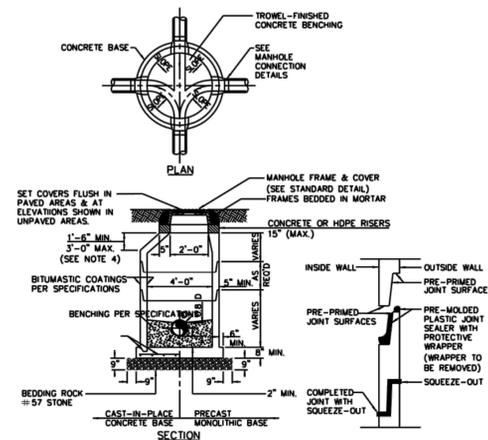
City of Winter Garden, Florida
STANDARDS AND SPECIFICATIONS
For Utilities Construction



STANDARD DETAILS
FOR
UTILITIES SYSTEMS

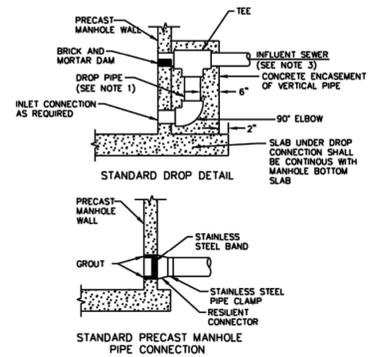
DATE
JANUARY 2008
SHEET
1
1 OF 10

NO.	REVISIONS	DATE
1	REV PER CITY OF WINTER GARDEN COMMENTS DATED 1/18/16	1-19-16
2	REV PER BID ADDENDUM #1 DATED 1/16/16	1-26-16
3	REV PER CITY OF WINTER GARDEN COMMENTS DATED 1/16/16	2-19-16
4		



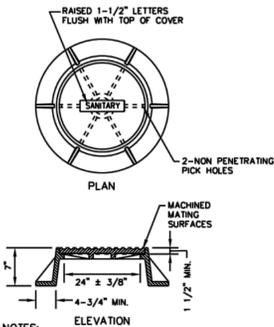
- NOTES:**
- DROP CONNECTIONS ARE REQUIRED WHENEVER INVERT OF INFLUENT SEWER IS 2" OR MORE ABOVE THE INVERT OF THE MANHOLE. SEE MANHOLE CONNECTION DETAILS. ALL DROPS TO BE OUTSIDE OF THE MANHOLE.
 - E-Z RAPP OUTSIDE ALL JOINTS
 - GROUT WITH NON-SHRINKING GROUT INSIDE JOINTS
 - NO CONES OVER 3 FT. TALL
 - ALL PRECAST CONCRETE SHALL BE COATED INSIDE AND OUTSIDE WITH COAL TAR EPOXY, MINIMUM 15 MIL DMT.

PRECAST CONCRETE SANITARY MANHOLE
N.T.S.



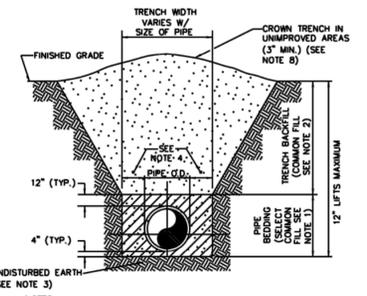
- NOTES:**
- DROP PIPE AND FITTINGS SHALL BE OF EQUAL SIZE AND MATERIAL AS THE INFLUENT SEWER.
 - AN OUTSIDE DROP CONNECTION SHALL BE REQUIRED FOR ALL INFLUENT WHICH HAVE AN INVERT 2" OR MORE ABOVE THE MANHOLE INVERT.

SANITARY MANHOLE CONNECTION DETAILS
N.T.S.



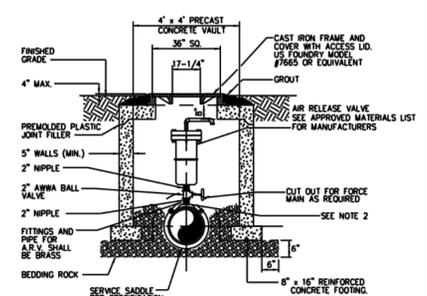
- NOTES:**
- MANHOLE FRAME & COVER SHALL BE 24" OPENINGS, USE #4S-22S AS MANUFACTURED BY U.S. FOUNDRY & MFG. CORP. OR APPROVED EQUAL
 - RAIN STOPPER LIDS OR RAIN GUARD LIDS (LPHS) REQUIRED.

STANDARD MANHOLE FRAME AND COVER
N.T.S.



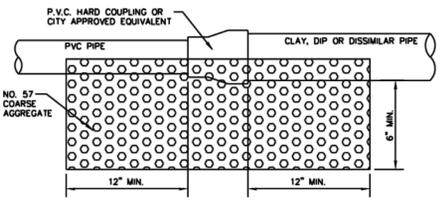
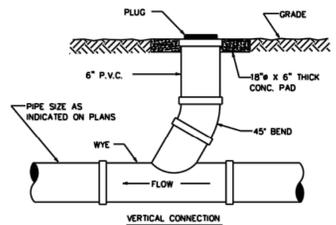
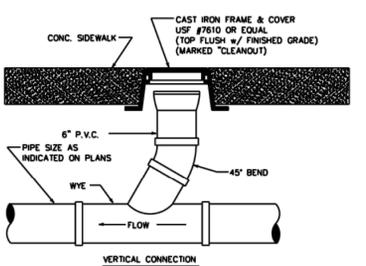
- NOTES:**
- PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
 - TRENCH BACKFILL: COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
 - PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING MAY BE REQUIRED AS DIRECTED BY THE CITY OF WINTER GARDEN.
 - (*) 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.
 - WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 - ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 - REFER TO SECTION 32.5 OF THE ORANGE COUNTY MANUAL OF STANDARDS AND SPECIFICATIONS FOR WASTEWATER AND WATER MAIN CONSTRUCTION FOR SHEETING AND BRACING IN EXCAVATIONS.
 - FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN CITY OF WINTER GARDEN RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

STANDARD BEDDING DETAIL
N.T.S.



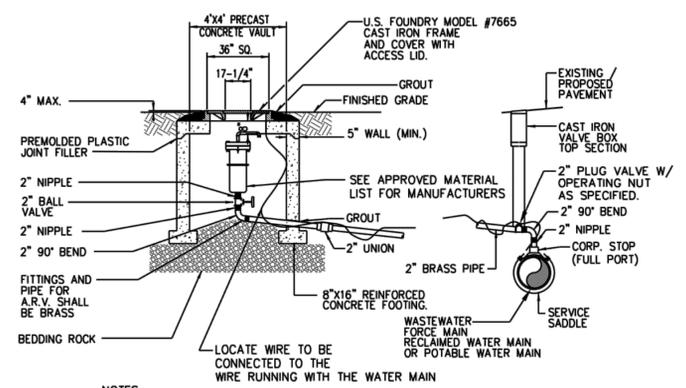
- NOTES:**
- THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 3.0 FEET
 - DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
 - PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
 - INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATING AS SPECIFIED FOR VALVE VAULTS.
 - CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
 - COVER SHALL READ "WINTER GARDEN UTILITIES DIVISION AND "WASTEWATER".
 - NO GALVANIZED PIPE/VALVES.

SEWER COMBINATION AIR VALVE (SCAV) AND VALVE VAULT
N.T.S.



- NOTE:**
- FIELD VERIFY MATERIALS OF EXISTING PIPES TO SELECT PROPER CONNECTOR.
 - HARBICO COUPLING OR APPROVED EQUIVALENT FOR ALL PIPE MATERIALS, UNLESS APPROVED IN WRITING BY THE CITY.

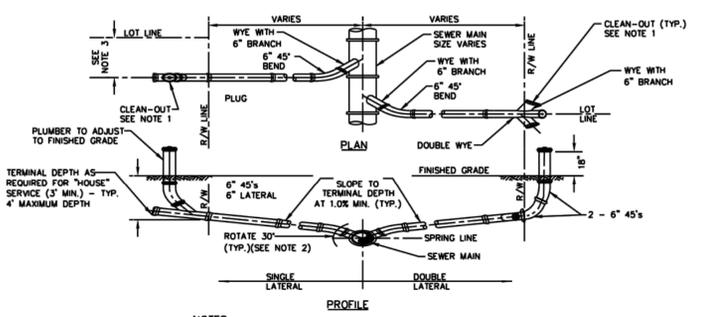
SEWER MAIN CONNECTION DETAIL
N.T.S.



- NOTES:**
- THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 4.0 FEET.
 - DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
 - PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
 - INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATING AS SPECIFIED FOR VALVE VAULTS.
 - CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
 - COVER SHALL READ "WINTER GARDEN UTILITIES DIVISION, "SEWER" "RECLAIMED WATER OR POTABLE WATER".
 - NO GALVANIZED PIPE/VALVES.
 - LOCATE WIRE IN THE ARV VAULT SHALL BE SPLICED TO THE WIRE RUNNING WITH THE WATER MAIN AND EXCESS WIRE TO BE PLACED IN ARV VAULT. THE POINT OF CONNECTION AT THE MAIN SHALL HAVE A WATER PROOF CONNECTOR.

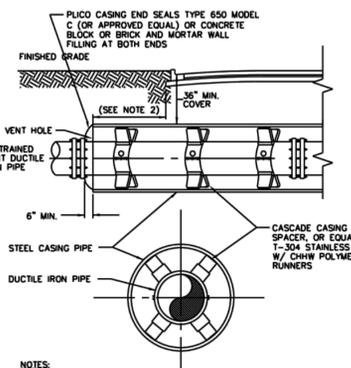
OFFSET TYPE AIR RELEASE VALVE ASSEMBLY

WINTER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEERS DOCUMENTS:
THE DETAILS, NOTES AND SPECIFICATIONS SHOWN ON THIS SHEET REPRESENT THE NOTED STANDARDS OF THE CITY OF WINTER GARDEN FOR CONSTRUCTION OF PUBLIC WORKS AND UTILITY INFRASTRUCTURE. BY INCLUDING THE STANDARDS, THE DESIGN ENGINEER HAS ACKNOWLEDGED THAT THEY ARE EFFECTIVE TO THE PROJECT AND THAT DETAILS, NOTES, OR SPECIFICATIONS ARE AS PROVIDED BY THE CITY AND HAVE NOT BEEN REVISED OR MODIFIED WITHOUT WRITTEN APPROVAL FROM THE CITY ENGINEER OR UTILITY DIRECTOR.



- NOTES:**
- CLEANOUT SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH STANDARD PLUMBING CODE.
 - INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
 - WYES AND 45° BENDS SHALL BE PVC (SDR 26).
 - LOCATE SINGLE LATERAL AS CLOSE TO LOT LINE AS POSSIBLE, 25' MAXIMUM.

SANITARY SEWER SERVICE LATERAL DETAIL
N.T.S.

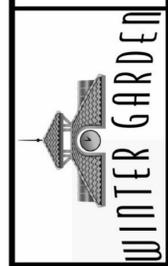


- NOTES:**
- WHERE PRACTICAL, CASING SHALL EXTEND 8' BEYOND EDGE OF PAYMENT AND SHALL NOT BE LESS THAN 6' BEYOND EDGE OF PAYMENT IN ANY CASE.
 - CASING SPACERS AND END SEALS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 - DESIGN ENGINEER TO DETERMINE NEED FOR SACRIFICIAL ANODE (S) FOR CORROSION CONTROL.

BORE AND JACK DETAIL
N.T.S.

REV.	DATE	DESCRIPTION
1	4/7/14	SANITARY MANHOLE
2	4/7/14	OFFSET ARV DETAIL
3		
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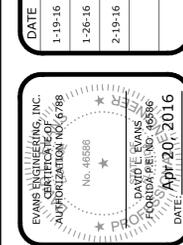
City of Winter Garden, Florida
STANDARDS AND SPECIFICATIONS
For Utilities Construction



STANDARD DETAILS
FOR
WASTEWATER SYSTEMS

DATE	JANUARY 2008
SHEET	3
	3 OF 10

REV.	DATE	DESCRIPTION
1	1-19-16	REVISIONS
2	1-26-16	REV PER BID ADDENDUM #1
3	2-19-16	REV PER CITY OF WINTER GARDEN COMMENTS DATED 1/16/16
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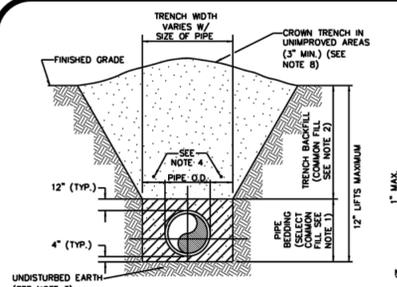


EVANS ENGINEERING, INC.
LAND PLANNING PERMITTING SERVICES
719 IRMA AVENUE
ORLANDO, FLORIDA 32803
(407) 872-1515
www.evansenginc.com
CERTIFICATE OF AUTHORIZATION NO. 00006788

OAKLAND PARK AMENITY CENTER
FOR
LAKE APOPKA 2012 LLC.
CITY OF WINTER GARDEN FLORIDA

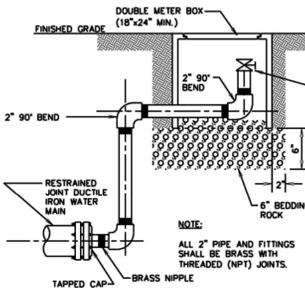
FINAL CONSTRUCTION PLANS
SANITARY SEWER DETAILS

DRAWN: JSK
CHECKED: DLE
DATE: OCTOBER 2015
SCALE: 1" = 30'
JOB #: 27206
SHEET #:

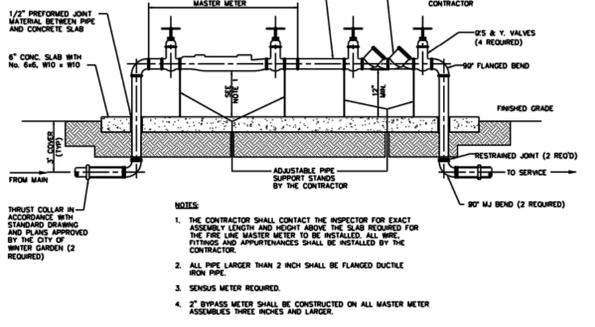


- NOTES:**
1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
 2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
 3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING MAY BE REQUIRED AS DIRECTED BY THE CITY OF WINTER GARDEN.
 4. (1"): 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" LARGER.
 5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 7. REFER TO SECTION 32.5 OF THE CITY OF WINTER GARDEN MANUAL OF STANDARDS AND SPECIFICATIONS FOR WASTEWATER AND WATER MAIN CONSTRUCTION FOR SHEETING AND BRACING IN EXCAVATIONS.
 8. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN CITY OF WINTER GARDEN RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

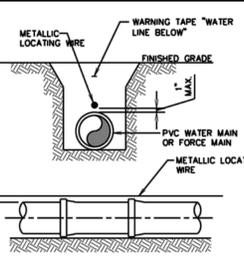
STANDARD BEDDING DETAIL
N.T.S.



BLOWOFF VALVE DETAIL
N.T.S.

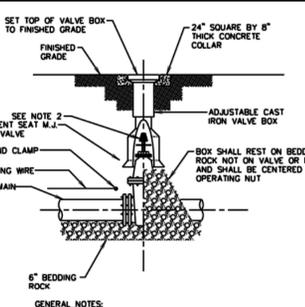


MASTER METER ASSEMBLY
N.T.S.



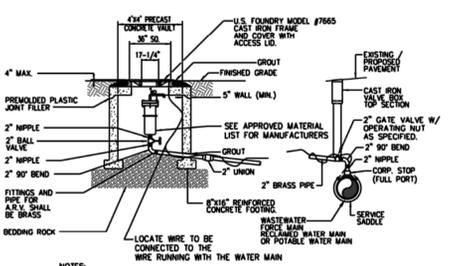
- NOTES:**
1. PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (10 GAUGE COPPER) CAPABLE OF DETECTION BY A CABLE LOCATOR AND SHALL BE ATTACHED TO THE TOP OF PIPE WITH DUCT TAPE, AT LEAST 5 TIMES PER JOINT.
 2. LOCATING ROD SHALL TERMINATE AT THE TOP OF EACH VALVE BOX AND BE CAPABLE OF EXTENDING ABOVE TOP OF BOX 1" SO AS NOT TO INTERFERE WITH VALVE OPERATION.

PVC PIPE LOCATING WIRE DETAIL
N.T.S.



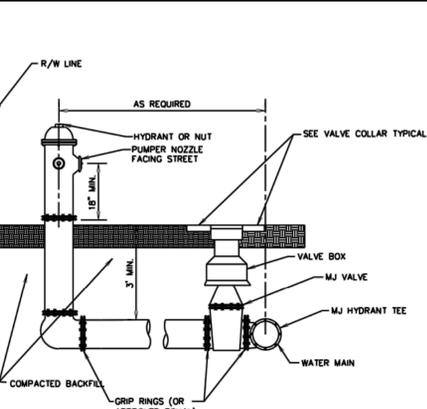
- GENERAL NOTES:**
1. PVC EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
 2. THE ACTUATING NUT FOR DEEPER VALVES SHALL BE EXTENDED TO COME UP TO 4 FOOT DEPTH BELOW FINISHED GRADE.

GATE VALVE AND VALVE BOX DETAIL
N.T.S.

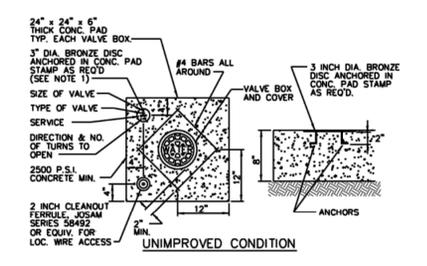


- NOTES:**
1. THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 4.0 FEET.
 2. DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
 3. PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
 4. INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATING AS SPECIFIED FOR VALVE VAULTS.
 5. CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
 6. COVER SHALL READ "WINTER GARDEN UTILITIES DIVISION, "SEWER" "RECLAIMED WATER OR POTABLE WATER".
 7. NO GALVANIZED PIPE/VALVES.
 8. LOCATE WIRE IN THE A.R.V. VALVE SHALL BE SPICED TO THE WIRE RUNNING WITH THE WATER MAIN AND EXCESS WIRE TO BE PLACED IN ARY VAULT. THE POINT OF CONNECTION AT THE MAIN SHALL HAVE A WATER PROOF CONNECTOR.

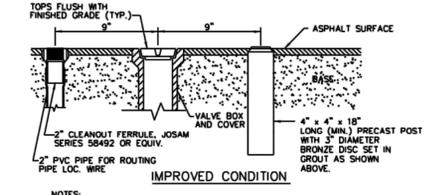
OFFSET TYPE AIR RELEASE VALVE ASSEMBLY
N.T.S.



FIRE HYDRANT ASSEMBLY DETAIL
N.T.S.

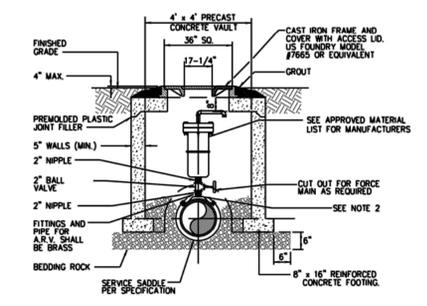


VALVE BOX COLLAR
N.T.S.



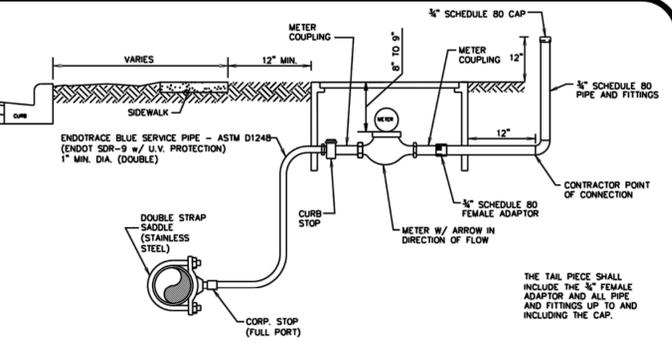
IMPROVED CONDITION

- NOTES:**
1. BRONZE IDENTIFICATION DISC SHALL BE REQUIRED FOR ALL VALVES.

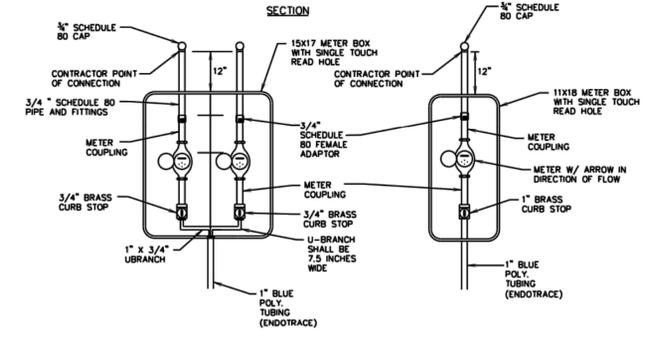


POTABLE WATER SYSTEM AIR RELEASE VALVE AND VAULT
N.T.S.

- NOTES:**
1. THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 3.0 FEET.
 2. DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
 3. PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
 4. INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATING AS SPECIFIED FOR VALVE VAULTS.
 5. CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
 6. COVER SHALL READ "WINTER GARDEN UTILITIES DIVISION AND "POTABLE WATER".
 7. NO GALVANIZED PIPE/VALVES.



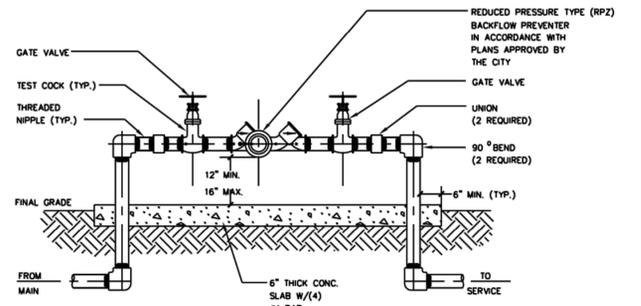
DOUBLE SERVICE (TOP VIEW)
N.T.S.



SINGLE SERVICE (TOP VIEW)
N.T.S.

- NOTES:**
1. ALL FITTINGS BETWEEN THE WATER MAIN AND THE METER COUPLING SHALL BE BRASS WITH COMPRESSION/PACK JOINT CONNECTIONS.
 2. NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
 3. EACH SERVICE SHALL TERMINATE IN A METER BOX ASSEMBLY, WHICH SHALL BE PLACED TO GRADE IN THE UTILITY EASEMENT AT THE PROPERTY LINE(S) OF THE LOT(S) TO BE SERVED.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION TO AND INCLUDING THE METER BOX ASSEMBLY. THE CITY SHALL FURNISH THE METER AND THE TAIL PIECE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING THE METER BOX ASSEMBLY TO FINISH GRADE AND MAKING ANY GRADE ADJUSTMENTS TO THE METER BOX IF REGRADING OCCURS.
 5. ALL SERVICE LINES SHALL BE POLY ENDOTRACE PIPE AND SHALL BE BLUE IN COLOR W/WR. THE PLUMBER/CUSTOMER SHALL BE RESPONSIBLE FOR MAINTENANCE BEYOND THE POINT OF CONNECTION.
 6. THE POINT OF CONNECTION IS LOCATED ONE FOOT BEYOND THE METER BOX.
 7. IN NO CASE IS METER TO BE INSTALLED IN SIDEWALK OR OTHER PAVED AREAS.

POTABLE WATER SINGLE AND DOUBLE SERVICE DETAIL
N.T.S.



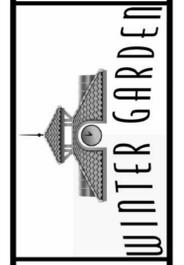
BACKFLOW PREVENTER DETAIL
N.T.S.

- NOTES:**
1. ALL PIPE AND FITTINGS 2" AND SMALLER SHALL BE THREADED SCHEDULE 80 PVC. NO GALVANIZED PIPE WILL BE APPROVED.
 2. ALL PIPE LARGER THAN 2" SHALL BE FLANGED DUCTILE IRON PIPE.
 3. NO GALVANIZED PIPE ALLOWED.

WINTER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEERS DOCUMENTS:
THE DETAILS, NOTES AND SPECIFICATIONS SHOWN ON THIS SHEET REPRESENT THE NOTED STANDARDS OF THE CITY OF WINTER GARDEN FOR CONSTRUCTION OF PUBLIC WORKS AND UTILITY INFRASTRUCTURE. BY INCLUDING THE STANDARDS, THE DESIGN ENGINEER HAS ACKNOWLEDGED THAT THEY ARE EFFECTIVE TO THE PROJECT AND THAT DETAILS, NOTES, OR SPECIFICATIONS ARE AS PROVIDED BY THE CITY AND HAVE NOT BEEN REVISED OR MODIFIED WITHOUT WRITTEN APPROVAL FROM THE CITY ENGINEER OR UTILITY DIRECTOR.

NO.	REVISIONS	DATE
1	REV PER CITY OF WINTER GARDEN COMMENTS DATED 1/18/16	4/3/14
2	REV PER BID ADDENDUM #1	4/3/14
3	REV PER CITY OF WINTER GARDEN COMMENTS DATED 1/16/16	

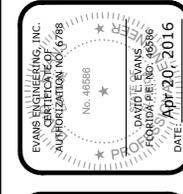
City of Winter Garden, Florida
STANDARDS AND SPECIFICATIONS
For Utilities Construction



STANDARD DETAILS
FOR
POTABLE WATER SYSTEMS

DATE
JANUARY 2008
SHEET
2
2 OF 10

DATE	REVISIONS
1-19-16	REV PER CITY OF WINTER GARDEN COMMENTS DATED 1/18/16
1-26-16	REV PER BID ADDENDUM #1
2-19-16	REV PER CITY OF WINTER GARDEN COMMENTS DATED 1/16/16



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ORLANDO, FLORIDA 32803
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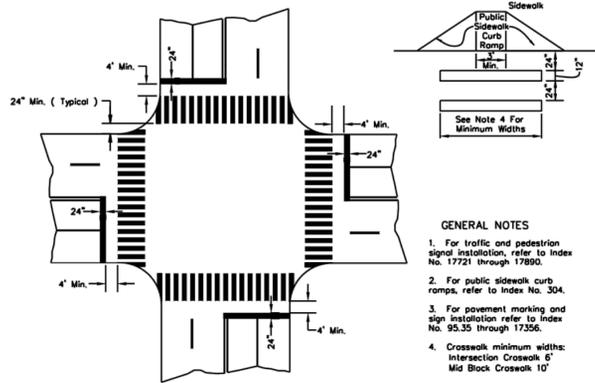
OAKLAND PARK AMENITY CENTER
FOR
LAKE APOPKA 2012 LLC.
CITY OF WINTER GARDEN FLORIDA

FINAL CONSTRUCTION PLANS
WATER DETAILS

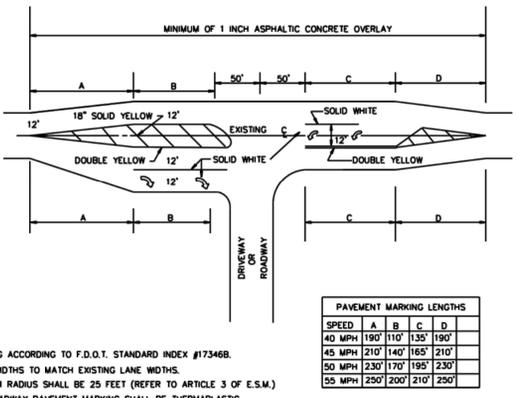
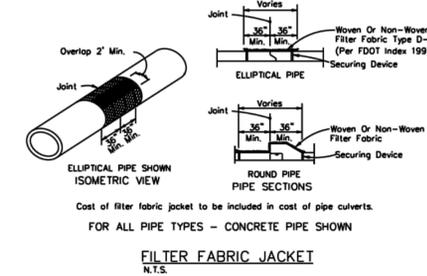
DRAWN: JSK
CHECKED: DLE
DATE: OCTOBER 2015
SCALE: 1" = 30'
JOB #: 27206
SHEET #:

GENERAL NOTES:

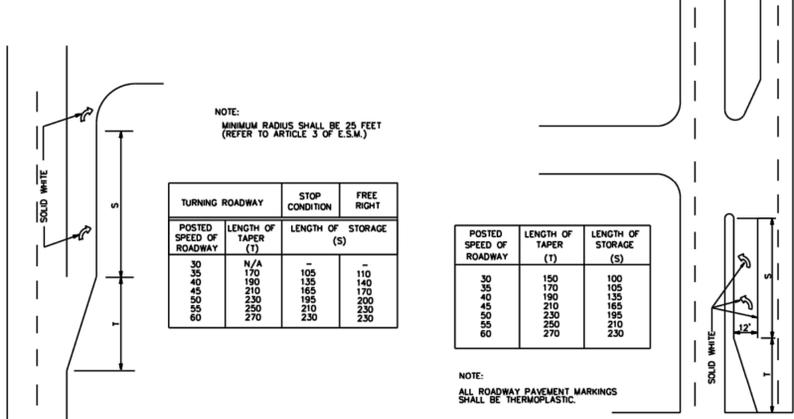
- ALL NEW STORM AND SANITARY SEWER LINES IN THE CITY OF WINTER GARDEN SHALL BE SUBJECT TO CLOSED CIRCUIT TV INSPECTION PRIOR TO BEING ACCEPTED BY THE CITY, WHETHER PRIVATE OR CITY MAINTAINED. ALL STORM SEWER PIPE SHALL BE REINSPECTED AT THE YEAR END, COST TO BE PAID BY THE OWNER.
- PIPE MATERIAL SHALL BE AS SHOWN ON THE CONSTRUCTION PLANS UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- CONTRACTOR AND OWNER ARE RESPONSIBLE FOR ENSURING THAT ALL CITY, COUNTY, STATE (FDEP, FDOT, S.R.W.M.D., ETC.), AND FEDERAL PERMITS HAVE BEEN ISSUED FOR THE PROJECT.
- ALL STORM SYSTEM MUST BE WATER-TIGHT WITH ALL JOINTS WRAPPED.
- STORM SYSTEM WILL BE CLEANED PRIOR TO BEING TV'D.
- THE OWNER SHALL KEEP A COPY OF THE WATER MANAGEMENT DISTRICT PERMIT, NPDES, NOI AND SWPP PLAN IN A CONSPICUOUS LOCATION ON THE JOB SITE AT ALL TIMES.
- ALL STORM SEWER MANHOLES FRAME & COVER SHALL BE ASTM 225.
- CLEAN SAND SHALL CONSIST OF MATERIAL HAVING LESS THAN 5% PASSING THE #200 SIEVE.
- ONLY CONCRETE RISER RINGS WILL BE ALLOWED TO BE PLACED FOR STORM MANHOLES. ALL RISER RINGS SHALL BE SEALED TO THE STRUCTURE USING WRAPID SEAL. NO MORE THAN 15" WILL BE ALLOWED.
- STORM SEWER PIPES SHALL MEET ASTM C76 & ASTM C507.
- ALL STORM SEWER STRUCTURE SECTIONS SHALL BE SEALED WITH WRAPID SEAL.



SPECIAL EMPHASIS CROSSWALK SIGNALIZED OR STOP SIGN CONTROLLED INTERSECTION
N.T.S.



- NOTES:**
- STRIPING ACCORDING TO F.D.O.T. STANDARD INDEX #17346B.
 - LANE WIDTHS TO MATCH EXISTING LANE WIDTHS.
 - MINIMUM RADIUS SHALL BE 25 FEET (REFER TO ARTICLE 3 OF E.S.M.)
 - ALL ROADWAY PAVEMENT MARKING SHALL BE THERMOPLASTIC.



RIGHT TURN DECELERATION LANE
N.T.S.

LEFT TURN STORAGE LANE (DIVIDED HIGHWAY)
N.T.S.

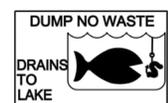
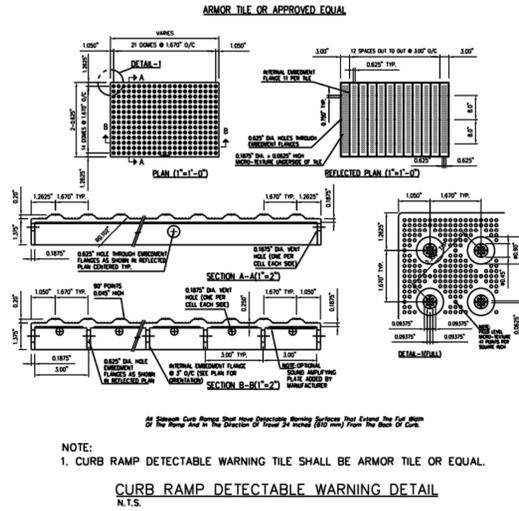
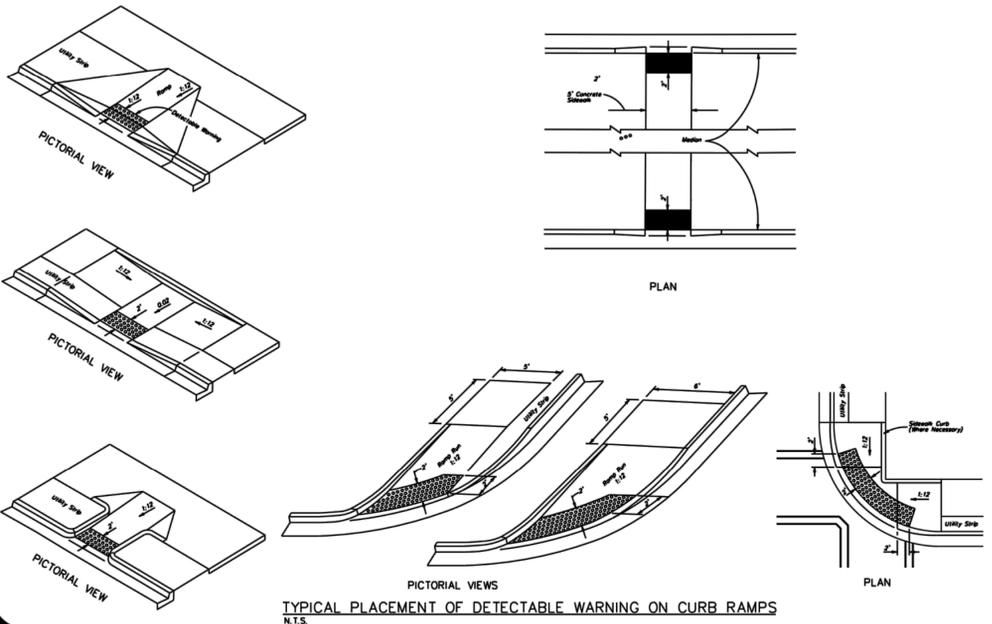
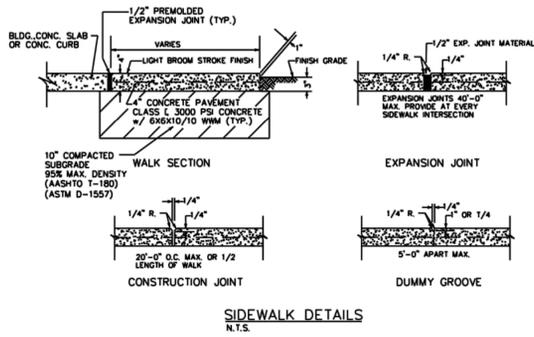
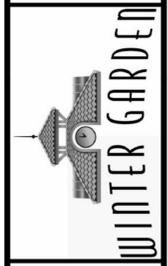


PLATE SHALL BE ADDED TO STORMWATER INLETS AS REQUIRED BY THE CITY.

NO.	ITEM	DATE
1	Deleted Underdrain Detail	4/1/16

City of Winter Garden, Florida
STANDARDS AND SPECIFICATIONS
For Roadway & Drainage Construction



GENERAL NOTES
FOR
PUBLIC SERVICES

DATE: JANUARY 2008
SHEET: 8 OF 10

DATE	REVISIONS
1-19-16	REV PER CITY OF WINTER GARDEN COMMENTS DATED 1/18/16
1-26-16	REV PER BID ADDENDUM #1
2-19-16	REV PER CITY OF WINTER GARDEN COMMENTS DATED 1/16/16

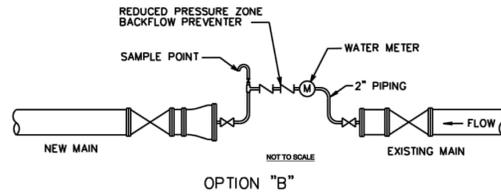
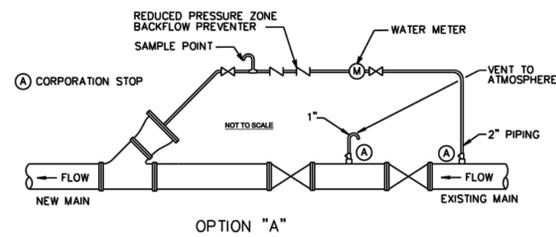


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FOR
LAKE APOPKA 2012 LLC.
CITY OF WINTER GARDEN FLORIDA

FINAL CONSTRUCTION PLANS
PUBLIC WORKS DETAILS

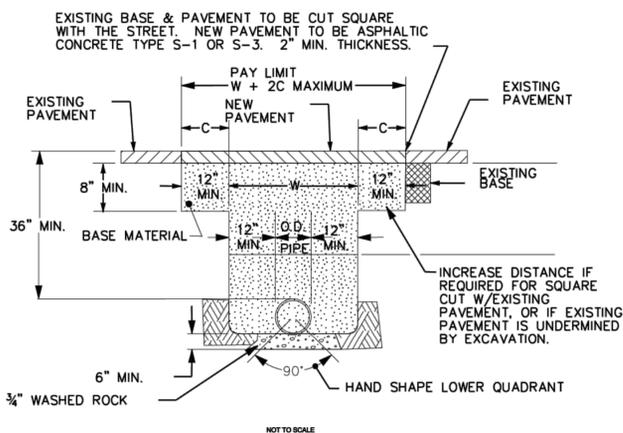
DRAWN: JSK
CHECKED: DLE
DATE: OCTOBER 2015
SCALE: N/A
JOB #: 27206
SHEET #:



EXCEPT AS INDICATED BELOW FOR SHORT LENGTHS, EACH SECTION OF PIPELINE SHALL BE THOROUGHLY CLEANED WITH ONE POLYURETHANE FOAM PIG EACH TIME.
 A CITY REPRESENTATIVE SHALL BE PRESENT AT THE TIME OF INSERTION AND EXIT OF THE PIGS. LINES SHALL BE PIGGED AND/OR FLUSHED UNTIL THE WATER RUNS CLEAN AND IS APPROVED BY THE CITY REPRESENTATIVE. THE CITY REPRESENTATIVE SHALL BE GIVEN 48 HOURS MINIMUM NOTICE PRIOR TO PIGGING OR FLUSHING.
 ON SHORT LENGTHS OF PIPELINE (100' MAX) CLEANING MAY BE ACCOMPLISHED BY FLUSHING WITH WATER AT A MINIMUM VELOCITY OF 2.5 FEET PER SECOND. WATER REQUIRED FOR TESTING AND CLEANING SHALL BE SUPPLIED BY THE CITY AT THE CONTRACTOR'S EXPENSE. WATER SHALL BE FROM A POTABLE SOURCE SATISFACTORY TO THE CITY.

- NOTES:**
- REDUCER TO BE NEW MAIN SIZE PLUS 2" LARGER.
 - WYE TO BE PLUGGED AND RESTRAINED AT THE END OF PIGGING.
 - AT THE END OF THE PROJECT, ALL CORPORATIONS TO BE REMOVED AND CORPORATIONS PLUGS TO BE INSTALLED.
 - SAMPLE POINT TO BE LOCATED AFTER BACKFLOW PREVENTER.
 - ALL MATERIALS, PIPE, AND FITTINGS SHALL CONFORM TO THE CITY OF WINTER GARDEN STANDARDS.
 - INSTALL REDUCER WITH PIG INSIDE. ONLY ONE PIG WILL BE ALLOWED TO BE RUN THROUGH THE MAIN AT A TIME. PIPE EXTENSION CAP MAY BE REQUIRED.
 - PIGGING PROCEDURE TO BE PERFORMED AT LEAST TWICE.

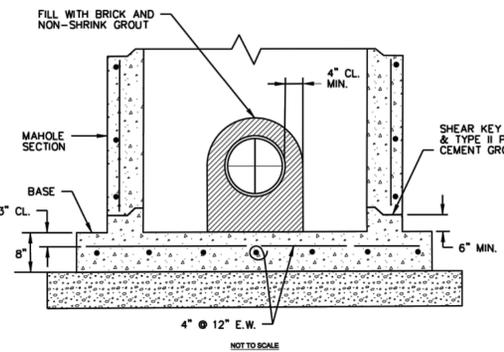
PIPE PIGGING DETAIL



W = O.D. OF PIPE + 12" MIN AT BOTH SIDES OF PIPE.
 C = VARIES W/ SOIL TYPE (CONTACT ENGINEER OF RECORD FOR DETERMINATION IN FIELD).

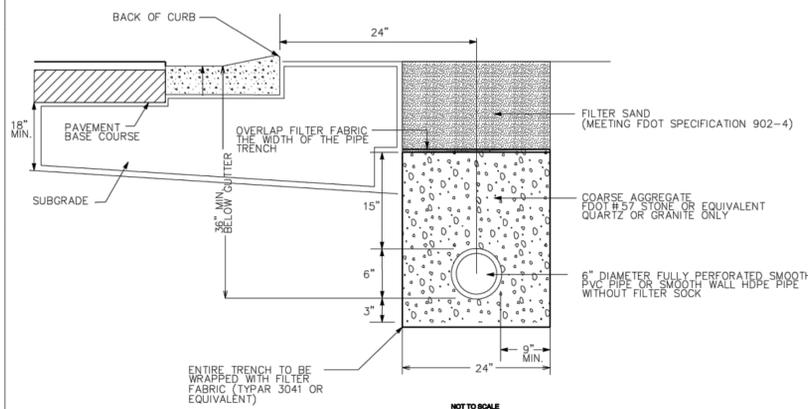
ALL BACKFILL COMPACTION SHALL BE 98% OF MAXIMUM DENSITY.

PAVEMENT RESTORATION DETAIL

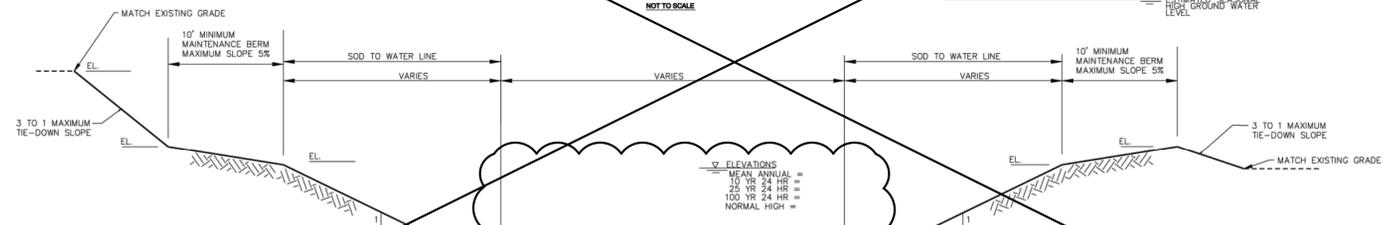
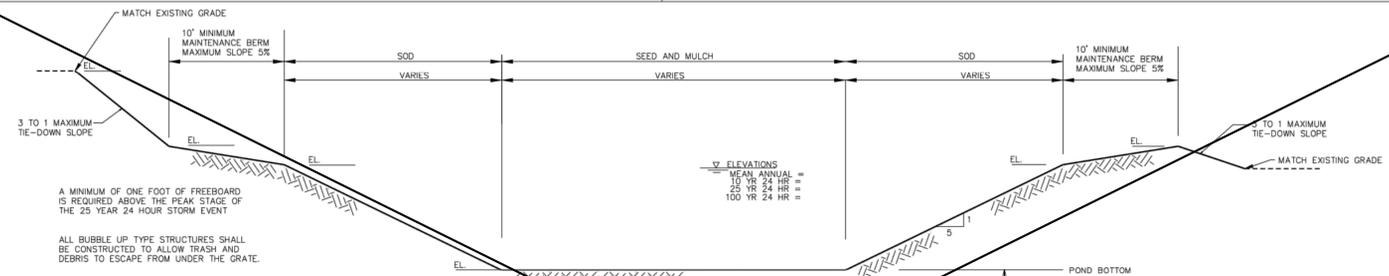


- TO CONSTRUCT NEW MANHOLE OVER EXISTING SEWER, SLIDE BASE UNDER PIPE AND SET MANHOLE SECTION ON TOP.
- FOR ADDITIONAL DETAILS NOT SHOWN, SEE "GRAVITY SEWER MANHOLE STANDARD."
- AT THE END OF THE PROJECT, ALL CORPORATIONS TO BE REMOVED AND CORPORATIONS PLUGS TO BE INSTALLED. CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPORT OF EXISTING SEWER DURING INSTALLATION OF MANHOLE.

GRAVITY SEWER DOGHOUSE MANHOLE



UNDERDRAIN DETAIL



SEE SHEET XX FOR POND SECTION AND DETAILS

POND SECTIONS

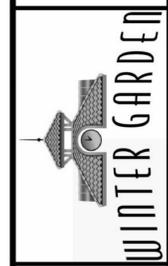


STREET SIGN BLADE DETAIL

THE BACKGROUND COLOR SHALL BE RETROREFLECTIVE GREEN AND THE LETTERING AND BORDER SHALL BE RETROREFLECTIVE WHITE.

NO.	REVISIONS	DATE
1	REV PER CITY OF WINTER GARDEN COMMENTS DATED 1/18/16	1-19-16
2	REV PER BID ADDENDUM #1	1-26-16
3	REV PER CITY OF WINTER GARDEN COMMENTS DATED 1/16/16	2-19-16

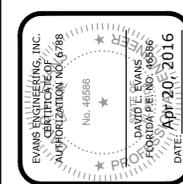
City of Winter Garden, Florida
 STANDARDS AND SPECIFICATIONS



STANDARD DETAILS
 FOR
 MISCELLANEOUS DETAILS

DATE
 APRIL 2014
 SHEET
 10
 10 OF 10

DATE	REVISIONS	BY
1-19-16	REV PER CITY OF WINTER GARDEN COMMENTS DATED 1/18/16	JSK
1-26-16	REV PER BID ADDENDUM #1	JSK
2-19-16	REV PER CITY OF WINTER GARDEN COMMENTS DATED 1/16/16	JSK



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OAKLAND PARK AMENITY CENTER
 FOR
 LAKE APOPKA 2012 LLC.
 CITY OF WINTER GARDEN FLORIDA

FINAL CONSTRUCTION PLANS & POND DETAILS

DRAWN: JSK
 CHECKED: DLE
 DATE: OCTOBER 2015
 SCALE: N/A
 JOB #: 27206
 SHEET #:

Date:	1/21/2016
Drawn by:	PC
Reviewed by:	DH/GB
Job Number:	21577
Revision:	Date:

OAKLAND PARK PHASE IV

HARDSCAPE PLANS

ISSUED FOR BID

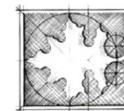
Prepared For Lake Apopka 2012, LLC

JANUARY 21, 2016

- ① ADDENDUM #1: 1/26/2016
- ② ADDENDUM #2: 2/4/2016
- ③ ADDENDUM #3: 3/8/2016
- △ REVISION A: 4/15/2016

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LA2.05	FIREPIT AND RETAINING WALL DETAILS
LA2.10-2.11	MASONRY DETAILS
LA2.20	SPLASH PAD DETAILS
LA2.21	POOL DETAILS
LA2.30-2.31	METALWORK DETAILS
LA2.40-2.43	PAVING DETAILS
LA2.50	SITE FURNISHINGS SCHEDULE
LA2.51-2.52	SITE AMENITIES
LA3.00	PLANTER POT SELECTION
LA3.01	MATERIALS SCHEDULE

OAKLAND PARK PHASE 4
Winter Garden, Florida
Lake Apopka 2012, LLC
PO Box 783575 (34783575)
15241 E. Oakland Ave., Winter Garden, FL 34787

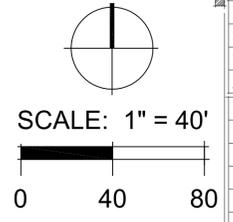
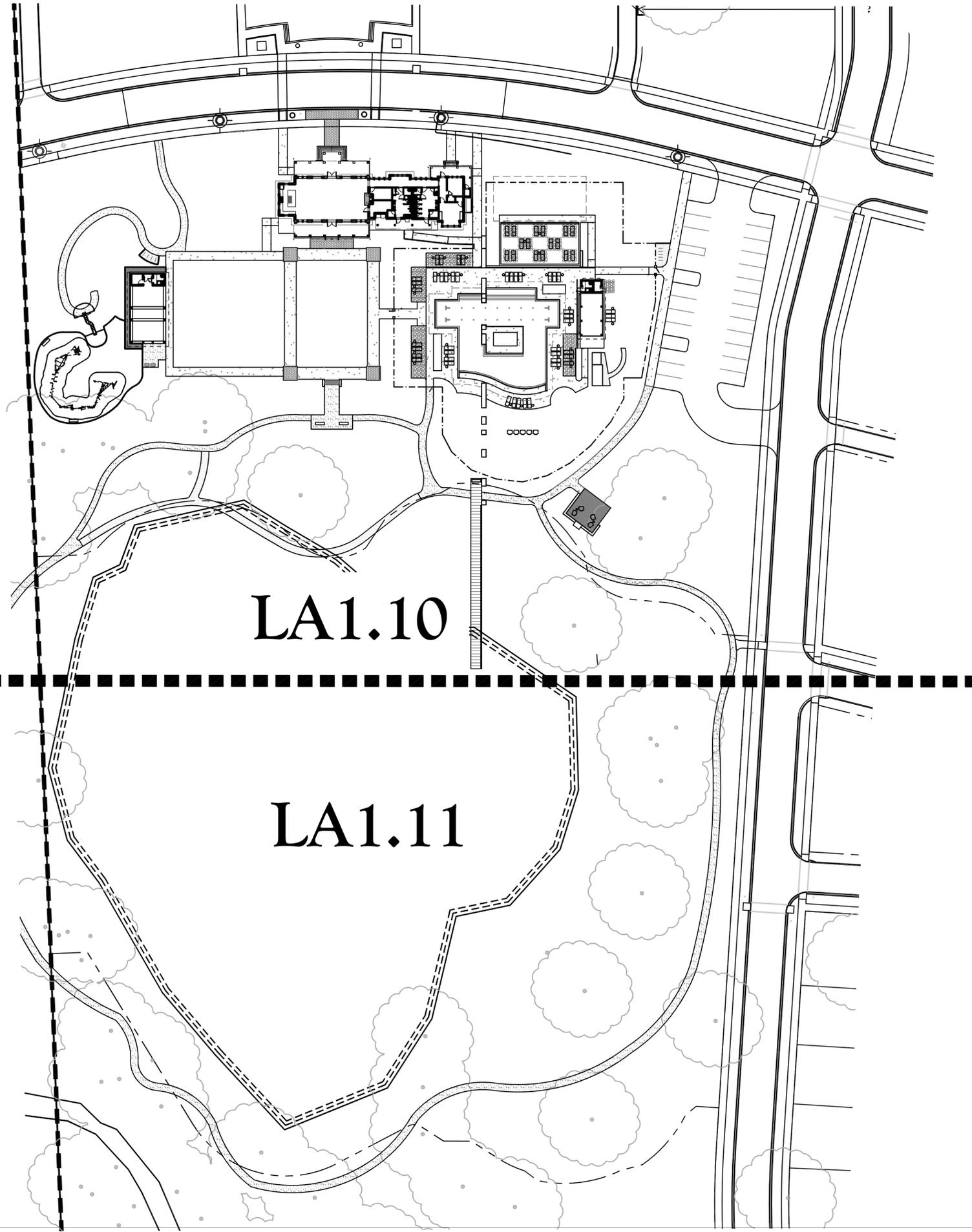


DIXIE HITE
+ PARTNERS
150 W. JESSUP AVENUE
LAKE APOPKA, FL 34756
TEL: 407.667.1779
FAX: 407.667.1779

HARDSCAPE PLANS

Cover Sheet

Sheet Number:



Date:	1/21/2016
Drawn by:	PC
Reviewed by:	DH/GB
Job Number:	21577
Revision:	Date:
▲	4/15/2016



HARDSCAPE PLANS

Overall Site Plan

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 Winter Garden, Florida
 Lake Apopka 2012, LLC
 PO Box 783575 (34783575)
 15241 E. Oakland Ave., Winter Garden, FL 34787

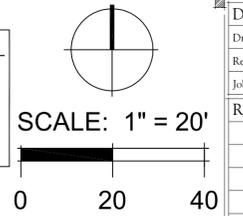
DIXIE HITE
 + PARTNERS
 150 W. JESSUP AVENUE
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Sheet Number:
LA1.00

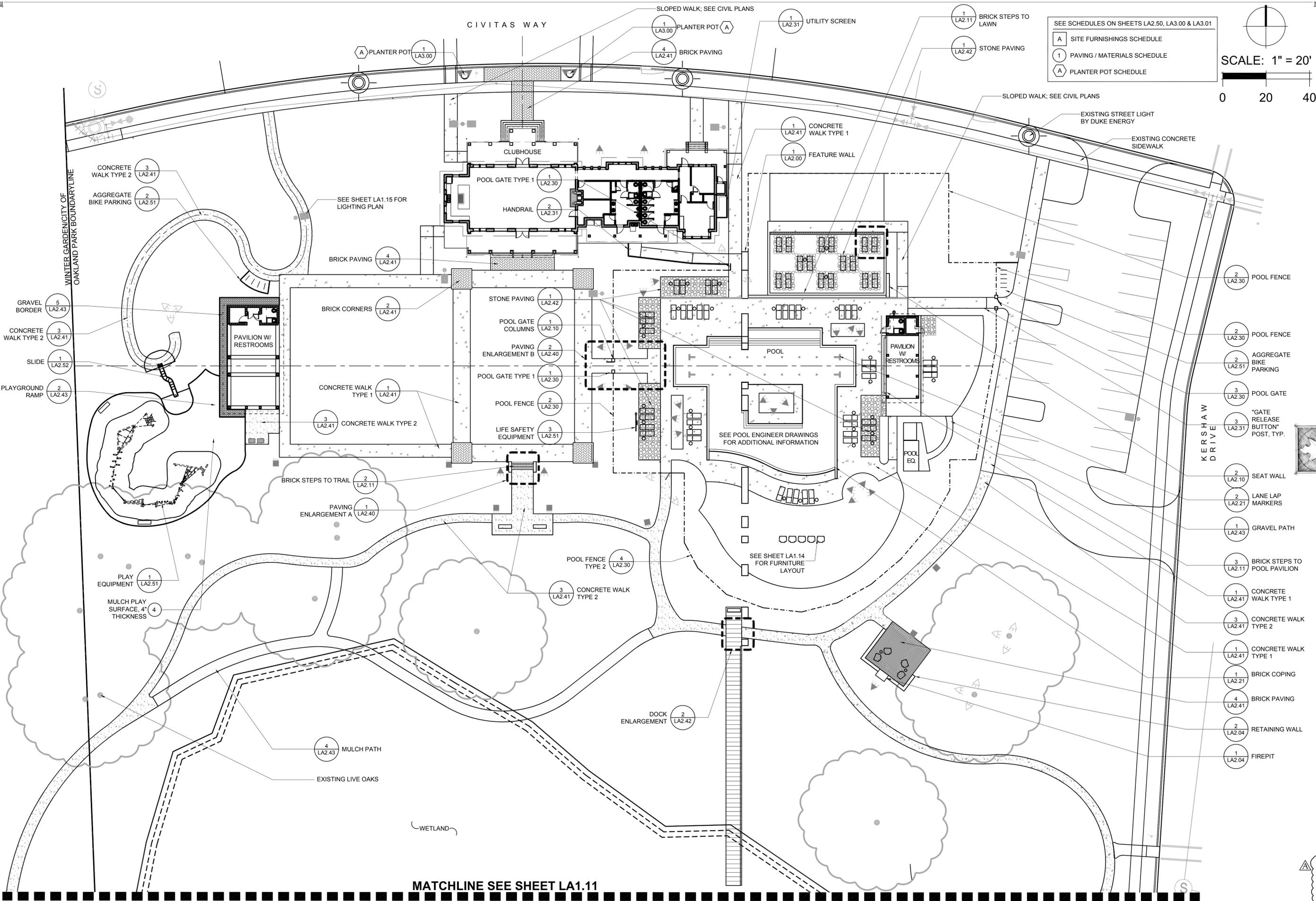
LA1.10

LA1.11

Date: 1/21/2016
 Drawn by: PC
 Reviewed by: DH/GB
 Job Number: 21577
 Revision:
 Date: 4/15/2016



SEE SCHEDULES ON SHEETS LA2.50, LA3.00 & LA3.01
 A SITE FURNISHINGS SCHEDULE
 1 PAVING / MATERIALS SCHEDULE
 A PLANTER POT SCHEDULE



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 Winter Garden, Florida
 Lake Apopka 2012, LLC
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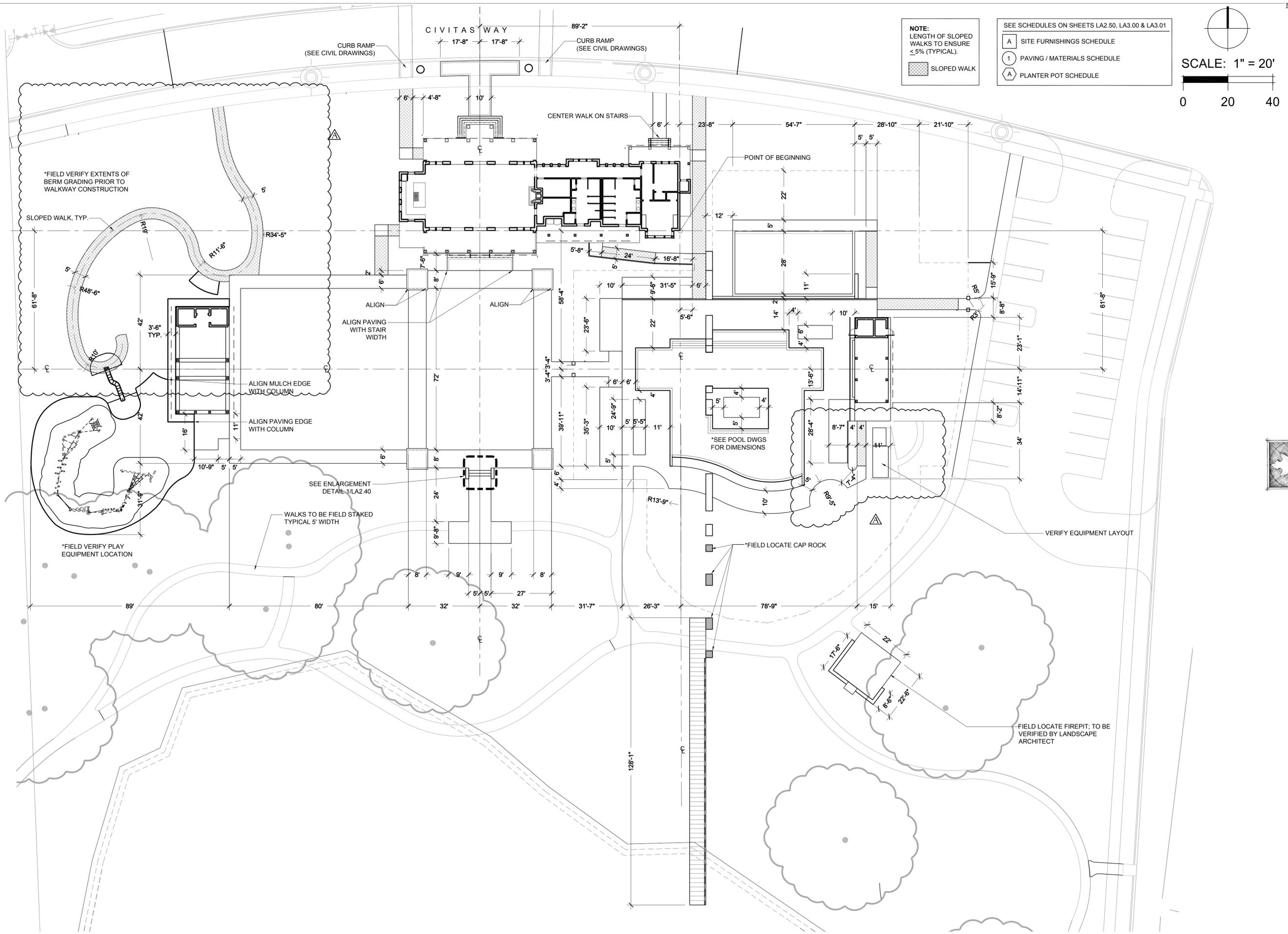
DIXIE PARTNERS
 150 W. JESSUP AVENUE
 LOVELL, CO 80167-1777
 FAX 407.667.1779

HARDSCAPE PLANS
 Hardscape Site Plan A

- 2 LA2.30 POOL FENCE
- 2 LA2.30 POOL FENCE
- 2 LA2.51 AGGREGATE BIKE PARKING
- 3 LA2.30 POOL GATE
- 3 LA2.31 "GATE RELEASE BUTTON" POST, TYP.
- 2 LA2.10 SEAT WALL
- 2 LA2.21 LANE LAP MARKERS
- 1 LA2.43 GRAVEL PATH
- 3 LA2.11 BRICK STEPS TO POOL PAVILION
- 1 LA2.41 CONCRETE WALK TYPE 1
- 3 LA2.41 CONCRETE WALK TYPE 2
- 1 LA2.41 CONCRETE WALK TYPE 1
- 1 LA2.21 BRICK COPING
- 4 LA2.41 BRICK PAVING
- 2 LA2.04 RETAINING WALL
- 1 LA2.04 FIREPIT

MATCHLINE SEE SHEET LA1.11

Sheet Number:
LA1.10



NOTE:
 LENGTH OF SLOPED
 WALKS TO ENSURE
 $\le 5\%$ (TYPICAL).
 SLOPED WALK

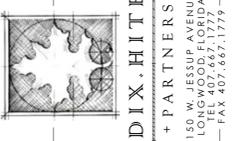
- SEE SCHEDULES ON SHEETS LA2.50, LA3.00 & LA3.01
- A SITE FURNISHINGS SCHEDULE
 - 1 PAVING / MATERIALS SCHEDULE
 - A PLANTER POT SCHEDULE

SCALE: 1" = 20'

0 20 40

Date:	1/21/2016
Drawn by:	PC
Reviewed by:	DH/GB
Job Number:	21577
Revision:	Date:
▲	4/15/2016

OAKLAND PARK PHASE 4
 Winter Garden, Florida
 Lake Apopka 2012, LLC
 PO Box 783575 (34783575)
 15241 E. Oakland Ave., Winter Garden, FL 34787



HARDSCAPE PLANS
 Layout and Dimensioning Plan

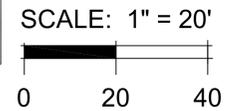
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LA1.12

GRADING AND DRAINAGE NOTES:

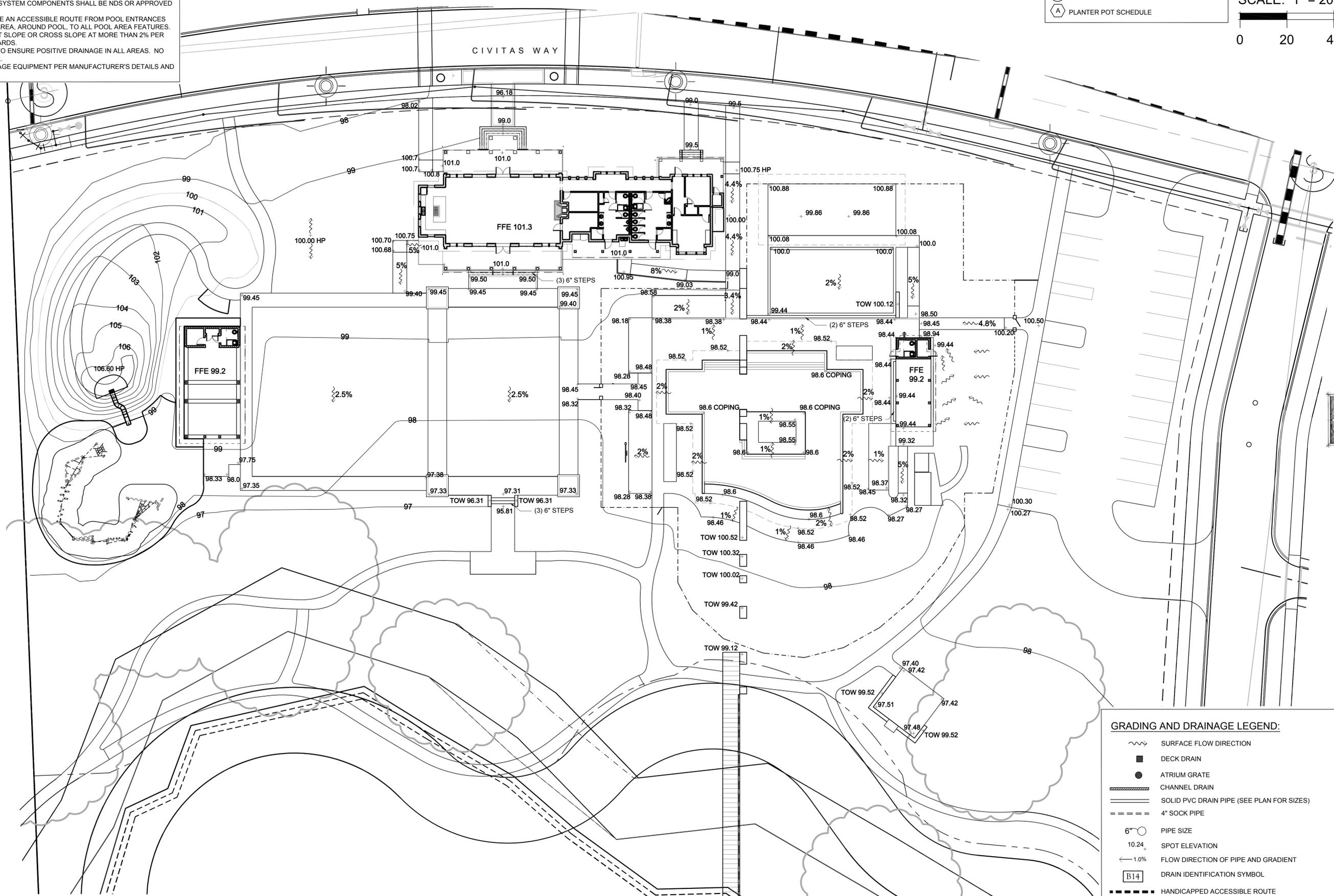
- + POOL AREA SHALL DRAIN INTO STS-5 MANHOLE, SEE CIVIL PLANS
- + POOL DECK MUST SLOPE AWAY FROM POOL AT 2% FOR THE FIRST 4 FT. OF POOL DECK. THE REMAINING POOL DECK SLOPES SHALL BE BETWEEN 0.5% AND 3%.
- + ALL DRAINAGE SYSTEM COMPONENTS SHALL BE NDS OR APPROVED EQUAL.
- + THERE SHALL BE AN ACCESSIBLE ROUTE FROM POOL ENTRANCES THROUGH POOL AREA, AROUND POOL, TO ALL POOL AREA FEATURES. ROUTE SHALL NOT SLOPE OR CROSS SLOPE AT MORE THAN 2% PER CURRENT STANDARDS.
- + CONTRACTOR TO ENSURE POSITIVE DRAINAGE IN ALL AREAS. NO STANDING WATER.
- + INSTALL DRAINAGE EQUIPMENT PER MANUFACTURER'S DETAILS AND STANDARDS.

SEE SCHEDULES ON SHEETS LA2.50, LA3.00 & LA3.01

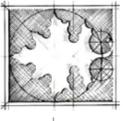
- A SITE FURNISHINGS SCHEDULE
- 1 PAVING / MATERIALS SCHEDULE
- A PLANTER POT SCHEDULE



Date:	1/21/2016
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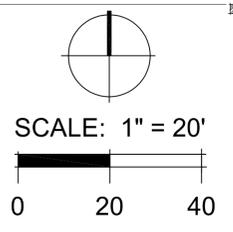
HARDSCAPE PLANS
 Grading Plan

GRADING AND DRAINAGE LEGEND:

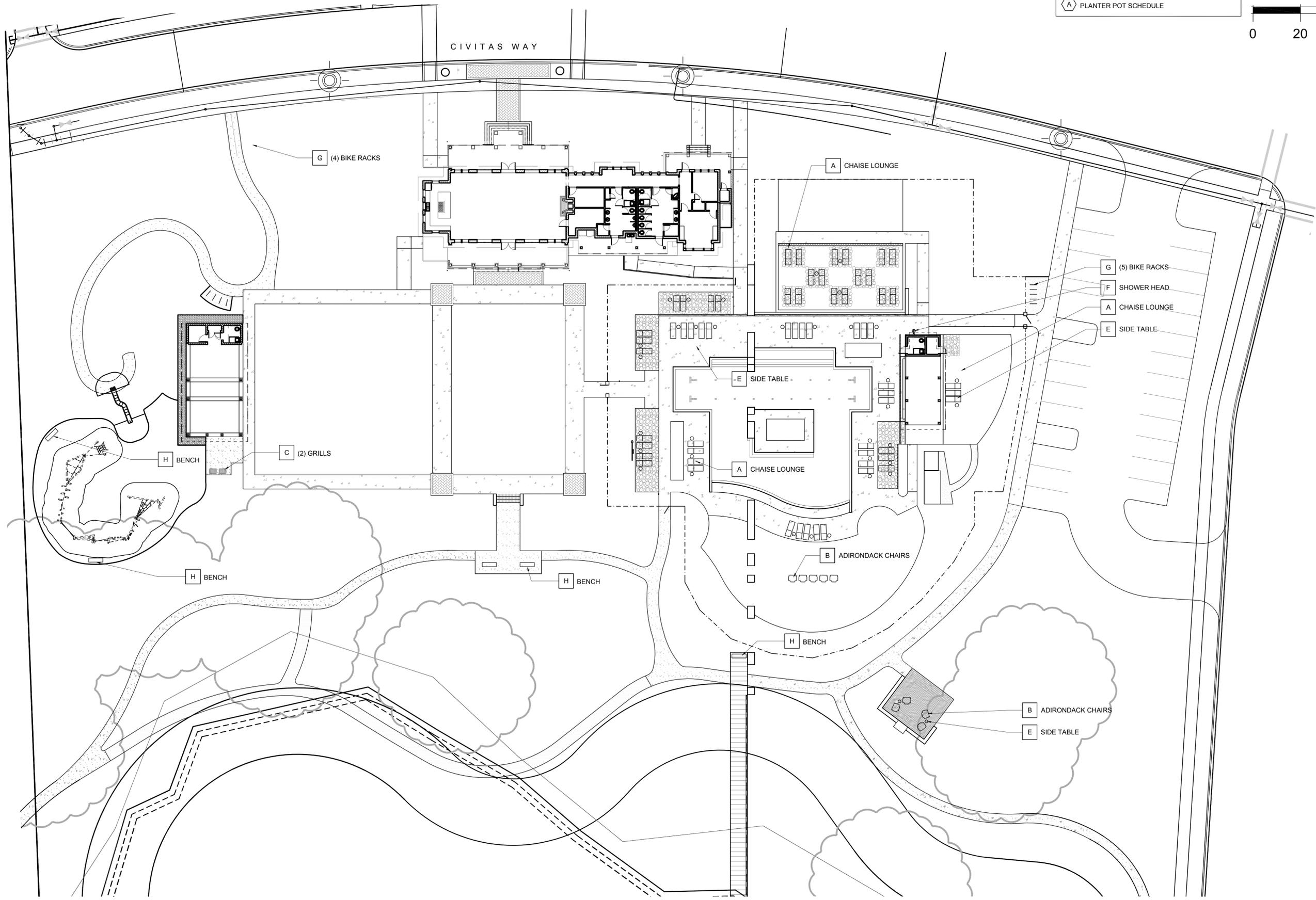
	SURFACE FLOW DIRECTION
	DECK DRAIN
	ATRIUM GRATE
	CHANNEL DRAIN
	SOLID PVC DRAIN PIPE (SEE PLAN FOR SIZES)
	4" SOCK PIPE
	PIPE SIZE
	SPOT ELEVATION
	FLOW DIRECTION OF PIPE AND GRADIENT
	DRAIN IDENTIFICATION SYMBOL
	HANDICAPPED ACCESSIBLE ROUTE

Sheet Number:
LA1.13

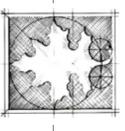
- SEE SCHEDULES ON SHEETS LA2.50, LA3.00 & LA3.01
- A SITE FURNISHINGS SCHEDULE
 - 1 PAVING / MATERIALS SCHEDULE
 - A PLANTER POT SCHEDULE



Date:	1/21/2016
Drawn by:	PC
Reviewed by:	DH/GB
Job Number:	21577
Revision:	Date:
▲	4/15/2016



OAKLAND PARK PHASE 4
 Winter Garden, Florida
 Lake Apopka 2012, LLC
 PO Box 783575 (34778-3575)
 15241 E. Oakland Ave., Winter Garden, FL 34787



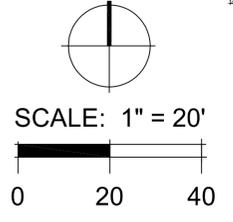
DIX.HITE
 + PARTNERS
 150 W. JESSUP AVENUE
 LOVELL, CO 80120
 TEL: 407.667.1777
 FAX: 407.667.1779

HARDSCAPE PLANS
 Furniture Layout Plan

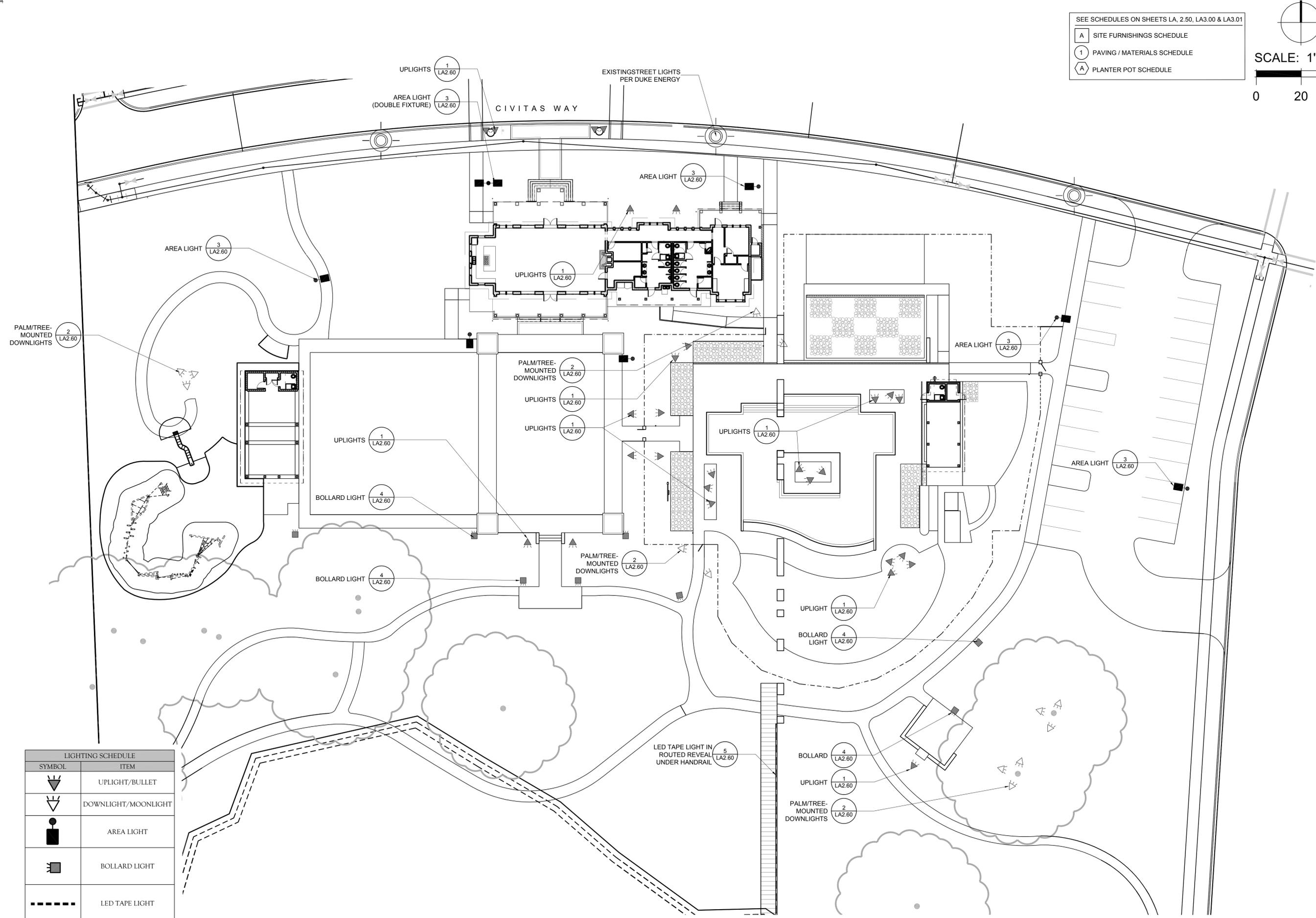
Sheet Number:
LA1.15

SEE SCHEDULES ON SHEETS LA, 2.50, LA3.00 & LA3.01

A	SITE FURNISHINGS SCHEDULE
1	PAVING / MATERIALS SCHEDULE
A	PLANTER POT SCHEDULE



Date:	1/21/2016
Drawn by:	PC
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LIGHTING SCHEDULE	
SYMBOL	ITEM
	UPLIGHT/BULLET
	DOWNLIGHT/MOONLIGHT
	AREA LIGHT
	BOLLARD LIGHT
	LED TAPE LIGHT

SEE SHEET LA2.60 FOR PRODUCT INFORMATION.

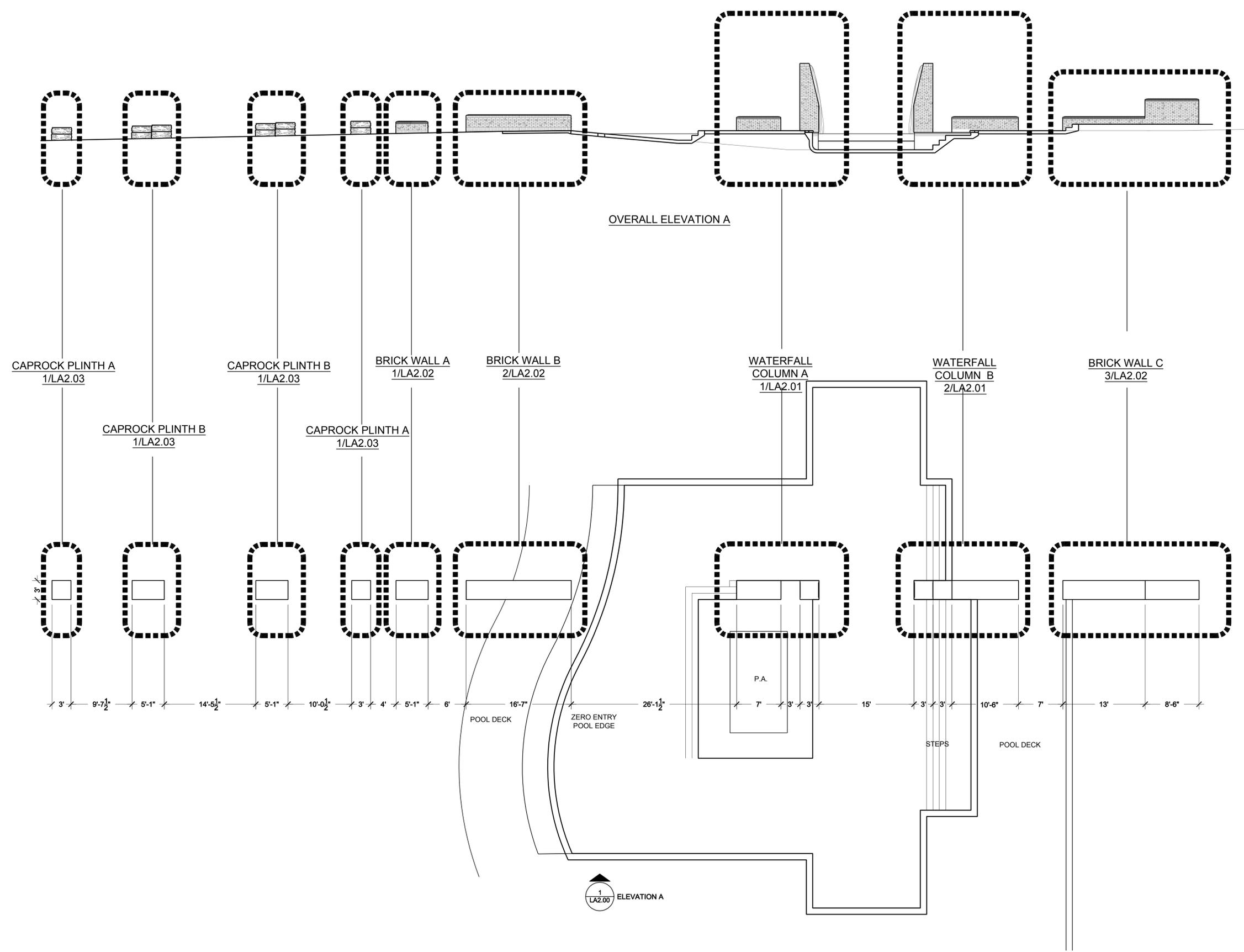
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 PO Box 783575 (34778-3575)
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HARDSCAPE PLANS
 Lighting Plan

Sheet Number:
LA1.16

Date:	01/21/16
Drawn by:	PC
Reviewed by:	DH/GB
Job Number:	21577
Revision:	Date:



↑
LA2.00
ELEVATION A

PLAN

SEE SCHEDULES ON SHEETS LA2.50, LA3.00 & LA3.01

A	SITE FURNISHINGS SCHEDULE
1	PAVING / MATERIALS SCHEDULE
A	PLANTER POT SCHEDULE

01 POOL FEATURE WALL
LA2.00 SCALE: 1/8"=1'-0"

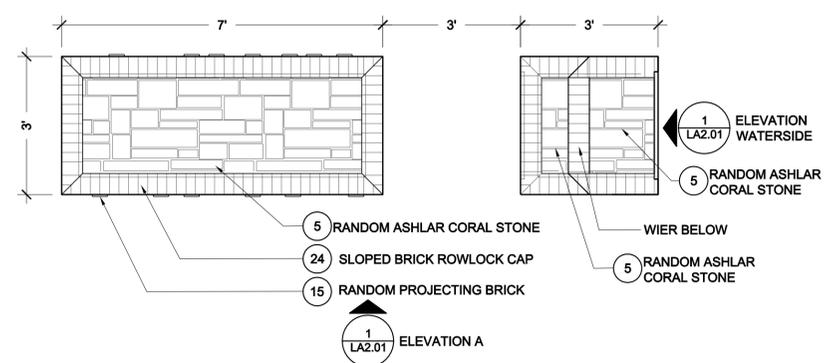
OAKLAND PARK PHASE 4
Winter Garden, Florida
Lake Apopka 2012, LLC
PO Box 783575 (34783575)
15241 E. Oakland Ave., Winter Garden, FL 34787

DIX .HITE
+ PARTNERS
150 W. JESSUP AVENUE
LOUISVILLE, KY 40202
TEL: 402.667.1779
FAX: 402.667.1779

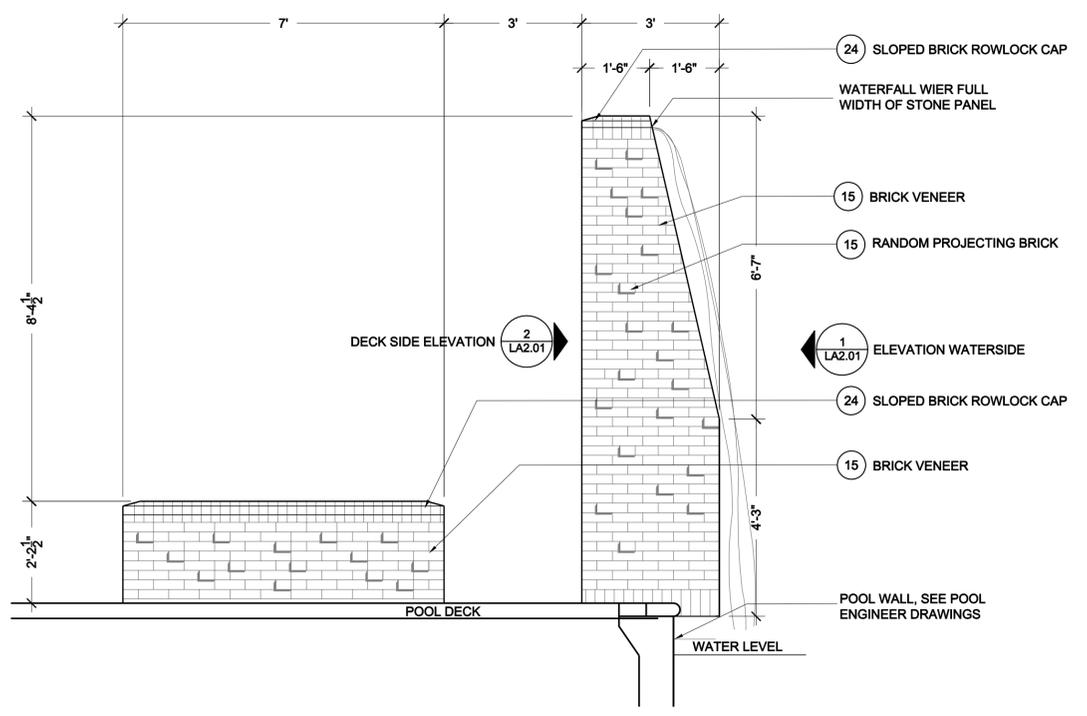
HARDSCAPE PLANS
Feature Wall Details

Sheet Number:
LA2.00

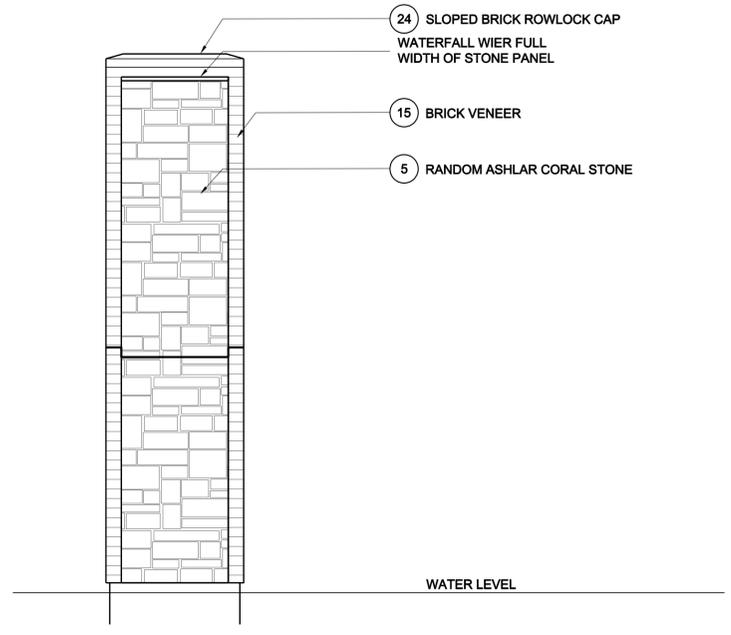
Date:	01/21/16
Drawn by:	PC
Reviewed by:	DH/GB
Job Number:	21577
Revision:	Date:



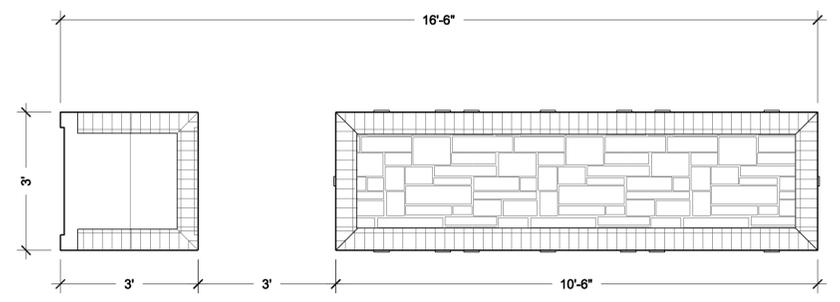
1 WATERFALL COLUMN A PLAN VIEW
LA2.01 SCALE: 1/2"=1'-0"



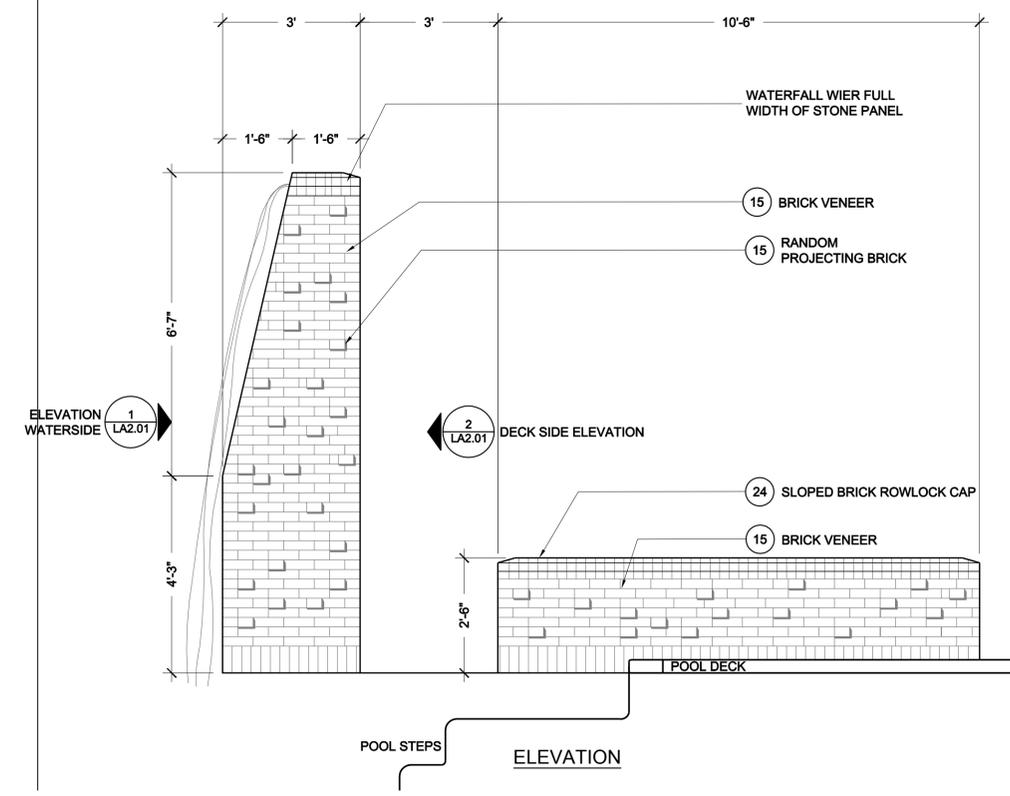
ELEVATION A



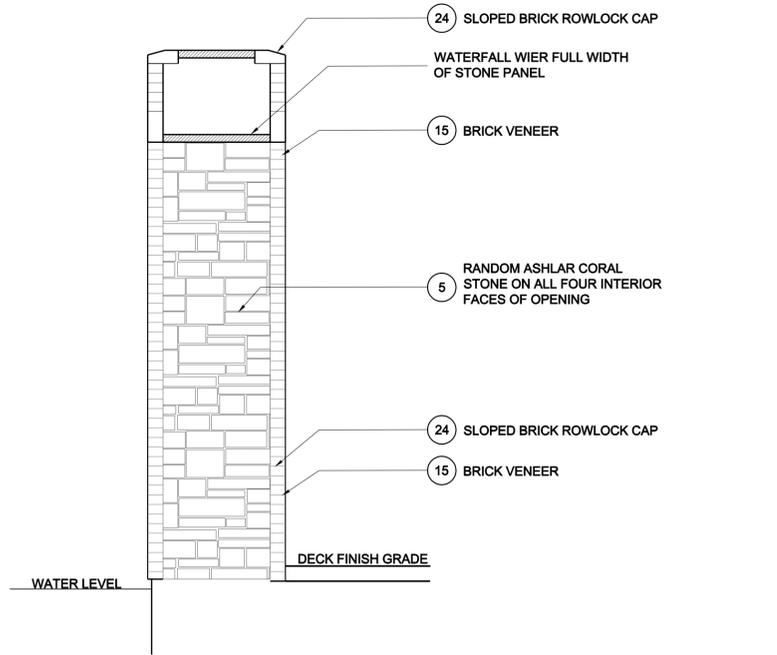
ELEVATION WATERSIDE



2 WATERFALL COLUMN B
LA2.01 SCALE: 1/2"=1'-0"



ELEVATION



DECK SIDE ELEVATION

SEE SCHEDULES ON SHEETS LA2.50, LA3.00 & LA3.01

A	SITE FURNISHINGS SCHEDULE
1	PAVING / MATERIALS SCHEDULE
A	PLANTER POT SCHEDULE

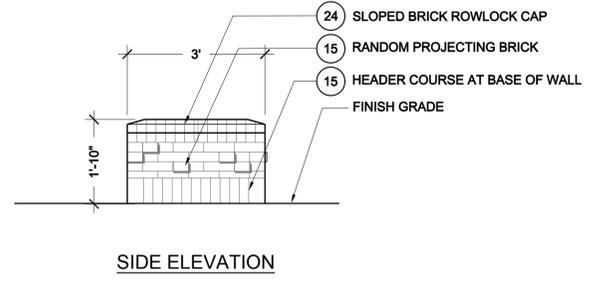
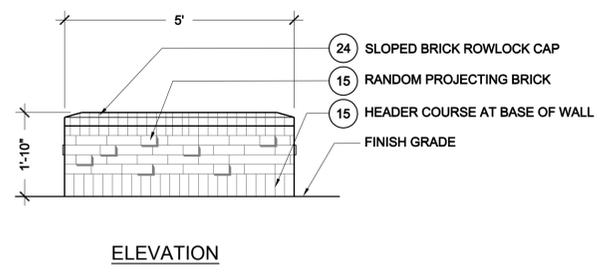
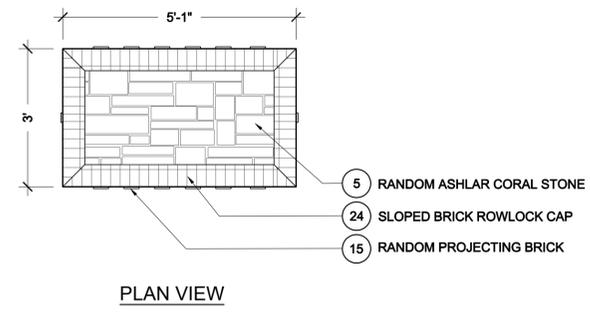
OAKLAND PARK PHASE 4
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Lake Apopka 2012, LLC
PO Box 783575 (34783575)
15241 E. Oakland Ave., Winter Garden, FL 34787

DIX . HITE
+ PARTNERS
150 W. JESSUP AVENUE
LOTE 407.667.1779A
FLA 407.667.1779
FAX 407.667.1779

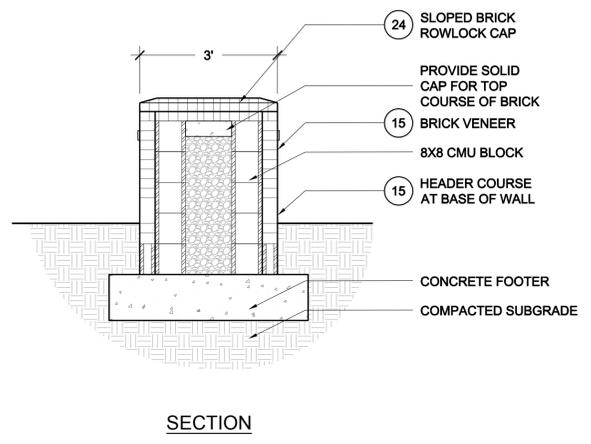
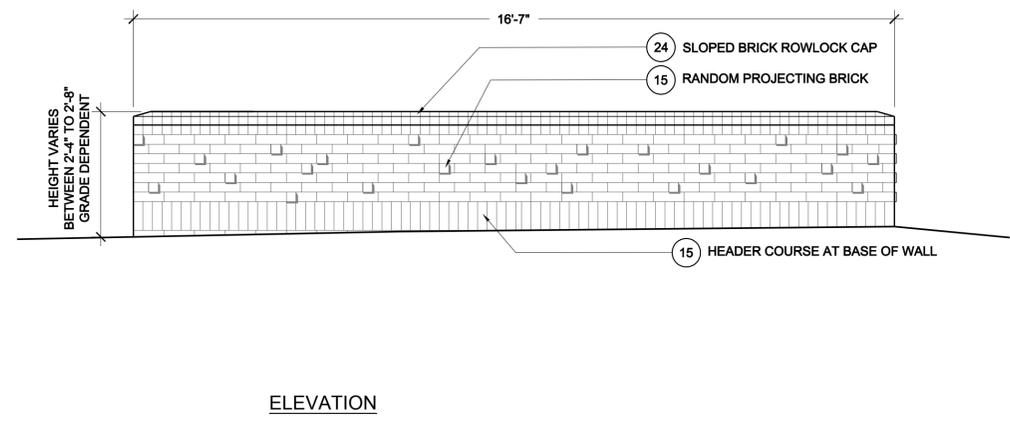
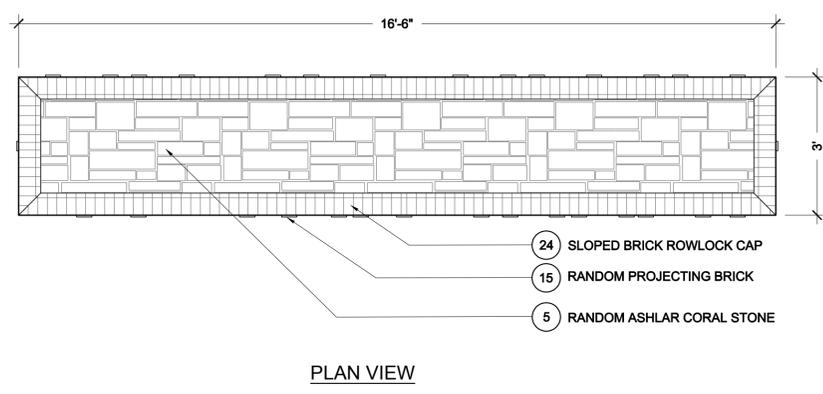
HARDSCAPE PLANS
Feature Wall Details

Sheet Number:
LA2.01

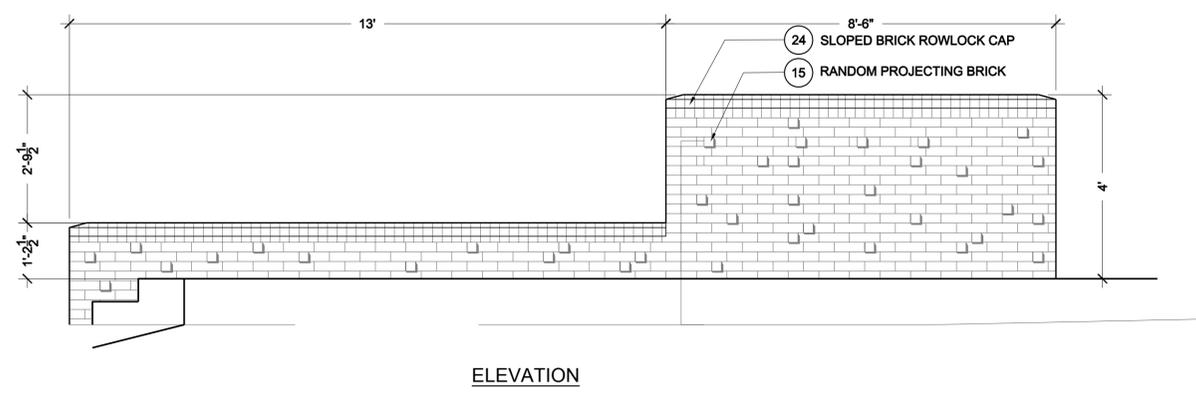
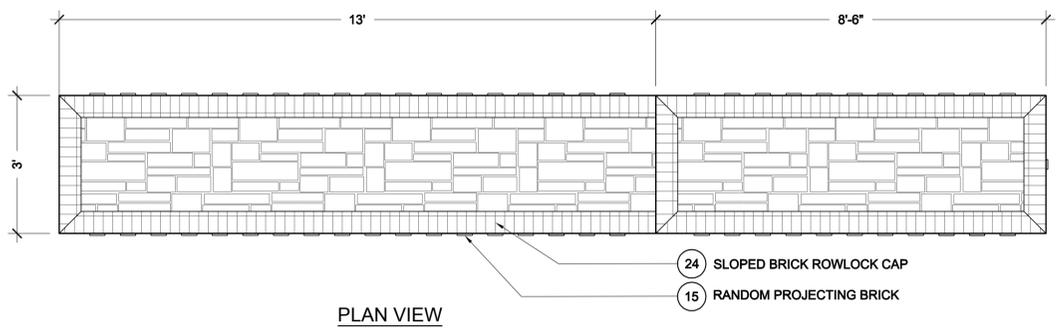
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Reviewed by:	DH/GB
Job Number:	21577
Revision:	Date:



1 BRICK WALL A
LA2.02 SCALE: 1/2"=1'-0"



2 BRICK WALL B
LA2.02 SCALE: 1/2"=1'-0"



3 BRICK WALL C
LA2.02 SCALE: 1/2"=1'-0"

SEE SCHEDULES ON SHEETS LA2.50, LA3.00 & LA3.01	
A	SITE FURNISHINGS SCHEDULE
1	PAVING / MATERIALS SCHEDULE
A	PLANTER POT SCHEDULE

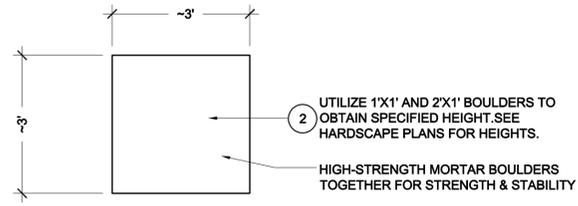
OAKLAND PARK PHASE 4
Winter Garden, Florida
Lake Apopka 2012, LLC
PO Box 783575 (34783575)
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DIX . HITE
+ PARTNERS
150 W. JESSUP AVENUE
LOUISVILLE, KY 40202
TEL 402.667.1779
FAX 402.667.1779

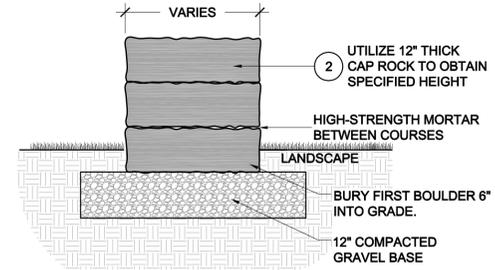
HARDSCAPE PLANS
Feature Wall Details

Sheet Number:
LA2.02

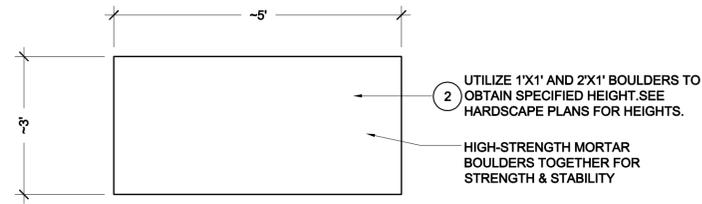
Date:	01/21/16
Drawn by:	PC
Reviewed by:	DH/GB
Job Number:	21577
Revision:	Date:



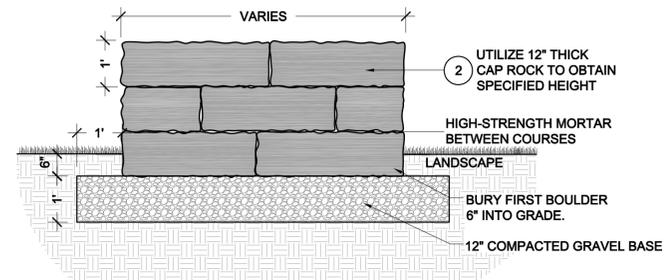
PLINTH TYPE A) PLAN VIEW



TYPE A) SECTION



PLINTH TYPE B) PLAN VIEW



TYPE B) SECTION

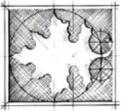


CAP ROCK RETAINING WALL

NOTES:
 + CAP ROCK SHALL BE CALLIDA STONE FROM CAP ROCK INDUSTRIES OF CENTRAL FLA., INC., WWW.CAPSTONEINDUSTRIES.NET, 863.697.9661.
 + SEE HARDSCAPE PLANS FOR GRADES.
 + DIMENSIONS PROVIDED ARE ROUGH OVERALL.
 + GENERAL CONTRACTOR TO PROVIDE SAMPLES TO L.A. FOR REVIEW & APPROVAL.
 + L.A. TO APPROVE WALL MOCK UP PRIOR TO INSTALLATION.
 + PLACEMENT AND ALIGNMENT OF BOULDERS TO BE REVIEWED BY L.A. PRIOR TO INSTALLATION

1 CAP ROCK PLINTHS
 LA2.03 SCALE: 1/2"=1'-0"

SEE SCHEDULES ON SHEETS LA2.50, LA3.00 & LA3.01	
A	SITE FURNISHINGS SCHEDULE
1	PAVING / MATERIALS SCHEDULE
A	PLANTER POT SCHEDULE



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DIXIE HITE
 PARTNERS
 150 W. JESSUP AVENUE
 LITTLE ROCK, AR 72202
 TEL: 407.667.1779
 FAX: 407.667.1779

HARDSCAPE PLANS
 Feature Wall Details

Sheet Number:
LA2.03

SEE SCHEDULES ON SHEETS LA2.50, LA3.00 & LA3.01

A	SITE FURNISHINGS SCHEDULE
1	PAVING / MATERIALS SCHEDULE
A	PLANTER POT SCHEDULE

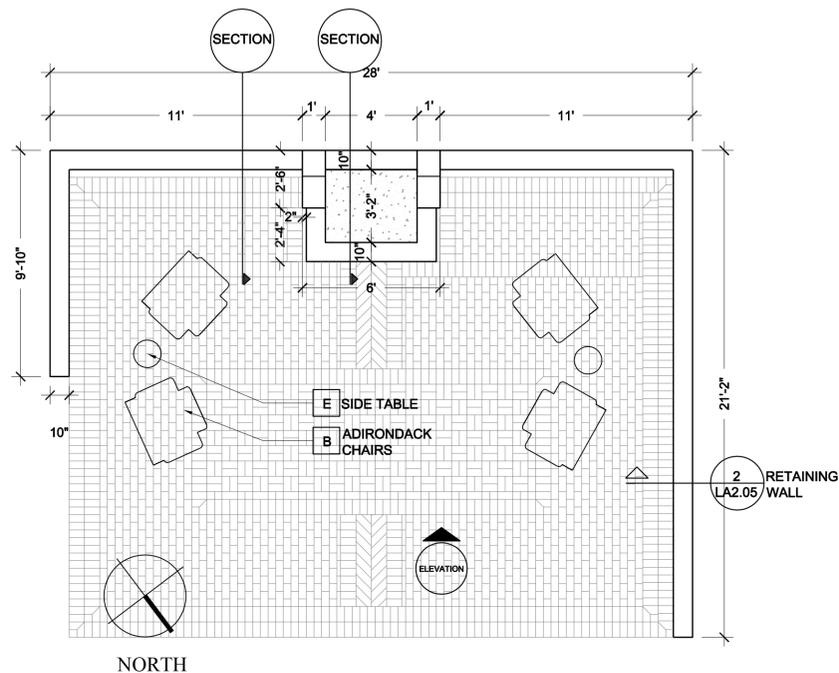
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Revision:	Date:
▲	4/15/2016

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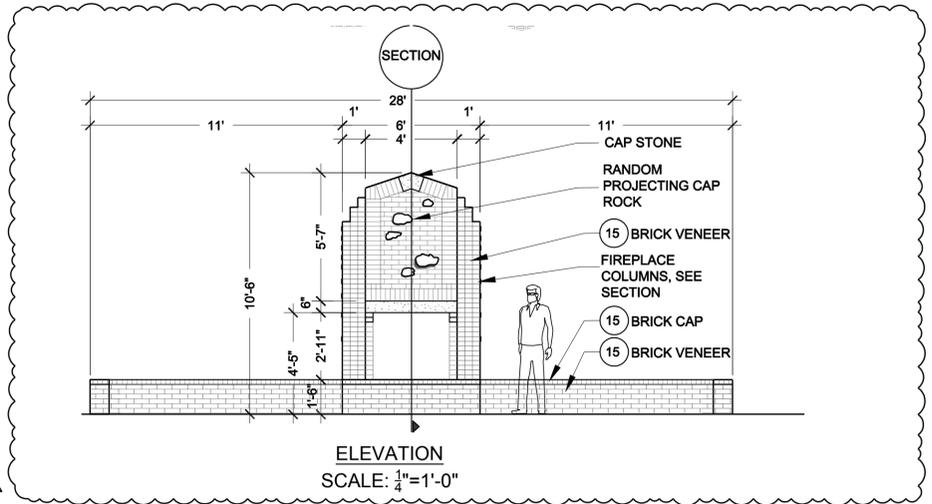
DIX . HITE
+ PARTNERS
150 W. JESSUP AVENUE
LOT 6 407.667.1779
FAX 407.667.1779

HARDSCAPE PLANS
Fireplace and Retaining Wall Detail

Sheet Number:
LA2.04

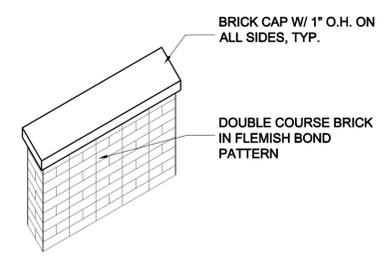


PLAN
SCALE: 1/4"=1'-0"

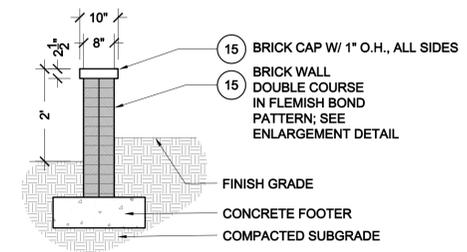


ELEVATION
SCALE: 1/4"=1'-0"

1 FIREPIT
LA2.04 SCALE: 1/4"=1'-0"

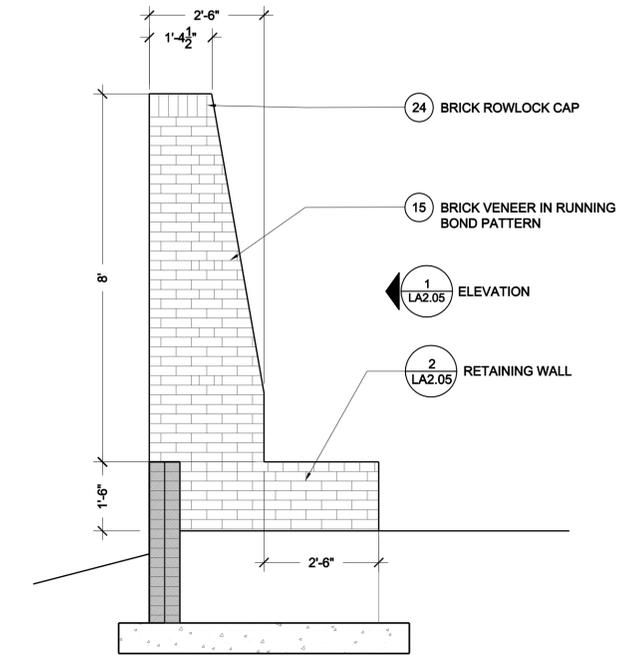


ISOMETRIC ENLARGEMENT

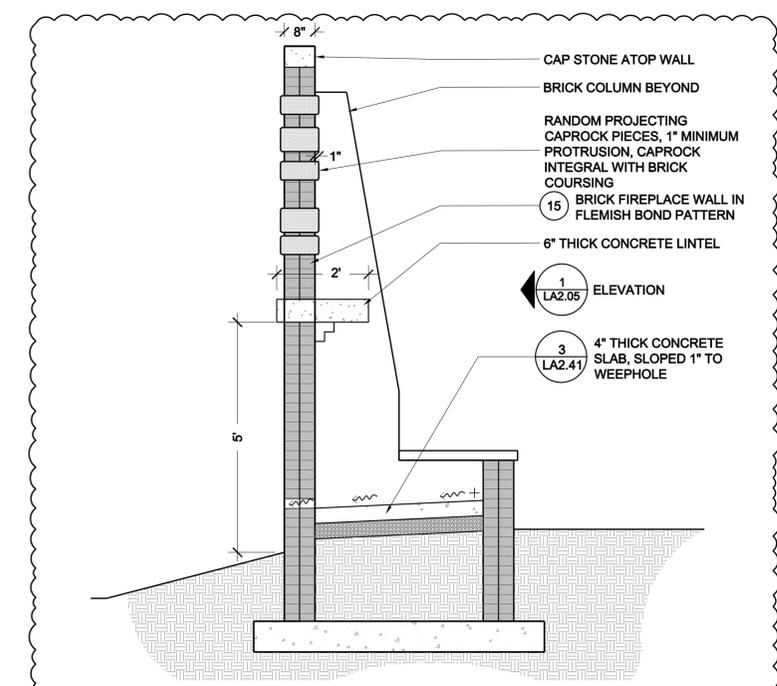


SECTION

2 RETAINING WALL
LA2.05 SCALE: 1/2"=1'-0"



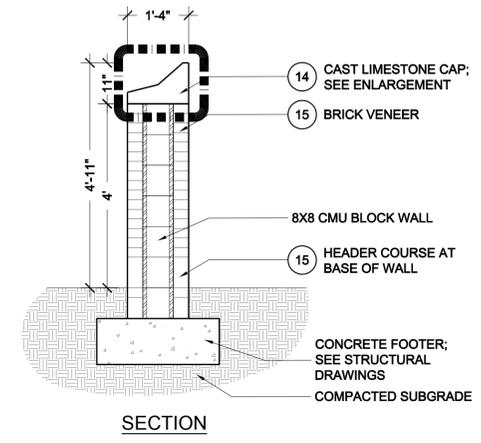
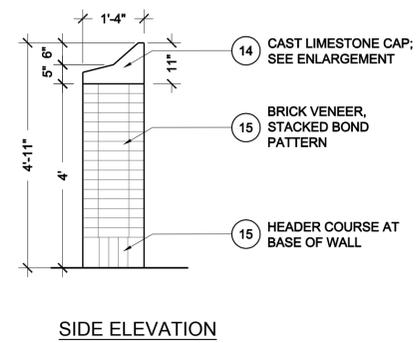
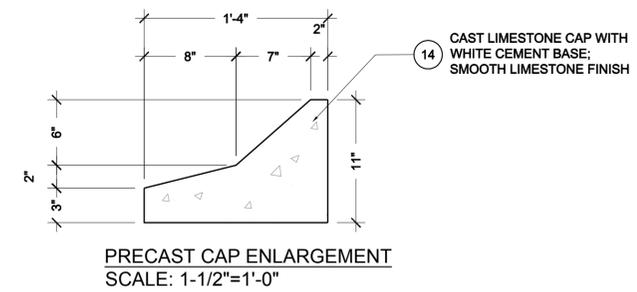
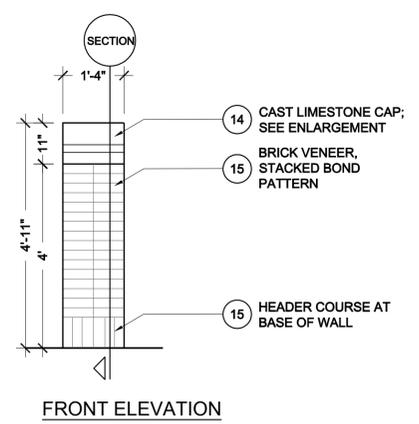
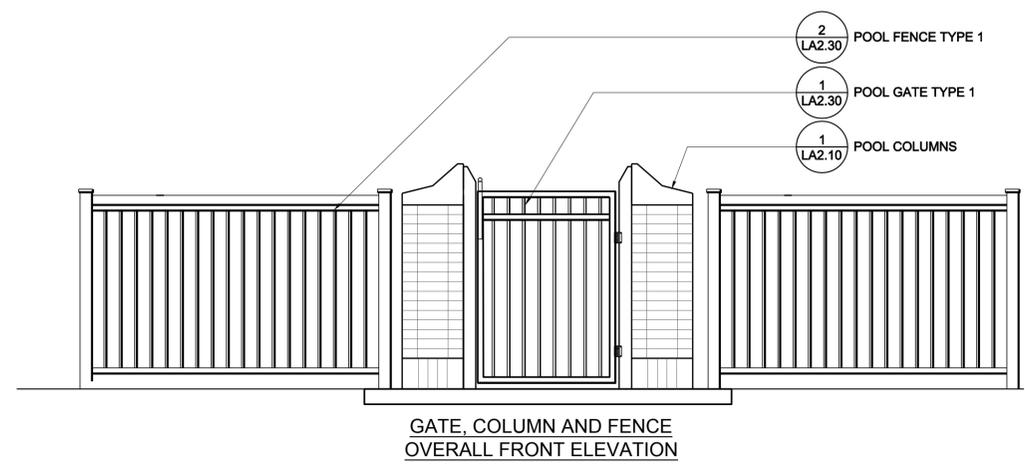
3 FIREPIT COLUMN ELEVATION/WALL SECTION
LA2.04 SCALE: 1/2"=1'-0"



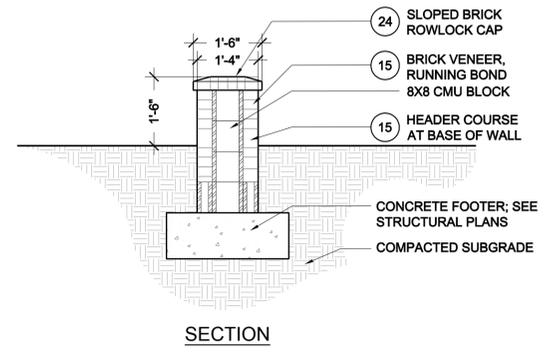
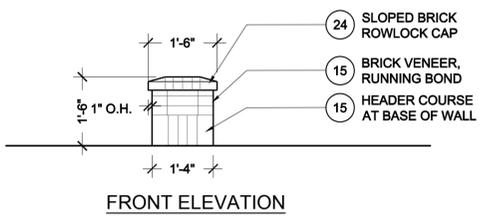
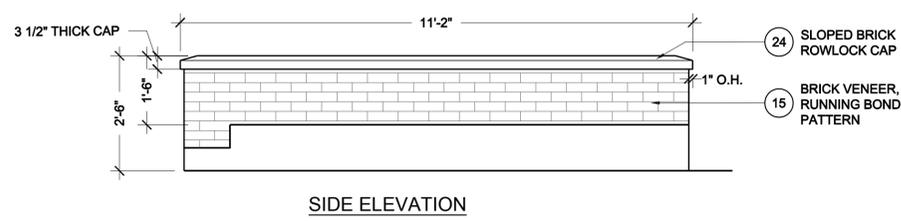
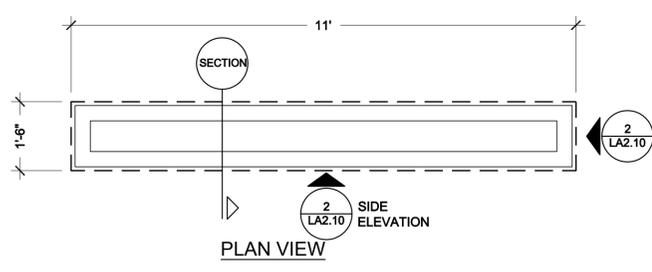
4 FIREPIT SECTION
LA2.04 SCALE: 1/2"=1'-0"

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Revision:	Date:

BRICK AND PRECAST CONCRETE NOTES:
 + ALL BRICK TO MATCH COLOR AND SIZE OF BRICK ON AMENITY BUILDING
 + MORTAR COLOR TO MATCH AMENITY BUILDING
 + ALL MORTAR JOINTS TO BE RAKED WITH A CLEAN, SMOOTH APPEARANCE
 + ALL PRECAST TO BE CLEAN AND SMOOTH WITH NO PITS OR IRREGULARITIES. ALL CORNERS AND EDGES TO BE CRISP/ SHARP.
 + PROVIDE COLOR SAMPLES OF BRICKS / PRECAST FOR APPROVAL BY OWNER/ LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.



1 POOL GATE COLUMNS
 LA2.10 SCALE: 1/2"=1'-0"



2 SEAT WALL
 LA2.10 SCALE: 1/2"=1'-0"

SEE SCHEDULES ON SHEETS LA2.50, LA3.00 & LA3.01

A	SITE FURNISHINGS SCHEDULE
1	PAVING / MATERIALS SCHEDULE
A	PLANTER POT SCHEDULE

OAKLAND PARK PHASE 4
 Winter Garden, Florida
 Lake Apopka 2012, LLC
 PO Box 783575 (34783575)
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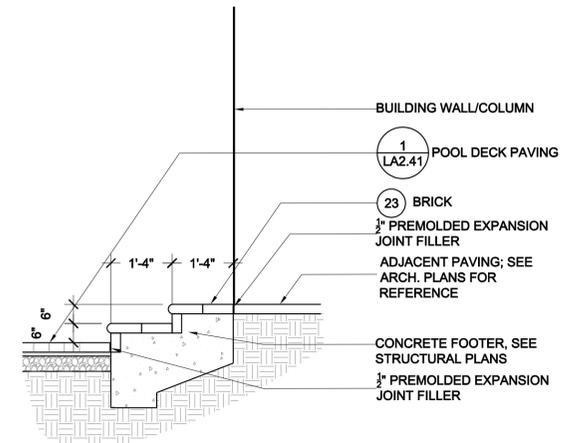
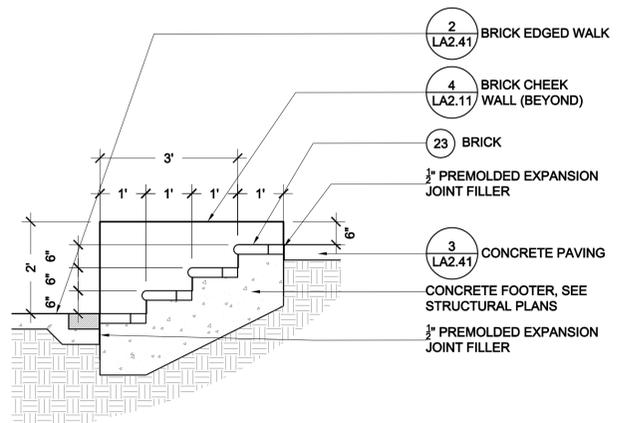
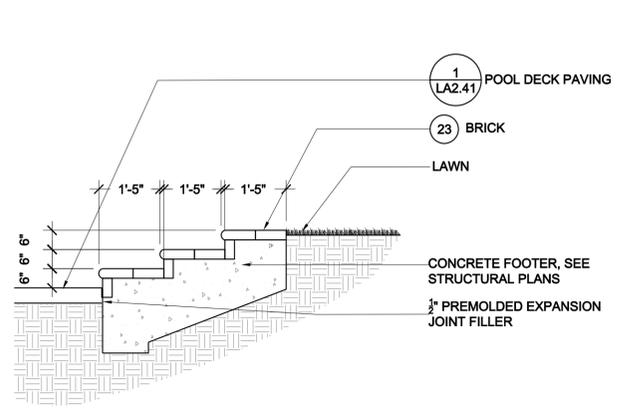
DIX . HITE
 + PARTNERS
 150 W. JESSUP AVENUE
 LOFT 407.667.1779
 FAX 407.667.1779

HARDSCAPE PLANS
 Masonry Details

Sheet Number:
LA2.10

BRICK AND PRECAST CONCRETE NOTES:
 + ALL BRICK TO MATCH COLOR AND SIZE OF BRICK ON AMENITY BUILDING
 + MORTAR COLOR TO MATCH AMENITY BUILDING
 + ALL MORTAR JOINTS TO BE RAKED WITH A CLEAN, SMOOTH APPEARANCE
 + ALL PRECAST TO BE CLEAN AND SMOOTH WITH NO PITS OR IRREGULARITIES. ALL CORNERS AND EDGES TO BE CRISP/ SHARP.
 + PROVIDE COLOR SAMPLES OF BRICKS / PRECAST FOR APPROVAL BY OWNER/ LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

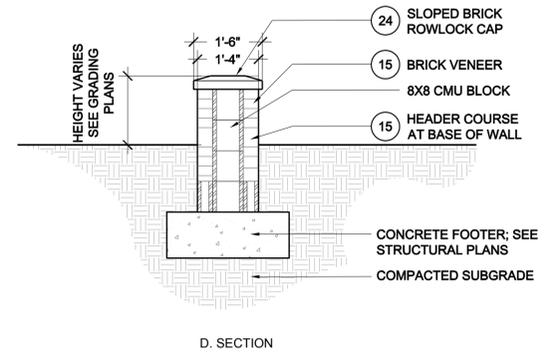
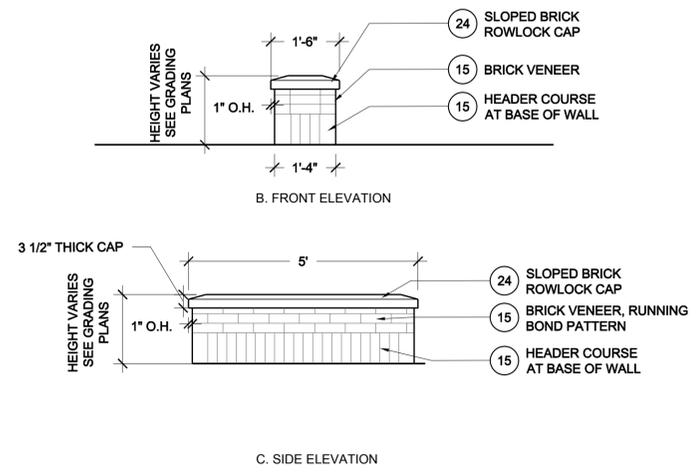
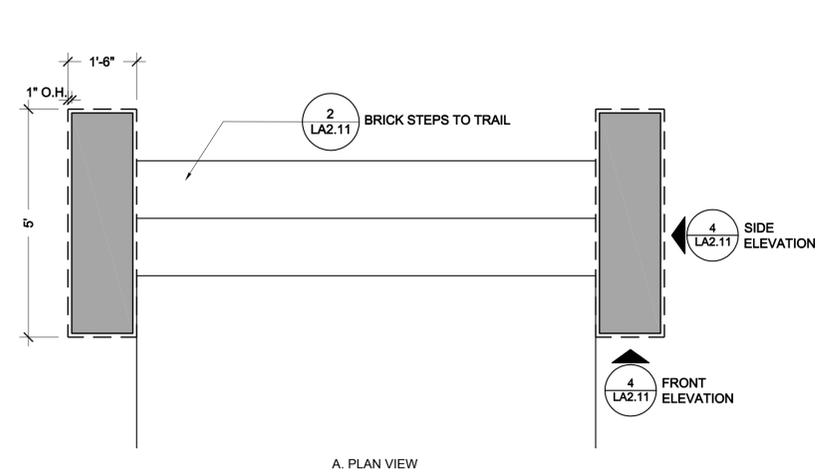
Date:	01/21/16
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Job Number:	21577
Revision:	Date:



1 BRICK STEPS TO LAWN
 LA2.11 SCALE: 1/2"=1'-0"

2 BRICK STEPS TO TRAIL
 LA2.11 SCALE: 1/2"=1'-0"

3 BRICK STEPS TO POOL PAVILION
 LA2.11 SCALE: 1/2"=1'-0"



4 CHEEK WALL
 LA2.11 SCALE: 1/2"=1'-0"

SEE SCHEDULES ON SHEETS LA2.50, LA3.00 & LA3.01

A	SITE FURNISHINGS SCHEDULE
1	PAVING / MATERIALS SCHEDULE
A	PLANTER POT SCHEDULE

OAKLAND PARK PHASE 4
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Lake Apopka 2012, LLC
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DIX . HITE
 + PARTNERS
 150 W. JESSUP AVENUE
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 FAX 407.667.1779

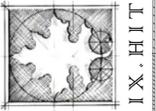
HARDSCAPE PLANS

Masonry Details

Sheet Number:
LA2.11

Date:	01/21/16
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 + PARTNERS
 150 W. JESSUP AVENUE
 LAKE APOPKA, FL 34787
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 FAX 407.667.1779

HARDSCAPE PLANS

UNUSED

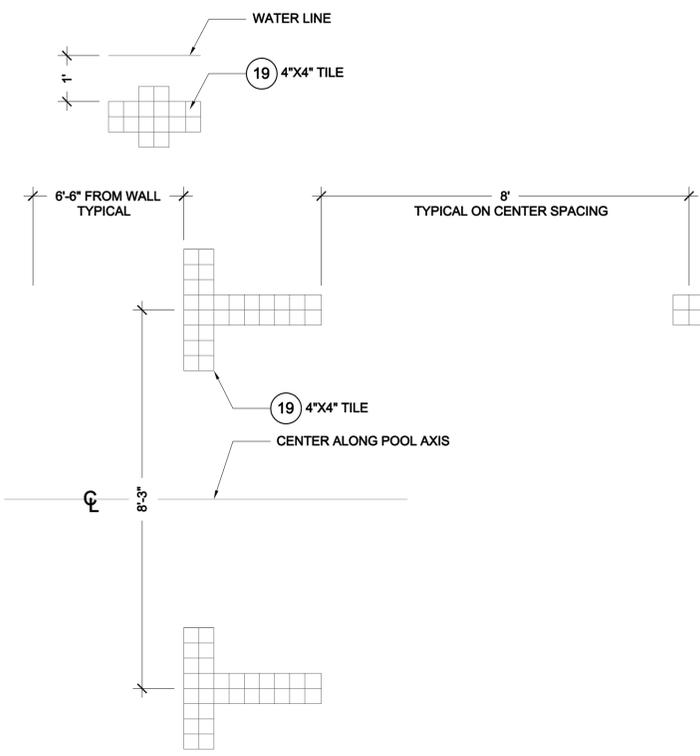
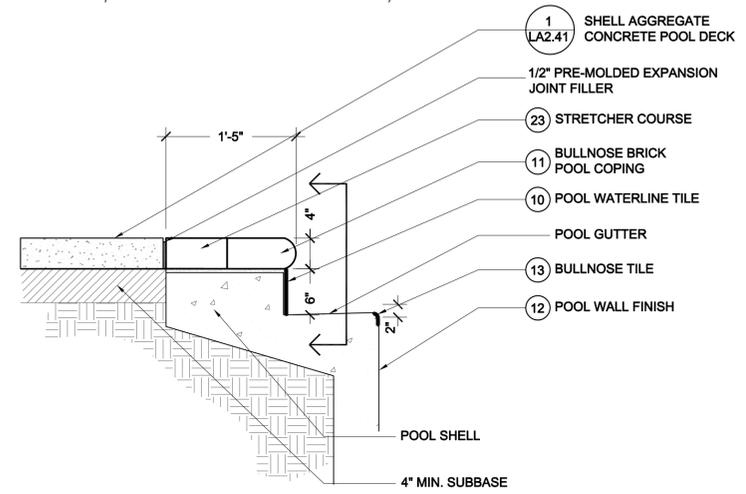
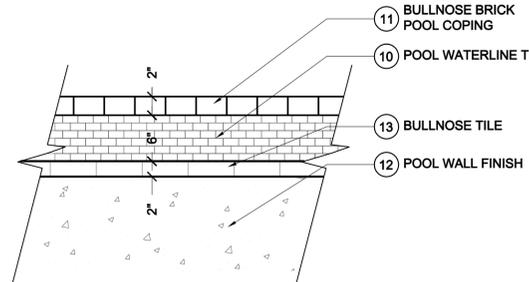
DETAIL REMOVED

- SEE SCHEDULES ON SHEETS LA2.50, LA3.00 & LA3.01
- A SITE FURNISHINGS SCHEDULE
 - 1 PAVING / MATERIALS SCHEDULE
 - A PLANTER POT SCHEDULE

Sheet Number:
LA2.20

NOTE:
SEE POOL ENGINEER PLANS FOR
DIMENSIONS AND DETAILING

Date:	01/21/16
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Revision:	Date:



1 BRICK COPING
LA2.21 SCALE: 1"=1'-0"

2 POOL LANE LAP MARKERS
LA2.21 SCALE: 1"=1'-0"

SEE SCHEDULES ON SHEETS LA2.50, LA3.00 & LA3.01

A	SITE FURNISHINGS SCHEDULE
1	PAVING / MATERIALS SCHEDULE
A	PLANTER POT SCHEDULE



HARDSCAPE PLANS

Pool Details

OAKLAND PARK PHASE 4
Winter Garden, Florida

Lake Apopka 2012, LLC

PO Box 783575 (34783575)
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DIXIE WHITE
+ PARTNERS

150 W. JESSUP AVENUE
LOVELAND, CO 80539
TEL: 407.667.1779
FAX: 407.667.1779

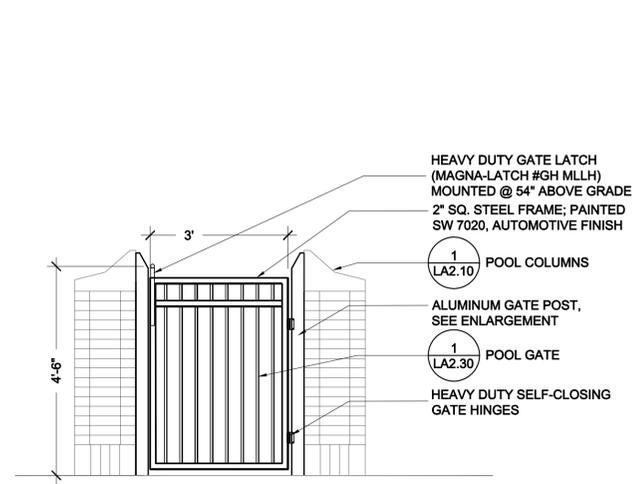
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LA2.21

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Drawn by:	PC
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Job Number:	21577
Revision:	Date:

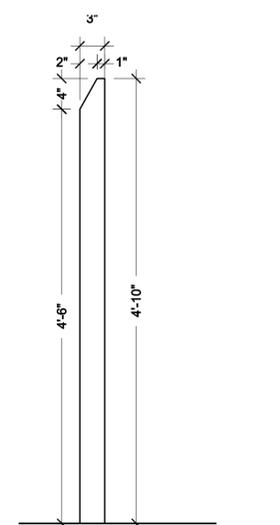
FENCE AND GATE NOTES:
+ CONTRACTOR TO PROVIDE SHOP DRAWINGS OF FENCE AND GATE SYSTEM AND ALL HARDWARE FOR REVIEW AND APPROVAL BY L.A. PRIOR TO CONSTRUCTION

+ ALL CONNECTIONS TO BE WELDED AND GROUND SMOOTH (NO MECHANICALLY FASTENED PICKETS OR FRAMING) AND PAINTED BLACK FOX, SHERWIN WILLIAMS 7020

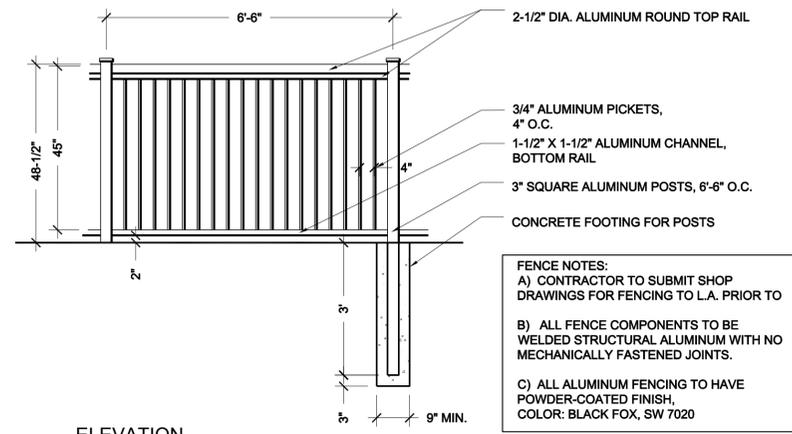
+ ALL ATTACHMENT HARDWARE TO BE GALVANIZED STAINLESS STEEL



1 POOL GATE TYPE 1
LA2.30 SCALE: 1/2"=1'-0"



GATE POST ENLARGEMENT

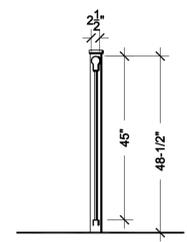


FENCE NOTES:
A) CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR FENCING TO L.A. PRIOR TO CONSTRUCTION

B) ALL FENCE COMPONENTS TO BE WELDED STRUCTURAL ALUMINUM WITH NO MECHANICALLY FASTENED JOINTS.

C) ALL ALUMINUM FENCING TO HAVE POWDER-COATED FINISH, COLOR: BLACK FOX, SW 7020

2 POOL FENCE
LA2.30 SCALE: 1/2"=1'-0"



SECTION

SEE SCHEDULES ON SHEETS LA2.50, LA3.00 & LA3.01

A	SITE FURNISHINGS SCHEDULE
1	PAVING / MATERIALS SCHEDULE
A	PLANTER POT SCHEDULE



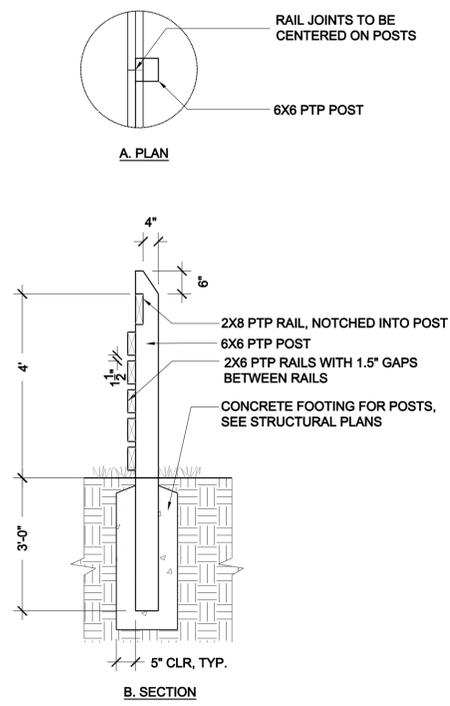
HARDSCAPE PLANS

Metalwork Details

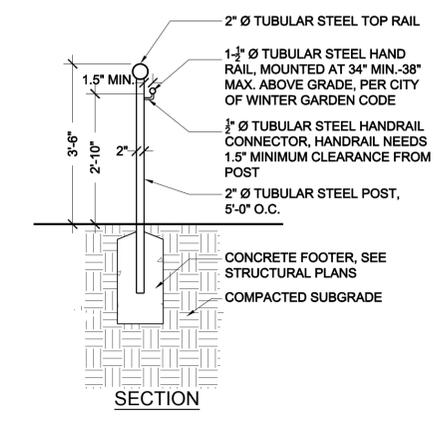
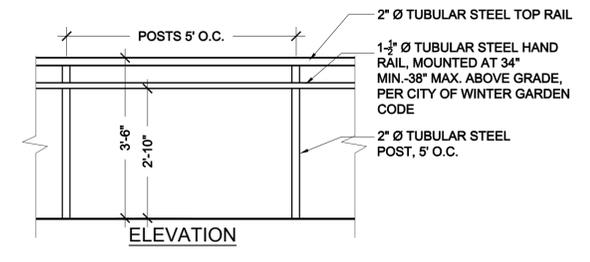
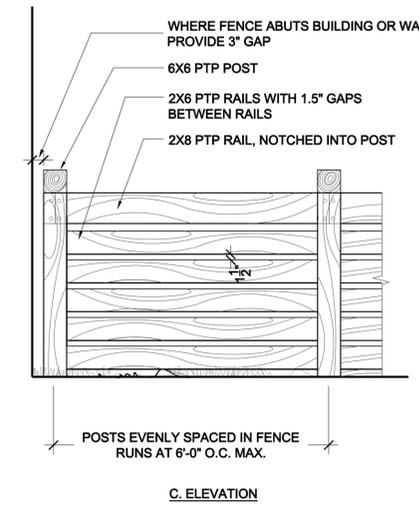
OAKLAND PARK PHASE 4
Winter Garden, Florida
Lake Apopka 2012, LLC
PO Box 783575 (34783575)
15241 E. Oakland Ave., Winter Garden, FL 34787

Sheet Number
LA2.30

Date:	01/21/16
Drawn by:	PC
Reviewed by:	DH/GB
Job Number:	21577
Revision:	Date:

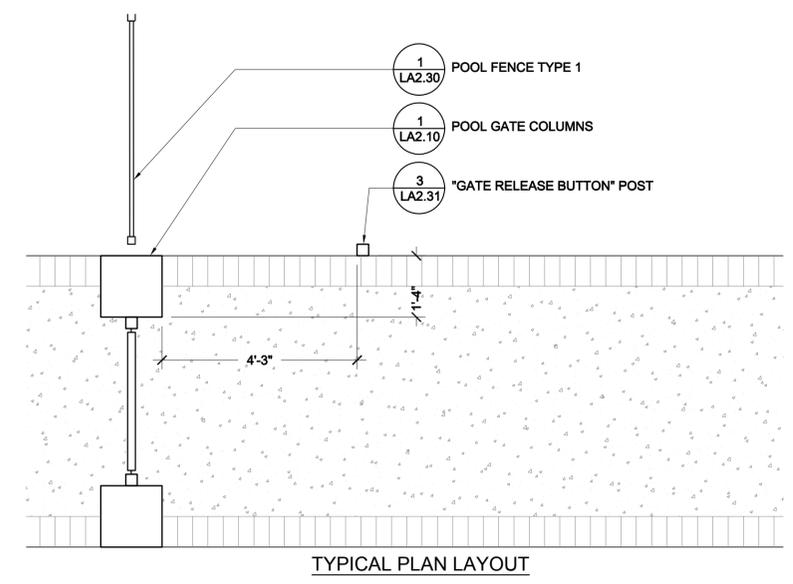
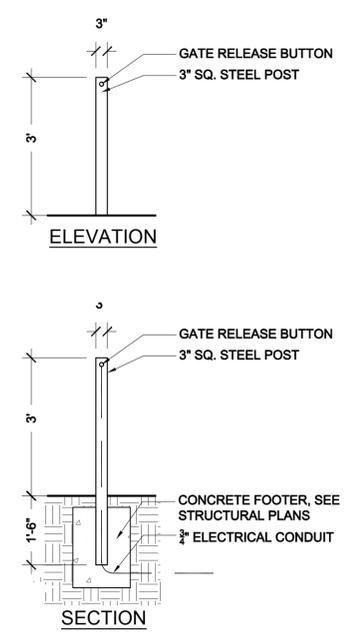


NOTES:
 + ALL ATTACHMENT HARDWARE TO BE GALVANIZED STAINLESS STEEL.
 + ALL PTP RAILS AND POSTS TO HAVE 1-COAT SIKKENS, CETOL SRD, TRANSLUCENT, NATURAL COLOR APPLIED BEFORE CONSTRUCTION



1 UTILITY SCREEN
 LA2.31 SCALE: 1/2"=1'-0"

2 HANDRAIL
 LA2.31 SCALE: 1/2"=1'-0"



3 "GATE RELEASE BUTTON" POST
 LA2.31 SCALE: 1/2"=1'-0"

SEE SCHEDULES ON SHEETS LA2.50, LA3.00 & LA3.01

A	SITE FURNISHINGS SCHEDULE
1	PAVING / MATERIALS SCHEDULE
A	PLANTER POT SCHEDULE

DIX . HITE
 + PARTNERS
 150 W. JESSUP AVENUE
 LOT 407, 667, 1, 1779A
 FAX 407.667.1779

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Lake Apopka 2012, LLC
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 15241 E. Oakland Ave., Winter Garden, FL 34787

HARDSCAPE PLANS
 Metalwork Details

Sheet Number:
LA2.31

SEE SCHEDULES ON SHEETS LA2.50, LA3.00 & LA3.01

- A SITE FURNISHINGS SCHEDULE
- 1 PAVING / MATERIALS SCHEDULE
- A PLANTER POT SCHEDULE

Date:	01/21/16
Drawn by:	PC
Reviewed by:	DH/GB
Job Number:	21577
Revision:	Date:
▲	4/15/2016

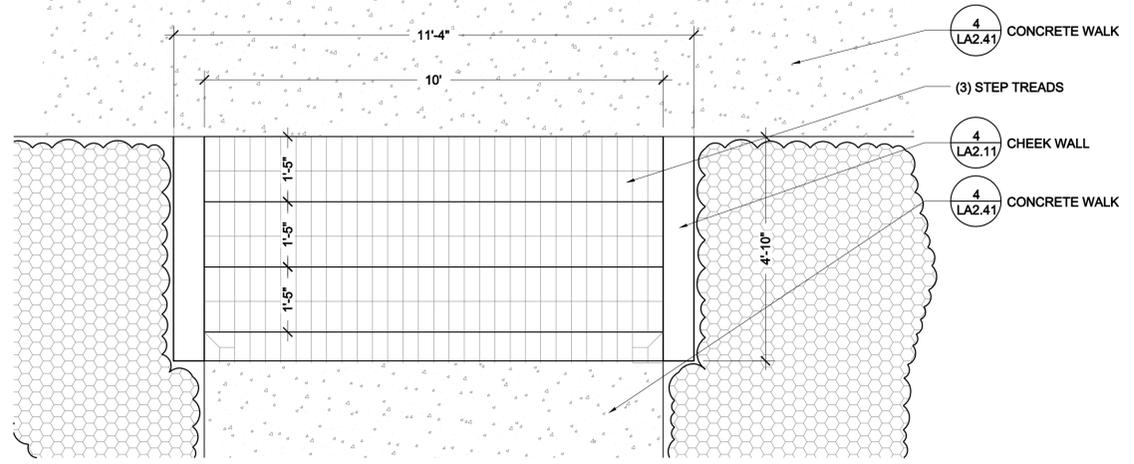
OAKLAND PARK PHASE 4
Winter Garden, Florida

Lake Apopka 2012, LLC
PO Box 783575 (34783575)
15241 E. Oakland Ave., Winter Garden, FL 34787

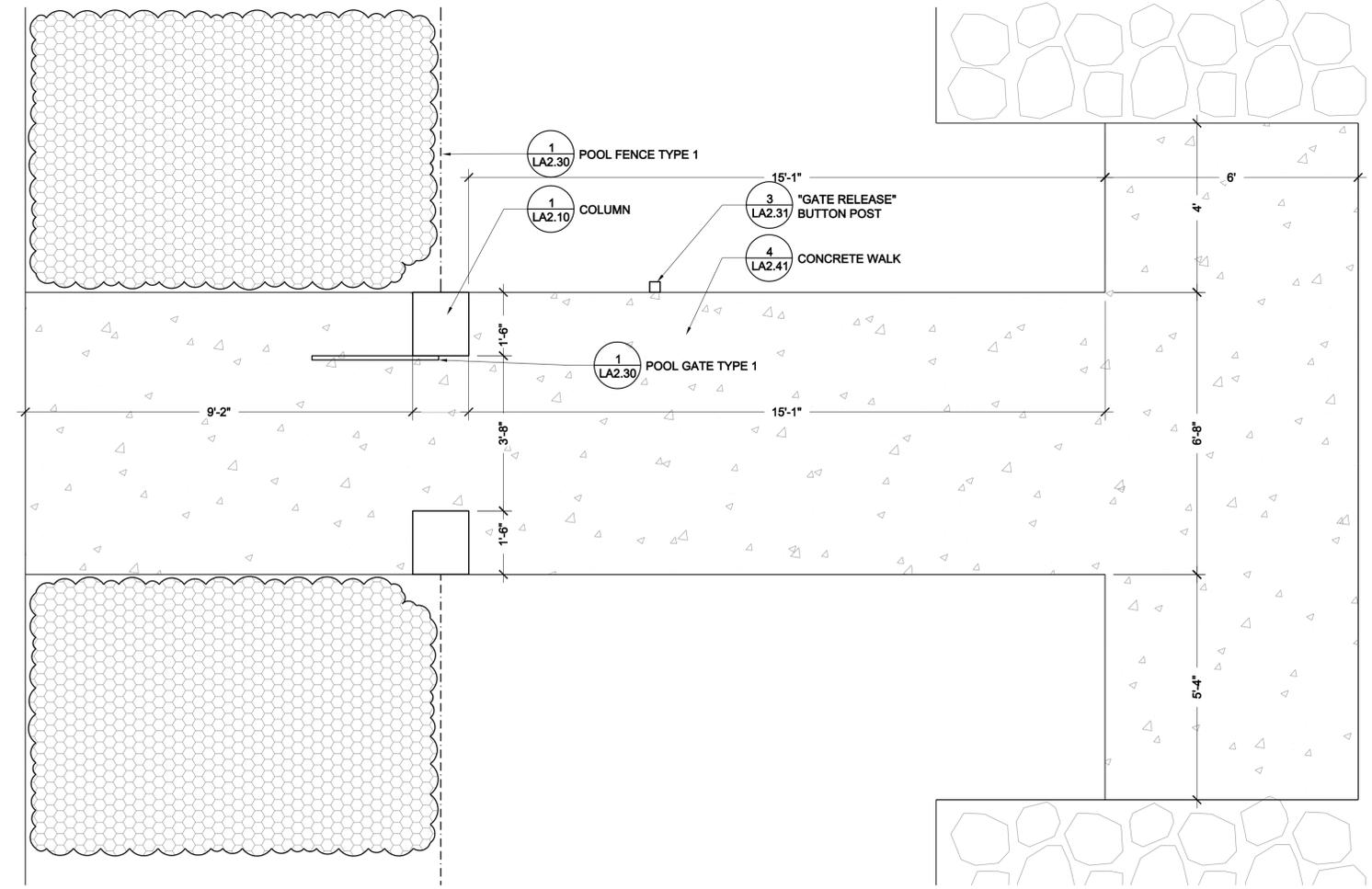


HARDSCAPE PLANS
Paving Details

Sheet Number
LA2.40



1
PAVING ENLARGEMENT A
LA2.40 SCALE: 1/2"=1'-0"



2
PAVING ENLARGEMENT B
LA2.40 SCALE: 1/2"=1'-0"

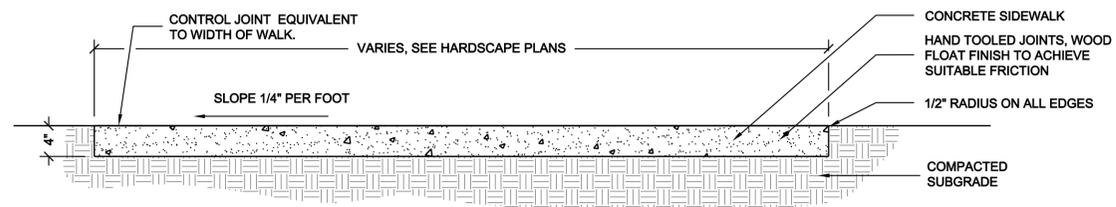


CHARACTER IMAGE
EXISTING AGGREGATE SIDEWALK

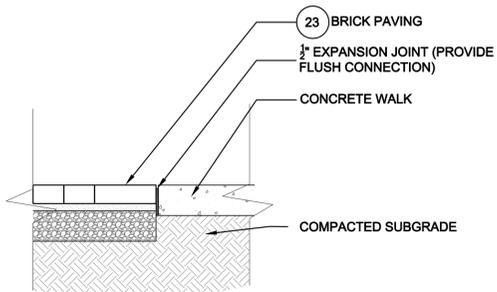
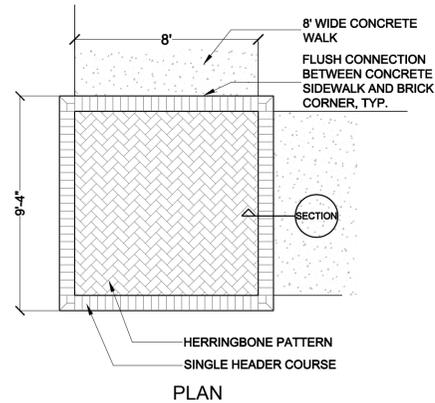
NOTE:
EXAMPLE OF TRANSITION BETWEEN
STANDARD FINISH AND AGGREGATE FINISH

NOTE:
+ PROVIDE "HANDCAST" SHELL AGGREGATE FINISH TO
SURFACE OF WALK. FINAL FINISH TO BE WOOD FLOAT,
TAMPED AND FLOATED TO ACHIEVE A SUITABLE FRICTION.

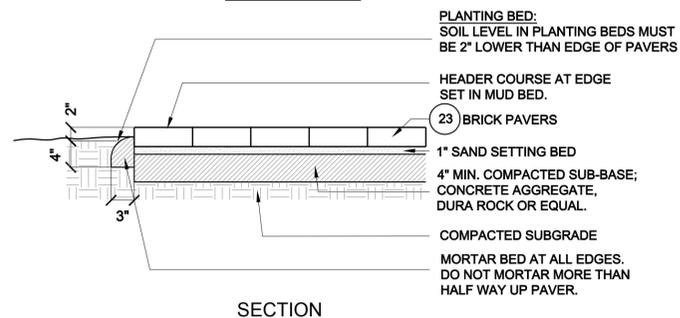
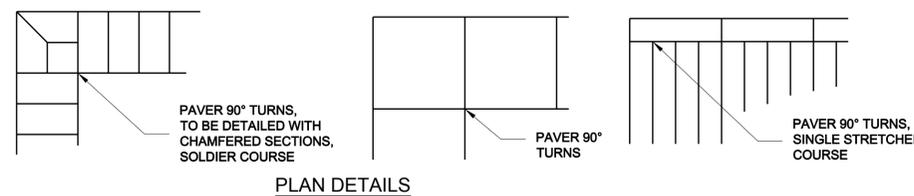
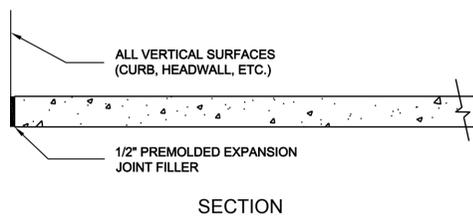
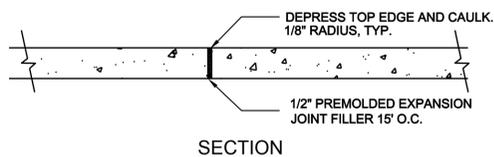
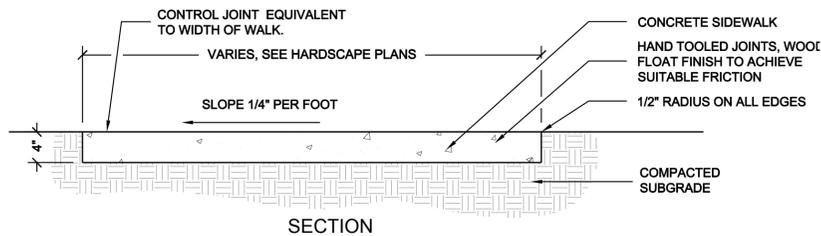
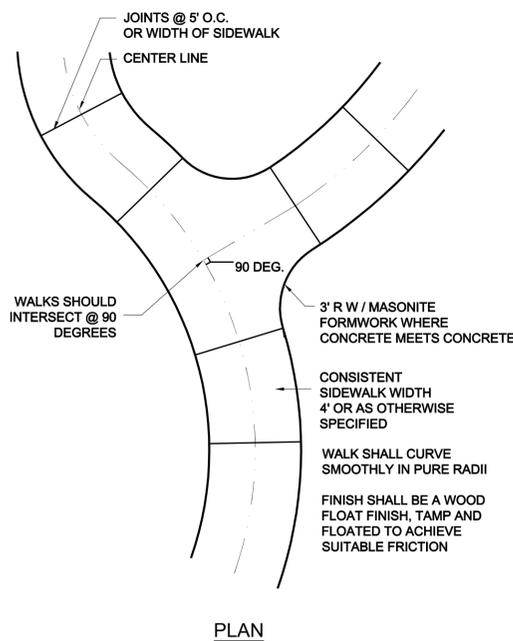
+ CONTRACTOR TO PROVIDE 4'X4' SAMPLE PANEL TO
OWNER/ LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO
DECK CONSTRUCTION.



1
LA2.41 CONCRETE WALK TYPE 1
SCALE: 1/2"=1'-0"



2
LA2.41 BRICK CORNERS
SCALE: 1"=1'-0"



4
LA2.41 BRICK PAVING
SCALE: 1"=1'-0"

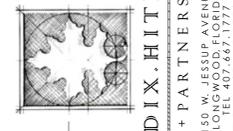
3
LA2.41 CONCRETE WALK TYPE 2
SCALE: 1"=1'-0"

SEE SCHEDULES ON SHEETS LA2.50, LA3.00 & LA3.01

- A SITE FURNISHINGS SCHEDULE
- 1 PAVING / MATERIALS SCHEDULE
- A PLANTER POT SCHEDULE

Date:	01/21/16
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A	4/15/2016

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15241 E. Oakland Ave., Winter Garden, FL 34787

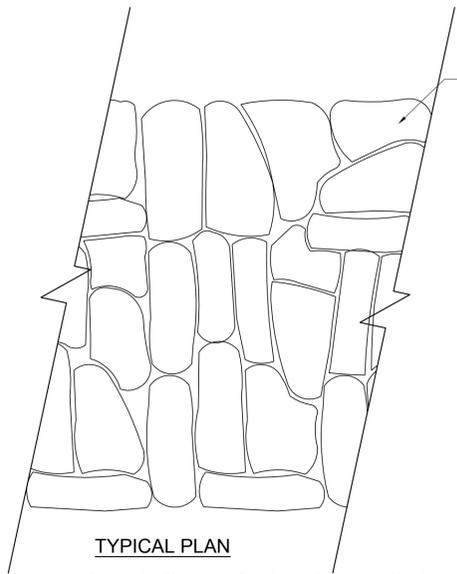


HARDSCAPE PLANS

Paving Details

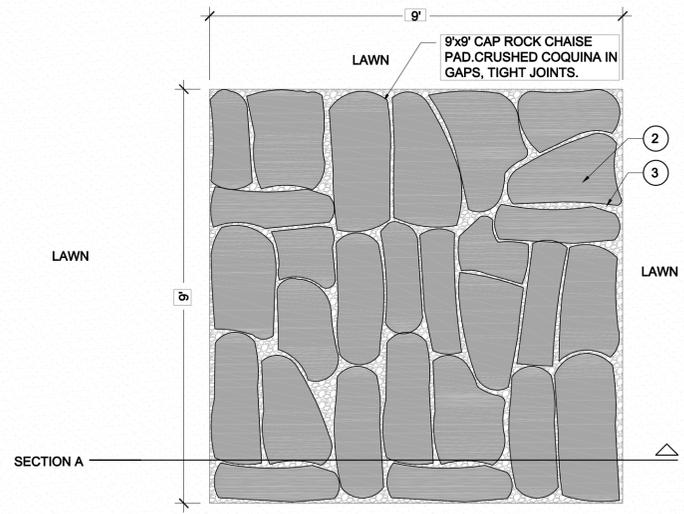
Sheet Number:
LA2.41

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2 3 CAP ROCK PIECES WITH CRUSHED COQUINA IN GAPS, TIGHT JOINTS.
 UTILIZE 6" THICK STONES TO MEET FLUSH WITH GRADE
 BOTTOM OF BOULDER TO BE BURIED AS REQUIRED TO OBTAIN SPECIFIED HEIGHT. SEE HARDSCAPE PLANS FOR HEIGHTS.

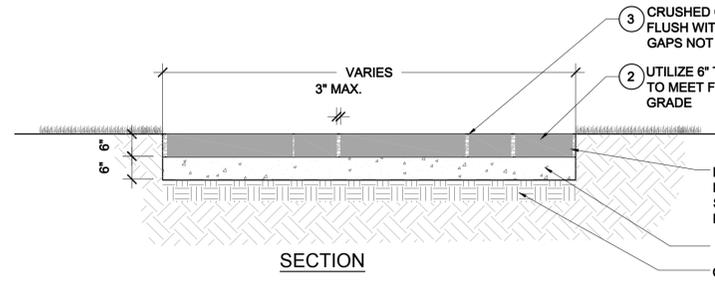
TYPICAL PLAN



TYPICAL 9'X9' PLAN

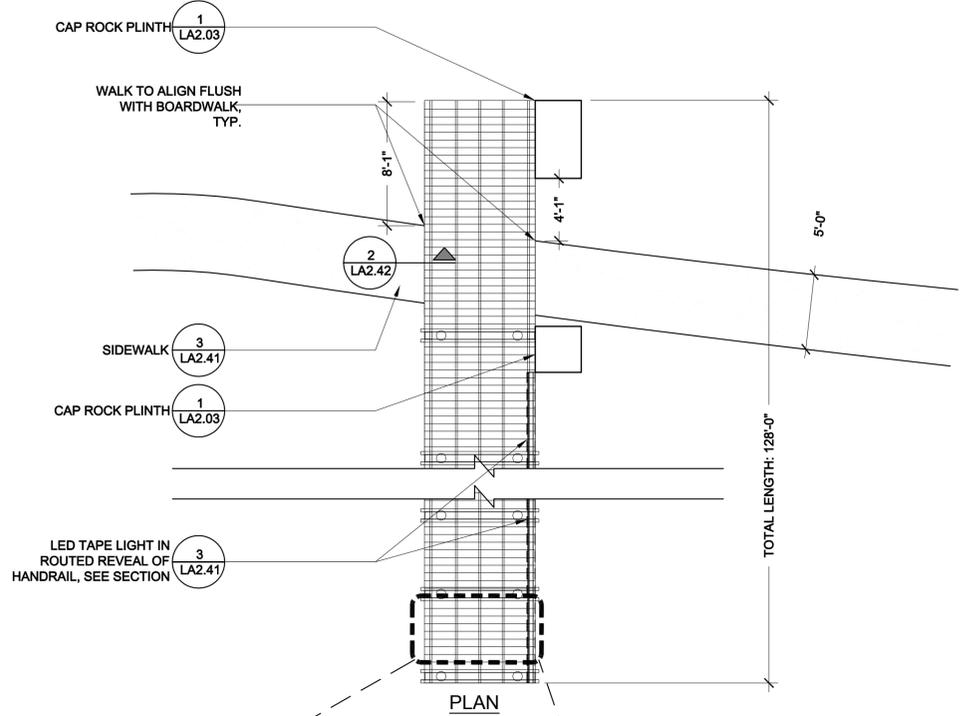


NOTES:
 + CAP ROCK SHALL BE CALLIDA STONE FROM CAP ROCK INDUSTRIES OF CENTRAL FLA., INC., WWW.CAPSTONEINDUSTRIES.NET, 863.697.9661.
 + SEE HARDSCAPE PLANS FOR GRADES.
 + GENERAL CONTRACTOR TO PROVIDE 4' X 4' SAMPLE PANEL TO L.A. FOR REVIEW & APPROVAL PRIOR TO CONSTRUCTION.
 + CAP ROCK SIZES ARE TO BE A RANGE FROM MINIMUM 8" TO MAXIMUM 36" WIDTH AND LENGTH.
 + JOINTS ARE NOT TO EXCEED 3" WIDTH.

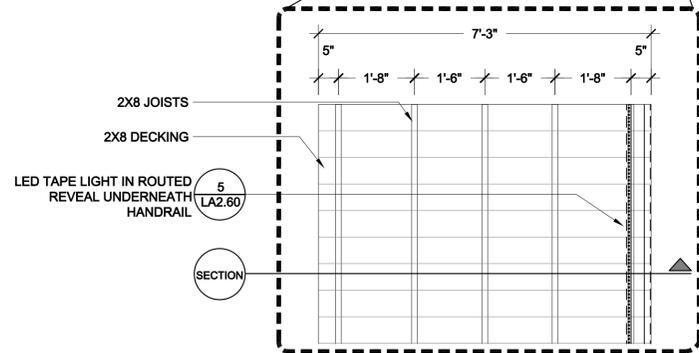


SECTION

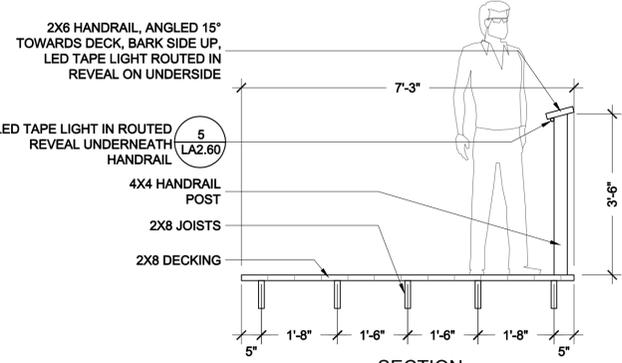
1 STONE PAVING
 LA2.42 SCALE: 1/2"=1'-0"



PLAN

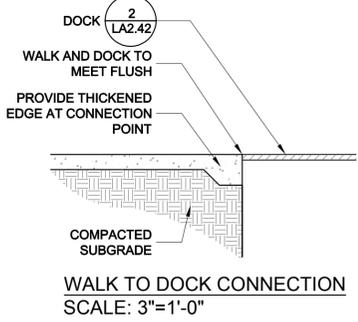


SECTION



SECTION

2 DOCK ENLARGEMENT
 LA2.42 SCALE: 1/2"=1'-0"



WALK TO DOCK CONNECTION
 SCALE: 3"=1'-0"

DESIGN BUILD DOCK NOTE
 DESIGN INTENT ONLY - DOCK INTENDED TO BE BUILT BY DESIGN-BUILD CONTRACTOR.
 GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR LANDSCAPE ARCHITECT/OWNER APPROVAL PRIOR TO CONSTRUCTION.

SEE SCHEDULES ON SHEETS LA2.50, LA3.00 & LA3.01

A	SITE FURNISHINGS SCHEDULE
1	PAVING / MATERIALS SCHEDULE
A	PLANTER POT SCHEDULE

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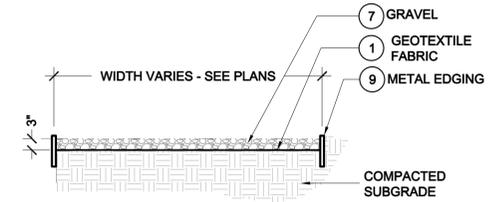
DIX . HITE
 + PARTNERS
 150 W. JESSUP AVENUE
 LOVELL, CO 80167
 TEL: 407.667.1779
 FAX: 407.667.1779

HARDSCAPE PLANS

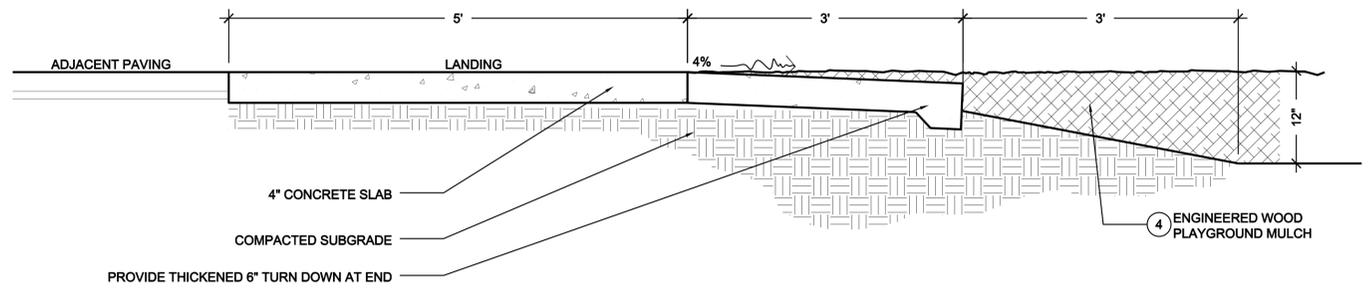
Paving Details

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LA2.42

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1 GRAVEL WALK/PATH
LA2.43 SCALE: 1/2"=1'-0"



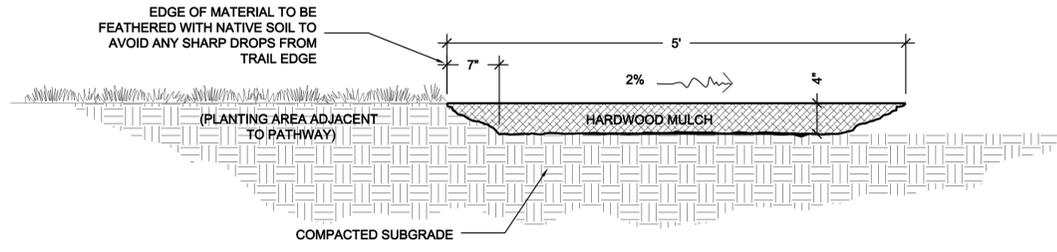
2 PLAYGROUND RAMP
LA2.43 SCALE: 1"=1'-0"

NOTE FOR ALL PATHWAY TYPES:
 SUB-GRADE TO BE PREPARED BY REMOVING VEGETATION, TOPSOIL AND UNSTABLE SOIL, SHAPING TO GRADE, SCARIFYING THE SURFACE TO A MIN. DEPTH OF SIX (6") INCHES, MOISTURE, CONDITIONING AND COMPACTING.
 AFTER COMPACTION A SOIL STERILANT AND/OR ROOT INHIBITOR TO BE APPLIED TO PAVEMENT AREA ONLY.

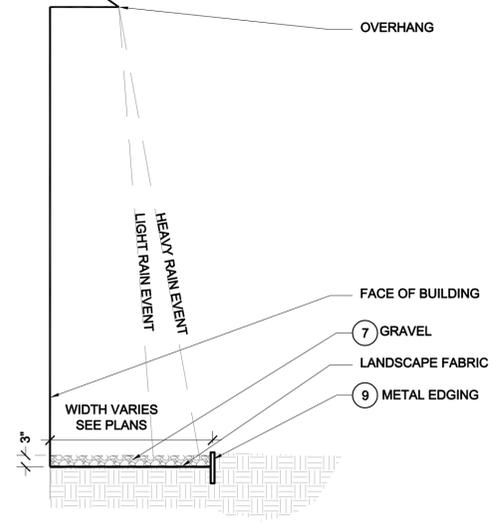
PRIOR TO CONSTRUCTION, VEGETATION SHOULD BE CLEARED AND STUMPS AND ROOTS REMOVED ALONG THE TRAIL FOR A MINIMUM OF TWO FEET OUTSIDE THE EDGE OF THE PROPOSED PAVEMENT. THIS WILL ALLOW CONSTRUCTION EQUIPMENT ACCESS AND HELP PREVENT ROOTS AND GROWTH FROM EVENTUALLY ENCROACHING ON THE PATH.

TRAILS SHOULD BE CONSTRUCTED TO MATCH THE EXISTING TOPOGRAPHY AS CLOSELY AS POSSIBLE, HOWEVER, LONGITUDINAL SLOPES SHOULD NOT EXCEED FIVE PERCENT AND A CROSS SLOPE OF TWO PERCENT IS DESIRABLE TO PROVIDE ADEQUATE DRAINAGE AWAY FROM THE PAVEMENT SURFACE.

THE ASPHALT SHOULD BE PLACED ON COMPACTED TYPICAL SHAPING, GRADING AND COMPACTION CREWS CONSIST OF A MOTOR GRADER OR BLADE, LANDSCAPE TRACTOR WITH BACK BOX FOR GRADING, AND A RUBBER TIRE ROLLER FOR COMPACTION. ADDITIONAL COMPACTION EQUIPMENT AND ACCESS TO WATER MAY BE REQUIRED.



4 MULCH PATH
LA2.43 SCALE: 1"=1'-0"

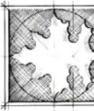


5 GRAVEL BORDER
LA2.43 SCALE: 1/2"=1'-0"

3 NOT USED
LA2.43 SCALE: 1/2"=1'-0"

SEE SCHEDULES ON SHEETS LA2.50, LA3.00 & LA3.01

A	SITE FURNISHINGS SCHEDULE
1	PAVING / MATERIALS SCHEDULE
A	PLANTER POT SCHEDULE



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 + PARTNERS
 150 W. JESSUP AVENUE
 LITTLE ROCK, AR 72202
 TEL: 407.667.1779
 FAX: 407.667.1779

HARDSCAPE PLANS

Paving Details

Sheet Number:
LA2.43

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▲	4/15/2016

SITE FURNISHINGS SCHEDULE				
SYMBOL	ITEM	QUANTITY	SPECIFICATION	MANUFACTURER
A	Chaise Lounge	51	TYPE: VUE SLING CHAISE LOUNGE PRODUCT NO: 1H1232W COLOR: T.B.D. FINISH: T.B.D.	Manufacturer: Tropitone Rep: Tom Gary, 407-797-9700 www.tropitone.com
B	Adirondack Chair	9	Model: 4-Slat Adirondack Color: Leaf Style and Size: Flat, Standard Size	Manufacturer LOLL Designs 1.877.740.3387 www.lolldesigns.com
C	Charcoal Grill	2	Model: PR-NG20-SGB2G N Series, Post Mounted Finish: Galvanized Steel	Manufacturer: WR Hardware 1.800.225.2517 www.wrhardware.com
D	Litter / Recycling Receptacle	XXX	Model: CN-EXP52 PARK POLICEMAN Finish: Hot Dip Galvanized Steel Dome: CN-5555, Finish to match	Manufacturer Pilot Rock 1.800.762.5002 www.pilotrock.com
E	Side Table	31	TYPE: SIMPLE SIDE T COLOR: T.B.D. FINISH: T.B.D.	LEBELLO www.lebello.com
F	Shower Head	1	Type: 'A' CAP-11-350S-8 'B' WMFS442-ADA Color: N/A Finish: Stainless Steel	Outdoor Shower Company 1.866.746.9371 www.outdoorshowerco.com
G	Bike Rack	9	Type: Round Rack Color: Galvanized Finish: Galvanized Mounting: In-Ground per detail 2/LA2.51	DERO 888-337-6729 www.dero.com
H	Bench	5	Model: Steel Bench w/ backrest; 19 series Finish: Black Weight: 19-60 6' long	Du Mor Site Furnishings 1-800-598-4018 www.dumor.com

* TO MATCH EXISTING RECEPTACLES ON SITE.



NOTES:
ACCESSORY MOUNTING
APPLIES TO BENCHES
AND TRASH RECEPTACLES.

1 ACCESSORY MOUNTING
LA2.50 SCALE: 1"=1'-0"



A



B



C



D

NOTE:
RECYCLING TO HAVE IDENTIFYING DECAL/SIGN
ON FRONT OF RECEPTACLE, APPROVAL BY
OWNER OR LANDSCAPE ARCHITECT.



E



F



G

USE IN-GROUND
MOUNTING PER
DETAIL 2, SHEET
LA2.51



H

SEE SCHEDULES ON SHEETS LA2.50, LA3.00 & LA3.01	
A	SITE FURNISHINGS SCHEDULE
1	PAVING / MATERIALS SCHEDULE
▲	PLANTER POT SCHEDULE

OAKLAND PARK PHASE 4
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DIX . HITE
+ PARTNERS
150 W. JESSUP AVENUE
LOVELAND, OHIO 45042
TEL: 407.667.1779
FAX: 407.667.1779

HARDSCAPE PLANS
Site Furnishings

Sheet Number:
LA2.50



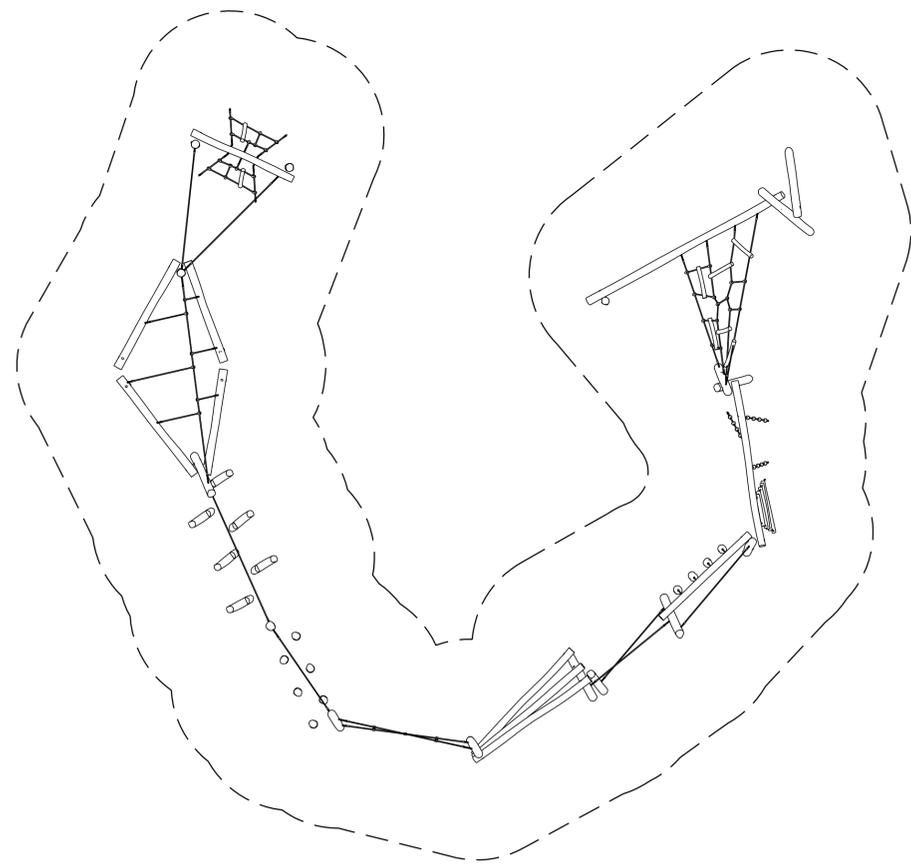
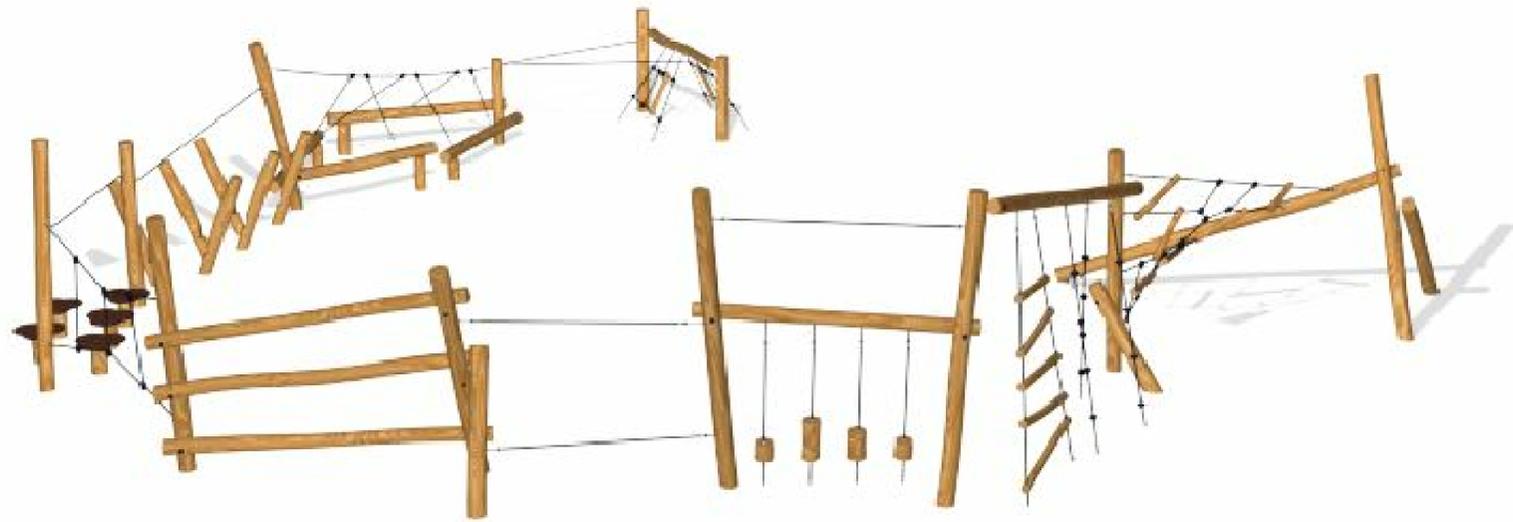
Best User Age: **5-12 years**

Footings: In-ground posts
Surface installation also available

Technical information available at kompan.com

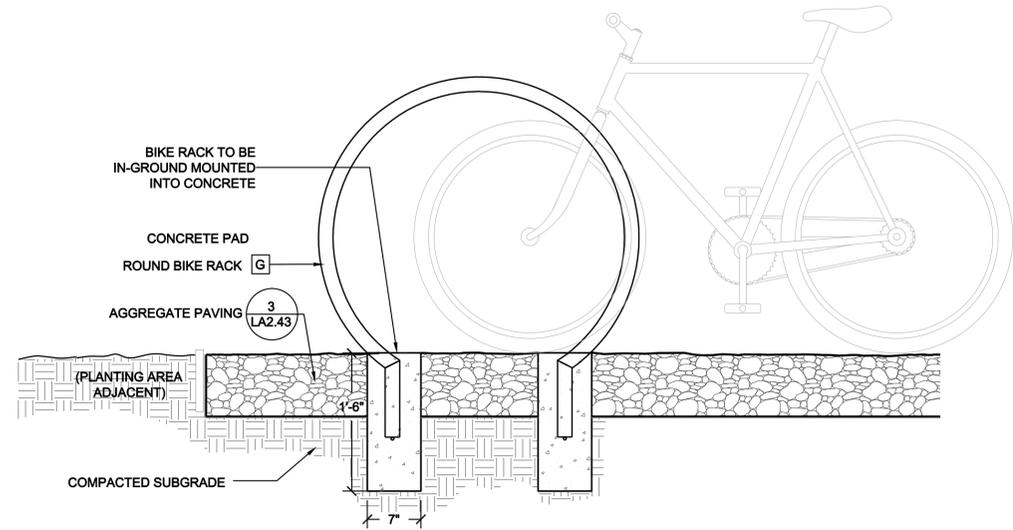
ADA ANALYSIS	Elevated Activities: 0	Accessible Elevated Activities	Accessible Ground Level Activities	Accessible Ground Level Play Types
Present	0	10	2	2
Required	0	2	2	2

ROBINIA

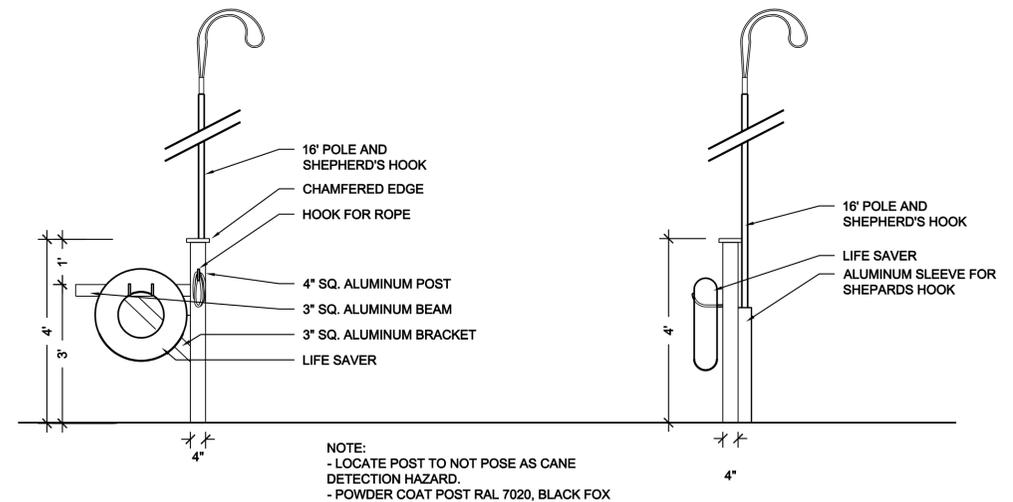


SITE FURNISHINGS AND MATERIAL SCHEDULE			
SYMBOL	ITEM	SPECIFICATION	MANUFACTURER
AA	PARKOUR	TYPE: ROBINIA MODEL: NRO857 - PARKOUR 005 FINISH: NATURAL	KOMPAN 1.253.579.1001 www.kompan.com

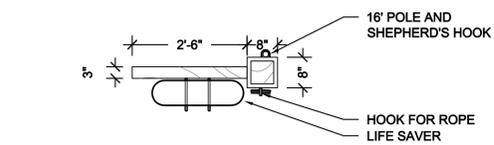
1 ROBINIA PLAY EQUIPMENT
LA2.51 SCALE: N.T.S.



2 AGGREGATE BIKE PARKING
LA2.51 SCALE: 1"=1'-0"



NOTE:
- LOCATE POST TO NOT POSE AS CANE
DETECTION HAZARD.
- POWDER COAT POST RAL 7020, BLACK FOX



3 LIFE SAFETY EQUIPMENT
LA2.51 SCALE: 1/2"=1'-0"

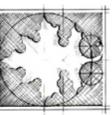
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- A SITE FURNISHINGS SCHEDULE
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OAKLAND PARK PHASE 4

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DIX.HITE
+ PARTNERS
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HARDSCAPE PLANS

Site Furnishings

Sheet Number:
LA2.51

SEE SCHEDULES ON SHEETS LA2.50, LA3.00 & LA3.01

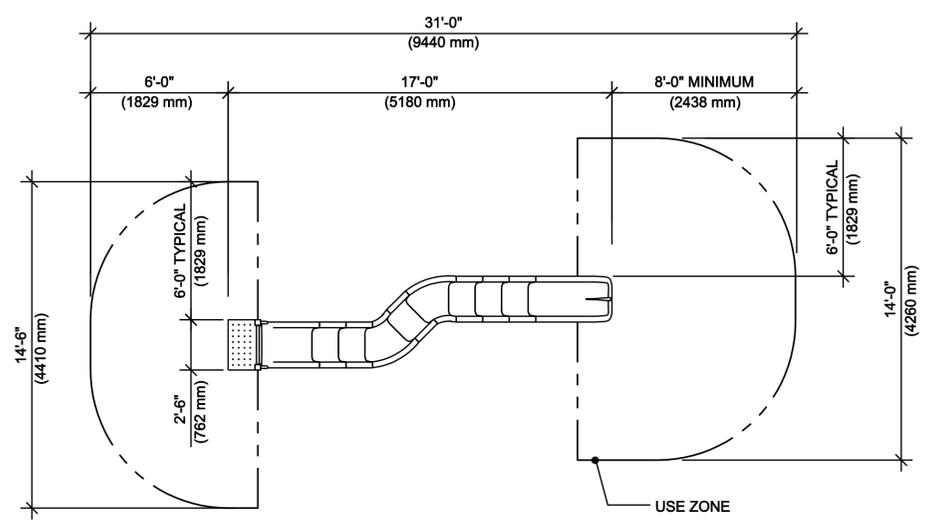
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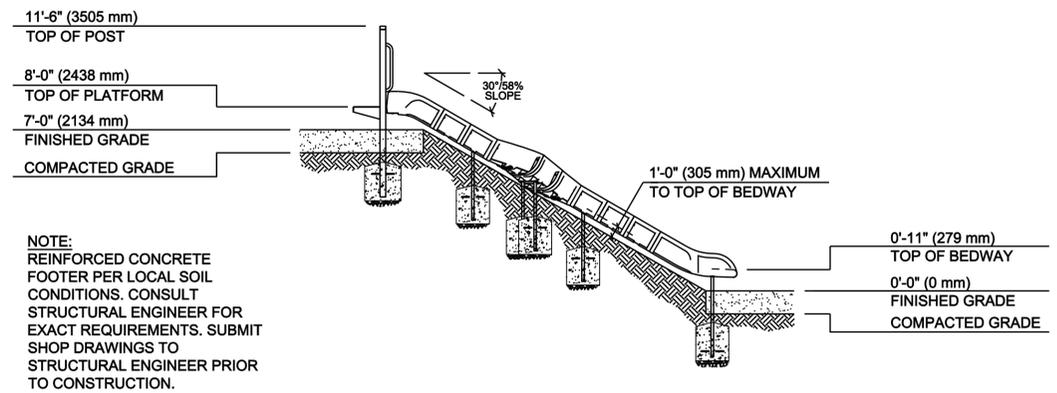
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LA 407.667.1779
FAX 407.667.1779

HARDSCAPE PLANS
Site Furnishings



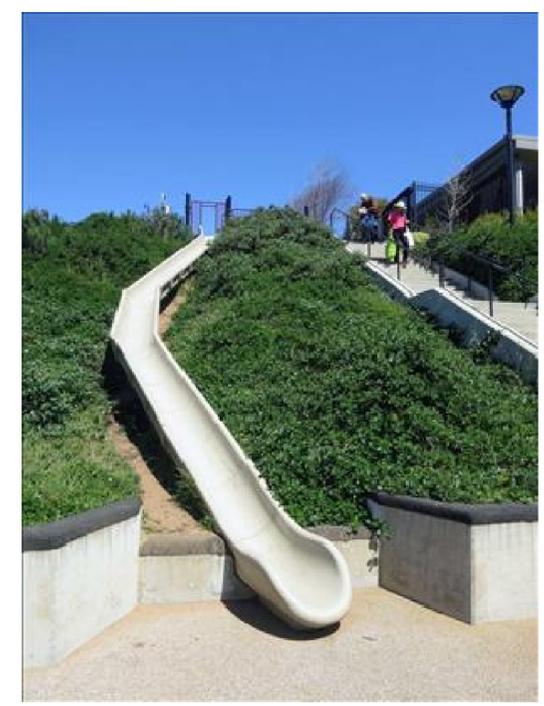
PLAN VIEW



NOTE:
REINFORCED CONCRETE FOOTER PER LOCAL SOIL CONDITIONS. CONSULT STRUCTURAL ENGINEER FOR EXACT REQUIREMENTS. SUBMIT SHOP DRAWINGS TO STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

SIDE ELEVATION

ITEM	SPECIFICATION	MANUFACTURER
SLIDE	TYPE: EMBANKMENT CURVED SLIDE CHUTE MODEL: TIMBERFORM 1650-83-01-EMB	COLUMBIA CASCADE COMPANY 503.223.1157 www.timberform.com



1

SLIDE
SCALE: N.T.S.

Sheet Number:
LA2.52



1 UPLIGHT
LA2.60 SCALE: N.T.S.



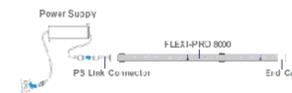
2 DOWNLIGHT/BULLET (TO BE USED WITH TREE STRAP (ITEM 6 ON LIGHTING SCHEDULE))
LA2.60 SCALE: N.T.S.



3 AREA LIGHT
LA2.60 SCALE: N.T.S.



4 BOLLARD LIGHT
LA2.60 SCALE: N.T.S.



Product Specifics

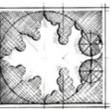
Light Source	C-98 LED'S
Colors	Cool White (5000K), Warm White (3500K)
Bear Angle	110 Degrees
C-Ring Length	7 inches
Power Consumption	0.8W/FT
Efficiency	100 LM/W
CR1	95
Input Voltage	24 Volt
Maximum Loading	10 Feet
12 Watt Power Supply	25 Feet
30 Watt Power Supply	40 Feet
36 Watt Power Supply	45 Feet
RFL Length	24 feet, 30 feet or 36 feet
Operating Temperature	-20 to 140°F
Linkage	UL, CE IP65

5 LED TAPE LIGHT
LA2.60 SCALE: N.T.S.

LIGHTING SCHEDULE			
NUMBER	SYMBOL	ITEM	DESCRIPTION
1		UPLIGHT/BULLET	BK LIGHTING SMALL UPLIGHT, NS LED E36 MFL A9-BLW-12
2		PALM/TREE DOWNLIGHT/MOONLIGHT	BK LIGHTING DENALI SERIES MOONLIGHT/DOWNLIGHT, DE LED X30 FL BLW 12 A **USE (1) TREE STRAP (ITEM 6 BELOW) FOR EACH LIGHT
3		AREA LIGHT	SELUX AVANZA 450 AV4-S1-0-L105-R3W-40-20SV-VOLT; SELUX SILVER COLOR, GRAPHITE FINISH
4		BOLLARD LIGHT	SELUX NT NOTCH LED LIGHTED BOLLARD, PART #NT-3.5-LG3700-40SV-VOLT, POWDER COAT FINISH, SILVER COLOR
5		LED TAPE LIGHT	TYPE: LEDALUX WATERPROOF FLEXTAPE FLEXI-PRO-8000 MODEL NUMBER: LED-FLXTP-8000-WW-XX
6		MOONLIGHT/DOWNLIGHT TREE STRAP	TYPE: BK LIGHTING TREE STRAP TMC MODEL NUMBER: A-TS-TMC-BLW-18 **USE (1) TREE STRAP WITH EACH MOONLIGHT/DOWNLIGHT (ITEM 2 ABOVE)

Date:	01/21/16
Drawn by:	PC
Reviewed by:	DH/GB
Job Number:	21577
Revision:	Date:

OAKLAND PARK PHASE 4
Winter Garden, Florida
Lake Apopka 2012, LLC
PO Box 783575 (34783575)
15241 E. Oakland Ave., Winter Garden, FL 34787



DIXIE HITE
+ PARTNERS
150 W. JESSUP AVENUE
LAKE APOPKA, FL 34787
TEL: 407.667.1779
FAX: 407.667.1779

HARDSCAPE PLANS

Lighting Schedule

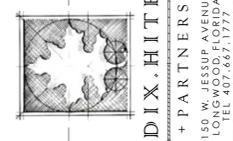
SEE SCHEDULES ON SHEETS LA2.50, LA3.00 & LA3.01

A	SITE FURNISHINGS SCHEDULE
1	PAVING / MATERIALS SCHEDULE
A	PLANTER POT SCHEDULE

Sheet Number:
LA2.60

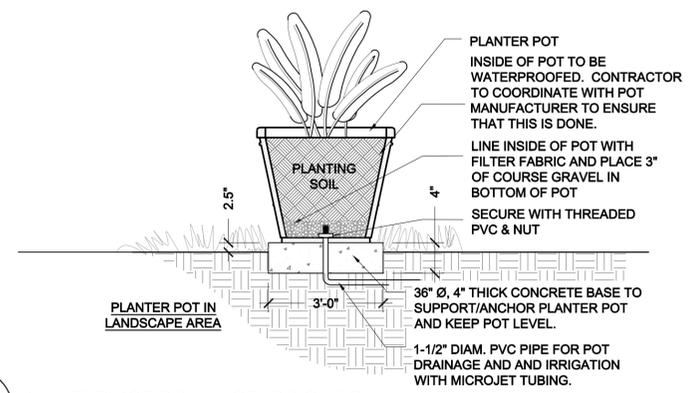
Date:	01/21/16
Drawn by:	PC
Reviewed by:	DH/GB
Job Number:	21577
Revision:	Date:

OAKLAND PARK PHASE 4
 Winter Garden, Florida
 Lake Apopka 2012, LLC
 PO Box 783575 (34783575)
 15241 E. Oakland Ave., Winter Garden, FL 34787



HARDSCAPE PLANS
 Planter Pot Schedule

PLANTER POT SCHEDULE					
SYMBOL	ITEM	MODEL # OR DESCRIPTION	MANUFACTURER	COLOR(S)	COMMENTS
A	Tuscan Rolled Rim Pot	Model Number: IT105 31.5" Height x 39" Width	The Pottery Patch 561-697-9377	Terra Cotta	Rolled rim



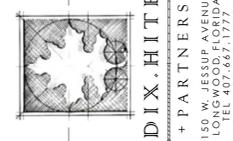
1
 LA3.00
 PLANTER POT DRAINAGE/IRRIGATION
 SCALE: 1/2"=1'-0"

PAVING AND MATERIALS SCHEDULE					
SYMBOL	ITEM	MODEL # OR DESCRIPTION	MANUFACTURER	COLOR(S)	COMMENTS
1	Geo-Textile Fabric	Type: Geotex 801	PROPEX GEOTEXTILE SYSTEMS JOHN LYNCH : 561.531.9413 www.geotextile.com	-	-
2	Cap Rock	Roughface boulders 6" AND 12" tall	EPIC STONE WORKS www.larrysaprockandstone.com	N/A	Boulder width to be in a range of 8" to 36"
3	Aggregate	Crushed Coquina Fines	Carroll's Building Materials (727) 822-3370 www.carrollsbuildingmaterials.com	-	-
4	Playground Mulch	Playsafe100% Engineered Mulch (EWF Wood Fiber)	Carroll's Building Materials (727) 822-3370 www.carrollsbuildingmaterials.com	-	12" thickness per manufacturer recommendation
5	Coral Ashlar Stone	CoastalReef coral stone	Eldorado Stone 800-925-1491 www.eldoradostone.com	-	-
6	Not Used				
7	Gravel	Bangle Striped Beach Pebble	Carroll's Building Materials (727) 822-3370 www.carrollsbuildingmaterials.com	-	-
8	Sand	Coral Sand	Carroll's Building Materials (727) 822-3370 www.carrollsbuildingmaterials.com	-	-
9	Metal Edging	3000 Series Landscape Edging, 1/8" x 4"	Curv-Rite www.curv-rite.com 1.800.366.2878	Deco Bronze	See hardscape plan for layout. Install per manufacturer's recommendation.
10	Pool Waterline Tile	1" x 2" Glass Tile, Tessera	Oceanside Glass Tile www.glasstile.com CERAMIC MATRIX Rep: Jane Jackson, 407.666.3247	Enchantment Blend	Offset joint pattern. Grout color shall be "Light Smoke", #145 by Custom Building Products or equivalent
11	Brick Pool Coping	4"x9" Bullnose Brick	Belden Brick www.beldenbrick.com 330-451-2031	Commodore Full Range	-
12	Pool Finish	Diamond Brite Finish	SGM 1.800.641.9247 http://www.sgm.cc/index.html	Oyster Quartz	-

SYMBOL	ITEM	MODEL # OR DESCRIPTION	MANUFACTURER	COLOR(S)	COMMENTS
13	Bullnose Tile	Keystone Group 3 2"x2" Bullnose/Bullnose Corner	Dal Tile 1.602.243.2772 www.daltile.com	T.B.D	-
14	Cast Limestone	Cast Limestone with white cement base	D.C. Kerckhoff www.kerckhoffstone.com (239) 597-7218	Smooth limestone finish	Smooth limestone finish
15	Feature Wall Brick / Veneer Brick	Smooth Face Brick C216 Type FBX, Standard Size	Belden Brick www.beldenbrick.com 330-451-2031	Commodore Full Range	-
16	1" sq. steel mesh	1" Square, Welded Mesh .120" Wire	McNICHOLS 1.877.884.4653 www.mcnichols.com	Galvanized	-
17	Corten Panel	48"x108"x.5" ASTM A588 Steel (Includes A606)	Eldorado Stone 800-925-1491 www.eldoradostone.com		-
18	Splash Pad Surface	Aquaflex Porous	AQUAFLEX SURFACES 1.888.438.6574 www.aquaflexsurfaces.com	Wheat, Shell, Sky and Aqua	-
19	Pool Lap Lane Tile	Semi-gloss 6"x6" Model #: Q192	Dal Tile 1.602.243.2772 www.daltile.com	Aegean w/ White Lettering	-
20	Pool Step Tile	1" x 2" Glass Tile, Tessera	Oceanside Glass Tile www.glasstile.com Ceramic Matrix Rep: Jane Jackson, 407.666.3247	Enchantment Blend	Offset joint pattern. Grout color shall be "Light Smoke", #145 by Custom Building Products or equivalent
21	Filter Fabric	SRW NW4.5 Non-Woven 4.5oz Drainage and Filtration Fabric	TENCATE www.tencate.com	Deco Bronze	-
22	Ice and Water Shield	Grace Ice and Water Shield	www.na.graceconstruction.com		Wrap all wood in concrete footers and below grade
23	Brick Pavers	4" x 8" Brick Paver, Classic Square Edge	Pine Hall Brick www.pinehallbrick.com Rep: Mark Mann, 407.947.4970	Courtyard Full Range	45° Herringbone pattern
24	Sloped Brick Rowlock	22.8 Sloped Chamfered Rowlock Brick	Belden Brick www.beldenbrick.com 330-451-2031	Commodore Full Range	-

Date:	01/21/16
Drawn by:	PC
Reviewed by:	DH/GB
Job Number:	21577
Revision:	Date:

OAKLAND PARK PHASE 4
 Winter Garden, Florida
Lake Apopka 2012, LLC
 PO Box 783575 (34783575)
 15241 E. Oakland Ave., Winter Garden, FL 34787



HARDSCAPE PLANS
 Materials Schedule

Sheet Number:
LA3.01



2



5



6



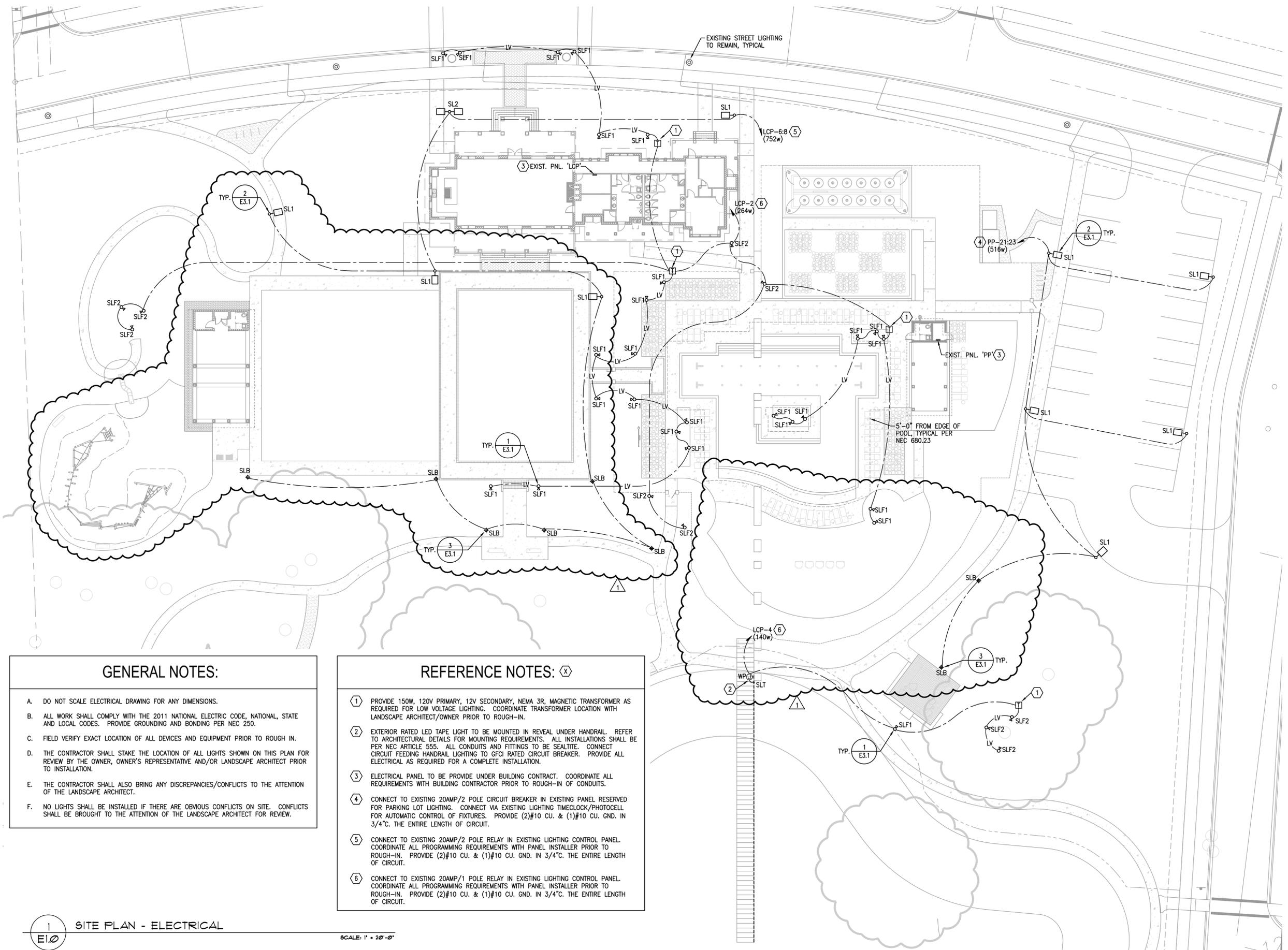
7



10

NOTE:
 1.) QUANTITIES SHOWN ON SITE FURNISHINGS/PAVING SCHEDULES ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL ITEMS/MATERIALS SHOWN ON PLANS. IF DISCREPANCIES ARISE BETWEEN THE SCHEDULES AND THE PLANS, THE PLANS ARE TO OVERRIDE THE SCHEDULES IN ALL CASES.
 2.) CONTRACTOR MUST SUBMIT 4"x4" SAMPLE PANELS AND / OR OBTAIN SHOP DRAWING APPROVAL FOR ALL SITE FURNISHINGS, MATERIALS AND FINISHES PRIOR TO CONSTRUCTION.
 3.) SELECTED COLORS/FINISHES VARY FROM IMAGES SHOWN

Date:	01/26/16
Drawn by:	ADM
Reviewed by:	BLS
Job Number:	21477
Revision:	Date:
Revision #1	04/08/16



GENERAL NOTES:

- A. DO NOT SCALE ELECTRICAL DRAWING FOR ANY DIMENSIONS.
- B. ALL WORK SHALL COMPLY WITH THE 2011 NATIONAL ELECTRIC CODE, NATIONAL, STATE AND LOCAL CODES. PROVIDE GROUNDING AND BONDING PER NEC 250.
- C. FIELD VERIFY EXACT LOCATION OF ALL DEVICES AND EQUIPMENT PRIOR TO ROUGH IN.
- D. THE CONTRACTOR SHALL STAKE THE LOCATION OF ALL LIGHTS SHOWN ON THIS PLAN FOR REVIEW BY THE OWNER, OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- E. THE CONTRACTOR SHALL ALSO BRING ANY DISCREPANCIES/CONFLICTS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- F. NO LIGHTS SHALL BE INSTALLED IF THERE ARE OBVIOUS CONFLICTS ON SITE. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR REVIEW.

REFERENCE NOTES: (X)

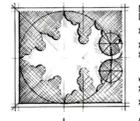
- ① PROVIDE 150W, 120V PRIMARY, 12V SECONDARY, NEMA 3R, MAGNETIC TRANSFORMER AS REQUIRED FOR LOW VOLTAGE LIGHTING. COORDINATE TRANSFORMER LOCATION WITH LANDSCAPE ARCHITECT/OWNER PRIOR TO ROUGH-IN.
- ② EXTERIOR RATED LED TAPE LIGHT TO BE MOUNTED IN REVEAL UNDER HANDRAIL. REFER TO ARCHITECTURAL DETAILS FOR MOUNTING REQUIREMENTS. ALL INSTALLATIONS SHALL BE PER NEC ARTICLE 555. ALL CONDUITS AND FITTINGS TO BE SEALTITE. CONNECT CIRCUIT FEEDING HANDRAIL LIGHTING TO GFCI RATED CIRCUIT BREAKER. PROVIDE ALL ELECTRICAL AS REQUIRED FOR A COMPLETE INSTALLATION.
- ③ ELECTRICAL PANEL TO BE PROVIDE UNDER BUILDING CONTRACT. COORDINATE ALL REQUIREMENTS WITH BUILDING CONTRACTOR PRIOR TO ROUGH-IN OF CONDUITS.
- ④ CONNECT TO EXISTING 20AMP/2 POLE CIRCUIT BREAKER IN EXISTING PANEL RESERVED FOR PARKING LOT LIGHTING. CONNECT VIA EXISTING LIGHTING TIMECLOCK/PHOTOCELL FOR AUTOMATIC CONTROL OF FIXTURES. PROVIDE (2)#10 CU. & (1)#10 CU. GND. IN 3/4" C. THE ENTIRE LENGTH OF CIRCUIT.
- ⑤ CONNECT TO EXISTING 20AMP/2 POLE RELAY IN EXISTING LIGHTING CONTROL PANEL. COORDINATE ALL PROGRAMMING REQUIREMENTS WITH PANEL INSTALLER PRIOR TO ROUGH-IN. PROVIDE (2)#10 CU. & (1)#10 CU. GND. IN 3/4" C. THE ENTIRE LENGTH OF CIRCUIT.
- ⑥ CONNECT TO EXISTING 20AMP/1 POLE RELAY IN EXISTING LIGHTING CONTROL PANEL. COORDINATE ALL PROGRAMMING REQUIREMENTS WITH PANEL INSTALLER PRIOR TO ROUGH-IN. PROVIDE (2)#10 CU. & (1)#10 CU. GND. IN 3/4" C. THE ENTIRE LENGTH OF CIRCUIT.

1 SITE PLAN - ELECTRICAL
E1.0

SCALE: 1" = 20'-0"

OAKLAND PARK PHASE 4
Winter Garden, Florida

Lake Apopka 2012, LLC
PO Box 783575 (347783575)
15241 E. Oakland Ave., Winter Garden, FL 34787

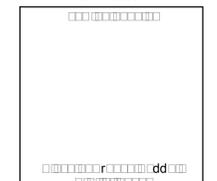


DIX-HITE
+ PARTNERS
150 W. JESSUP AVENUE
LONGWOOD, FLORIDA
TEL 407.667.1777
FAX 407.667.1779

Site Plan - Electrical

Joseph, Lawrence & Co
Consulting Engineers

1180 HADWOOD AVE, SUITE 3000
ALTAMONTE SPRINGS, FLORIDA 32714
TEL: 321.972.4466
WWW.JLCENG.COM
CA NO. 28730



Sheet Number:
E1.0

Avanza 450

selux

Project: Oakland Park
Type: Type SL1 & SL2
Qty:

Series	AV4	S1	0	L105	R3W	40	20	SV	240
Mounting	Series	Height	Light Engine	CCT	Finish	Voltage	Options		
Options	AT64	18	SV				T30		

Series	Mounting	Tilt of Mounting	Light Engine	Options	CCT	Finish	Voltage	Options
AV4	SA Single Pole Adapter S1 Single Short Arm L1 Single Long Arm L2 Double Long Arm L4 Quad Long Arm SW Short Arm Wall Mount	0° 15° 30° 45° 60° 75° 90°	L105 1050 mA L700 1000 mA	R3W Type III Wide Distribution R3N Type II Narrow Distribution RS Type V Distribution	3000K 4000K	WH White BK Black BZ Bronze SV Silver SP Specify Premium Color	120 208 240 277 347 480	HLCX ² HL LED PCB DM

1. Luminaire Housing - Made from high pressure die cast, low copper aluminum alloy.

2. Filter - Part of upper aluminum housing for direct connection to standard 2" (51mm) short and long arms, as well as specially designed die cast pole adapter.

3. Mounting Arm - Welded steel with powder coat finish. To fit 3" Tenon.

4. Pole Adapter - (not shown) Made from high pressure die cast, low copper aluminum alloy. To fit 3" Tenon.

5. Gasketing - (not shown) UV and ozone resistant silicone gasket provides seal at door and gasket opening.

6. Glass Lens - Tempered and sonotoned glass lens protects and helps seal optical chamber.

7. Optics - (not shown) High precision injection molded cross-beam technology reflections are vacuum metallized. IGA approved "Dark Sky Friendly" at 0° Mounting.

8. LED Array - (not shown) LEDs mounted to PCB boards and directly attached to upper aluminum housing for maximum LED performance and life. For humid applications, light engine can be removed without tools.

9. LED Driver - (not shown) LEDs are driven by RoHS compliant high efficiency driver. Minimum starting temperature is -25°C (-13°F).

10. Top-Less Latch - Tool-less die cast aluminum latch for easy access to light engine.

11. Access Door - Lower casting features tempered glass lens and a built-in latch that allows for easy access to light engine.

12. Surge Protection - (not shown) Designed to protect luminaire from electrical surge (up to 10kA).

13. Hi-Lo Switching Option - (not shown) Please see p. 7 for details.

14. Phosphate Option - (not shown) Luminaire is available for all pole and arm mounting configurations except Wall Mount (SW) and Single Pole Adapter (SA). Available in 120V through 277V. For 277V, please consult factory. Please see p. 5 for details.

15. Internal Step-Down Transformer - (not shown) Step-Down Autotransformer for 240V and 480V.

Exterior Luminaire Finish - Selux utilizes a high quality Polyester Powder Coating. All Selux luminaires and poles are finished in our Tiger Drylac certified facility and undergo a five stage intensive pretreatment process where product is thoroughly cleaned, phosphate and sealed. Selux powder coated products provide excellent salt and humidity resistance as well as ultra violet resistance for color retention. All products are tested in accordance with test specifications for coatings from ASTM and PCI.

Standard exterior colors are White (WH), Black (BK), Bronze (BZ), and Silver (SV). Selux premium colors (SP) are available. Please specify your Selux color selection guide.

5 Year Limited LED Luminaire Warranty - Selux offers a 5 Year Limited Warranty to the original purchaser that the Avanza 450 luminaire shall be free from defects in material and workmanship for up to five (5) years from date of shipment. This limited warranty covers the LED driver and LED light engine when installed and operated according to Selux instructions. Fixture suitable for ambient temperature of 40°C (104°F). For details and restrictions, see "Selux Terms and Conditions of Sale."

Listings and Ratings: Luminaire tested to IESNA LM-79 and LED tested to LM-80 test standards at 25°C ambient temperature.

Avanza 450

selux

Photometry

RSW Optics / 1050 mA / 4000K CCT
Catalog # AV4-S1-0°-L105-R3W-40-120
Report # LM-63-1995

- Ideal for applications requiring linear distributions.
- Maximum candela of 3376 at 67.5° from vertical.
- IES classification - Type III Wide
- 4274 Delivered Lumens with 76 lm/W
- IDA-Approved² dark sky friendly
- BUG Rating: B1-U0-G1

RS Optics / 1050 mA / 4000K CCT
Catalog # AV4-S1-0°-L105-RS-40-120
Report # LM-63-1995

- Ideal for applications requiring asymmetrical forward-thru distributions.
- Maximum candela of 3388 at 60° from vertical.
- IES classification - Type III Narrow
- 4275 Delivered Lumens with 76 lm/W
- IDA-Approved² dark sky friendly
- BUG Rating: B0-U0-G1

Conversion Chart

Mounting Height	Beam Diameter	Beam Area
12' (3.7m)	12' (3.7m)	1.1
14' (4.3m)	14' (4.3m)	1.3
16' (4.9m)	16' (4.9m)	1.5
18' (5.5m)	18' (5.5m)	1.8

LED Information (Based on RS Optics)

Performance	Neutral White (4000K)		Warm White (3000K)	
	L105	L700	L105	L700
Delivered Lumens	4316	2796	3600	2332
Wattage	56	38	56	38
Delivered Lumens per Watt	77	74	65	62

LED Specifications

Optics	Lenses	Lenses
Distribution	Type V	Type V
Dark Sky / Full-Cutoff	Yes	Yes
# of Emitters	16	16
Color Temperature (CCT)	4000K	3000K
CCT Tolerance (by LED manufacturer)	± 7%	± 7%
CRI	>80	>80

Selux Corp. © 2015
NRTL Listed (i.e. UL, CSA) for wall locations
IP66 IK10
A continuing effort to offer the best product possible, we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product. Specifications found at www.selux.us are the most recent versions and supersede all other printed or electronic versions.

AT64/AT74

selux

Project:
Type:
Qty:

Ordering Format:

Pole Series	Height	Wall Thickness	Finish	Option	Option	Option
AT64	12 1/2 ft.	0.156	208	20.0	14.3	13.1
AT64	14 1/2 ft.	0.156	208	17.7	13.7	14.9
AT64	16 1/2 ft.	0.156	180	14.1	10.8	8.6
AT64	18 1/2 ft.	0.156	167	11.5	8.7	6.9
AT64	20 1/2 ft.	0.156	135	9.6	7.1	5.6
AT64	22 1/2 ft.	0.156	106	6.8	4.8	3.7
AT64	14 1/2 ft.	0.156	208	17.7	13.7	14.9
AT74	20 1/2 ft.	0.156	208	14.8	11.4	9.0
AT74	22 1/2 ft.	0.156	168	11.4	8.5	6.6
AT74	24 1/2 ft.	0.156	148	10.5	7.8	6.0
AT74	26 1/2 ft.	0.156	134	9.5	7.0	5.4

Standard Specifications

Pole Shaft - Pole shaft is spun from 6061-T6 aluminum which is heat treated to a T6 temper.

Anchor Base - Anchor base is cast from 356 aluminum alloy and heat treated to a T6 temper. The anchor base casting and shaft are joined by a continuous circumferential weld at the outside top and inside bottom of the anchor base.

Access Hole - The opening measures 2" x 2" (51mm x 51mm) for 1/2" Dia. poles with a max 200 lb. minimum temperature to a 10 condition reinforced frame. Frame is supplied with integral ground lug connection located 18" from pole. Rust Inhibitor is supplied with tamper resistant fasteners.

Anchor Bolt - Pole is supplied with four steel bolt-to-pole anchor bolts, 3/4" x 7" for 1" poles and 1" x 3" for 1 1/2" poles, each with two nuts, two flat washers and one lock washer.

Hot Cover - Pole comes standard with cast aluminum hot covers.

Exterior Luminaire Finish - Selux utilizes a high quality Polyester Powder Coating. All Selux luminaires and poles are finished in our Tiger Drylac certified facility and undergo a five stage intensive pretreatment process where product is thoroughly cleaned, phosphate and sealed. Selux powder coated products provide excellent salt and humidity resistance as well as ultra violet resistance for color retention. All products are tested in accordance with test specifications for coatings from ASTM and PCI.

Standard exterior colors are White (WH), Black (BK), Bronze (BZ), and Silver (SV). Selux premium colors (SP) are available. Please specify your Selux color selection guide.

5 Year Limited LED Luminaire Warranty - Selux offers a 5 Year Limited Warranty to the original purchaser that the AT64/AT74 luminaire shall be free from defects in material and workmanship for up to five (5) years from date of shipment. This limited warranty covers the LED driver and LED light engine when installed and operated according to Selux instructions. Luminaire suitable for ambient temperature up to 45°C. For details and restrictions, see "Selux Terms and Conditions of Sale."

Listings and Ratings: Luminaire tested to IESNA LM-79 and LED tested to LM-80 test standards at 25°C ambient temperature.

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NRTL Listed (i.e. UL, CSA)
A continuing effort to offer the best product possible, we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product. Specifications found at www.selux.us are the most recent versions and supersede all other printed or electronic versions.

1 FIXTURE TYPE 'SL1' & 'SL2' CUT SHEETS

E2.1

Notch Bollard LED

selux

Project:
Type:
Qty:

Series	NT	3.5	LC3700	40	SV	208
Mounting	Series	Height	Light Engine	CCT	Finish	Voltage
Options						

Series	Height	Light Engine	CCT	Finish	Voltage	Options
NT	2 2.5 (2m)	LG3500 8.5W	30 3000K	WH White	120	HL Hi-Lo Switching for LG3700 only
Notch Bollard LED	2.5 2.5 ft. (762mm)	LG3700 12W	35 3500K	BK Black	208	
	3 3 ft. (914mm)	(S) High Flux White LEDs	40 4000K	BZ Bronze	240	
	3.5 3.5 ft. (1.1m)		50 5000K	SV Silver	277	
	4 4 ft. (1.2m)		SP Specify Premium Color	SP Specify Premium Color	347	
	4.5 4.5 ft. (1.4m)				480	

1. Luminaire Cover - Die-cast aluminum cover, low copper alloy.

2. Gasketing - (not shown) Continuous gasket provides weather proofing, dust, and insect control at shikling base, and fixture cover.

3. Shielding - Transparent, continuous non-toxic injection molded. UV stabilized polycarbonate lens, minimum wall thickness 5/16" (8.25mm).

4. Light Engine - (S) High flux LEDs mounted to metal core PCB boards, attached to an aluminum heatsink for maximum LED performance and life. Includes LED drivers and precise high performance injection molded lenses. Complete light engine can be easily replaced. LEDs can be replaced and re-started instantly at standard 5/16" (8.25mm).

5. Optics - Six individual precision injected molded lenses consisting of total internal reflection (TIR) collimator and precision light shaping lens. Lensing process is an asymmetric distribution.

6. Column - Extruded, thick-walled low copper aluminum, minimum wall thickness 0.118". Covers with internal anchor bolts and finish hand-touch.

7. Surge Protector - (not shown) Designed to protect luminaire from electrical surge (10kA).

Exterior Luminaire Finish - Selux utilizes a high quality Polyester Powder Coating. All Selux luminaires and poles are finished in our Tiger Drylac certified facility and undergo a five stage intensive pretreatment process where product is thoroughly cleaned, phosphate and sealed. Selux powder coated products provide excellent salt and humidity resistance as well as ultra violet resistance for color retention. All products are tested in accordance with test specifications for coatings from ASTM and PCI.

Standard exterior colors are White (WH), Black (BK), Bronze (BZ), and Silver (SV). Selux premium colors (SP) are available. Please specify your Selux color selection guide.

5 Year Limited LED Luminaire Warranty - Selux offers a 5 Year Limited Warranty to the original purchaser that the Notch LED Bollard shall be free from defects in material and workmanship for up to five (5) years from date of shipment. This limited warranty covers the LED driver and LEDs when installed and operated according to Selux instructions. Luminaire suitable for ambient temperature up to 45°C. For details and restrictions, see "Selux Terms and Conditions of Sale."

Listings and Ratings: Luminaire tested to IESNA LM-79-08. LEDs tested to LM-80 standard.

Selux Corp. © 2014
NRTL Listed (i.e. UL, CSA) for wall locations
IP66 IK10
A continuing effort to offer the best product possible, we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product. Specifications found at www.selux.us are the most recent versions and supersede all other printed or electronic versions.

Notch Bollard LED

selux

Photometry

8.5W LED / 3500K CCT
Catalog # NT-4-LG3500-35
Report # S1207053-R1-1

- Ideal for applications requiring linear distributions.
- Maximum candela of 590 at 67.5° from vertical.
- IES classification - B0-U1-G1
- 434 Delivered Lumens
- 51 Lumens per Watt

8.5W LED / 5000K CCT
Catalog # NT-4-LG3500-50
Report # S1207053-R1-3

- Ideal for applications requiring linear distributions.
- Maximum candela of 569 at 67.5° from vertical.
- IES classification - B0-U1-G1
- 449 Delivered Lumens
- 53 Lumens per Watt

12W LED / 3500K CCT
Catalog # NT-4-LG3700-35
Report # S1207053-R1-1

- Ideal for applications requiring linear distributions.
- Maximum candela of 628 at 67.5° from vertical.
- IES classification - B0-U1-G1
- 494 Delivered Lumens
- 35 Lumens per Watt

12W LED / 5000K CCT
Catalog # NT-4-LG3700-50
Report # S1207053-R1-3

- Ideal for applications requiring linear distributions.
- Maximum candela of 628 at 67.5° from vertical.
- IES classification - B0-U1-G1
- 494 Delivered Lumens
- 35 Lumens per Watt

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NRTL Listed (i.e. UL, CSA)
A continuing effort to offer the best product possible, we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product. Specifications found at www.selux.us are the most recent versions and supersede all other printed or electronic versions.

Notch Bollard LED

selux

Photometry

12W LED / 5000K CCT
Catalog # NT-4-LG3700-50
Report # S1207053-R1

- Ideal for applications requiring linear distributions.
- Maximum candela of 711 at 67.5° from vertical.
- IES classification - B0-U1-G1
- Mounting Height = 4' (1.22 M)
- 561 Delivered Lumens
- 47 Lumens per Watt

Conversion Chart

Mounting Height	Beam Diameter	Beam Area
2.5 (2m)	2.5 (2m)	1.22
3 (3m)	3 (3m)	1.09
3.5 (3.5m)	3.5 (3.5m)	1.50
4 (4m)	4 (4m)	1.50
4.5 (4.5m)	4.5 (4.5m)	0.92
4.7 (4.7m)	4.7 (4.7m)	0.87

IES TM-21-11 Report Results
Based on an ambient temperature of 25°C/77°F

- Reported I₀ (W/m²) > 36,000
- Calculated I₀ (W/m²) 93,000
- 25,000 lux maintenance predicted to be 98.75%

LED CCT Prorate Table

CCT	Theoretical Multiplier
3000K	0.77
3500K	0.85
4000K	0.92
5000K	1.00

Lighting facts
Based on an ambient temperature of 25°C/77°F

Light Output (Lumens)	551
Watts	14.06
Lumens per Watt (Efficacy)	39
Color Accuracy	76
Light Color	4745 (Daylight)
Beam Spread	100°
Beam Angle	50°
Beam Diameter	100"
Beam Area	7854"
Beam Length	100"
Beam Volume	7854"

LED Luminaire Maintenance Projection 98.75% at 25,000 hours at 25°C Ambient

Warranty: Yes

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A continuing effort to offer the best product possible, we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product. Specifications found at www.selux.us are the most recent versions and supersede all other printed or electronic versions.

2 FIXTURE TYPE 'SLB' CUT SHEETS

E2.1

Date: 01/26/16
Drawn by: ADM
Reviewed by: BLS
Job Number: 21477

Revision: Date:
Revision #1 04/08/16

OAKLAND PARK PHASE 4
Winter Garden, Florida
Lake Apopka 2012, LLC
PO Box 783575 (347783575)
15241 E. Oakland Ave., Winter Garden, FL 34787

DIX.HITE
+ PARTNERS
150 W. JESSUP AVENUE
LONGWOOD, FLORIDA
TEL 407.467.1777
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Site Fixture Cut Sheets

J & C
Joseph, Lawrence & Co
Consulting Engineers
1880 HAWWOOD AVE, SUITE 3000
ALTAMONTE SPRINGS, FLORIDA 32714
TEL: 321.972.4466
WWW.JLCENG.COM
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Sheet Number:
E2.1

Date:	1/21/2016
Drawn by:	PC
Reviewed by:	DH/GB
Job Number:	21577
Revision:	Date:

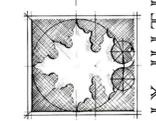
OAKLAND PARK PHASE IV

LANDSCAPE PLANS ISSUED FOR BID

Prepared For Lake Apopka 2012, LLC
JANUARY 21, 2016

- ① Addendum 1: January 26, 2016
- ② Addendum 1: February 12, 2016
- ③ Addendum 2: February 18, 2016
- Ⓐ Revision 1: April 15, 2016

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Winter Garden, Florida
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PO Box 783575 (34778-3575)
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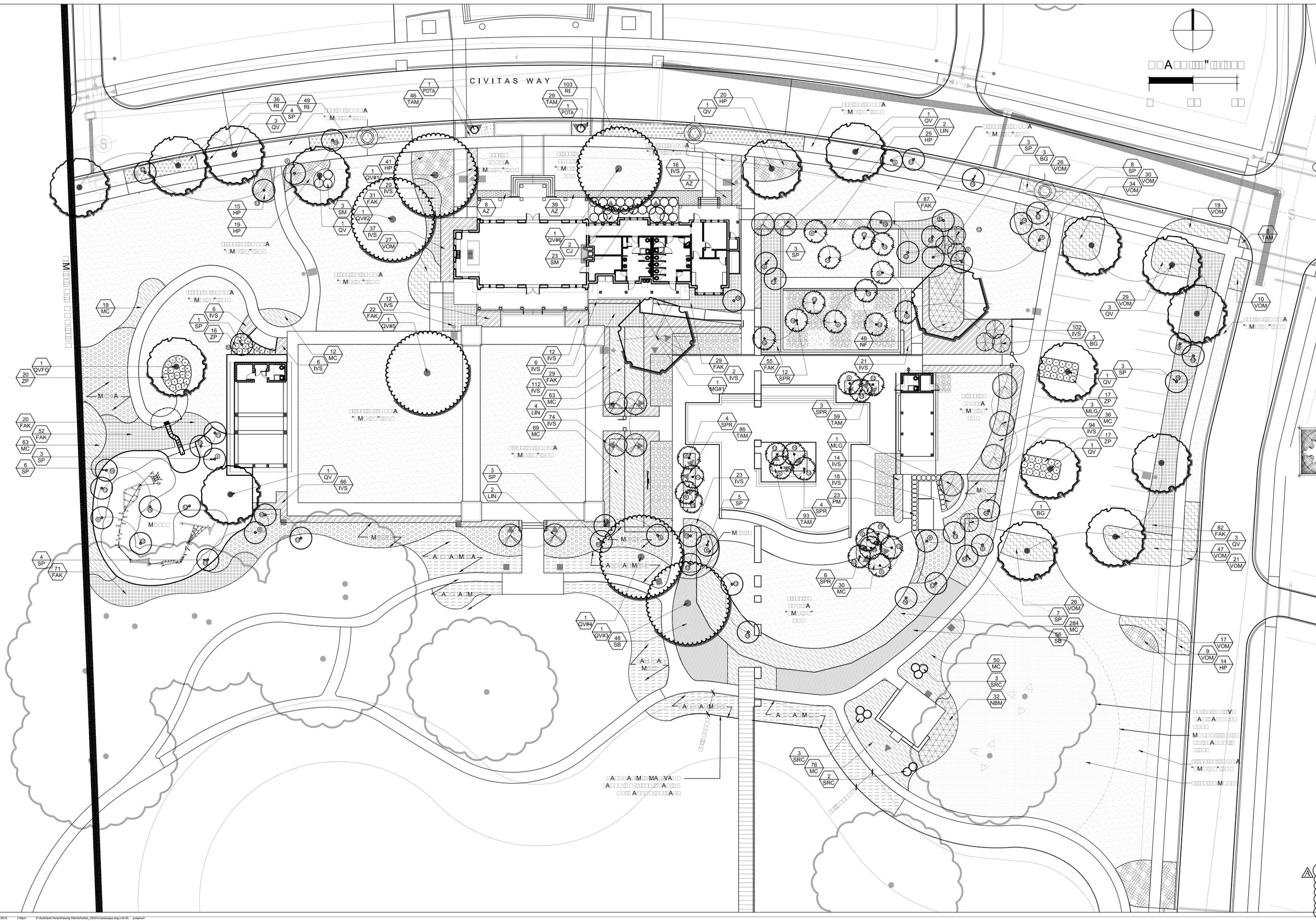
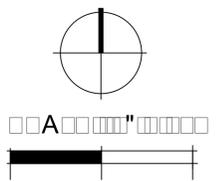
LANDSCAPE PLANS

Cover Sheet

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LA5.00	LANDSCAPE PLAN
LA5.90	LANDSCAPE PLANT LIST, DETAILS AND NOTES
LA5.99	LANDSCAPE SPECIFICATIONS

Sheet Number:

Date:	1/21/2016
Drawn by:	PC
Reviewed by:	DH/GB
Job Number:	21577
Revision:	Date:
▲	2/18/16
▲	4/15/16



OAKLAND PARK PHASE 4

Winter Garden, Florida
 Lake Apopka 2012, LLC
 PO Box 783575 (347)8-3575
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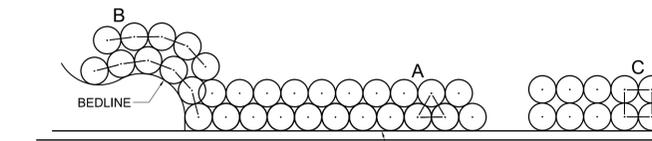
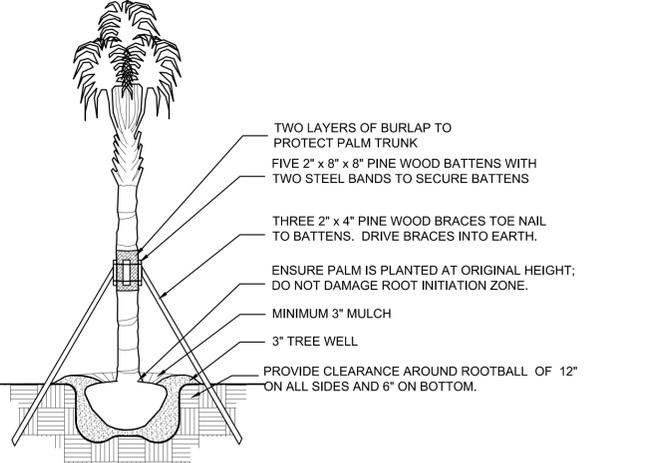
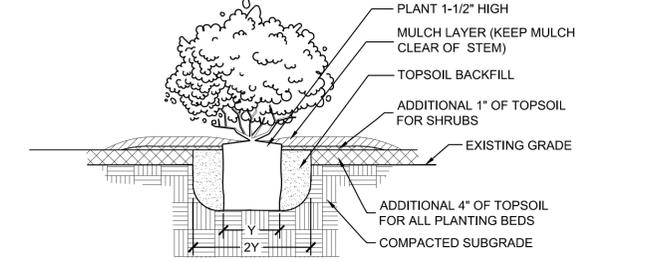
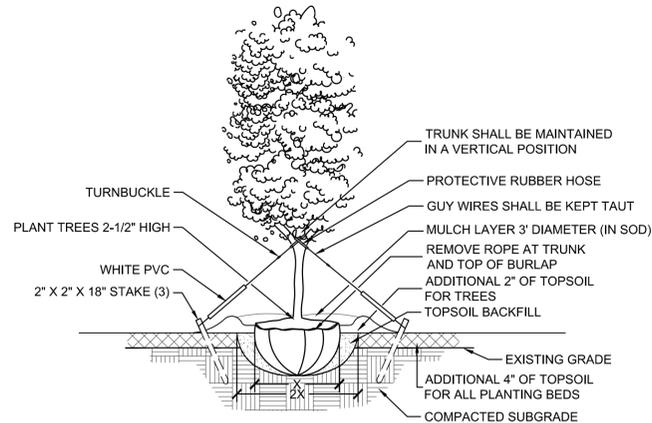
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+ PARTNERS
 150 W. JESSUP AVENUE
 LONGWOOD, FLORIDA
 34705
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LANDSCAPE PLANS

Landscape Site Plan A

Sheet Number:
LA5.00



OAKLAND PARK PHASE 4 PLANT LIST

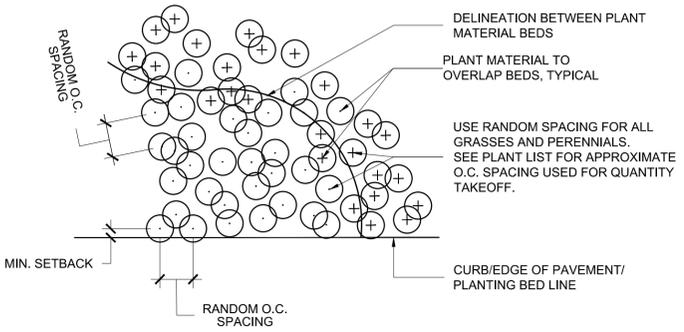
Quantity	Symbol	Botanical Name	Common Name	Size & Specification	Native	Drought Tolerant
EA Trees						
8	LIN	<i>Lagerstroemia indica</i> 'Natchez'	Natchez White Crape Myrtle	65 Gal., 9'-11" x 7'-9", 2"-2 1/2" Cal., Standard		X
4	MLG	<i>Magnolia grandiflora</i> 'Little Gem'	Little Gem Magnolia	65 Gal., 9'-10" x 4'-5", 2"-2 1/2" Cal., Full + Healthy	X	
1	QVFG	<i>Quercus virginiana</i> 'Seedling', 'Southern Shade' or 'Cathedral'	Live Oak 'Seedling', 'Southern Shade' or 'Cathedral'	Field Grown, 25" x 18", 12" Cal., Roots Plus Grower	X	
15	QV	<i>Quercus virginiana</i> 'Seedling', 'Southern Shade' or 'Cathedral'	Live Oak 'Seedling', 'Southern Shade' or 'Cathedral'	200 Gal., 16'-18" x 8'-10", 4"-5" Cal., Full, Healthy	X	
29	SPR	<i>Sabal palmetto</i>	Regenerated Sabal Palm	Not Hurricane Cut, Fully Regenerated Root System and Fully Regrown Heads. Use Varied Heights - 8'/12'/16" C.T. See Plans For Sizes, 15" Min. Dia. Trunk, Boots Saved Just Below Crown, Clean Trunk	X	X
50	SP	<i>Sabal palmetto</i>	Sabal Palm	HURRICANE CUT, 8', 12' and 16' C.T. See plans for sizes, min. clean trunks, 12" min. dia. trunk, boots saved just below crown	X	X
EA Shrubs/Groundcover						
54	AZ	<i>Rhododendron</i> 'Conier' PP#12110	Autumn Ruby Encore Azalea	3 Gal., Full, 18" x 18", 30" O.C., Full, Healthy		
7	BJ	<i>Bauhinia galpinii</i>	Red Orchid Tree	7 Gal., 3' x 3' min., Full + Healthy		
2	CJ	<i>Tabernaemontana divaricata</i>	Crape Jasmine, Florida Gardenia	7 Gal., 3' Ht. x 3' Sprd., Full + Healthy		
478	FAK	<i>Tripsacum dactyloides</i>	Dwarf Fakahatchee Grass	1 Gal., 18" Ht., 36" O.C., Full, Healthy	X	
134	HP	<i>Hamelia patens</i> 'Compacta'	Dwarf Firebush	3 Gal., 18"-20" x 18"-20", 36" O.C., Full, Healthy	X	X
641	IVS	<i>Ilex vomitoria</i> 'Stokes Dwarf'	Dwarf Yaupon Holly	3 Gal., 12" x 15", 30" O.C., Full, Healthy	X	X
702	MC	<i>Muhlenbergia capillaris</i>	Muhly Grass	1 Gal., 12-18" x 12-18", 36" O.C., Full, Healthy	X	X
32	NBM	<i>Nephrolepis biserrata</i> 'Macho'	Macho Fern	3 Gal., 18"x18", 36" O.C., Full, Healthy	X	X
188	RI	<i>Rhapiolepis indica</i>	Indian Hawthorn	3 Gal., 12-18" x 12-18", 30" O.C., Full, Healthy	X	X
104	SB	<i>Spartina bakeri</i>	Sand Cordgrass	1 Gal., 24" Ht., 48" O.C., Full, Healthy	X	X
26	SM	<i>Sabal minor</i>	Dwarf Palmetto	15 Gal., 42" x 42", Full, Healthy	X	X
8	SRC	<i>Serenoa repens</i> 'Cinera'	Silver Saw Palmetto	15 Gal., 42" x 42", Full, Healthy	X	X
321	TAM	<i>Trachelospermum asiaticum</i> 'Minima'	Minima Jasmine	1 Gal., 15" O.C., Full, Healthy	X	X
295	VOM	<i>Viburnum obovatum</i> 'Mrs. Schillings Delight'	Dwarf Walter's Viburnum	3 Gal., 3" O.C., 18-20" x 18-20", Full, Healthy	X	X
70	ZP	<i>Zamia pumila</i>	Coontie	3 Gal. 18"-20" x 18"-20", 36" O.C., Full, Healthy	X	X
SF MISCELLANEOUS						
31,053	SOD	<i>Zoysia Sod</i>	<i>Zoysia japonica</i> "Empire"	Disease & Weed Free		
605	CY mulch	Pine Straw	Pine Straw	Compacted to a 6" wet depth		

MIX PLANT LISTS

MIX 1	EA	MIX-1A	825 SQ. FEET			% of Mix
	45	MC	<i>Muhlenbergia capillaris</i>	Muhly Grass	1 Gal., 12-18" x 12-18", 36" O.C., Full, Healthy	50%
	27	FAK	<i>Tripsacum dactyloides</i>	Dwarf Fakahatchee Grass	1 Gal., 24" Ht., 36" O.C., Full, Healthy	30%
	18	ZP	<i>Zamia pumila</i>	Coontie	3 Gal. 18"-20" x 18"-20", 36" O.C., Full, Healthy	20%
	EA	MIX-1B	1360 SQ. FEET			% of Mix
	75	MC	<i>Muhlenbergia capillaris</i>	Muhly Grass	1 Gal., 12-18" x 12-18", 36" O.C., Full, Healthy	50%
	45	FAK	<i>Tripsacum dactyloides</i>	Dwarf Fakahatchee Grass	1 Gal., 24" Ht., 36" O.C., Full, Healthy	30%
	30	ZP	<i>Zamia pumila</i>	Coontie	3 Gal. 18"-20" x 18"-20", 36" O.C., Full, Healthy	20%
	EA	MIX-1C	700 SQ. FEET			% of Mix
	39	MC	<i>Muhlenbergia capillaris</i>	Muhly Grass	1 Gal., 12-18" x 12-18", 36" O.C., Full, Healthy	50%
	23	FAK	<i>Tripsacum dactyloides</i>	Dwarf Fakahatchee Grass	1 Gal., 24" Ht., 36" O.C., Full, Healthy	30%
	15	ZP	<i>Zamia pumila</i>	Coontie	3 Gal. 18"-20" x 18"-20", 36" O.C., Full, Healthy	20%
	EA	MIX-1D	230 SQ. FEET			% of Mix
	13	MC	<i>Muhlenbergia capillaris</i>	Muhly Grass	1 Gal., 12-18" x 12-18", 36" O.C., Full, Healthy	50%
	8	FAK	<i>Tripsacum dactyloides</i>	Dwarf Fakahatchee Grass	1 Gal., 24" Ht., 36" O.C., Full, Healthy	30%
	5	ZP	<i>Zamia pumila</i>	Coontie	3 Gal. 18"-20" x 18"-20", 36" O.C., Full, Healthy	20%
	EA	MIX-1E	263 SQ. FEET			% of Mix
	15	MC	<i>Muhlenbergia capillaris</i>	Muhly Grass	1 Gal., 12-18" x 12-18", 36" O.C., Full, Healthy	50%
	9	FAK	<i>Tripsacum dactyloides</i>	Dwarf Fakahatchee Grass	1 Gal., 24" Ht., 36" O.C., Full, Healthy	30%
	6	ZP	<i>Zamia pumila</i>	Coontie	3 Gal. 18"-20" x 18"-20", 36" O.C., Full, Healthy	20%
NATURAL MIXES						
EA	NATURAL MIX A	50% Coverage (330 SQ. FEET) / 50% Mulch(330 SQ. FEET)				% of Mix
	8	FAK	<i>Tripsacum dactyloides</i>	Dwarf Fakahatchee Grass	1 Gal., 24" Ht., 48" O.C., Full, Healthy	40%
	6	NBM	<i>Nephrolepis biserrata</i> 'Macho'	Macho Fern	3 Gal., 18"x18", 48" O.C., Full, Healthy	30%
	4	SB	<i>Spartina bakeri</i>	Sand Cordgrass	1 Gal., 24" Ht., 48" O.C., Full, Healthy	20%
	2	SRC	<i>Serenoa repens</i> 'Cinera'	Silver Saw Palmetto	3 Gal., 12" x 12", 48" O.C., Full, Healthy	10%
EA	NATURAL MIX B	50% Coverage (130 SQ. FEET) / 50% Mulch(130 SQ. FEET)				% of Mix
	3	FAK	<i>Tripsacum dactyloides</i>	Dwarf Fakahatchee Grass	1 Gal., 24" Ht., 48" O.C., Full, Healthy	40%
	3	NBM	<i>Nephrolepis biserrata</i> 'Macho'	Macho Fern	3 Gal., 18"x18", 48" O.C., Full, Healthy	30%
	2	SB	<i>Spartina bakeri</i>	Sand Cordgrass	1 Gal., 24" Ht., 48" O.C., Full, Healthy	20%
	1	SRC	<i>Serenoa repens</i> 'Cinera'	Silver Saw Palmetto	3 Gal., 12" x 12", 48" O.C., Full, Healthy	10%
EA	NATURAL MIX C	50% Coverage (306 SQ. FEET) / 50% Mulch(306 SQ. FEET)				% of Mix
	8	FAK	<i>Tripsacum dactyloides</i>	Dwarf Fakahatchee Grass	1 Gal., 24" Ht., 48" O.C., Full, Healthy	40%
	6	NBM	<i>Nephrolepis biserrata</i> 'Macho'	Macho Fern	3 Gal., 18"x18", 48" O.C., Full, Healthy	30%
	4	SB	<i>Spartina bakeri</i>	Sand Cordgrass	1 Gal., 24" Ht., 48" O.C., Full, Healthy	20%
	2	SRC	<i>Serenoa repens</i> 'Cinera'	Silver Saw Palmetto	3 Gal., 12" x 12", 48" O.C., Full, Healthy	10%
EA	NATURAL MIX D	50% Coverage (488 SQ. FEET) / 50% Mulch(488 SQ. FEET)				% of Mix
	12	FAK	<i>Tripsacum dactyloides</i>	Dwarf Fakahatchee Grass	1 Gal., 24" Ht., 48" O.C., Full, Healthy	40%
	9	NBM	<i>Nephrolepis biserrata</i> 'Macho'	Macho Fern	3 Gal., 18"x18", 48" O.C., Full, Healthy	30%
	6	SB	<i>Spartina bakeri</i>	Sand Cordgrass	1 Gal., 24" Ht., 48" O.C., Full, Healthy	20%
	3	SRC	<i>Serenoa repens</i> 'Cinera'	Silver Saw Palmetto	3 Gal., 12" x 12", 48" O.C., Full, Healthy	10%
EA	NATURAL MIX E	50% Coverage (198 SQ. FEET) / 50% Mulch(198 SQ. FEET)				% of Mix
	5	FAK	<i>Tripsacum dactyloides</i>	Dwarf Fakahatchee Grass	1 Gal., 24" Ht., 48" O.C., Full, Healthy	40%
	4	NBM	<i>Nephrolepis biserrata</i> 'Macho'	Macho Fern	3 Gal., 18"x18", 48" O.C., Full, Healthy	30%
	3	SB	<i>Spartina bakeri</i>	Sand Cordgrass	1 Gal., 24" Ht., 48" O.C., Full, Healthy	20%
	2	SRC	<i>Serenoa repens</i> 'Cinera'	Silver Saw Palmetto	3 Gal., 12" x 12", 48" O.C., Full, Healthy	10%
EA	NATURAL MIX F	50% Coverage (428 SQ. FEET) / 50% Mulch(428 SQ. FEET)				% of Mix
	11	FAK	<i>Tripsacum dactyloides</i>	Dwarf Fakahatchee Grass	1 Gal., 24" Ht., 48" O.C., Full, Healthy	40%
	8	NBM	<i>Nephrolepis biserrata</i> 'Macho'	Macho Fern	3 Gal., 18"x18", 48" O.C., Full, Healthy	30%
	5	SB	<i>Spartina bakeri</i>	Sand Cordgrass	1 Gal., 24" Ht., 48" O.C., Full, Healthy	20%
	3	SRC	<i>Serenoa repens</i> 'Cinera'	Silver Saw Palmetto	3 Gal., 12" x 12", 48" O.C., Full, Healthy	10%

NOTES:

- THE CONTRACTOR SHALL LAYOUT A TEST AREA WITH TWO DIFFERENT PLANT MIXES ADJOINING FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE PERIMETER OF ALL ALIGNING PLANTING BEDS SHALL OVERLAP RANDOMLY INTO NEIGHBORING BEDS.
- INTERIOR PORTIONS OF EACH BED SHALL BE PLANTED AT APPROPRIATE AVERAGE SPACING ACCORDING TO THE PLANT LIST.
- SOME SELECT SPECIES WILL BE PLANTED ON REGULAR TRIANGULATED SPACING AS DIRECTED BY LANDSCAPE ARCHITECT.
- SETBACKS ARE APPLICABLE TO ALL HARDSCAPE ITEMS:
-12" MIN. SETBACK FOR GROUNDCOVERS
-18" MIN. SETBACK FOR SHRUBS
-48" FOR CORDGRASS (*SPARTINA BAKERI*)



PLANTER POT LIST

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LANDSCAPE NOTES

- CONTRACTOR IS EXPECTED TO CARRY OUT ALL RESPONSIBILITIES SET FORTH IN THESE LANDSCAPE NOTES AND IN THE LANDSCAPE SPECIFICATIONS. THEY WILL BE STRICTLY ENFORCED BY THE OWNER/L.A.
- ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER ACCORDING TO THE CURRENT NURSERY GRADES AND STANDARDS.
- ALL PLANT BEDS SHALL BE DRESSED WITH 3" LAYER OF MULCH. ALL OTHER AREAS SHALL RECEIVE SOD (SEE PLAN FOR TYPE).
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO INSTALLATION.
- ALL PLANTS SHALL MEET SIZE, CONTAINER, AND SPACING SPECIFICATIONS. ANY MATERIAL NOT MEETING SPECIFICATIONS SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE TO RECEIVE THE LANDSCAPE ARCHITECT'S APPROVAL OF ALL PLANT BED LAYOUTS AND TREE LOCATIONS PRIOR TO INSTALLATION. IF PLANT MATERIAL IS INSTALLED PRIOR TO LANDSCAPE ARCHITECT'S APPROVAL, CONTRACTOR WILL BE SUBJECT TO RELOCATING THE MATERIAL AT THE LANDSCAPE ARCHITECT'S REQUEST AND THE CONTRACTOR'S OWN EXPENSE.
- ALL SHRUBS SHALL BE PLANTED 1-1/2" AND TREES 2-1/2" ABOVE GRADE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PLANT HEALTH IN ON-SITE SOILS. CONTRACTOR SHALL BE RESPONSIBLE FOR WARRANTY OF HEALTH OF PLANTS IN ON-SITE SOILS. IF, DURING DIGGING, CONTRACTOR DISCOVERS WATERLOGGED, CLAYEY, COMPACTED OR SIMILARLY POORLY DRAINED SOILS, IT SHOULD BE BROUGHT TO THE ATTENTION OF OWNER/LANDSCAPE ARCHITECT FOR REMEDIAL ACTION.
- CONTRACTOR SHALL PERFORM 10 SOIL TESTS PRIOR TO CONSTRUCTION 1) TO DETERMINE NUTRIENT STATUS AND PH OF SOIL AND 2) TO DETERMINE THE SOIL TEXTURE IN THE TOP 6" - 12" OF SOIL, AND THEN AMEND THE SOIL BASED ON THE RESULTS OF THE TESTS. SEE THE LANDSCAPE SPECIFICATIONS FOR MORE INFORMATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING. GRADING SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF PLANT MATERIAL AND SOD.
- REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CONTRACTOR SHALL SUBMIT UNIT PRICES FOR ALL BID ITEMS
- SOIL SHALL BE FREE FROM LIME ROCK AND CONSTRUCTION DEBRIS.
- IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES REPRESENTED ON THE PLAN VS. QUANTITIES SHOWN ON THE PLANT LIST, THE PLAN SHALL CONTROL.
- CONTRACTOR SHALL MAINTAIN TREES IN A STRAIGHT AND PLUMB POSITION FOR ONE YEAR. CONTRACTOR SHALL STAKE ALL TREES IF REQUIRED BY THE JURISDICTION.
- PRIOR TO REMOVAL OF ANY TREES, THE TREES TO BE RETAINED SHALL HAVE PROTECTIVE TREE BARRIERS.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR OWN TAKE OFFS AND QUANTITIES. THE QUANTITIES ON THE PLANT LIST SERVE ONLY AS A GUIDE TO THE OWNER AND L.A. THIS INCLUDES SOD AND MULCH QUANTITIES OF WHICH THE CONTRACTOR SHALL BE HELD TO BID QUANTITIES.
- SUCCESSFUL BIDDER SHALL LOCK UP ALL MATERIALS IMMEDIATELY AFTER CONTRACT ASSIGNMENT. PLANTS SHALL BE HELD DURING THE PERIOD FROM CONTRACT TO INSTALLATION TO ALLOW ADDITIONAL GROWTH. ALL PLANTS WILL BE REQUIRED TO BE FULL AND HEALTHY. CONTRACTOR SHALL ARRANGE FOR PLANT APPROVAL PRIOR TO DELIVERY, EITHER BY SAMPLES, PHOTOS, OR NURSERY VISITS.
- CONTRACTOR SHALL ANTICIPATE THE FIRST FIVE FEET AROUND BUILDING PERIMETER WILL BE COMPACTED AND FOUNDATION BEDS SHOULD BE TILLED AND IMPROVED TO SUSTAIN VIGOROUS, HEALTHY PLANT GROWTH.

Date: 1/21/2016

Drawn by: FC

Reviewed by: DH/GB

Job Number: 21577

Revision: Date:

△ 2/12/16

△ 2/18/16

△ 4/15/16

OAKLAND PARK PHASE 4
Winter Garden, Florida
Lake Apopka 2012, LLC
PO Box 783575 (34778-3575)
15241 E. Oakland Ave., Winter Garden, FL 34787

DIX, HITE
+ PARTNERS
145 W. HIGHLAND AVENUE
LONGWOOD, FLORIDA
TEL 407.667.1777
FAX 407.667.1779

LANDSCAPE PLANS
Landscape Details, Notes, & Plant List

Sheet Number:
LA5.90

Date:	1/21/2016
Drawn by:	CRB
Reviewed by:	DH
Job Number:	21577
Revision:	Date:

OAKLAND PARK PHASE IV

IRRIGATION PLANS

ISSUED FOR BID

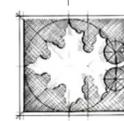
Prepared For Lake Apopka 2012, LLC

JANUARY 21, 2016

ADDENDUM #1: 1/26/2016

△ Revised April 15, 2016

OAKLAND PARK PHASE 4
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DIXIE HITE
+ PARTNERS
150 W. JESSUP AVENUE
LAKE APOPKA, FL 34787
TEL: 407.667.1779
FAX: 407.667.1779

Cover Sheet

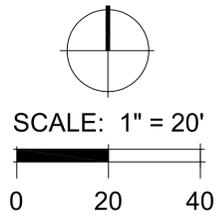
TABLE OF CONTENTS	
SHEET NUMBER	SHEET NAME
LA6.00	IRRIGATION PLAN
LA6.90	IRRIGATION LEGEND, TABLES & NOTES
LA6.91	IRRIGATION DETAILS
LA6.99	IRRIGATION SPECIFICATIONS

Sheet Number:

LIMIT OF WORK LINE

COORDINATE EXACT LOCATION IN THE FIELD

CIVITAS WAY



Date:	1/21/2016
Drawn by:	CRB
Reviewed by:	DH
Job Number:	21577
Revision:	Date:
▲	4/15/16

COORDINATE EXACT LOCATION & 120-VAC POWER HOOKUP IN THE FIELD

PROVIDE CONDUIT TO MAINLINE FOR WIRING

THESE SLEEVES MUST BE INSTALLED DURING POOL CONSTRUCTION

KERSHAW DRIVE

WETLAND

WETLAND

IMPORTANT PIPE ROUTING AND SIZING NOTE
 IN ORDER TO ENHANCE READABILITY AND REDUCE CLUTTER ON THE DRAWINGS, ONLY LATERAL PIPE SIZED 1" AND LARGER IS LABELED. ALL UNLABELED PIPE DOWNSTREAM FROM THE INDICATED 1" PIPE SHALL BE 3/4", EXCEPT FOR PIPE FEEDING A SINGLE SPRAY HEAD OR BUBBLER, WHICH SHALL BE 1/2". ALSO, PIPING SHOWN UNDER BUILDING PADS OR RUNNING LENGTHWISE UNDER SIDEWALKS OR OTHER PAVED AREAS SHALL BE INSTALLED WITHIN FERVIOUS AREAS WHEREVER POSSIBLE.

NUMEROUS EXISTING TREES PRESENT!
 THE INSTALLER WILL BE REQUIRED TO ADJUST PIPING LOCATIONS AND/OR INSTALL VIA JETTING OR HAND TRENCHING TO AVOID DAMAGE TO THE NUMEROUS EXISTING TREES WHICH ARE TO BE RETAINED AND PRESERVED.

OAKLAND PARK PHASE 4
 Winter Garden, Florida
 Lake Apopka 2012, LLC
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 15241 E. Oakland Ave., Winter Garden, FL 34787

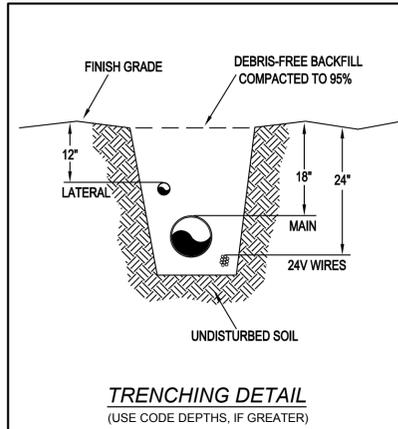


Irrigation Plan

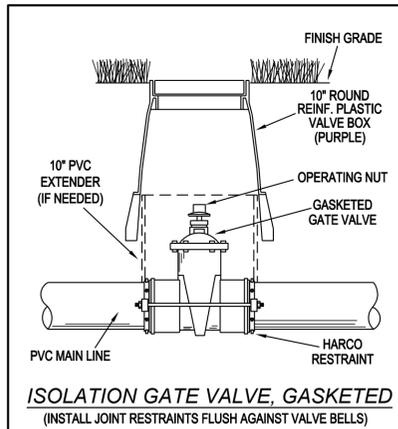
Sheet Number:
LA6.00

PATTERN	GPM @ 30-psi	RADIUS @ 30-psi
15F FULL	3.70	15'
15T0 THREE QUARTER	2.78	15'
15T1 TWO THIRD	2.48	15'
15H HALF	1.85	15'
15T THIRD	1.23	15'
15Q QUARTER	.93	15'
15EST END STRIP	.61	4'x15'
15CST CENTER STRIP	1.21	4'x30'
15SST SIDE STRIP	1.21	4'x30'
12F FULL	2.60	12'
12T0 THREE QUARTER	1.95	12'
12T1 TWO THIRD	1.74	12'
12H HALF	1.30	12'
12T THIRD	.87	12'
12Q QUARTER	.65	12'
10F-LA FULL	1.57	10'
10H-LA HALF	.79	10'
10T-LA THIRD	.52	10'
10Q-LA QUARTER	.39	10'
8F-FLT FULL	1.57	8'
8H-FLT HALF	.79	8'
8T-FLT THIRD	.52	8'
8Q-FLT QUARTER	.39	8'

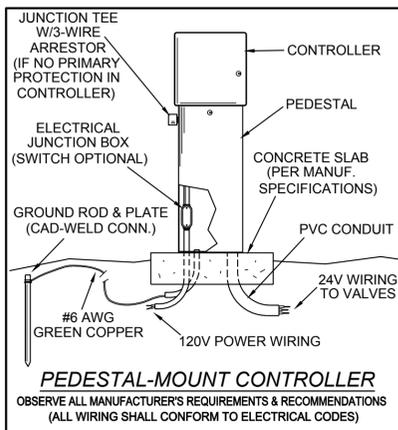
HUNTER/RAIN BIRD NOZZLE PERFORMANCE CHART
 THE INSTALLER SHALL SELECT THE NOZZLE PATTERNS WHICH BEST SUIT THE LOCATION OF THE HEADS, WHILE MINIMIZING OVERSPRAY ONTO WALLS OR PAVEMENT AREAS



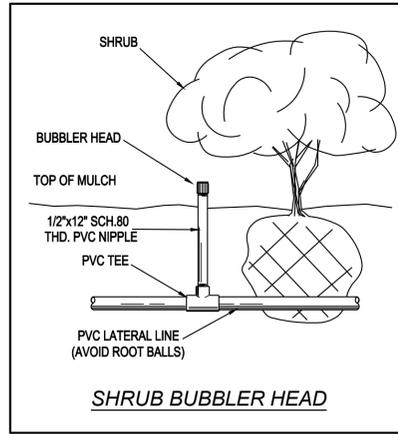
TRENCHING DETAIL
 (USE CODE DEPTHS, IF GREATER)



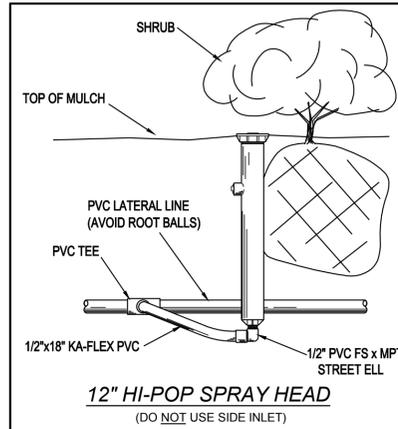
ISOLATION GATE VALVE, GASKETED
 (INSTALL JOINT RESTRAINTS FLUSH AGAINST VALVE BELLS)



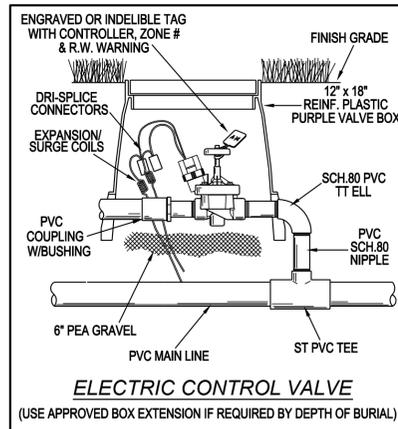
PEDESTAL-MOUNT CONTROLLER
 OBSERVE ALL MANUFACTURER'S REQUIREMENTS & RECOMMENDATIONS (ALL WIRING SHALL CONFORM TO ELECTRICAL CODES)



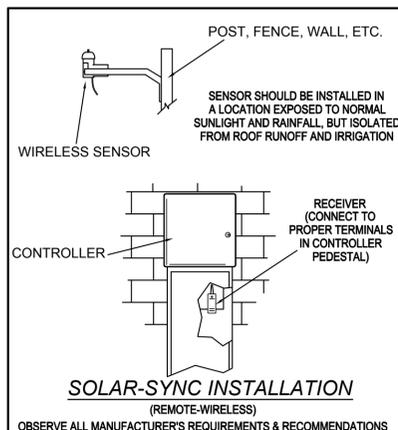
SHRUB BUBBLER HEAD



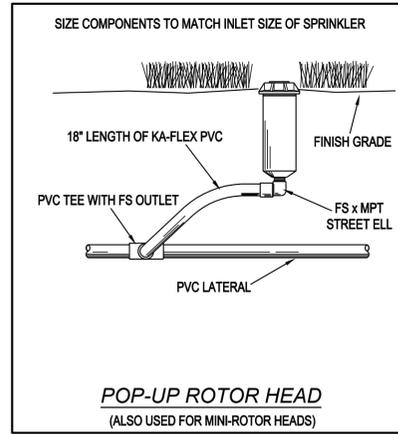
12" HI-POP SPRAY HEAD
 (DO NOT USE SIDE INLET)



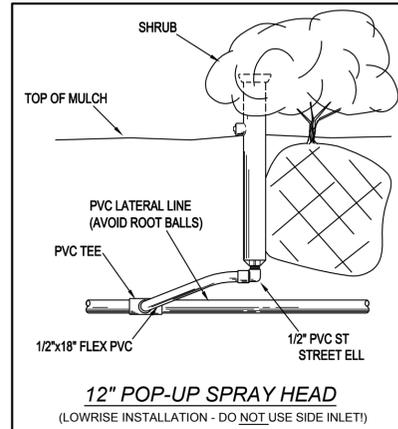
ELECTRIC CONTROL VALVE
 (USE APPROVED BOX EXTENSION IF REQUIRED BY DEPTH OF BURIAL)



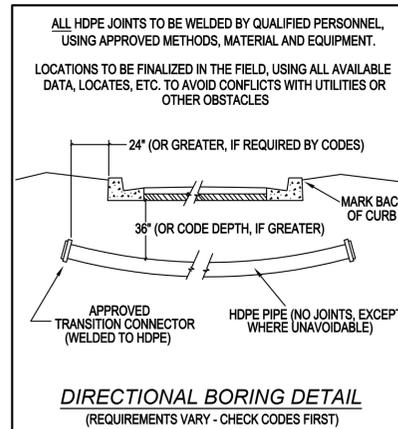
SOLAR-SYNC INSTALLATION
 (REMOTE-WIRELESS)
 OBSERVE ALL MANUFACTURER'S REQUIREMENTS & RECOMMENDATIONS



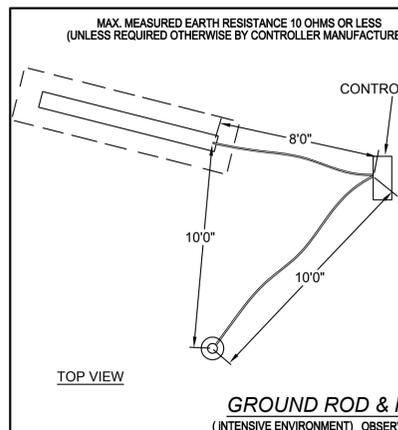
POP-UP ROTOR HEAD
 (ALSO USED FOR MINI-ROTOR HEADS)



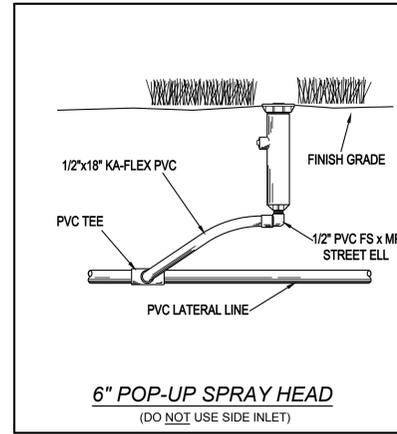
12" POP-UP SPRAY HEAD
 (LOWRISE INSTALLATION - DO NOT USE SIDE INLET!)



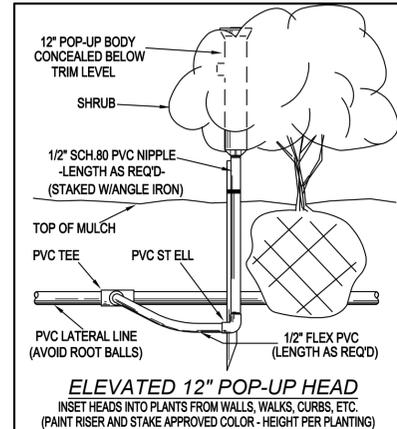
DIRECTIONAL BORING DETAIL
 (REQUIREMENTS VARY - CHECK CODES FIRST)



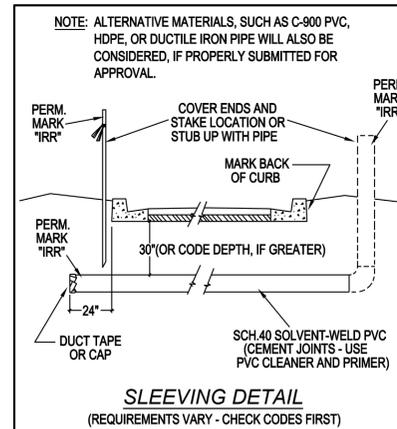
GROUND ROD & PLATE INSTALLATION
 (INTENSIVE ENVIRONMENT) OBSERVE ALL PREVAILING CODES AND REGULATIONS



6" POP-UP SPRAY HEAD
 (DO NOT USE SIDE INLET)



ELEVATED 12" POP-UP HEAD
 INSET HEADS INTO PLANTS FROM WALLS, WALKS, CURBS, ETC. (PAINT RISER AND STAKE APPROVED COLOR - HEIGHT PER PLANTING)



SLEEVING DETAIL
 (REQUIREMENTS VARY - CHECK CODES FIRST)

Date: 1/21/2016
 Drawn by: CRB
 Reviewed by: DH
 Job Number: 21577
 Revision: Date:

OAKLAND PARK PHASE 4
 Winter Garden, Florida
 Lake Apopka 2012, LLC
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 + PARTNERS
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Irrigation Details

Sheet Number:
LA6.91

IRRIGATION SPECIFICATIONS

PART 1 - GENERAL

1.01 DESCRIPTION

A. Scope of Work:

The work consists of installing a complete automated underground irrigation system as shown on the Drawings and hereinafter specified. The work shall include the furnishing of all labor, equipment, materials, permits, meeting and coordination time, and supervision in performing all operations in connection with the construction of the irrigation system. The Bidders are advised that all work will be performed in a thorough, proper, and professional manner, and that the implementation of substandard or otherwise unapproved materials or methods will not be tolerated by the Owner.

B. General Description:

The irrigation system shall be constructed using the materials and methods shown on the Drawings and as called for in these Specifications. The system shall be constructed to grades and conform to areas and locations as shown on the Drawings. Locations of irrigation lines and equipment shown on the Drawings are largely diagrammatic. Mainline, valve, pump & well (if used) and/or supply P.O.C. locations shall be staked out by the Contractor and approved by the Owner prior to installation. Location of all other equipment shall be as close as practical to those shown on the Drawings. Mainline locations shall also be coordinated to avoid conflicts with pavement, easements, proposed and existing planting and/or other obstructions. The construction of the irrigation system shall include the furnishing, installation, and testing of all mainlines, lateral piping, fittings, sprinkler heads, swing joints, valves, controller equipment, wiring, pumping equipment (if used), all other pertinent materials and accessories, the removal and/or restoration of existing improvements, excavation and backfill, and all other work in accordance with the Drawings and Specifications, as required for a complete, functional, and fully warranted system. Although architectural considerations may result in some differences of criteria between various areas of the project, the Contractor shall maintain uniformity of construction methods and materials throughout.

C. Relationship of the Documents:

The Drawings for this project and these Written Specifications are to be considered totally integral, with neither considered complete without the other. The Bidders shall thoroughly examine and familiarize themselves with all the information contained in the Documents, and by submitting a bid for this work, agree to accept and be bound by all the provisions made in the Documents. Should a discrepancy arise between the Drawings and these Specifications, the Drawings shall control, unless the item in question is part of an Addendum, dated later than the Drawings. The Owner or his chosen Representative shall be immediately notified of any such discrepancies, and shall take any corrective action deemed necessary.

D. Alternate Products and Methods:

Specific equipment, performances, installation methods, and other such criteria have been chosen for use in the design of this project, and these shall be considered the basis for the Base Bid. The use of alternate equipment and/or methods shall not be acceptable without prior approval. Consideration shall be given only for those materials and methods whose performance most closely matches that which is contained in the original Documents, and most reasonably serves the intent of this design. Any modifications or other impact to this design which may be necessitated by the submission of alternate equipment and/or methods shall be clearly noted within the submittal, and subsequently acted upon by the Owner. The Bidders shall warrant that any bid submitted for any equipment shall include all materials and work necessary for the proper and fully warranted installation of the equipment, including, but not limited to, increased pipe or wire size, fittings, concrete, gravel, or any other associated materials and/or labor. After the Contract is awarded, any alternative material or methods that the Installer wishes considered shall be submitted in a written "Request for Substitution", which shall include full data for the proposed alternate, a cost difference (plus or minus) and a detailed reason for submitting the alternate.

E. Related Work Specified Elsewhere:

Consult the Owner for documents pertaining to other trades relative to this work.

1.02 SUBMITTALS

A. Requirements:

Prior to commencement of work under this Contract, the Contractor shall submit six sets of submittal data on all proposed materials and equipment. This data shall include copies of all manufacturers' warranty information, including documentation of any extended warranties, if applicable to this project.

Submittals shall be in three-ring binders with various sections tabbed and properly indexed. Each item shall be marked as acceptable to the General Contractor before the Engineer, Landscape Architect, or the Consultant shall consider it for approval.

PART 2 - PRODUCTS

2.01 MATERIALS

A. General:

The Contractor shall supply all material and equipment of the types and makes shown on the Drawings. No substitutions shall be permitted without prior written approval of the Owner. The Contractor shall inspect all material and equipment prior to installation; any defective materials or equipment shall be removed immediately from the site and replaced with the proper items. All materials shall be new and current production. Pipe shall be delivered to the site in full 20-foot lengths, and shall be clearly and permanently marked with manufacturer's name, classification, and code references. Any items used in the installation which are subsequently found to be defective, improperly installed, or not as specified herein and on the Drawings, shall likewise be removed and replaced with the proper materials and equipment, and installed in the proper manner, as interpreted by the Owner. Any work done or materials used for this purpose shall be provided by the Contractor at no cost to the Owner. All materials normally associated with the proper installation of the specified equipment, or required by the corresponding manufacturer of the equipment, shall be considered part of the work, regardless of whether every item is specifically called out in the Documents. In the event that less costly type of equipment is accepted for use on the project, or any equipment is deleted or omitted from the work, the Contractor shall discount the Contract amount (or if paid, shall fully refund the difference to the Owner) regardless of whether the action was initiated by the Owner or the Contractor. The use of prototype or field-test materials is absolutely prohibited on this project, unless the permission of the Owner or his authorized representative is obtained in advance.

PART 3 - INSTALLATION

3.01 GENERAL:

A. Description:

The Contractor shall install a fully operational and warranted automatic irrigation system. Any and all materials and prevalent methods necessary to do so shall be provided by the Contractor as part of this contract, even if not specifically called for in the Drawings and/or these Specifications. The Contractor shall obtain all the necessary permits and inspections for this work, and shall be responsible for penalties or damages which may result from his failure to do so. The content and enforcement of codes and regulations may vary from job to job, or change over time between Design and Construction. Information contained in these documents is for reference purposes ONLY, and shall not be considered an absolute interpretation of prevailing requirements. The responsibility for researching code requirements, and for conformance thereto, shall remain solely that of the Contractor. The Contractor shall NOT install any materials or perform any work that is known to be in violation of any standing code requirement or regulation, even if so directed by the Design Documents. Conflicts of this nature should be brought immediately to the attention of the Project Manager using a written "Request for Information".

B. Existing Conditions:

The Drawings show conditions as they are believed to exist, but it is not intended, nor should it be interpreted, that the conditions shown constitute a representation by the Owner that the conditions actually exist. The Contractor shall personally inspect the job site prior to bidding, to fully familiarize himself with the nature of the work, and shall accept full responsibility for any loss sustained as a result of differences between the conditions shown on the Drawings and any actual condition revealed during the completion of the work. (EXCEPTION: Rock Clause; See section 3.02.D.) The Contractor shall, prior to excavation, verify the location of any and all existing underground improvements, and shall take any action necessary to protect said improvements during his work, and eliminate service outages. This may include, but not be limited to, existing irrigation. If the site contains areas of protected wetland or other environmentally sensitive areas, the Contractor shall fully acquaint himself with the actual limits of these areas and any corresponding buffer zones, and shall make sure that the progress and/or result of his work shall not impact these areas. These areas may not be excavated, drained, thrown into by sprinklers, used for equipment access or storage, or otherwise disturbed in any way whatsoever. Any fees or penalties assessed upon the Owner as a result of violations by the Contractor will be paid by the Contractor. The Contractor shall be responsible for checking the irrigation water source for salinity, odor, stain or other objectionable properties, and reporting the results to the Owner and Landscape Architect. If the irrigation source is from pressurized service, the Contractor shall test the supply pressure before work begins, to ensure that it is adequate for the proper operation of the system. This work should be performed as early as possible.

C. Trenching and Backfilling:

The Contractor shall be responsible for staking out the head locations on the project. When grading has been established in a particular area, the Contractor shall, prior to beginning any excavation in the area, cause staking to be performed, and shall secure the approval of the Owner or Landscape Architect of the finished staking. Excavation shall be open vertical construction sufficiently wide to allow free working space around the work installed, and allow ample space for backfilling and tamping. Trenches for piping shall be cut to required grade lines, and compacted to provide accurate grade and uniform bearing for the full length of the piping. Bottoms of trenches shall be free of rocks and other sharp objects. Unless specifically stated to the contrary, minimum depth of cover shall be 18" on mainline piping, and 12" on lateral piping. Minimum depth of cover on low-voltage wiring shall be as provided by the electrical codes in effect. Intersecting pipes and those sharing a common ditch shall have a minimum of three inches clearance from each other, and from other utilities. Initial backfill shall be pulverized native soil, free of foreign matter. Within four inches of the pipe shall be clean soil or sand. Remaining backfill shall be compacted to dry density equal to that of adjacent undisturbed soil, and shall conform to adjacent grades without depressions, lumps, or other irregularities. In lieu of trenching, piping may be laid by plowing, using approved equipment and methods. The Contractor shall still abide by the minimum clearances prescribed above.

D. Rock Clause:

If the ground should be such that the Contractor encounters large rocks, debris, or other obstructions that cannot be trenched through or otherwise removed during the normal course of construction, the Owner shall be notified, and a cost for excavation and backfill with selected materials shall be negotiated.

E. Pipes:

Pipe and associated fittings shall be as noted in the Drawings. Pipe shall be installed in such a manner so as to provide for expansion and contraction in accordance with the manufacturers published recommendations. Spigot ends of the pipe shall be firmly and completely seated in the fittings. Angular deflections in the joint shall not exceed manufacturer's recommendations. Lines shall be flushed before installation of heads. Heating and bending the pipe is not permitted. Pipe shall be cut in such a manner so as to provide a clean, square cut, free of chips, burrs, or splitting. Pipe shall be laid using a cleaner, primer, and cement (if solvent-weld) or lubricant (if gasketed joints) approved by the manufacturer of the pipe. As pipe is laid, installed pieces shall be restrained, so that slippage does not occur in previous joints. The Contractor shall monitor previous joints for slippage, until joints are set. Cemented joints shall be twisted one quarter turn as they are assembled, and excess solvent shall be immediately wiped away.

F. Inspections:

The Owner or his designated Representative may appear on site at any time to make periodic informal inspections. Other persons, such as the Consultant, or a representative of an equipment manufacturer may be included to offer comments. If it is determined that the provisions of the Documents or other requirements of the Work, including the proper and warranted installation of any equipment, have not been complied with, the Installer shall be directed to make immediate and satisfactory repairs. Upon completion of the Work, the Owner reserves the right to schedule a formal walk-through inspection, at which a punchlist will be prepared, outlining items of concern or deficiency that must be corrected prior to the Work being considered complete.

G. Record Drawings:

The Installer shall be responsible for maintaining up-to-date on-site record drawings during the progress of the work. Record drawings shall show all major deviations from the Construction Drawings, and shall document installed mainline and wire routings, valve locations and designations, controllers, pavement crossings, splice boxes, pumping equipment (if used) and any other major equipment. These on-site drawings shall be available for inspection at any time during execution of the work, and shall be compiled into a complete, legible and reproducible (or CAD) "As-Built" drawing once work is complete. This completed drawing shall be provided to the Owner prior to Final Acceptance.

H. Warranty:

The entire system, including parts and labor, shall be warranted by the Installer for a period of not less than one year from date of acceptance by the Owner. Manufacturers' warranties of greater than one year shall be fully honored for their duration. The Owner reserves the right to seek damages for improper or substandard work up to and beyond the expiration of the warranty, to the extent allowed by law. Further, during the warranty period, the Owner reserves the right to act independently to protect his property in the event of any failure, without respect to warranties in force, if the failure cannot be, or is not, resolved in a timely manner by the Installer. The Owner may then elect to seek compensation from the Installer if the failure is determined to be a result of defective materials or workmanship.

Date: 1/21/2016

Drawn by: CRB

Reviewed by: DH

Job Number: 21577

Revision: Date:

Revision	Date

OAKLAND PARK PHASE 4

Winter Garden, Florida

Lake Apopka 2012, LLC

PO Box 783575 (347783-575)
15241 E. Oakland Ave., Winter Garden, FL 34787



DIXIEHITE

+ PARTNERS

150 W. JESSUP AVENUE
LOUISVILLE, KY 40202
TEL: 402.667.1779
FAX: 402.667.1779

Irrigation Specifications

Sheet Number:

LA6.99

CITY OF WINTER GARDEN

DEVELOPMENT REVIEW COMMITTEE

300 West Plant Street - Winter Garden, Florida 34787-3011
(407) 656-4111

MEMORANDUM

TO: STEVE PASH, COMMUNITY DEVELOPMENT DIRECTOR
FROM: DEVELOPMENT REVIEW COMMITTEE
DATE: JUNE 21, 2016
SUBJECT: OAKLAND PARK PHASE 4A – AMENITY CENTER – SITE PLAN APPROVAL

We recommend approval subject to the following conditions and comments:

1. Submit lighting and photometric plan for review prior to pre-construction meeting; dark skies requirements shall be met.
2. All irrigation shall be metered and connected to the reclaimed water mains within the development. Coordinate with Utilities Department on location of irrigation service, meter, etc. All irrigation lines within the City's right-of-way or utility easement shall be purple color.
3. 100% of all required water and sewer impact fees shall be paid prior to City execution of FDEP permits and issuance of site or building permits. Separate impact fees for the Amenity Center shall be paid prior to issuance of site or building permits. Based on the meters shown on the plans, impact fee shall be as follows:

Potable	1" @ \$2,715.00 =	\$2,715.00
Wastewater	1" @ \$4,418.00 =	\$4,418.00
Irrigation	2" @ \$8,688.00 =	<u>\$8,688.00</u>
Total Utility Impact Fees	=	<u>\$15,821.00</u>
4. The pool overflow discharge will be allowed into the storm sewer system, provided all pool water is de-chlorinated prior to discharge pursuant to Chapter 106 of the Winter Garden City Code and FDEP allowable discharge requirements. Discharge into the adjacent stormwater pond will be approved as a method of de-chlorination if discharge flows at least 100 feet over a grassed surface before reaching storm system outfall (as shown).
5. Concrete sidewalk and/or gravel trails shall be minimum 5 feet in width per Code.
6. Landscape or other improvements (walls, signs, etc.) shall not encroach into the required sight distance pursuant to FDOT requirements. The Design Engineer has provided the required sight triangles on the signed and sealed plans.
7. Certain site elements such as retaining walls, pool, splash pad, fireplace, dock, buildings, etc. will require separate permits from the Building Department.

STANDARD GENERAL CONDITIONS

8. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.

9. All work shall conform to City of Winter Garden standards and specifications. Prior to project completion, the Engineer of Record shall submit as-built record drawings (signed/sealed hard copies; pdf and CAD) and certification that the improvements were constructed within substantial compliance of the City-approved plans.
10. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
11. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
12. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The applicant should note that if approval is granted, the City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.
13. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of site or building permits.

Additional comments may be generated at subsequent reviews.

Please review this information and contact our office if you have any questions.

END OF MEMORANDUM

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Laura Zielonka, Finance Director

Via: Michael Bollhoefer, City Manager

Date: July 8, 2016

Meeting Date: July 14, 2016

Subject: Establish proposed millage rate and budget hearing dates for fiscal year 2016/2017

Issue: The Truth in Millage (TRIM) legislation timetable requires us to advise the Property Appraiser of the proposed millage rate by August 4, 2016. The following is submitted to assist you in making a decision:

1. The Current Gross Taxable Value for the coming year is projected at \$2,764,323,509. This represents an 13.15% increase in taxable value over the final fiscal year 2015/2016 value, an increase of \$321,313,598.
2. The Current Adjusted Taxable Value used to calculate the rolled-back rate is projected at \$2,514,868,914 representing a 6.36% increase in taxable value over the final fiscal year 2015/2016 value.
3. One (1) mill will generate approximately \$2,764,324 in revenue (budgeting at 96% of the estimated amount levied).
4. The 2015/2016 fiscal year's budgeted Ad Valorem Tax Revenue (AVTR) is \$10,006,888. We should achieve the budgeted amount. We budgeted \$8,973,127 in fiscal year 2014/2015 and recorded \$8,989,996.
5. If the current millage rate of 4.2500 is adopted, the projected AVTR is calculated at \$11,278,440 (budgeting at 96% of the estimated amount levied).
6. The rolled-back rate of 3.9958 per \$1,000 would produce \$10,603,857, or \$674,583 less revenue than the 4.2500 rate.
7. Proposing a millage rate up to 5.2345 would require a majority vote of the Commission. Proposing a rate between 5.2346 and 5.7580 would require a two-thirds vote of the Commission. Any rate proposed in

excess of 5.7580 would require a unanimous vote of the Commission or referendum of the voters.

8. The TRIM Act states that the millage rate established by the commission through a vote and provided to the Property Appraiser cannot be increased after August 4, 2016, unless each property owner is notified by mail; however, it may be lowered at either the first or second public budget hearing without any required notification. The millage rate propose by the commission will be sent to all property owners within Winter Garden directly after August 4, 2016.

Recommended Action: Motion to set the proposed millage rate for fiscal year 2016/2017 at the current rate of 4.2500 mills, with the first public hearing for September 7, 2016 at 6:30 p.m., and set the second public hearing for September 21, 2016 at 6:30 p.m.

THE CITY OF WINTER GARDEN

AGENDA ITEM

From: Mike Bollhoefer, City Manager
Date: July 8, 2016 **Meeting Date:** July 14, 2016
Subject: RFP 15-103 – Sale and Redevelopment of city-owned Property at 109 S. Boyd St.

Discussion: The Request for Proposals (RFP) for the sale and redevelopment of city-owned property at 109 S. Boyd Street generated one proposal. The proposal was submitted by the Tremaine Boyd LLC (TB LLC). The three partners are John Rinehart with Civitas Consulting Inc., Frank Starkey with People Places LLC and Jim Costello with J&J Building.

The TB LLC is proposing to build a three story building with 8,600 sq. ft. of commercial on the first floor and a 2nd and 3rd floor of high-end apartments (18,820 sq. ft.). In order to make the project financially feasible, they are requesting relief from certain impact fees (outlined in attached spreadsheet). Staff has reviewed the proposal and has determined that the relief is reasonable in order to build a residential project of this size—other proposals for this type of project downtown have necessitated building at least 200 units and building at least 5 stories. The difference in net income per year (before carrying cost of the loan) for this project compared to a similar project of entirely commercial is approximately \$135,000 per year (\$2.7 million over the life of a 20 year loan).

Staff does not believe this type of economic relief is justified for commercial projects (with the exception of the existing relief for transportation impact fees) and does not foresee any other small apartment projects being proposed in the downtown area. Furthermore, staff believes that high end apartments are important for the long term viability of the downtown area.

Recommended Action:

Recommend to approve sale of land at 109 S. Boyd Street to Tremaine Boyd LLC. for \$152,000, waive the \$174,177 transportation impact fees and waive other fees of approximately \$235,484 (as outlined in the attached spreadsheet). In exchange, the Tremaine Boyd LLC will be required to build the project as detailed in the RFP with approximately 8,600 sq. ft. of commercial space on the 1st floor and a total of approximately 18,820 sq. ft. of residential on the 2nd and 3rd floors.

Attachments/References:

Conceptual drawings
Memo from Tanja Gerhartz
Memo from John Rinehart and Tremaine Boyd LLC
Spreadsheet

The RFP can be found at <http://www.cwgd.com/business/bids/> Please scroll down to RFP 15-103 Sale and Redevelopment of City-owned Property at 109 South Body Street

7. Graphic/Illustrative Renderings



Tremaine Boyd in the urban context.

Tremaine Boyd



West elevation.



East elevation.



North elevation.



South elevation.



View from plaza to Tremaine Boyd.



View to SOBO.

THE CITY OF WINTER GARDEN

AGENDA ITEM

From: Tanja Gerhartz, Economic Development Director
Via: Mike Bollhoefer, City Manager
Date: April 5, 2016 **Meeting Date:** April 14, 2016
Subject: RFP 15-103 – Sale and Redevelopment of city-owned Property at 109 S. Boyd St.

Discussion: The Request for Proposals (RFP) for the sale and redevelopment of city-owned property at 109 S. Boyd Street generated one proposal. The proposal was submitted by Tremaine Boyd LLC. The three partners are John Rinehart with Civitas Consulting Inc., Frank Starkey with People Places LLC and Jim Costello with J&J Building.

The selection committee met on Monday, April 4, 2016 to review the proposal using the criteria outlined in the RFP.

The proposal was evaluated by the selection committee in accordance with the following criteria:

1. The overall qualifications of the team (15%)
2. The overall quality, comprehensiveness and innovation of the project (30%)
3. The anticipated value of the proposed development for Winter Garden. (30%)
4. Developer and project team's ability to fulfill commitments in the Proposal. (25%)

Due to the quality of the proposal, the selection committee felt that the City should begin discussions with the development team.

Recommended Action:

Recommend approval and authorize the City Manager to negotiate the terms of the agreement with Tremaine Boyd LLC.

Attachments/References:

Tremaine Boyd Proposal can be found here
RFP15-103

Selection Committee Meeting
April 4, 2016 – 2:30 pm

RFP 15-103 – Sale and Redevelopment of city-owned property
109 S. Boyd Street

Tremaine Boyd Proposal

<u>Criteria</u>	<u>#1</u>	<u>#2</u>	<u>#3</u>	<u>#4</u>	<u>Total</u>
Member 1	12%	25%	30%	20%	87%
Member 2	12%	27%	28%	23%	90%
Member 3	15%	26%	25%	25%	91%
<i>Score</i>					<i>89%</i>

Notes: Only one proposal was submitted.

From: John Rinehart

Mike,

As we approach the City's decision point I wanted to share some of the specific financial parameters that underlie our ability to construct a viable mixed use residential project on the 109 Boyd Street site. We believe Tremaine Boyd is a needed component for downtown Winter Garden's continued renaissance and will take a partnership between the City and our development team.

Revenue Comparison

It is important to understand that commercial/office development is more profitable than residential/apartment development if demand is available for both. This is probably why there has been no new recent residential development in the core area.

Net revenue for apartments on a square foot basis is approximately two thirds of net the revenue for commercial space. Not only are the gross rents per square foot less but the typical operating expenses (including taxes/insurance) which typically run 30-35% of residential rents are an operating cost whereas virtually all of the operating expenses associated with commercial space are passed through to tenants via CAM (Common Area Maintenance) charges.

As an example current rental rates for new retail/office space in Downtown Winter Garden start around \$22/sf. Since CAM is additional the base rent approximates the net income. For a hypothetical 1,000 square foot office this would provide a net operating income of approximately \$22,000/yr.

There are no new residential apartments for rent in Downtown Winter Garden that can provide a rent comparable. The closest new construction is in SW Orange County. We have surveyed those developments with available units and the weighted average for one and two bedroom apartments is approximately \$1.50/sf per month. For a 1,000 square foot apartment this would provide a gross income of \$18,000/yr. We hope that we can achieve rents up to 10% higher than the closest new construction but as the first new residential downtown we are taking significant risk in an unproven market (our bank will confirm this!). However, if we are correct in our expectation this would increase the gross income to approximately \$19,800/yr on a hypothetical 1,000 sf apartment. The typical operating costs are not included which must be accounted for to get to net income. If we use 30% as a conservative estimate the net income for a 1,000 sf apartment yields \$13,860/yr.

In summary the same square footage of residential in this example would provide approximately 63% of the net revenue of a comparably sized office.

Construction Costs

Because the downtown C-1 zoning districts prohibits residential on the ground floor one is required to construct a vertically mixed-use building, which for the residential adds significant construction costs to meet building code. These include the cost of an elevator, increased fire separation between the different uses and a commercial-grade fire sprinkler system likely even in the residential portions of the building. Moreover, the required elevator adds significant annual operating expenses to the residential component, which would not be typical for a 3-story walk-up apartment building of the type common in SW Orange County.

Less revenue with no less construction costs makes Tremaine Boyd a marginal project without relief on City costs.

Fee Summary

The City has a number of fees and costs associated with development of a mixed use project. Attached is a chart that lays out the potential fees.

The City has recognized that if a project enhances the developability or character of the Historic Downtown District and is properly designed transportation impact fees can be waived. This appears to be regardless of use; whether residential, retail, office or restaurant. (Ordinance 15-51).

With the added component of residential, which is not specifically required per Ordinance 15-51, we are requesting an additional \$235,484 be waived in support of Tremaine Boyd.

The fees noted plus the land cost total \$206,151. In addition we have allocated \$25,000 to the joint development of the plaza space between Tremaine Boyd and SOBO. This is in addition to the construction cost associated with the Tremaine Boyd site.

If you have any questions please let me know. I'll be available to meet with you and SOBO any time on Thursday after 9:30 or Friday before 11:30.

Regards,

John

John Rinehart
Civitas Consulting, Inc.
P.O. Box 783291
Winter Garden, FL 34778

Land Cost and City Fees

	Fees covered by Ordinance 15-51	Residual Waived Fees	Land plus Fees	Notes
Land Permits			\$ 152,000	
Plan review fees			\$ 23,287	1/2 building permit fee plus 1/2 of 1% of construction value
Building permit			\$ 17,484	\$3,030 first \$500,000 value; \$6 each additional \$1,000 value
parking shortfall		\$ 100,000		1 space/residential unit provided
Road Impact fee	\$ 174,177			\$12,716 per 1000 sf for retail(\$54,628); \$17,048 per 1,000 sf for restaurant(\$65,209); \$2,470 per apt.(\$54,340)
Parks and Recreation		\$ 25,498		\$1,159 per apt.
Police Impact Fee		\$ 12,737		\$339 per apt.; \$0.65/sf retail
Fire Impact Fee		\$ 17,705		\$491 per apt.; \$0.85/sf retail
Potable Water		\$ 30,951		\$1,086 for 3/4" meter each apt., common area and three commercial; \$2,715 for 1" for restaurant
Water Connection Fees			\$ 13,380	3/4" is \$490; 1" is \$640
Waste Water		\$ 48,593		\$1,767 for 3/4" meter each apt.,common area and three commercial; \$4,418 for 1" for restaurant
Irrigation Impact Fee				
Stormwater Impact Fee				
Total to City	\$ 174,177	\$ 235,484	\$ 206,151	

THE CITY OF WINTER GARDEN

AGENDA ITEM

From: David Fox, Fred Fox Enterprises
Tanja Gerhartz, Economic Development Director

To: Mike Bollhoefer, City Manager

Date: July 8, 2016 **Meeting Date:** July 14, 2016

Subject: CDBG Housing Grant #14DB-OI-06-58-02-H14

Discussion:

City of Winter Garden has been awarded a \$ 750,000.00 CDBG (Community Development Block Grant) in the Housing Rehabilitation Category to repair or replace a minimum of Twelve (12) Low to Moderate Income (LMI -below 80% of area median income) owner occupied homes located in the City of Winter Garden City Limits. Two (2) of the Twelve (12) Homes rehabilitated under the City of Winter Garden CDBG Housing Program must be Very Low Income (VLI –below 30% of area median income) and Four (4) of the Twelve (12) homes rehabilitated must be Low to Moderate income 50% (LMI 50% –between 31% and 50 % of area median income).

The City of Winter Garden has hired Fred Fox Enterprises, Inc. to assist in the Administration of the City of Winter Garden CDBG Housing Grant.

The rehabilitation of 526 S Boyd Street and 500 Seminole Street were previously awarded to BSE Construction Group but due to the length of time to obtain an environmental release from the Department of Economic Opportunity, the contractor was unable to hold to their bid amount.

1. CDBG Housing Rehabilitation Home Recommendation of Bid #1

The City's CDBG Housing Rehabilitation Grant Administrator (Fred Fox Enterprises, Inc) in conjunction with City Staff have rebid the rehabilitation of the final two (2) homes to be addressed under the City's current CDBG Housing Rehabilitation Grant.

The City previously awarded contracts for seven (7) homes to be rehabilitated and for three (3) homes to be demolished and replaced under this program.

Fred Fox Enterprises is currently recommending the CDBG bid award of 526 South Boyd Street to low qualified bidder Pat Lynch Construction. Site Specific Release from the Department of Economic Opportunity (DEO) has been obtained. Three bids were received.

<u>Owner</u>	<u>Contractor</u>	<u>Bid Amount</u>
1. Michelle Ford Gentry 526 S Boyd St	Pat Lynch Construction	\$ 53,460.00

REQUESTED MOTION #1:

Award the rehabilitation of 526 S Boyd Street to the low qualified bidder Pat Lynch Construction for the bid amount of \$ 53, 460.00 (three bids were received). Minutes must reflect that the Commission understands that the bid exceeds the CDBG \$ 50,000.00 rehabilitation maximum, but due to the good condition of this home and the limited remaining CDBG funds the Commission is in agreement with the project housing specialist to award the rehabilitation of this home to the low qualified bidder.

2. CDBG Housing Rehabilitation Home Recommendation of Bid #2

Fred Fox Enterprises is currently recommending the CDBG bid award of 500 Seminole Street Base Bid plus Alternate #2 to low qualified bidder Central Florida Renovation. Site Specific Release from the Department of Economic Opportunity (DEO) has been obtained. Three bids were received.

<u>Owner</u>	<u>Contractor</u>	<u>Bid Amount</u>
2. Patricia Vernosky 500 Seminole Street	Central Florida Renovation	\$ 69,050.00 (\$ 66,650.00 Base Bid + Alternate #2 \$ 2,400.00)

Alternate #2 is to run HVAC ducts through the block back wall to air condition the rear half of the house.

REQUESTED MOTION #2:

Award the rehabilitation of 500 Seminole Street to the low qualified bidder Central Florida renovation for the bid amount of \$ 69,050.00 (\$ 66,650.00 Base Bid + Alternate #2 \$ 2,400.00) Three bids were received. Minutes must reflect that the Commission understands that the bid exceeds the CDBG \$ 50,000.00 and \$ 60,000.00 rehabilitation maximum amounts but due to the good condition of this home and the limited remaining CDBG funds the Commission is in agreement with the project housing specialist to award the rehabilitation of this home to the low qualified bidder.

Nine construction firms were represented at the mandatory prebid meeting for CDBG Bid Group #3 rebid and the bid opportunity was advertised.

Recommended bids are within 15% of FFE cost estimate.

Both applicants have been prequalified and meet the CDBG Program requirements.

Pat Lynch Construction and Central Florida Renovation have been prequalified and have been determined to be licensed and is not on the excluded parties list for government projects.

With the construction award and rehabilitation of these homes the City will have met its contract agreement with DEO to rehab or replace a total of 12 low to moderate income occupied homes within the City Limits.

Attachments/References:

Bid Package Tabulation Sheet

CITY OF WINTER GARDEN
CDBG HOUSING GRANT #14DB-OI-06-58-02-H14
CLIENT UPDATE – PAGE 1 July 6, 2016

Name/Address	Rehab/Replacement	Status	Action Needed	Issues	Scheduled Completion
1. Mattie Wilson 1015 Lincoln Terrace	Replacement	Under Contract - Construction 360, LLC Demo is complete New home under construction \$ 100,210.78	N/A	Title Finding-cleared Originally proposed and bid for rehabilitation due to high bid amounts rebid as replacement Environmental release delayed due to proximity of a Brownfield Area and obtaining Indian tribe release	120 day construction contract August 9, 2016
2. Roene Shaw 1009 Mildred Dixon Way	Rehab	Rehabilitation Complete- Pat Lynch Const \$ 44,122.00	N/A	Environmental release was delayed due to proximity of a Brownfield Area	Complete
3. Susie Riley 1040 Mildred Dixon Way	Rehab	Rehabilitation Complete Construction 360 LLC \$ 55,247.00	N/A	Environmental release was delayed due to proximity of a Brownfield Area	Complete
4. Annie Mullins 770 Klondike Street	Replacement	New Home complete Central Fl Renovations \$ 101,141.79	N/A	Environmental release was delayed due to proximity of a Brownfield Area, railroad tracks and above ground storage of explosive material/fuel	Complete
5. Annie Noble 754 Klondike Street	Replacement	New Home complete Central Fl Renovations \$ 101,141.79	N/A	Environmental release was delayed due to proximity of a Brownfield Area, railroad tracks and above ground storage of explosive material/fuel	Complete

CITY OF WINTER GARDEN -CLIENT UPDATE – PAGE 2

Name/Address	Rehab/Replacement	Status	Action Needed	Issues	Scheduled Completion
6. Patricia Vernosky 500 Seminole Street	Rehab	Bid#3 – BSE Construction could not honor bid due to environmental release delays Bid #4- Recommendation of award to Central Florida Renovation \$69,050.00 (Base Bid + Alt #2)	Award and Construction	Home has lead paint that must be addressed Rehab scope of work was reduced per owner’s request and DEO’s approval	75 day construction contract August 2016
7. Gullermo Calo 662 Bethune Ave	Rehab	Rehabilitation Complete- Pat Lynch Const \$ 41,226.00	N/A	Site specific Environmental release was delayed due to proximity of railroad tracks	Complete
8. Jessie & Jessie Mae Williams 1100 E Bay St	Rehab	Rehabilitation Complete Construction 360 LLC Low Bid \$ 51,523.00	Final Invoice and release of liens needed from contractor	Title Finding-cleared Site specific Environmental release was delayed due to proximity of a Brownfield Area	Complete
9. Yvette Pack 646 Bethune Ave	Rehab	Construction 360 LLC Complete Low Bid \$ 34,418.00	Requested revised change order to address items that were found during construction	Title Finding-cleared Environmental release was delayed due to proximity of railroad tracks	Complete except for wall repair that had to be removed to access tub/shower valve
10. Jacqueline Brown Kemp 1046 Mildred Dixon Way	Rehab	Rehabilitation Complete Construction 360 LLC Low Bid \$ 40,941.00	Final Invoice and release of liens needed from contractor	Environmental release was delayed due to proximity of a Brownfield Area	Complete

Name/Address	Rehab/Replacement	Status	Action Needed	Issues	Scheduled Completion
11. Michelle Ford Gentry 526 S. Boyd St	Rehab	Bid #1 – No bids received Bid#2 – BSE Construction could not honor bid due to environmental release delays Bid #3- Recommendation of award to Pat Lynch Const \$53,460.00 (Base Bid + Alt #2)	Rebid rehab of home for 4th time	Home has lead paint that must be addressed BSE Const could not honor bid due to environmental review release delays	75 day construction contract August 2016
12. Patricia Oliver 638 Bethune Ave	Rehab	Under rehabilitation Contract- Pat Lynch Const \$ 41,167.00	N/A	Home was originally an alternate	August 2016
Mary Taylor 228 11 th Street was originally # 12 but due to amount of funds remaining her home will not be addressed	Replacement	Will not be addressed do to amount of funds remaining	None	Lot size Cost to demo and replace Proximity to Brown field area and above ground flammable material storage tank	N/A

CITY OF WINTER GARDEN -CDBG HOUSING GRANT REHABILITATION BID PACKAGE #3 REBID - BID TAB

Date: June 27, 2016 Time: 2:05 P.M.

Company	REHAB	Michelle Ford Gentry-526 S Boyd St Base Bid	REHAB	Patricia Vernosky-500 Seminole St Base Bid	Patricia Vernosky-500 Seminole St ALT #1	Patricia Vernosky-500 Seminole St ALT #2	Patricia Vernosky-500 Seminole St Total of Base & Alt #2
Central Florida Renovations		\$ 59,800.00		\$ 66,650.00	\$ 2,700.00	\$ 2,400.00	\$ 69,050.00
BSE Construction Group		\$ 65,763.00		\$ 75,997.00	\$ 4,221.00	\$ 2,122.00	\$ 78,119.00
Pat Lynch Construction		\$ 53,460.00		\$ 75,172.00	Included in bid	Included in bid	\$ 75,172.00
FFE COST ESTIMATE		\$ 48,975.00		\$ 57,445.00	\$ 3,000.00	\$ 5,000.00	\$ 62,445.00

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Kathy Golden, City Clerk/Election Official
Date: June 27, 2016 **Meeting Date:** July 14, 2016
Subject: City Commissioner District 3 Vacancy
Issue: **Resolution 16-06:** Filling seat to be vacated by District 3 City Commissioner Robert "Bobby" Olszewski

At the last Commission meeting Commissioner Olszewski announced his resignation of District 3 because he is running for the office of Orange County Commissioner District 1.

The City Commissioner's irrevocable resignation will be effective Tuesday, December 6, 2016, when the oath of office is administered for the County seat. Therefore, the City Commission must declare a special election date to fill the remainder of the unexpired term, which is 13.5 months until March 2018.

The City Charter Article II, Section 17 states:

(2) Unless otherwise prescribed by general law, a vacancy on the commission shall be filled in the following manner:

(b) If there are more than six (6) months remaining in the unexpired term of the vacant office, the commission shall schedule a special election to fill the vacancy and such election shall be held **not sooner than forty-five (45) days and not later than sixty (60) days following the occurrence of the vacancy.**

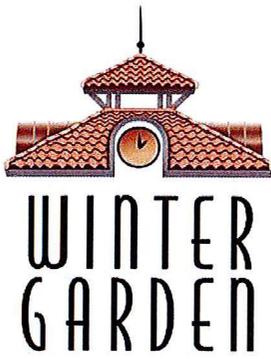
Therefore, the special election must be held between Jan 20 to Feb 4, 2017. The Orange County Supervisor of Elections has confirmed that Tuesday, January 24, 2017 is available for our special election and February 14, 2017 for any run-off. I have included a recommended qualifying period that mirrors our general election cycle.

Resignation effective date	Qualifying Period <i>(Same lead time as our regular election period)</i>	Tuesday available
Dec 6, 2016	Noon, Nov 29, 2016 to Noon, Dec 6, 2016	Jan 24, 2017
	Run-off Election <i>(if necessary)</i>	Feb 14, 2017

Recommendation:

In accordance with City Code Section 2-252, approve Resolution 16-06 which authorizes the City Clerk to conduct a special election and any necessary run-off for City Commissioner of District 3.

Attachments: Resignation
Resolution 16-06



DR. ROBERT "BOBBY" OLSZEWSKI
CITY COMMISSIONER, DISTRICT 3

300 W. PLANT STREET
WINTER GARDEN, FL 34787
TEL: (407) 427-6442 • FAX (407) 656-4952

A charming little city with a juicy past.

June 6, 2016

Ms. Kathy Golden
City Clerk
City of Winter Garden
300 W. Plant Street
Winter Garden, FL 34787

RE: Winter Garden Commission District 3

Dear Ms. Golden:

In accordance with Florida Statute § 99.012, please accept this letter as my formal resignation from the Winter Garden Commission District 3 seat to run for the Orange County Commission District 1 seat effective Tuesday, December 6, 2016.

Sincerely,

Robert "Bobby" Olszewski, Ph.D.
Commissioner, District 3
City of Winter Garden

cc: Hon. Rick Scott, Governor of the State of Florida
Florida Department of State
Mike Bollhoefer, Winter Garden City Manager
Kurt Ardaman, Winter Garden City Attorney
Hon. Bill Cowles, Orange County Supervisor of Elections

RESOLUTION 16-06

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF WINTER GARDEN, FLORIDA, DECLARING A SPECIAL ELECTION TO FILL THE VACANCY IN CITY COMMISSIONER DISTRICT 3 DUE TO HIS RESIGNATION AND DECLARING THE CANDIDATE QUALIFYING PERIOD

WHEREAS, Robert “Bobby” Olszewski, the elected City Commissioner of District 3 of the City of Winter Garden, Florida, has tendered his irrevocable resignation, as required by State Statutes, to run for County Commissioner of District 1; and

WHEREAS, said resignation becomes effective December 6, 2016; pursuant to Section 17 (b) of the City Charter, if a vacancy occurs on the City Commission and there are more than six (6) months remaining in the unexpired term of the vacant office, the commission shall schedule a special election to fill the vacancy and such election shall be held not sooner than forty-five (45) days and not later than sixty (60) days following the occurrence of the vacancy; and

WHEREAS, the City Commission hereby declares the qualifying period for the Special Election of District 3 City Commissioner to begin at 12 noon, Tuesday, November 29, 2016 and end at 12 noon, Tuesday, December 6, 2016; and

WHEREAS, the City Commission hereby declares the Special Election be held Tuesday, January 24, 2017, from 7 a.m. until 7 p.m. In the event a run-off election becomes necessary, that election date would be Tuesday, February 14, 2017.

BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF WINTER GARDEN, FLORIDA, that because of the irrevocable resignation and in accordance with City Charter Section 17, the City Commission hereby resolves to initiate the special election process to fill the vacancy on the City Commission for District 3. The winner of the special election will take office and serve as District 3 City Commissioner until the expiration of the term of office being

filled due to the vacancy in the office of Commissioner caused by the resignation of Robert “Bobby” Olszewski. ALL CANDIDATES MUST QUALIFY WITH THE CITY CLERK AT CITY HALL, 300 WEST PLANT STREET, WINTER GARDEN, FLORIDA. ALL QUALIFICATION PACKETS MUST BE FILED DURING THE CITY’S REGULAR BUSINESS DAYS AND HOURS WITHIN THE AFORESAID QUALIFYING PERIOD.

PASSED AND RESOLVED this _____ day of _____, 2016,
by the City Commission of the City of Winter Garden, Florida.

APPROVED:

John Rees, Mayor/Commissioner

ATTEST:

Kathy Golden, City Clerk