



AGENDA
CITY COMMISSION
***REVISED 5/23/2016**
CITY HALL COMMISSION CHAMBERS
300 W. Plant Street
Winter Garden, Florida

REGULAR MEETING

May 26, 2016

6:30 p.m.

CALL TO ORDER

Determination of a Quorum

Opening Invocation and Pledge of Allegiance

1. **APPROVAL OF MINUTES**

Regular Meeting Minutes of May 12, 2016

2. **PRESENTATION**

A. **Proclamation 16-05**: Honoring the West Orange High School Warrior Softball team on their State Championship title

3. **FIRST READING AND PUBLIC HEARING OF PROPOSED ORDINANCE**

A. **Ordinance 16-35**: AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING THE CITY OF WINTER GARDEN FISCAL YEAR 2015-2016 BUDGET; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE **with the second reading and public hearing being scheduled for June 9, 2016** – Finance Director Zielonka

4. **SECOND READING AND PUBLIC HEARING OF PRPOSED ORDINANCE**

A. **Ordinance 16-32**: AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA REZONING APPROXIMATELY 126.94 +/- ACRES OF CERTAIN REAL PROPERTY GENERALLY LOCATED EAST OF WILLIAMS ROAD AND WEST OF AVALON ROAD (CR 545) ON THE SOUTH SIDE OF MARSH ROAD, AT 16846, 17000 & 17166 MARSH ROAD, FROM CITY NO ZONING (NZ) TO CITY URBAN VILLAGE PLANNED UNIT DEVELOPMENT (UVPUD); PROVIDING FOR CERTAIN UVPUD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE PREMIER PROPERTY URBAN VILLAGE PUD; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE - Community Development Director Pash

5. **REGULAR BUSINESS**

A. Recommendation to approve Culvers site plan, subject to Development Review Committee conditions, located at 13649 West Colonial Drive - Community Development Director Pash

6. **MATTERS FROM PUBLIC** (*Limited to 3 minutes per speaker*)
7. **MATTERS FROM CITY ATTORNEY** – Kurt Ardaman
8. **MATTERS FROM CITY MANAGER** – Mike Bollhoefer
 - A. Change September Budget Hearing dates for Fiscal Year 2016/2017
9. **MATTERS FROM MAYOR AND COMMISSIONERS**

ADJOURN to a Regular Meeting on June 9, 2016 at 6:30 p.m. in City Hall Commission Chambers, 300 W. Plant Street, 1st floor

NOTICES:

In accordance with Florida Statutes 286.0105, if any person decides to appeal any decision made by said body with respect to any matter considered at such meeting, he/she will need a record of the proceedings and, for that purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The City of Winter Garden does not prepare or provide such record.

Any opening invocation that is offered before the official start of the Commission meeting shall be the voluntary offering of a private person, to and for the benefit of the Commission. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the City Commission or the city staff, and the City is not allowed by law to endorse the religious or non-religious beliefs or views of such speaker. Persons in attendance at the City Commission meeting are invited to stand during the opening invocation and to stand and recite the Pledge of Allegiance. However, such invitation shall not be construed as a demand, order, or any other type of command. No person in attendance at the meeting shall be required to participate in any opening invocation that is offered or to participate in the Pledge of Allegiance. You may remain seated within the City Commission Chambers or exit the City Commission Chambers and return upon completion of the opening invocation and/or Pledge of Allegiance if you do not wish to participate in or witness the opening invocation and/or the recitation of the Pledge of Allegiance. (Reference Resolutions 15-04 and 16-02)

	Those needing assistance to participate in any of these proceedings should contact the City Clerk's Office at least 48 hours in advance of the meeting (407) 656-4111 x2254.		Help for the hearing impaired is available through the Assistive Listening System. Receivers can be obtained at the meeting from the Information Technology Department (407) 656-4111 x5455.
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CITY OF WINTER GARDEN

CITY COMMISSION REGULAR MEETING MINUTES

May 12, 2016

A **REGULAR MEETING** of the Winter Garden City Commission was called to order by Mayor Rees at 6:30 p.m. at City Hall, 300 West Plant Street, Winter Garden, Florida. An Opening Invocation and Pledge of Allegiance were given.

Present: Mayor John Rees, Commissioners Bob Buchanan, Kent Makin, Robert Olszewski and Colin Sharman

Also Present: City Manager Mike Bollhoefer, City Attorney Kurt Ardaman, City Clerk Kathy Golden, Assistant City Manager of Administrative Services Frank Gilbert, Assistant City Manager of Public Services Don Cochran, Community Development Director Steve Pash, Economic Development Director Tanja Gerhartz, Finance Director Laura Zielonka, Fire Chief Matt McGrew, Information Technology Director Chad Morrill, and Police Chief George Brennan

1. **APPROVAL OF MINUTES**

Motion by Commissioner Buchanan to approve the regular meeting minutes of April 28, 2016 as submitted. Seconded by Commissioner Makin and carried unanimously 5-0.

2. **FIRST READING AND PUBLIC HEARING OF PROPOSED ORDINANCES**

A. **Ordinance 16-32:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA REZONING APPROXIMATELY 126.94 +/- ACRES OF CERTAIN REAL PROPERTY GENERALLY LOCATED EAST OF WILLIAMS ROAD AND WEST OF AVALON ROAD (CR 545) ON THE SOUTH SIDE OF MARSH ROAD, AT 16846, 17000 & 17166 MARSH ROAD, FROM CITY NO ZONING (NZ) TO CITY URBAN VILLAGE PLANNED UNIT DEVELOPMENT (UVPUD); PROVIDING FOR CERTAIN UVPUD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE PREMIER PROPERTY URBAN VILLAGE PUD; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE

City Attorney Ardaman read Ordinance 16-32 by title only. Community Development Director Pash stated that this is a request for initial zoning designation of Urban Village Planned Unit Development (UVPUD) required by the code. He described the property location and that the applicant is proposing to develop 107 single family houses, a park, as well as a large open space area on a 127 acre property. He noted that there will be 39 lakefront lots that are 90 feet wide by 128 feet deep. There will be 68 interior lots; 60 feet wide by 120 feet deep. This UVPUD is consistent with the surrounding area, the code, and the future land use. He noted that they will be developing at 1.86 units per acre. The developer has agreed to pay their proportionate fair share of the improvements that are being made at Marsh Road and Avalon Road, as well as Williams Road and

Marsh Road. They will be paying their fair share of the utilities that are extended along the road. They will be dedicating right-of-way to the City and then building the infrastructure within the development. Staff recommends approval of Ordinance 16-32, subject to conditions.

There was discussion on the open space in the development, traffic studies, and traffic reduction of the area.

Mayor Rees opened the public hearing.

Heather Hines, representative of the Law firm Akerman LLP, 420 S. Orange Avenue, Orlando, Florida, stated that she was here on behalf of the applicant, K. Hovnanian Homes. She stated that in answer of their question there are 28.9 acres of open space which is approximately 30 percent. She noted that members of their development team were in attendance to answer any questions. She stated that they concur with staff recommendations.

Mayor Rees closed the public hearing.

Motion by Commissioner Buchanan to approve Ordinance 16-32, with staff's recommendations, with the second reading and public hearing scheduled for May 26, 2016. Seconded by Commissioner Sharman and carried unanimously 5-0.

- B. **Ordinance 16-34**: AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA REZONING APPROXIMATELY .193 ± ACRES LOCATED AT 622 VINELAND ROAD ON THE NORTHWEST CORNER OF W LAFAYETTE STREET AND STATE ROAD 535 OR VINELAND ROAD FROM R-2 RESIDENTIAL DISTRICT TO RNC RESIDENTIAL NEIGHBORHOOD COMMERCIAL DISTRICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA REZONING 6722 VINELAND ROAD

City Attorney Ardaman read Ordinance 16-34 by title only. Community Development Director Pash stated that staff is requesting postponement of this item until June 9, 2016. He stated that this item was not presented to the Planning and Zoning Board.

Motion by Commissioner Olszewski to approve postponing Ordinance 16-34 public hearing until June 9, 2016 at 6:30 p.m. Seconded by Commissioner Sharman and carried unanimously 5-0.

3. **REGULAR BUSINESS** – None
4. **MATTERS FROM PUBLIC** – None
5. **MATTERS FROM CITY ATTORNEY** – None

6. **MATTERS FROM CITY MANAGER**

A. **Changing September Budget Hearing dates for Fiscal Year 2016/2017**

City Manager Bollhoefer shared that a State law prohibits the City from having their budget hearing on the same night as certain other government agencies. He provided alternate dates and there was a **consensus** by the City Commission that this matter would be discussed at the next meeting.

7. **MATTERS FROM MAYOR AND COMMISSIONERS**

Commissioner Sharman shared that he had a good experience with finding parking at a recent downtown non-event night.

There was discussion on the use of valet parking in the downtown area while the new parking structure was being built.

Commissioner Olszewski thanked Police Chief Brennan for attending the Orange County Law Enforcement Memorial with him and shared that two fallen Winter Garden officers, Benton and Fleming, were remembered.

Mayor Rees congratulated the West Orange High School softball team on being State Champions.

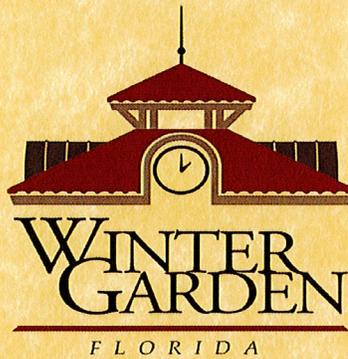
The meeting adjourned at 6:41 p.m.

APPROVED:

Mayor John Rees

ATTEST:

City Clerk Kathy Golden, CMC



Proclamation

16-05

Whereas, the West Orange High School Warrior Softball team has a history of winning the Metro Conference, District and Regional championships. The Warriors won the state championship in 1994 and in 2016 they played once again for that title; and

Whereas, the City of Winter Garden recognizes the student/athlete commitment these girls have accomplished in balancing academics with their passion for softball and the hard work required to excel in this sport; and

Whereas, the City of Winter Garden commends the coaching staff and faculty at West Orange High School for their leadership and support to the team; and

Whereas, the City of Winter Garden wishes to recognize the West Orange Warrior Softball team for their 2016 season that led them to the Class 9A championship game on Saturday, May 7, 2016 where they defeated Tampa Alonzo with a score of 6-0 thereby winning the State Championship; and

Therefore, it is my great pleasure as the Mayor of the City of Winter Garden, to honor the outstanding West Orange High School Warrior Softball team and coaches and celebrate their title of State Champions of Florida and I urge all citizens to join in paying tribute to them.



In witness thereof, I have hereunto set my hand and caused the City Seal to be affixed this 26th day of May, 2016.

John Rees
Mayor John Rees

Attest:

Kathy Golden

Kathy Golden, City Clerk



THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Laura Zielonka, Finance Director

Via: Michael Bollhoefer, City Manager

Date: May 20, 2016

Meeting Date: May 26, 2016

Subject: Interim Budget Ordinance 16-35

Issue: Amending the budget for mid-year adjustments. The interim budget is used as part of the budget process to account for changes that have occurred since the original budget was passed and to adjust for corrections in estimates used in the original budget.

Recommended action:

Motion to approve Ordinance 16-35, amending the fiscal year 2015-2016 budget for mid-year with second hearing and adoption on June 9, 2016.

ORDINANCE 16-35

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING THE CITY OF WINTER GARDEN FISCAL YEAR 2015-2016 BUDGET; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, on September 24, 2015, the City Commission of the City of Winter Garden, Florida, adopted Ordinance 15-69 appropriating and allocating all revenue and funds of the City of Winter Garden, Florida for the tax year beginning October 1, 2015 and ending September 30, 2016;

WHEREAS, the City Commission has decided to amend the City of Winter Garden, Florida Budget for the tax year beginning October 1, 2015 and ending September 30, 2016 to provide for interim adjustments;

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: That the sum of \$7,884,400 to be appropriated as follows:

REVENUES

General Fund	\$75,000
Law Enforcement Trust Fund	29,325
Law Enforcement Grants Fund	10,000
Local Option Gas Tax Fund	5,000
Police Impact Fee-General Fund	31,635
Transportation Impact Fee-General Fund	136,566
Utility Operating Fund	2,277,702
Utility Impact Fee Fund	2,049,943
Utility Renewal and Replacement Fund	3,075,000
Stormwater Fund	162,229
Solid Waste Fund	<u>32,000</u>
	\$7,884,400

EXPENDITURES

General Fund	\$75,000
Law Enforcement Trust Fund	29,325
Law Enforcement Grants Fund	10,000
Local Option Gas Tax Fund	5,000
Police Impact Fee-General Fund	31,635
Transportation Impact Fee-General Fund	136,566
Utility Operating Fund	2,277,702
Utility Impact Fee Fund	2,049,943
Utility Renewal and Replacement Fund	3,075,000
Stormwater Fund	162,229
Solid Waste Fund	<u>32,000</u>
	\$7,884,400

SECTION 2: Detail for the aforementioned totals is attached as Exhibit 1, which shall be incorporated in the Ordinance. Should any portion of this Ordinance be held invalid, then such portions as are not declared to be invalid shall remain in full force and effect.

SECTION 3: This Ordinance shall become effective upon its adoption at the second reading and public hearing.

READ FIRST TIME: _____

READ SECOND TIME AND PUBLIC HEARING HELD: _____

APPROVED:

Mayor/Commissioner John Rees

ATTEST:

Kathy Golden, City Clerk

EXHIBIT #1
ORDINANCE 16-35

**City of Winter Garden
Interim Budget
FYE 2016**

**City of Winter Garden
Interim Budget
FYE 2016**

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City of Winter Garden
Interim Budget
General Fund

<u>Account Number</u>	<u>Description</u>	<u>2015 Actual</u>	<u>2016 Current Budget</u>	<u>Budget Adjustments</u>	<u>2016 Proposed Amended Budget</u>
Revenues					
Executive					
001-0213-399.99-99	Use of Fund Balance	\$ -	\$ 575,486	<u>\$ 75,000</u>	\$ 650,486
<i>Balance Revenues and Expenditures</i>					
Total Revenues				<u>\$ 75,000</u>	
Expenditures					
Streets					
001-0741-541.49-04	Traffic Signal Maintenance	100,539	83,652	<u>75,000</u>	158,652
<i>Increase budget for traffic light maintenance/repairs from accidents</i>					
Total Expenditures				<u>\$ 75,000</u>	

**City of Winter Garden
Interim Budget
Law Enforcement Trust Fund**

<u>Account Number</u>	<u>Description</u>	<u>2015 Actual</u>	<u>2016 Current Budget</u>	<u>Budget Adjustments</u>	<u>2016 Proposed Amended Budget</u>
Revenues					
121-1221-399.99-99	Use of Fund Balance	\$ -	\$ -	\$ 29,325	\$ 29,325
<i>To balance increase in budgeted revenues</i>					
Total Revenues				\$ 29,325	
Expenditures					
121-1221-521.34-01	Misc Contractual Services	10,000	10,000	4,000	14,000
<i>Upgrade and redesign the WGPLD website</i>					
121-1221-521.52-01	Misc Operating Supplies	4,140	-	3,100	3,100
<i>K-9 decoy boxes, table and outposts</i>					
121-1221-521.64-00	Equipment		3,500	8,585	12,085
<i>Delete 40 MM launcher</i>		<i>(3,500)</i>			
<i>Two (2) AED defibrillators</i>		<i>3,000</i>			
<i>Cellebrite cellphone software</i>		<i>9,085</i>			
121-1221-521.82-00	Aids to Private Organizations	6,000	3,500	(1,500)	2,000
<i>Victim Service Center</i>		<i>1,000</i>			
<i>Delete First Baptist Church</i>		<i>(2,500)</i>			
121-1421-521.52-01	Misc Operating Supplies		-	12,140	12,140
<i>Six (6) TEA IRF headsets @ \$940 each</i>		<i>5,640</i>			
<i>Chain-link fencing for K-9 training area</i>		<i>6,500</i>			
121-1421-521.64-00	Equipment	16,504	15,500	3,000	18,500
<i>Two (2) AED defibrillators</i>					
Total Expenditures				\$ 29,325	

City of Winter Garden
Interim Budget
Law Enforcement Grants Fund

<u>Account Number</u>	<u>Description</u>	<u>2015 Actual</u>	<u>2016 Current Budget</u>	<u>Budget Adjustments</u>	<u>2016 Proposed Amended Budget</u>
Revenues					
122-0521-331.21-00	Federal Grants - Public Safety <i>FY15 Local Edward Byrne Memorial JAG Formula Grant Program</i>	\$ 18,374	\$ 22,818	<u>\$ 10,000</u>	\$ 32,818
Total Revenues				<u>\$ 10,000</u>	
Expenditures					
122-0521-521.52-01	Misc Operating Supplies	10,343	17,634	<u>10,000</u>	27,634
	<i>64TB of electronic evidence storage space</i>	<i>5,808</i>			
	<i>One (1) body-worn camera & docking station</i>	<i>4,192</i>			
Total Expenditures				<u>\$ 10,000</u>	

City of Winter Garden
Interim Budget
Local Option Gas Tax Fund

<u>Account Number</u>	<u>Description</u>	<u>2015 Actual</u>	<u>2016 Current Budget</u>	<u>Budget Adjustments</u>	<u>2016 Proposed Amended Budget</u>
Revenues					
160-0741-399.99-99	Use of Fund Balance	\$ -	\$ 1,162,380	\$ 5,000	\$ 1,167,380
<i>To balance increase in budgeted expenditures</i>					
Total Revenues				\$ 5,000	5,000
Expenditures					
Streets					
160-0741-541.63-00	Improvements other than building	537,011	2,023,885	5,000	2,028,885
<i>Lakeview Reserve HOA Improvement (Commission Approved 3/24/16 meeting)</i>					
Total Expenditures				\$ 5,000	

**City of Winter Garden
Interim Budget
General Impact Fee Fund**

<u>Account Number</u>	<u>Description</u>	<u>2015 Actual</u>	<u>2016 Current Budget</u>	<u>Budget Adjustments</u>	<u>2016 Proposed Amended Budget</u>
Revenues					
170-0521-399.99-99	Use of Fund Balance	\$ -	\$ 256,104	<u>\$ 31,635</u>	\$ 287,739
<i>To balance increase in budgeted revenues</i>					
Total Revenues				<u>\$ 31,635</u>	
Expenditures					
170-0521-521.64-00	Police Equipment	245,450	307,048	<u>31,635</u>	338,683
<i>Five (5) mobile radios for Police vehicles</i>					
Total Expenditures				<u>\$ 31,635</u>	

City of Winter Garden
Interim Budget
General Transportation Impact Fee Fund

<u>Account Number</u>	<u>Description</u>	<u>2015 Actual</u>	<u>2016 Current Budget</u>	<u>Budget Adjustments</u>	<u>2016 Proposed Amended Budget</u>
Revenues					
Streets					
174-0741-399.99-99	Use of Fund Balance	\$ -	\$ 4,799,929	<u>\$ 136,566</u>	\$ 4,936,495
<i>Balance Revenues and Expenditures</i>					
Total Revenues				<u>\$ 136,566</u>	
Expenditures					
Streets					
174-0741-541.63-00	Improvements other than building	8,350,109	5,512,261	<u>136,566</u>	5,648,827
	<i>E Plant / E Crown Pt Turn Lanes</i>	<i>45,000</i>			
	<i>Hennis / Plant Traffic Signal</i>	<i>20,000</i>			
	<i>Bury power lines at Park and Plant</i>	<i>250,000</i>			
	<i>E Crown/ Crown Pt Cross Intersection (postpone)</i>	<i>(178,434)</i>			
Total Expenditures				<u>\$ 136,566</u>	

City of Winter Garden
Interim Budget
Utilities Fund

<u>Account Number</u>	<u>Description</u>	<u>2015 Actual</u>	<u>2016 Current Budget</u>	<u>Budget Adjustments</u>	<u>2016 Proposed Amended Budget</u>
Revenues					
410-2116-399.99-99	Use of Fund Balance		\$3,452,613	<u>\$ 2,277,702</u>	\$5,730,315
Total Revenues				<u>\$ 2,277,702</u>	
Expenditures					
Water					
410-2116-581.91-00	Inter-Fund Transfers Out <i>Inter-Fund transfer out to Fund 412 R&R</i>		3,508,894	3,075,000	6,583,894
Distribution					
410-2126-533.34-01	Miscellaneous contractual services <i>Meter Change Out project</i>	14,765	12,945	72,975	85,920
410-2126-533.52-01	Miscellaneous operating supplies <i>Meter Change Out project - based on 2085 meters</i>	628,627	462,500	629,670	1,092,170
410-2126-533.63-00	<i>Southwest Reuse Phase III- move to Fund 411</i>	58	1,760,234	<u>(1,499,943)</u>	260,291
Total Expenditures				<u>\$ 2,277,702</u>	

**City of Winter Garden
Interim Budget
Utility Impact Fees Fund**

<u>Account Number</u>	<u>Description</u>	<u>2015 Actual</u>	<u>2016 Current Budget</u>	<u>Budget Adjustments</u>	<u>2016 Proposed Amended Budget</u>
Revenues					
411-2116-399.99-99	Use of Fund Balance		\$3,728,934	<u>\$ 2,049,943</u>	\$5,778,877
Total Revenues				<u>\$ 2,049,943</u>	
Expenditures					
411-2126-533.63-00	Improvements other than building	3,266,915	3,769,484	<u>2,049,943</u>	5,819,427
	<i>CR 545/Tilden Rd (Utilities)</i>	<i>550,000</i>			
	<i>Southwest Reuse Phase III - moved from Fund 410</i>	<i>1,499,943</i>			
Total Expenditures				<u>\$ 2,049,943</u>	

**City of Winter Garden
Interim Budget
Utility Renewal and Replacement Fund**

<u>Account Number</u>	<u>Description</u>	<u>2015 Actual</u>	<u>2016 Current Budget</u>	<u>Budget Adjustments</u>	<u>2016 Proposed Amended Budget</u>
Revenues					
412-2116-399.99-99	Inter-Fund Transfer In		\$3,508,897	<u>\$ 3,075,000</u>	\$6,583,897
Total Revenues				<u>\$ 3,075,000</u>	
Expenditures					
412-2126-533.63-00	Improvements other than building	110,432	1,341,818	<u>3,075,000</u>	4,416,818
	<i>Park Av Stormwater Improvements (Utilities)</i>	<i>225,000</i>			-
	<i>Replace existing sewer force main under 9th Street</i>	<i>2,850,000</i>			
Total Expenditures				<u>\$ 3,075,000</u>	

City of Winter Garden
Interim Budget
Stormwater

<u>Account Number</u>	<u>Description</u>	<u>2015 Actual</u>	<u>2016 Current Budget</u>	<u>Budget Adjustments</u>	<u>2016 Proposed Amended Budget</u>
Revenues					
420-2618-399.99-99	Use of Fund Balance		\$ 642,635	\$ 162,229	\$ 804,864
Total Revenues				\$ 162,229	
Expenditures					
420-2618-538.63-00	Improvements other than building	659,459	1,589,535	162,229	1,751,764
	<i>Park Ave Stormwater Improvements</i>	<i>20,000</i>			-
	<i>Brandy Creek Stormwater Repair</i>	<i>25,000</i>			
	<i>Karma Ave Stormwater Repair</i>	<i>20,527</i>			
	<i>Carter Rd Stormwater Replacement</i>	<i>86,702</i>			
	<i>Lakeview Reserve HOA Improvement (Commission Approved 3/24/16 meeting)</i>	<i>10,000</i>			
Total Expenditures				\$ 162,229	

City of Winter Garden
Interim Budget
Solid Waste

<u>Account Number</u>	<u>Description</u>	<u>2015 Actual</u>	<u>2016 Current Budget</u>	<u>Budget Adjustments</u>	<u>2016 Proposed Amended Budget</u>
Revenues					
430-3134-399.99-99	Use of Fund Balance		\$ -	<u>\$ 32,000</u>	\$ 32,000
Total Revenues				<u>\$ 32,000</u>	
Expenditures					
430-3134-534.44-00	Rental & Leases	-	2,500	<u>32,000</u>	34,500
	<i>Truck rentals due to excessive repairs on route trucks</i>				-
Total Expenditures				<u>\$ 32,000</u>	

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: City Manager Mike Bollhoefer

Date: May 19, 2016

Meeting Date: May 26, 2016

Subject: 16846, 17000 & 17166 Marsh Road
Premier Property Urban Village Planned Unit Development Rezoning
PARCEL ID# 06-23-27-4272-00-010
PARCEL ID# 06-23-27-0000-00-006
PARCEL ID# 05-23-27-0000-00-002

Issue:

The applicant is requesting to rezone 126.94 ± acres of land from No Zoning to Urban Village Planned Unit Development (UVPUD).

Discussion:

Applicant is requesting to rezone 126.94 +/- acres of land to allow the development of 107 single family lots with related neighborhood infrastructure, recreation areas, and open spaces. The subject property is located within the City of Winter Garden's municipal limits, and carries the zoning designation NZ, which means that the property has not yet been zoned since it was annexed into the City of Winter Garden in 2013. The subject property is designated Urban Village on the Future Land Use Map of the Comprehensive Plan. City staff recommends approval of the proposed Ordinance. Rezoning the subject property from City NZ to City UVPUD is consistent with the Code of Ordinances, the Future Land Use Map, the City's Comprehensive Plan, and the surrounding property uses. (See attached Staff Report).

Recommended Action:

Staff recommends approval and adoption of Ordinance 16-32, subject to the Conditions of the attached Staff Report.

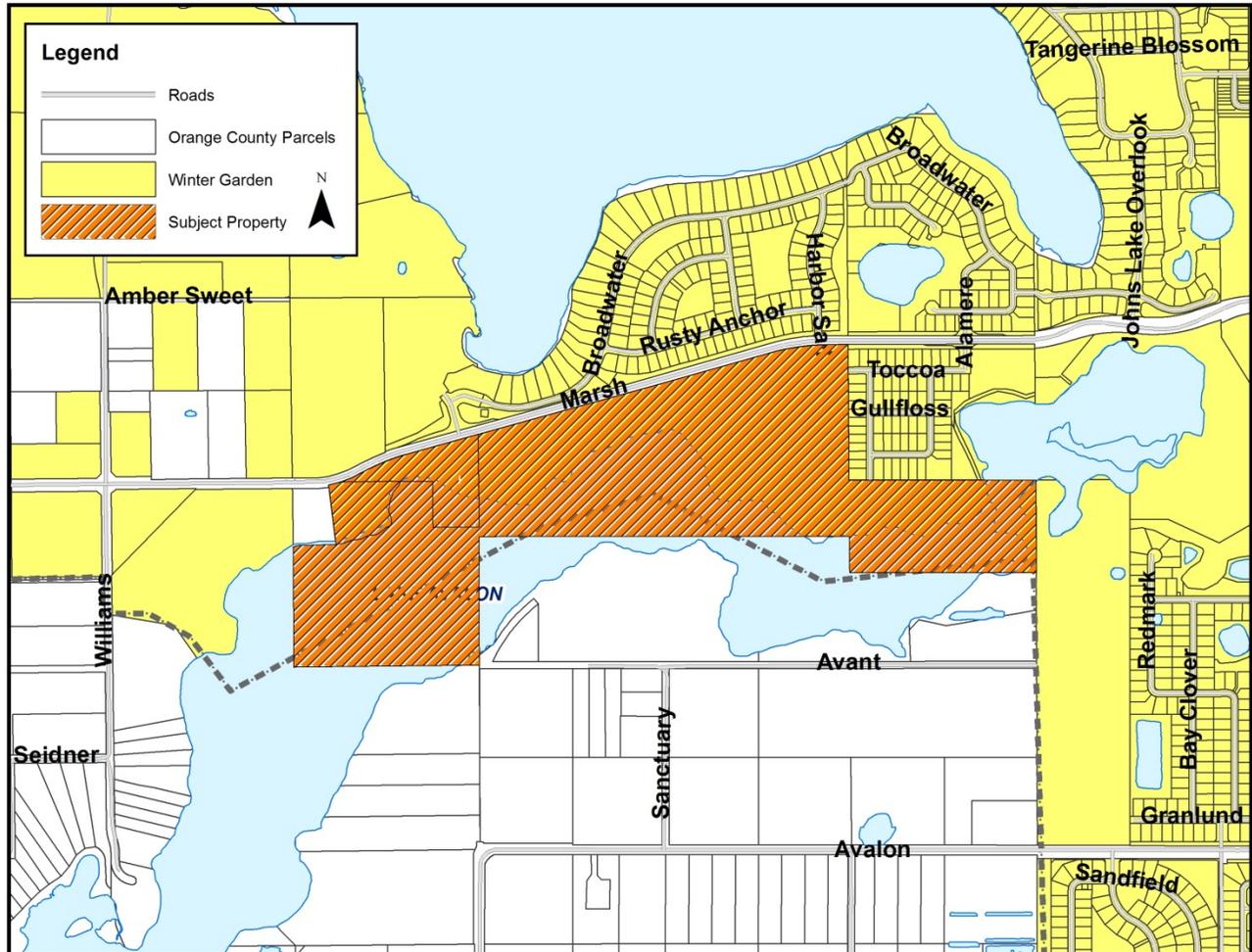
Attachment(s)/References:

Location Map
Ordinance 16-32
Staff Report

LOCATION MAP

16846, 17000 & 17166 Marsh Road

Urban Village Planned Unit Development



ORDINANCE 16-32

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA REZONING APPROXIMATELY 126.94 ± ACRES OF CERTAIN REAL PROPERTY GENERALLY LOCATED EAST OF WILLIAMS ROAD AND WEST OF AVALON ROAD (CR 545) ON THE SOUTH SIDE OF MARSH ROAD, AT 16846, 17000 & 17166 MARSH ROAD, FROM NO ZONING (NZ) TO URBAN VILLAGE PLANNED UNIT DEVELOPMENT (UVPUD); PROVIDING FOR CERTAIN UVPUD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE PREMIER PROPERTY URBAN VILLAGE PUD; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Owner(s) of real property generally described as approximately 126.94 ± acres of certain real property generally located east of Williams Road and west of Avalon Road (CR 545) on the south side of Marsh Road, at 16846, 17000 & 17166 Marsh Road in Winter Garden, Florida, being more particularly described on Exhibit “A” attached hereto and incorporated herein by this reference (the “Property”), desire to rezone their property from No Zoning (NZ) to Urban Village Planned Unit Development (UVPUD); and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the adoption of this Ordinance and the proposed UVPUD and development of the Property is consistent with the City of Winter Garden Comprehensive Plan, the Sixth Amendment to the Restated Interlocal Agreement for Joint Planning Area between Orange County and the City of Winter Garden, and the City of Winter Garden Code of Ordinances; and

WHEREAS, further, the City Commission finds that based on competent, substantial evidence in the record, the rezoning approved by this Ordinance meets all applicable criteria for rezoning the Property to Urban Village Planned Unit Development (UVPUD) contained within the City of Winter Garden Comprehensive Plan and the Code of Ordinances, therefore;

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: Rezoning. The above “Whereas” clauses constitute findings by the City Commission. After due notice and public hearing, the zoning classification of the Property, as described in Exhibit “A” attached hereto, is hereby rezoned from No Zoning (NZ) to Urban Village Planned Unit Development (UVPUD) in the City of Winter Garden, Florida subject to the following conditions, provisions and restrictions:

- a. **Conceptual Plan-** All development on the Property must substantially conform to the requirements identified in the Premier Property Urban Village Planned Unit Development Preliminary Plan attached hereto as Exhibit "B." Should any conflict be found between this Ordinance and the Premier Property Urban Village Planned Unit Development Preliminary Plan attached hereto as Exhibit "B", then the standards and conditions established by this Ordinance shall control.
- b. **Zoning-** Unless specifically noted elsewhere in Exhibit "B" attached hereto, all residential development on the Property must comply with the general zoning requirements of the R-1 Single Family Residential District for any structures. All uses not specifically permitted by this Ordinance or depicted in Exhibit "B" are prohibited, and there are no Special Exception uses.
- c. **JPA-** Unless specifically noted elsewhere in Exhibit "B" attached hereto, all development of the Property must conform to the requirements of the Sixth Amendment to the Restated Interlocal Agreement for Joint Planning Area between Orange County and the City of Winter Garden dated January 24, 2007.
- d. **Design Criteria/Architectural Standards-**
 1. **Lot Size-** Minimum lot width shall be 60 feet for a maximum of 68 lots, and 90 feet for a maximum of 39 lots.
 2. **Building Height-** Maximum building height shall be 35 feet.
 3. **Minimum Living Area-** Minimum living area for each residential unit shall be 2,000 square feet.
 4. **Signage-** All signage shall be reviewed and permitted by the City of Winter Garden.
 5. **Setbacks and Required Yards-**
 - 60-89 foot wide lots: the side yard setbacks shall be no less than 5 feet and shall be unobstructed by any mechanical equipment including, but not limited to, AC units, pool equipment, water filtration systems, gas tanks, propane tanks, and any other utility or service equipment; the side yard setback on the street side of a corner lot shall be no less than 25 feet; the rear yard setback shall be no less than 20 feet unless the property abuts Marsh Road, in which case the rear yard setback shall be no less and 40 feet, or if the property abuts an internal UVPUD perimeter, in which case the rear setback shall be no less than 25 feet; and the front yard

setback shall be no less than 20 feet for the primary structure, no less than 25 feet for front-loaded garages, and no less than 15 feet for front porches. Any landscaping or fencing installed within the side or rear yard setbacks shall be designed and constructed so as not to interfere with any easement function.

- 90 foot wide lots and larger: the side yard setbacks shall be no less than 10 feet; the side yard setbacks on the street side of a corner lot shall be no less than 25 feet; the rear yard setback shall be no less than 20 feet unless the property abuts Marsh Road, in which case the rear yard setback shall be no less and 40 feet, or if the property abuts an internal UVPUD perimeter, in which case the rear setback shall be no less than 25 feet; and the front yard setback shall be no less than 20 feet for the primary structure, no less than 25 feet for front-loaded garages, and no less than 15 feet for front porches. Any landscaping or fencing installed within the side or rear yard setbacks shall be designed and constructed so as not to interfere with any easement function. All structures, including accessory structures and pools, shall be located no less than 30 feet from the Normal High Water Line of Lake Avalon.

6. Residential Design Criteria-

All development on the Property must maintain the same general design criteria and architectural characteristics as the Building Elevations attached hereto as Exhibit "C". The rear elevations and side elevations exposed on a corner lot are required to have the same architectural features as the front.

7. Common Recreation and Open Space-

The Property is located within the Resource Protection Overlay, and in compliance with the City of Winter Garden Comprehensive Plan Future Land Use Element Policies 1-3.1.7 and 1-3.1.8 will provide no less than 25% Wekiva Study Area Open Space.

To the greatest extent possible, 5% of the developable area of the Property shall be set aside for active, dry-land recreational use. In the event that this requirement cannot be met wholly or in part, then a financial contribution in accordance with Chapter 110, Article V, Division 2 of the City Code of Ordinances shall be made to the City Recreation Fund to fulfill the requirement.

- e. Staff Conditions-** All development on the Property must comply with the following conditions:

1. A minimum 25-foot yard shall be maintained between the walls of all structures and the perimeter of the UVPUD. For properties that abut Marsh Road, accessory structures, including pool screen enclosures but not including pools, are not permitted in rear yards.
2. Minimum 5 foot wide utility and drainage easements shall be provided on each side lot line, and minimum 10 foot wide drainage, utility and sidewalk easements shall be provided on each front lot line. These easements shall be dedicated to the City.
3. Walls and landscaping shall be located within a landscape and wall tract, to be maintained by the HOA
4. If gated, streets will be private and maintained by the HOA. While portions of the right-of-way may be dedicated to the City, maintenance of special pavements, landscaping, hardscaping, etc. shall be performed by the HOA under a right-of-way maintenance agreement. If street trees are allowed, the HOA will be responsible for their installation, maintenance and removal if necessary. Location and type of street trees will be reviewed with final engineering plans, and they must be constructed with root barriers or located where there will be no conflicts with underground utilities.
5. Any proposed docks shall conform to the locations and lengths depicted on the Master Dock Plan, which is part of the Premier Property Urban Village Planned Unit Development Preliminary Plan (Exhibit "B"). Docks shall also comply with the regulations of the City of Winter Garden Code of Ordinances and appropriate state agencies.
6. Consistent with other development that the City has approved on the Marsh Road corridor, additional right-of-way conveyance in fee simple ownership by the property owner to the city may be required on Marsh Road. Such right-of-way conveyance, if required by the city, shall occur prior to or concurrently with the recording of the final plat for the first phase of the development. No impact fee credits shall be received for such right-of-way conveyance. The right-of-way conveyance shall be by special warranty deed free and clear of all liens and encumbrances.
7. Upon application for Preliminary Plat review, the building setbacks for each lot including specific details on what primary and auxiliary uses will be allowed such as pools, porches, patios, docks, etc. shall be identified.
8. Final plans and drainage calculations shall show the maximum impervious surface allowed on each lot, based on the approved SJRWMD permit. In any case however, this cannot exceed 65% ISR per the UVPUD zoning, but must be supported by the approved

St. Johns calculations/permit.

9. All irrigation shall be designed to be supplied by reclaimed water (minimum 8 inch internal main size).
10. All proposed easements shall be 30 foot minimum width for sanitary, water and storm; improvements shall be centered within the easement. Common areas not abutting right-of-way shall include a tract (not easement) for access and maintenance.
11. The 100 year flood plain for Lake Avalon and adjacent wetlands has been shown at Elevation 97.70 (NAVD '88). Any areas developed within the 100 year flood plane shall be compensated for; LOMR with FEMA is required for any development within the 100 year flood zone.
12. Lake Avalon is in a closed basin without a positive outfall, requiring retention of the 100 year, 24 hour storm event and pre vs. post volume of 25 year, 96 hour storm event (whichever is greater).
13. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
14. All work shall conform to City of Winter Garden standards and specifications.
15. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
16. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
17. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of

Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.

18. After final engineering plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of the building permit.
19. If the neighboring lakefront property owners pursue a taxing district to pay for ongoing water quality management of Lake Avalon, the Owner/Developer shall agree to the establishment of the taxing district and incorporate all lakefront lots before any property is transferred.
20. Based on the results of a Traffic Impact Analysis, the proposed project is projected to have an impact on the segment of Marsh Road between Williams Road and Avalon Road as well as on the Marsh Road intersections at Williams Road, Avalon Road, and at the Project Entrance. The Developer shall be responsible for payment of the proportionate fair share of the proposed improvements at these intersections to mitigate the project's traffic impacts. The payment of the fair share amount will be addressed in the Developer's Agreement or by other agreement acceptable to the City Manager. The Developer's Agreement shall address the fair share payment amount as well as when such payment shall occur.
21. The recent extension, installation and oversizing of water, sewer and reclaimed water mains along Marsh Road were done for the benefit of this Project and other Projects along Marsh Road. The Developer shall be responsible for payment of the proportionate fair share for the previous extension of water, sewer and reclaimed water mains along Marsh Road installed by the Waterside at John's Lake UVPUD development in the manner to be addressed by the Developer's Agreement, or by other agreement acceptable to the City Manager. Such payment shall occur no later than immediately prior to obtaining certificates of occupancy for any buildings/units for the project.

SECTION 2: *General Requirements.*

- a. **Development Agreement-** A Developer's Agreement shall be drafted, approval obtained and recorded prior to approval of Preliminary Plat of the Property. The Developer's Agreement shall address matters that may

include, but are not limited to, developer's payment for proportionate share of Marsh Road intersection improvements, developer's payment for utility line extensions along Marsh Road, Marsh Road right-of-way conveyance, other public infrastructure improvements, lift station, internal utility lines, community subdivision infrastructure improvements requirements of Chapter 110, City Code, and impact fees. Owner shall cause mortgage lien holders to execute a joinder, consent and subordination of their lien interests to the Developer's Agreement for recording in the public records concurrently with the Developer's Agreement.

- b. **Stand Alone Clause-** Each phase of development of the Property must operate as an individual unit in that each particular phase will be able to stand-alone in the event that no other phase is developed.
- c. **Land Development Approvals and Permits-** This Ordinance does not require the City to issue any permit or approval for development, construction, preliminary plat, final plat, building permit, or other matter by the City relating to the Property or the project or any portion thereof. These and any other required City development approvals and permits shall be processed and issued by the City in accordance with procedures set forth in the City's Code of Ordinances and subject to this Ordinance.
- d. **Amendments-** Minor amendments to this Ordinance will be achieved by Resolution of the City Commission of the City of Winter Garden. Major amendments to this Ordinance will require approval of the City Commission of the City of Winter Garden by Ordinance.
- e. **Expiration/Extension-** Expiration of this UVPUD shall be governed in accordance with Section 118-830, City of Winter Garden Code of Ordinances. Time extensions may be granted in accordance with Section 118-829, City of Winter Garden Code of Ordinances.

SECTION 3: Zoning Map. The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION 4: Non-Severability. Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 5: Effective Date. This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2016.

SECOND READING AND PUBLIC HEARING: _____, 2016.

ADOPTED this _____ day of, _____, 2016, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

KATHY GOLDEN, City Clerk

Exhibit "A"

LEGAL DESCRIPTION:

COMMENCE AT THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF SECTION 6, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA; THENCE RUN N 89°28'15" E ALONG THE SOUTH LINE OF THE SAID NORTHWEST 1/4 OF SECTION 6, A DISTANCE OF 2698.08 FEET TO THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF SAID SECTION 6; THENCE CONTINUE N 89°28'15" E ALONG THE SOUTH LINE OF THE SAID NORTHEAST 1/4 OF SECTION 6, A DISTANCE OF 2650.65 FEET TO THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF SECTION 5, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA; THENCE RUN N 00°41'55" W ALONG THE WEST LINE OF SAID NORTHWEST 1/4 OF SECTION 5, A DISTANCE OF 331.27 FEET TO THE POINT OF BEGINNING AND THE SOUTHERLY RIGHT OF WAY LINE OF MARSH ROAD; THEN RUN N 74°36'19" E ALONG SAID SOUTHERLY RIGHT OF WAY LINE 1086.60 FEET; THENCE N 74°08'52" E 1111.13 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE TO THE SOUTH HAVING A RADIUS OF 1243.22 FEET; THENCE RUN ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 15°52'13", A DISTANCE OF 344.36 FEET TO A POINT OF TANGENCY; THENCE S 89°58'55" E 173.01 FEET TO THE EAST LINE OF SAID NORTHWEST 1/4 OF SECTION 5; THENCE LEAVING SAID SOUTHERLY RIGHT OF WAY LINE OF MARSH ROAD RUN S 00°24'10" E ALONG SAID EAST LINE 966.93 FEET TO THE SOUTHEAST CORNER OF THE SAID NORTHWEST 1/4 OF SECTION 5; THENCE RUN N 89°55'22" E 1330.80 FEET TO THE NORTHEAST CORNER OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 5; THENCE RUN S 00°12'07" E 658.01 FEET TO THE SOUTHEAST CORNER OF THE NORTH 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 5; THENCE RUN S 89°57'02" W 1328.50 FEET TO THE SOUTHWEST CORNER OF SAID NORTH 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 5; THENCE RUN N 00°24'10" W ALONG THE EAST LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 5, A DISTANCE OF 257.37 FEET TO THE SOUTHEAST CORNER OF THE NORTH 400.00 FEET OF SAID SOUTHWEST 1/4 OF SECTION 5; THENCE S 89°55'22" W 2633.71 FEET TO THE SOUTHWEST CORNER OF SAID NORTH 400.00 FEET OF THE SOUTHWEST 1/4 OF SECTION 5; THENCE S 00°11'38" E ALONG THE EAST LINE OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 6, A DISTANCE OF 912.21 FEET TO THE SOUTHEAST CORNER OF SAID NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 6; THENCE S 89°26'11" W 1319.00 FEET TO THE SOUTHWEST CORNER OF SAID NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 6; THENCE N 00°28'13" W ALONG THE WEST LINE OF SAID NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 6, A DISTANCE OF 823.32 FEET MORE OR LESS TO THE SHORELINE OF LAKE AVALON ALSO BEING THE SOUTH BOUNDARY OF LOT 2, LAKE AVALON ESTATES, ACCORDING THE PLAT THEREOF, RECORDED IN PLAT BOOK "R", PAGE 52, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN ALONG SAID SOUTH BOUNDARY OF LOT 2 THE FOLLOWING (3) COURSES AND DISTANCES: THENCE N 74°41'35" E 85.25 FEET; THENCE N 89°21'22" E 116.42 FEET; THENCE N 86°37'53" E 104.66 FEET TO THE EASTERLY BOUNDARY LINE OF SAID LOT 2; THENCE N 07°13'45" W ALONG SAID EASTERLY BOUNDARY LINE, 442.46 FEET TO THE NORTHEAST CORNER OF SAID LOT 2, SAID POINT BEING ON THE SOUTHERLY RIGHT OF WAY LINE OF MARSH ROAD; THENCE N 74°45'15" E ALONG SAID SOUTHERLY RIGHT OF WAY LINE, 133.68 FEET; THENCE N 62°42'09" E 211.03 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE TO THE SOUTH HAVING A RADIUS OF 1115.91 FEET; THENCE RUN ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 11°54'10", A DISTANCE OF 231.82 FEET TO A POINT OF TANGENCY; THENCE N 74°36'19" E 557.75 FEET TO THE POINT OF BEGINNING.

Exhibit "B"

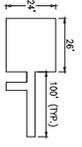
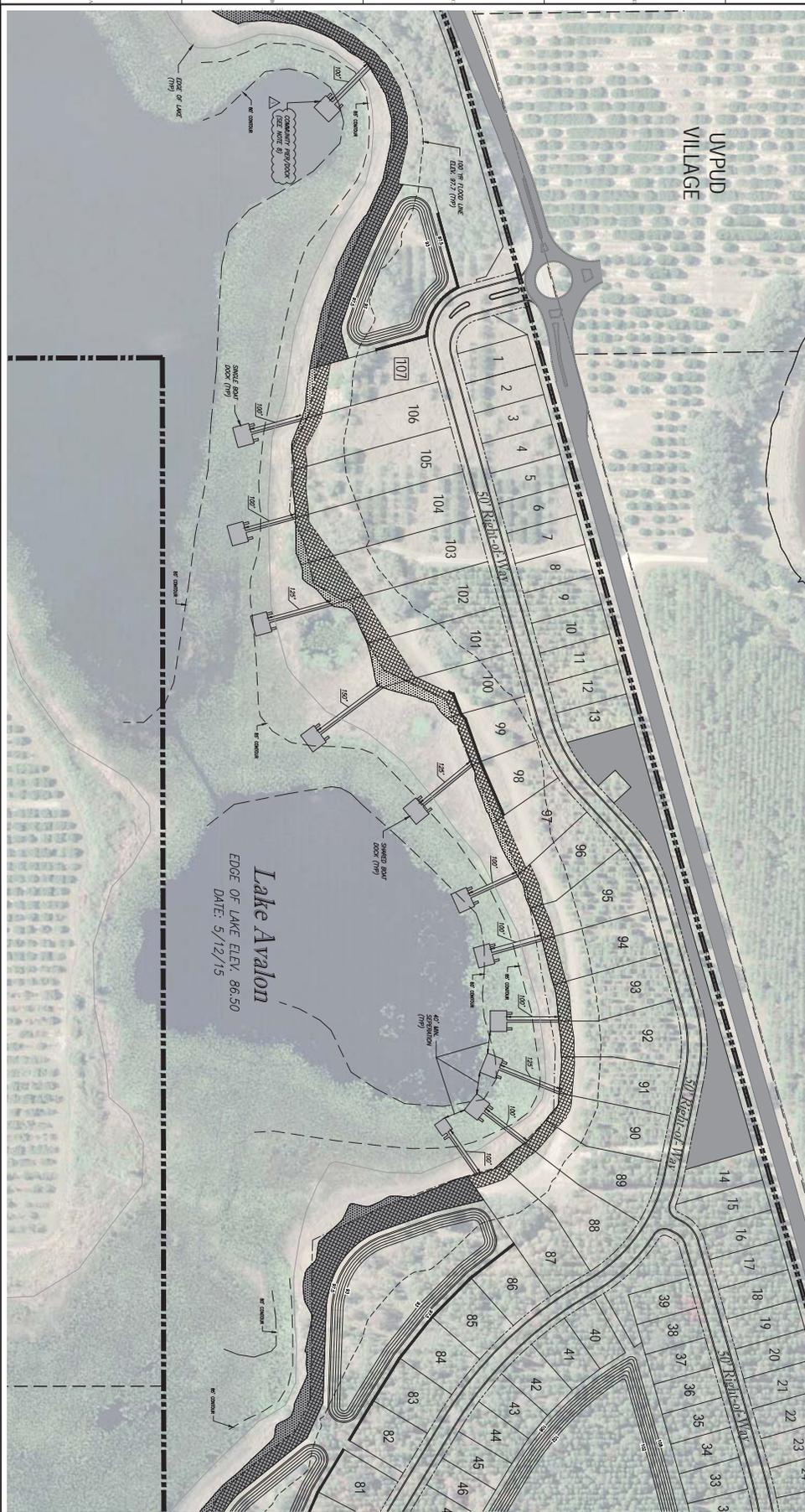
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URBAN VILLAGE PLANNED UNIT DEVELOPMENT PRELIMINARY PLAN

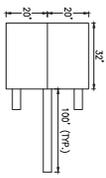
PREMER PROPERTY

REVISED MARCH 2016

(16 PAGES - ATTACHED)



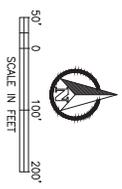
TYPICAL SINGLE DOCK DETAIL
N.T.S.



TYPICAL DOUBLE DOCK DETAIL
N.T.S.

- REGULATORY DOCK SLABS
1. NO LANDING OFF DOCKS.
2. NO DOUBLED DOCKS ARE ALLOWED.

- NOTES**
- INDIVIDUAL BOARDS/RAILS/BOAT DOCKS SHALL BE A MINIMUM OF 28 FEET OFF OF PROPERTY LINE.
 - INDIVIDUAL BOARDS/RAILS/BOAT DOCKS ARE CONCEPTUALLY DEVICED AND SUBJECT TO FINAL DESIGN AND PERMITTING.
 - BOARDS/RAILS/BOAT DOCKS SHALL BE PERMITTED INDIVIDUALLY BY LOT OWNER AND ARE NOT INCLUDED DOCKS AND/OR RAILS.
 - RAILS/BOARDS/RAILS/BOAT DOCKS SHALL BE CONSTRUCTED IN A MANNER THAT WILL NOT IMPERE THE NAVIGATION ON THE BEHALF OF AN ADJACENT LOT OWNER TO CONSTRUCT A BOARDS/RAILS/BOAT DOCK OF THE SAME TYPE.
 - DOCKS SHALL COMPLY WITH CITY OF WINTER GARDEN ORDINANCE 11-20 (AS CORRECTED IN CHAPTER 118 OF THE CITY CODE).
 - DOCKS SHALL ONLY BE PERMITTED FOR LOTS 84-107.
 - THE HOMEOWNER SHALL HAVE THE OPTION TO SHORTEN THE LENGTH OF THEIR MULKUM; HOWEVER, THE LENGTH OF DOCK SHOWN IS THE MAXIMUM ALLOWED.
 - DEVELOPER SHALL INSTALL A BOAT SYSTEM FOR THE COMMUNITY PERRYDOCK TO PROMOTE THE USE OF THIS DOCK BY MOTORIZED WATERCRAFT. BOAT SYSTEM PLANS TO BE PLACED 3 FEET ON CENTER.



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Paulus & Bennett, LLC
2021 E. Livingston Street, Orlando, FL 32803
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Fax: 407.486.1100
http://www.paulus.com

POULOS & BENNETT

Submitted To:
WINTER GARDEN, FL

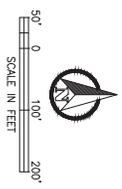
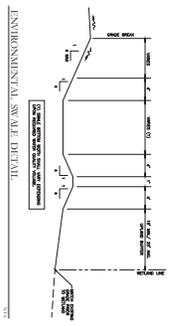
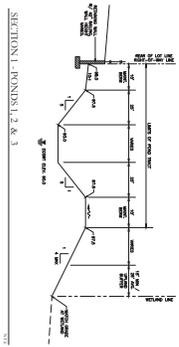
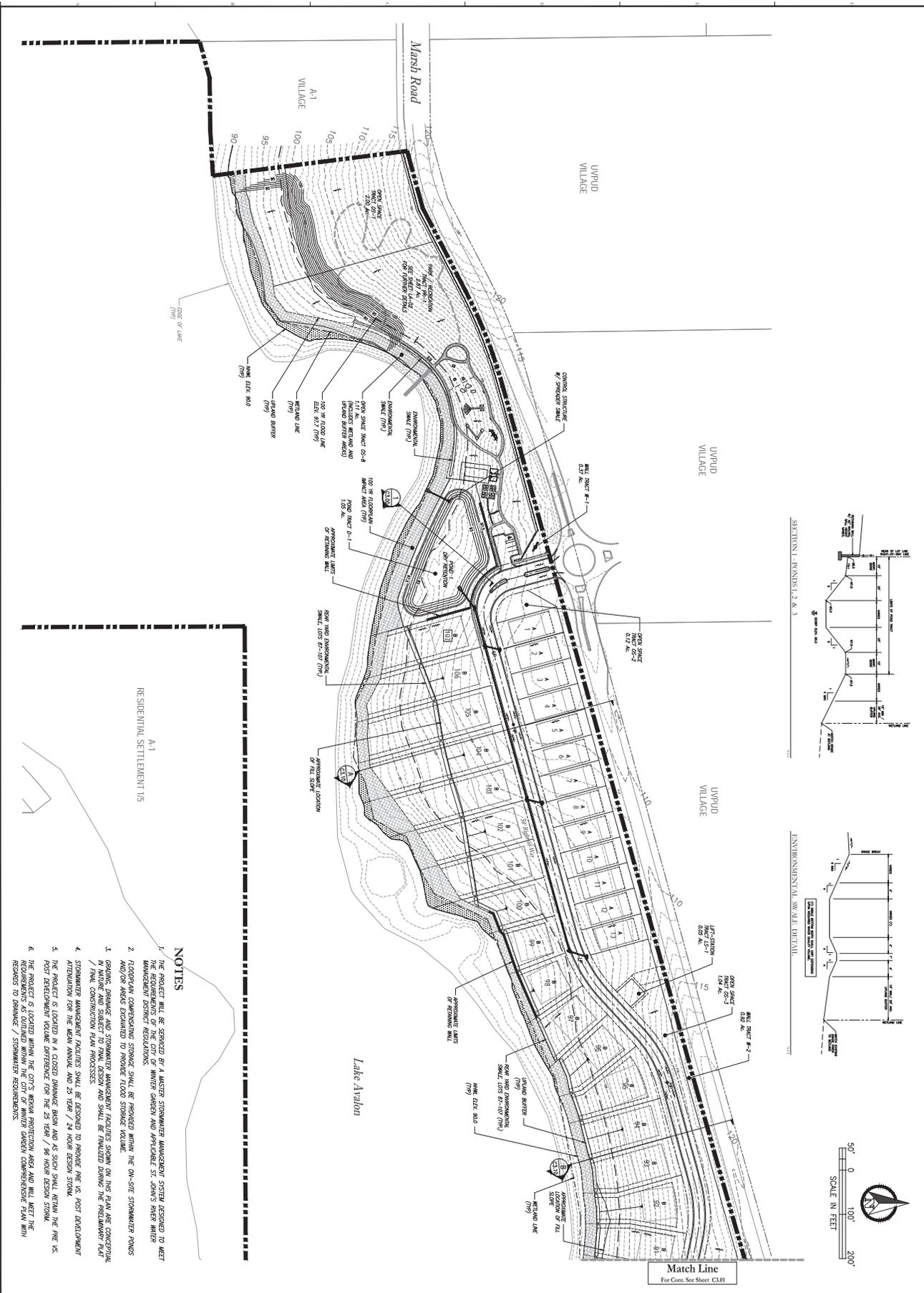
Sheet Title:
MASTER DOCK PLAN

Sheet No.:
2.10

DATE: March 30, 2016

Project Name:
PREMIER PROPERTY

Project No.:
107



RESIDENTIAL SETTLEMENTS
A-1

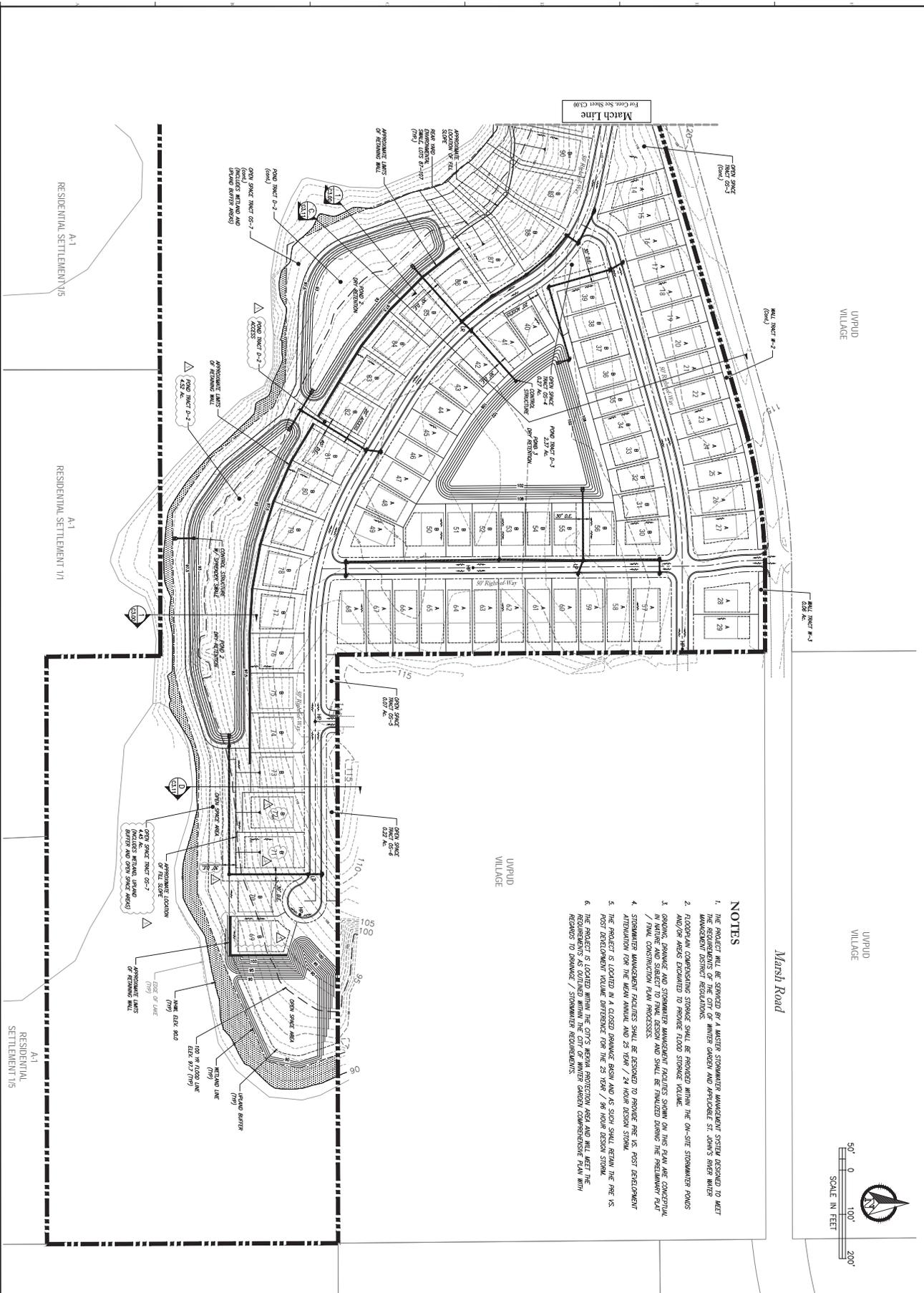
- NOTES**
1. THE PROJECT WILL BE SERVED BY A MASTER STORMWATER MANAGEMENT SYSTEM DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF WINTER GARDEN AND APPLICABLE ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT REGULATIONS.
 2. FLOODPLAIN COMPENSATING STORAGE SHALL BE PROVIDED WITHIN THE ON-SITE STORMWATER POUNDS AND/OR BASINS EXCEPTED TO PROVIDE FLOOD STORAGE VOLUME.
 3. GRADING, DRAINAGE AND STORMWATER MANAGEMENT FACILITIES SHOWN ON THIS PLAN ARE CONCEPTUAL / FINAL CONSTRUCTION PLAN PROCESS.
 4. STORMWATER MANAGEMENT FACILITIES SHALL BE DESIGNED TO PROVIDE ONE (1) HOUR DEVELOPMENT ATTENUATION FOR THE MEAN ANNUAL AND 25 YEAR / 24 HOUR DESIGN STORM.
 5. THE PROJECT IS LOCATED IN A CLOSED DRAINAGE BASIN AND AS SUCH SHALL RETAIN THE PRE US POST DEVELOPMENT VOLUME DIFFERENCE FOR THE 25 YEAR / 48 HOUR DESIGN STORM.
 6. THE PROJECT IS LOCATED WITHIN THE CITY'S SPECIAL DISTRICT AND SHALL MEET THE REQUIREMENTS AS OUTLINED WITHIN THE CITY OF WINTER GARDEN COMPENSATING PLAN WITH REMOVAL TO DRAINAGE / STORMWATER REQUIREMENTS.

Match Line
For Cont. See Sheet C1.B1

Key Map

Consultant

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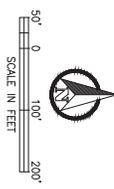
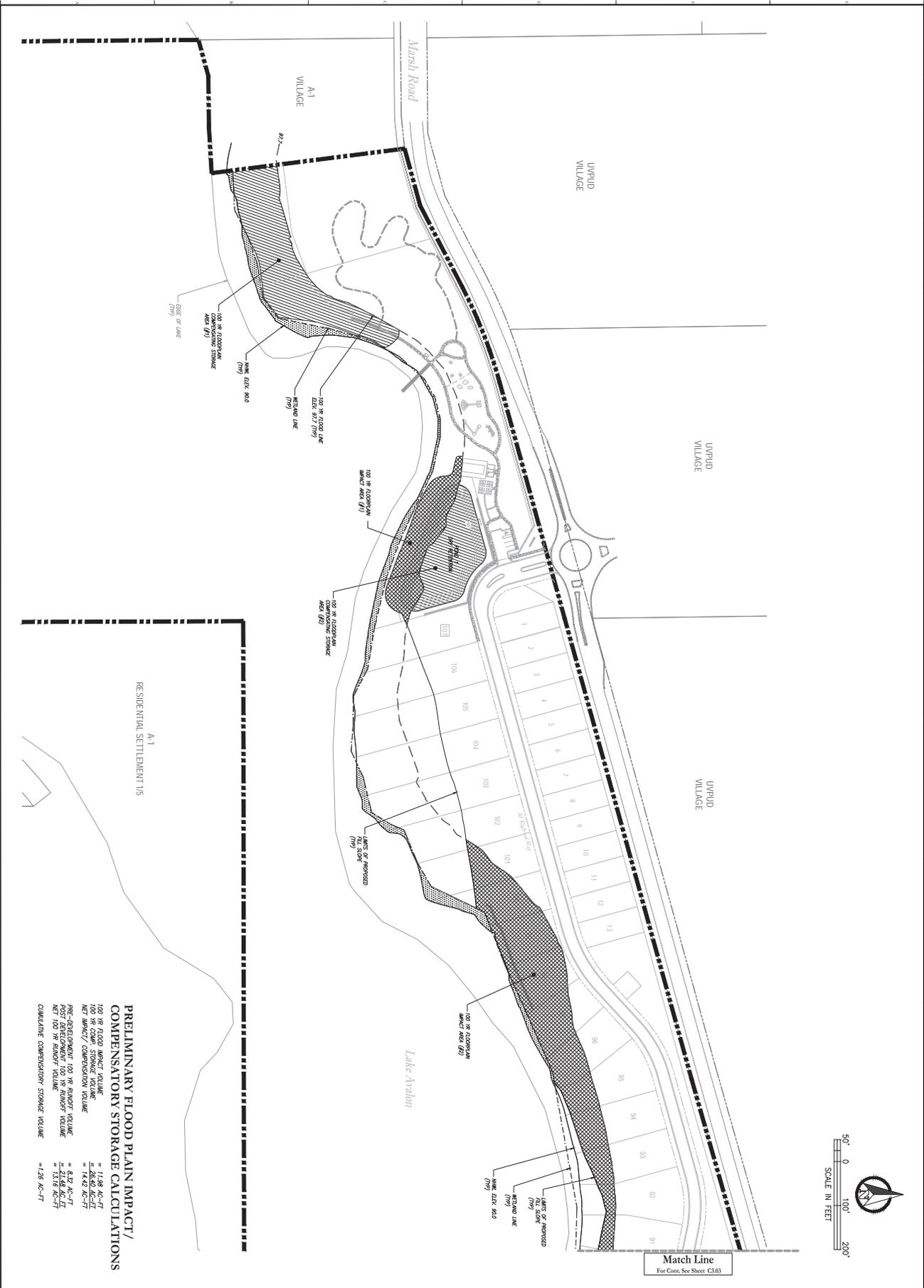


- NOTES**
1. THE PROJECT WILL BE SERVED BY A MASTER STORMWATER MANAGEMENT SYSTEM DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF WINTER GARDEN AND APPLICABLE ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT REGULATIONS.
 2. FLOODPLAIN OVERLAPPING STORAGE SHALL BE PROVIDED WITHIN THE ON-SITE STORMWATER PAVES AND/OR AREAS EXCEPTED TO PROVIDE FLOOD STORAGE VOLUME.
 3. GROUND, DRAINAGE AND STORMWATER MANAGEMENT FACILITIES SHOWN ON THIS PLAN ARE CONCEPTUAL IN NATURE AND SUBJECT TO FINAL DESIGN AND SHALL BE FINISHED DURING THE PRELIMINARY PLAN IN FINAL CONSTRUCTION FOR PROGRESS.
 4. STORMWATER MANAGEMENT FACILITIES SHALL BE DESIGNED TO PROVIDE PAVES US. POST DEVELOPMENT INTERCEPTION FOR THE 24 HOUR AND 24 INCH / 24 HOUR DESIGN STORM.
 5. THE PROJECT IS LOCATED IN A CLOSED DRAINAGE BASIN AND AS SUCH SHALL REMAIN THE PAVES US. POST DEVELOPMENT VOLUME DIFFERENCE FOR THE 24 INCH / 24 HOUR DESIGN STORM.
 6. THE PROJECT IS LOCATED WITHIN THE CITY'S SPECIAL PROTECTION AREA AND WILL MEET THE REQUIREMENTS TO DRAINAGE / STORMWATER REQUIREMENTS.

POULOS & BENNETT
 20211 Livingston Street, Orlando, FL 32835
 Tel: (407) 550-8800 Fax: (407) 550-8800
 Reg. No. 36382

Premier Property
 Winter Garden, FL
 Master Drainage Plan
 Sheet No. 3.01
 Date: March 30, 2016

Consultant:
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Key Map

Consultant:

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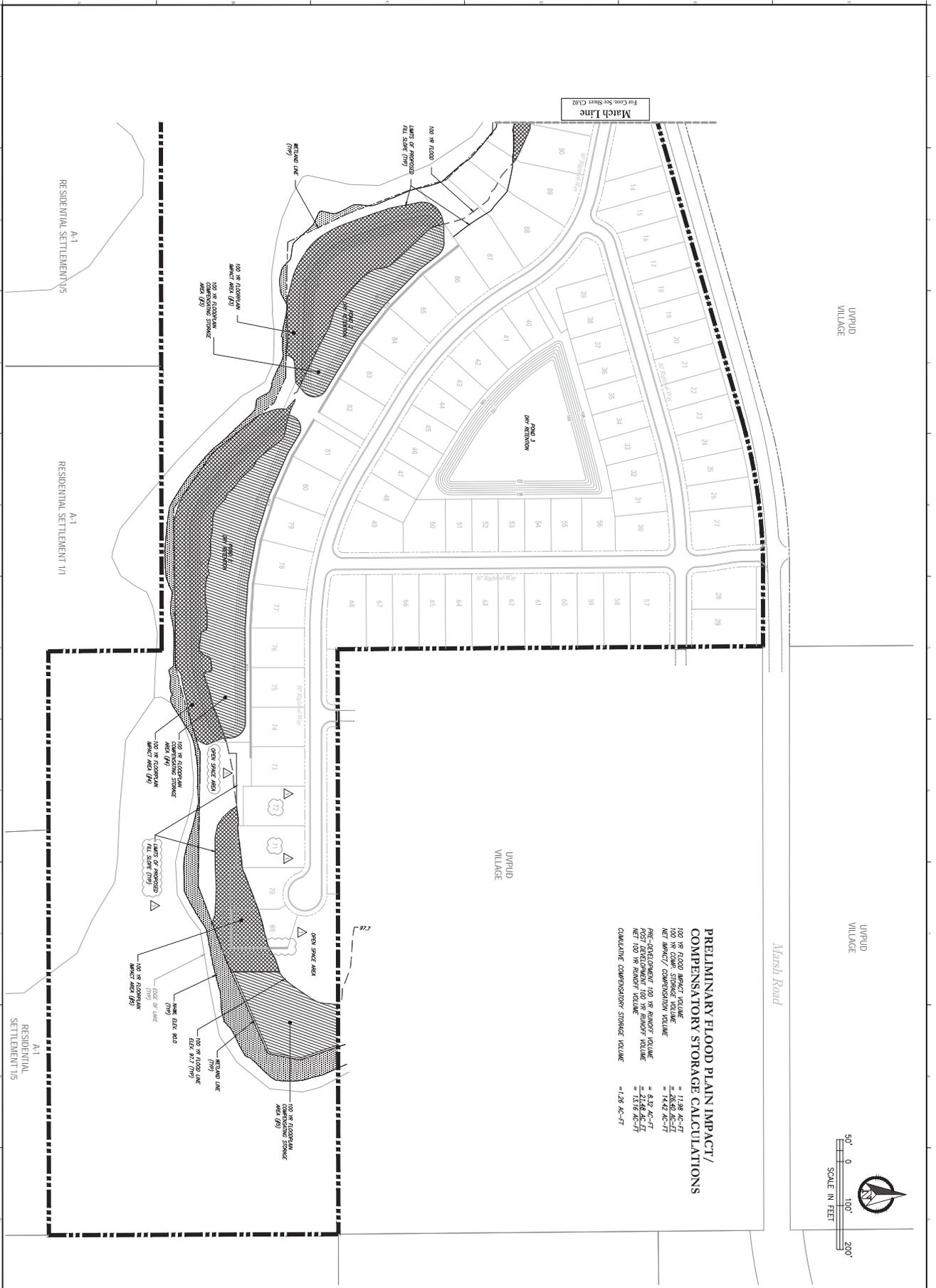
PREMIER PROPERTY

Submitted To:
WINTER GARDEN, FL.
Sheet Title:
FLOODPLAIN COMPENSATION PLAN

3.02

POULOS & BENNETT
20211 Livingston Street, Orlando, FL 32835
Tel: 407.487.1111 Fax: 407.487.1112
http://www.poullos.com

DATE: March 30, 2016



**PRELIMINARY FLOOD PLAIN IMPACT/
COMPENSATORY STORAGE CALCULATIONS**

100 YR FLOOD PLAIN VOLUME = 11.88 AC-FT
 100 YR FLOOD PLAIN COMPENSATORY STORAGE VOLUME = 28.60 AC-FT
 NET WANCY COMPENSATION VOLUME = 14.42 AC-FT

PRE-DEVELOPMENT 100 YR FLOOD PLAIN VOLUME = 8.32 AC-FT
 POST-DEVELOPMENT 100 YR FLOOD PLAIN VOLUME = 21.68 AC-FT
 NET 100 YR FLOOD PLAIN VOLUME = 13.19 AC-FT
 CUMULATIVE COMPENSATORY STORAGE VOLUME = 1.28 AC-FT



Key Map

Consultant:

1. 0.0/2.0% SLOPE TOLERANCE OF WINTER GARDENS	
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**PREMIER
PROPERTY**

Submitted To:
WINTER GARDEN, FL

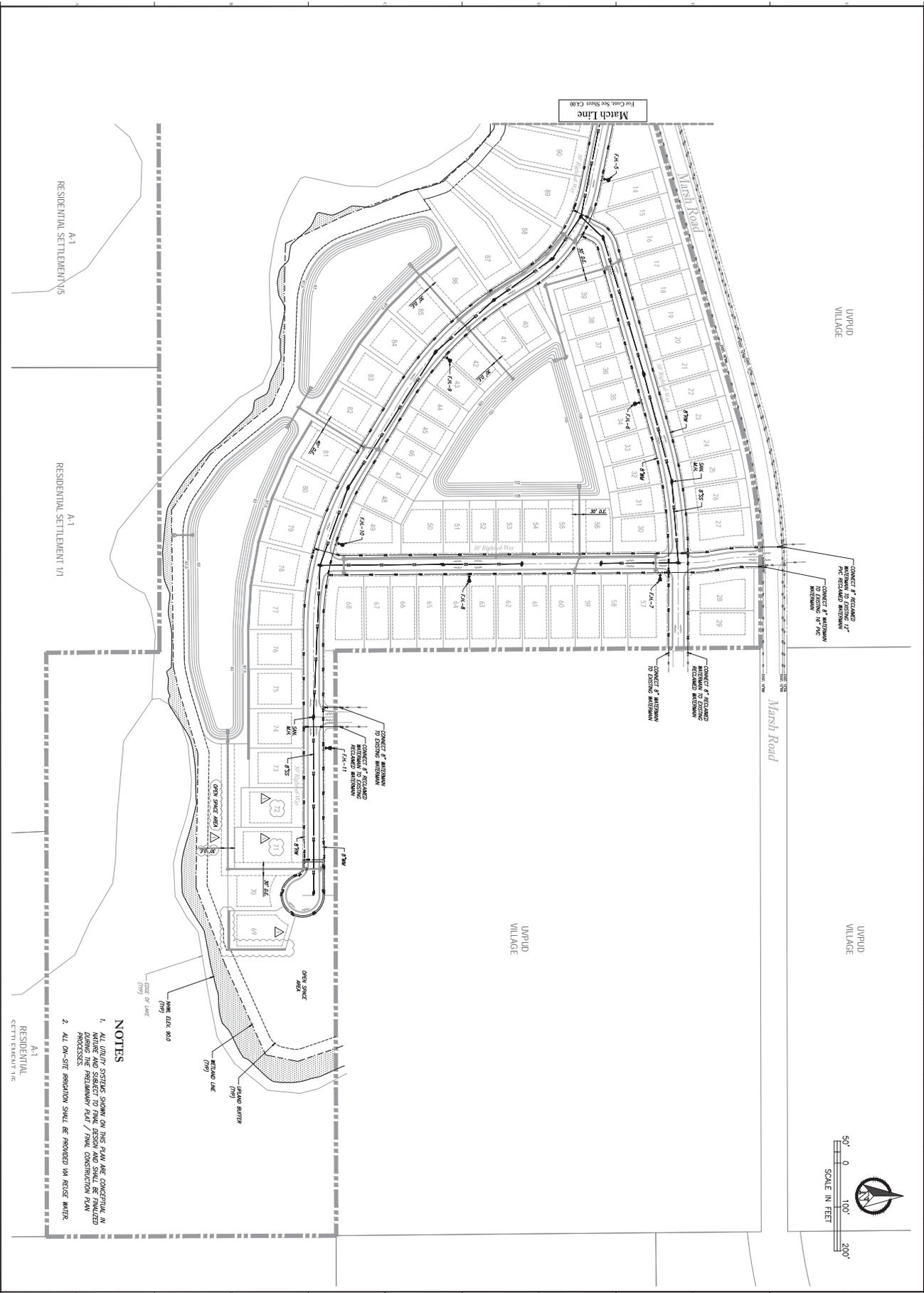
Sheet Title:
**FLOODPLAIN
COMPENSATION
PLAN**

Sheet No.:
3.03

DATE: March 30, 2016

POULOS & BENNETT

Poulos & Bennett, LLC
20211 Livingston Street, Orlando, FL 32835
Tel: (407) 597-1100 Fax: (407) 597-1101
http://www.pandb.com/28587



A-1
RESIDENTIAL SETTLEMENTS

A-1
RESIDENTIAL SETTLEMENT 7/1

NOTES

1. ALL UTILITY SYSTEMS SHOWN ON THIS PLAN ARE CONCEPTUAL IN NATURE AND SUBJECT TO FINAL DESIGN AND SHALL BE FINALIZED PRIOR TO THE PRELIMINARY PAID / FINAL CONSTRUCTION PLAN.
2. ALL ON-SITE PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE RESIDENTIAL SETTLEMENT 7/1.



Consultant: **POULOS & BENNETT**
 2021 E. Livingston Street, Ocala, FL 32801
 Tel: 352.349.1100 Fax: 352.349.1101
 Poulos & Bennett, LLC
 Reg. No. 15053-P0-MFP

Project Name: **PREMIER PROPERTY WINTER GARDEN, FL**

Submitted To: **WINTER GARDEN, FL**

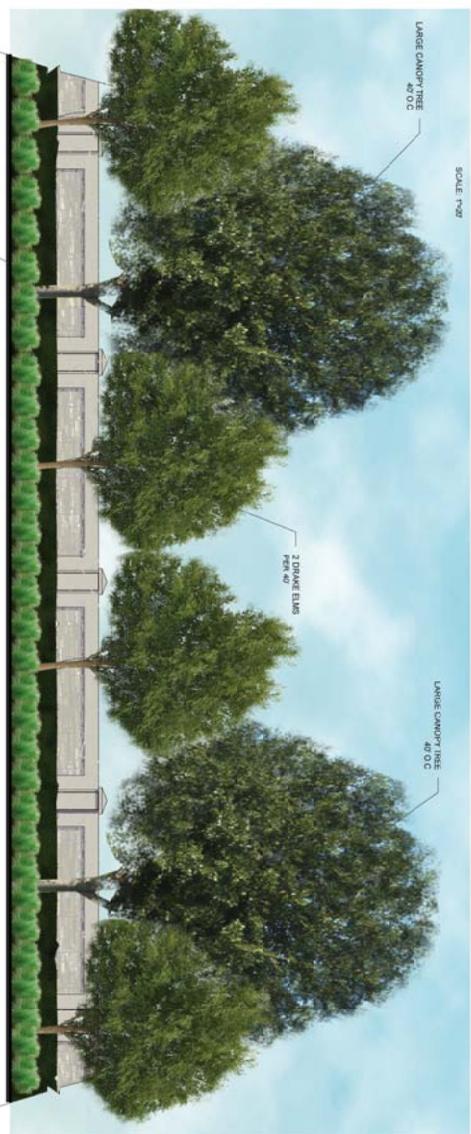
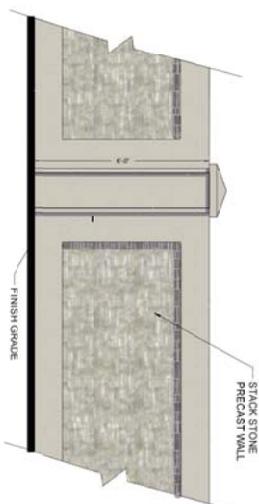
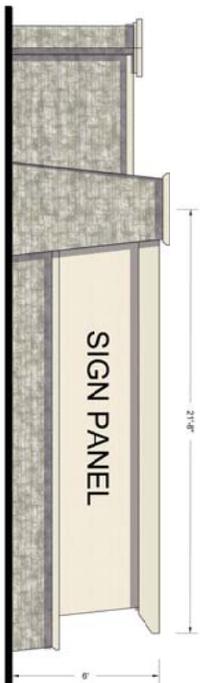
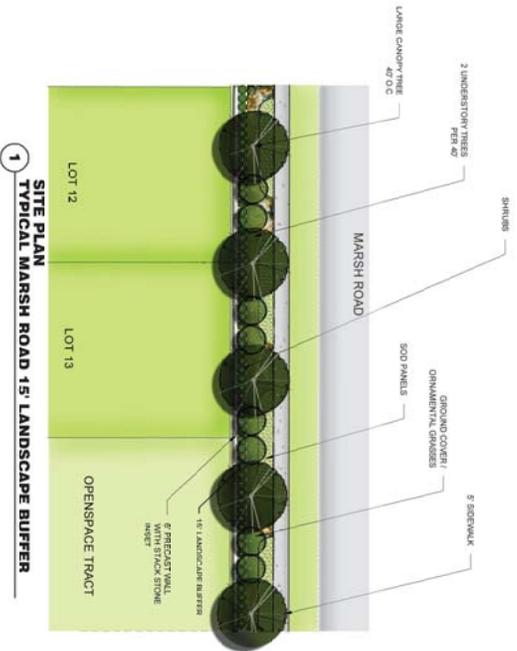
Sheet Title: **MASTER UTILITY PLAN**

Sheet No.: **401**

DATE: **March 30, 2016**

DESIGNED BY:	SKR
CHECKED BY:	JLM
APPROVED BY:	MS
SCALE IN FEET:	"=100'

Premier Property



Prepared for:
K Hovnanian Homes
 151 Southhall Lane Suite 120
 Maitland, Florida 32751
 Rev: March 04, 2016

daly design group inc.

Land Planning • Landscape Architecture • Project Management
 913 N. Pennsylvania Ave, Winter Park, Florida 32789
 Phone 407.740.7373 • www.dalydesign.com



Premier Property



1 PLAN VIEW RECREATION PLAN

Note: The elements shown on this plan shall be incorporated into the recreation area. Location of individual elements may be adjusted due to site conditions, tree preservation, & engineering constraints. Determination shall be made at final engineering plan preparation.

SCALE: 1"=40'

Prepared for:
K Hovnanian Homes
 151 Southhall Lane Suite 120
 Maitland, Florida 32751
 Feb 02, 2016

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Exhibit "C"

COVER PAGE

TYPICAL BUILDING ELEVATIONS

PREMER PROPERTY

(2 PAGES - ATTACHED)

CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

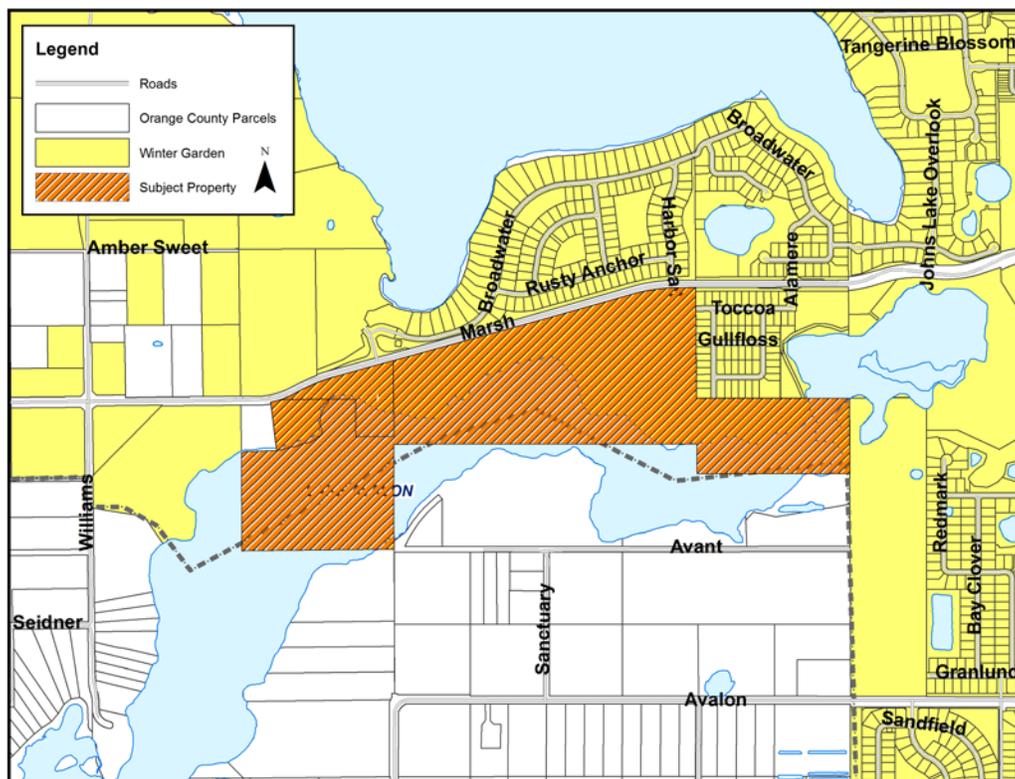
STAFF REPORT

TO: PLANNING AND ZONING BOARD
PREPARED BY: KELLY CARSON, URBAN DESIGNER
DATE: APRIL 27, 2016
SUBJECT: REZONING (ORDINANCE 16-32)
16846, 17000 & 17166 Marsh Road (126.94+/- ACRES)
Parcel ID# 06-23-27-4272-00-010 Parcel ID# 06-23-27-0000-00-006
Parcel ID# 05-23-27-0000-00-002

APPLICANT: K HOVNANIAN HOMES // POULOS & BENNETT

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Land Development Regulations, Comprehensive Plan, and Future Land Use Map. The subject property, located east of Williams Road and west of Avalon Road (CR 545) on the south side of Marsh Road, is approximately 126.94 ± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting to rezone 126.94± acres of land. The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation NZ, which means that the property has not yet been zoned since it was annexed into the City of Winter Garden in 2013 (Ord. 13-16). The subject property is designated Urban Village on the Future Land Use Map of the Comprehensive Plan.

EXISTING USE

The property is mainly orange groves, planted pines, and water except for one abandoned former agriculture-related building that is located on the northeast section of 16846 Marsh Road (Parcel I.D. #05-23-27-0000-00-002). The property has been used historically only for agricultural purposes.

ADJACENT LAND USE AND ZONING

To the north of the subject property is another property that was formerly orange groves and was approved for Urban Village Planned Unit Development (UVPUD) zoning to construct a subdivision with 139 single-family homes (Waterside on Johns Lake Phase I). To the south is Lake Avalon and agricultural land in unincorporated Orange County with A-1 zoning. To the east is a portion of the TwinWaters subdivision with a total of 140 single family lots, is zoned UVPUD, and is located in the City of Winter Garden. The other Winter Garden parcel to the east is a vacant agricultural property that has not yet received a zoning designation. To the west of the subject property is a single family house and a vacant property, both with agricultural uses. The surrounding properties to the north, east, and west are all located within the JPA expansion area as adopted by the Sixth Amendment to the Restated Interlocal Agreement for Joint Planning Area between Orange County and the City of Winter Garden. Many of the surrounding properties (a total of 596 acres) were annexed into the City of Winter Garden by Ordinance 07-34. At the time the properties were annexed into the City they were not assigned zoning or future land use designation in the City of Winter Garden. Subsequently, as part of the EAR-based amendments to the City's Comprehensive Plan, which were adopted in 2010, many surrounding properties (a total of 642.73 acres) were assigned a future land use designation of Urban Village on the Future Land Use Map of the City's Comprehensive Plan.

The surrounding properties to the south are not within the JPA expansion area, but are located within the Avalon Rural Settlement Area in unincorporated Orange County. As stipulated by the Sixth Amendment to the Restated Interlocal Agreement for Joint Planning Area between Orange County and the City of Winter Garden, buffering and density limitations must be exercised where properties located within the JPA expansion area adjoin properties that are located in the Avalon rural settlement.

PROPOSED USE

The applicant proposes to develop the 126.94 ± acre site into an Urban Village Planned Unit Development (UVPUD) consisting of 107 single family dwelling units, with a recreational park area and open space.

COMMUNITY MEETING

On March 22, 2016, a community meeting was held in the City Commission Chambers to

discuss the proposed UVPUD rezoning with surrounding property owners. Many attendees were supportive of the project, but there were a few concerns, mostly pertaining to the development's potential to impact Lake Avalon. The major concerns voiced by attendees included the potential for reduced water quality in Lake Avalon, as well as the potential for new boats and other watercraft to access the Lake. City staff addressed these concerns by requiring a buoy system with floats placed 3 feet on center to be installed around the community pier to prevent motorized watercraft from utilizing this structure for lake access. In addition, the City stipulated that if the neighboring lakefront property owners pursue a taxing district to pay for ongoing water quality management of Lake Avalon, the Owner/Developer will agree to the establishment of the taxing district and incorporate all lakefront lots before any property is transferred to new owners.

APPROVAL CRITERIA

In accordance with the City's Comprehensive Plan and Land Development Regulations, a proposed planned unit development and its associated preliminary development plan may be approved only after competent, substantial evidence has been presented which allows the following determinations to be made: (staff conclusions/findings are underlined).

- (1) The proposed PUD is consistent with the land development regulations, comprehensive plan and the future land use map;

The proposed UVPUD is consistent with the land development regulations, comprehensive plan, and the future land use map. See other portions of this report concerning consistency with the land development regulations.

- (2) The proposed PUD will not substantially devalue or prevent reasonable use and enjoyment of the adjacent properties;

The proposed UVPUD project will not deprive or prevent adjacent property owners of any rights or abilities to enjoy or continue existing uses of their property or to develop their property in accordance with the city's land development regulations and comprehensive plan goals, objectives, and policies. Further, in accordance with land development regulations and the comprehensive plan, the proposed UVPUD will provide for adequate buffering against adjoining properties and rights-of-way in the form of either landscaping to create a visual screen and/or perimeter walls/fencing.

- (3) Adequate public infrastructure facilities and water and sewer service to support the development of the proposed PUD are available or an agreement or binding conditions have been established that will provide these facilities, improvements and services in a reasonable time frame;

The existing potable water and reclaimed water flow pressure of the City's utility system within the Urban Village Area is sufficient to support the development of the subject property.

The property is not currently a water or sewer customer of the City of Winter Garden; however water, sewer, and reclaimed utilities will be required for any new development of the property. At such time that the property is developed, all necessary utility line (water, sewer, and reclaimed water) connections will be made to serve the development of the property, and all connection costs shall be borne by the property owner.

Prior to any board approvals, a Developer's Agreement detailing the obligations of the developer associated with the proposed UVPUD is required. The Developer's Agreement must address, but is not limited to the following: proportionate fair share contribution for the (already completed) utility extension and oversizing along Marsh Road, payment for proportionate share of Marsh Road intersection improvements at Williams Road and Avalon Road, conveyance of right-of-way, other off-site public infrastructure improvements, and impact fees.

- (4) The proposed PUD will not allow a type or intensity of development that is premature or presently out of character in relationship to the surrounding area;

The proposed UVPUD project is consistent with the comprehensive plan's goals, objectives and policies for the Urban Village future land use designation and the UVPUD zoning criteria and land development regulations. The proposed UVPUD project features a gross density of 0.84 (1.86 net) dwelling units per acre which is substantially lower than the maximum density of 4 dwelling units per acre permitted within the Urban Village future land use designation and in accordance with the Sixth Amendment to the Restated Interlocal Agreement for Joint Planning Area between Orange County and the City of Winter Garden. Additionally, the gross density of 0.84 (1.86 net) dwelling units per acre for the proposed UVPUD project is substantially lower than the 10 dwelling units per acre that the previous Horizons West designation would allow.

The proposed UVPUD is not premature or presently out of character in relationship to the surrounding area. Using the Orange County Public Schools Concurrency Service Areas as an identification of the surrounding area, there are many residential and commercial developments within the surrounding area which have similar or greater density and/or intensity than the proposed UVPUD project. Some of the approved and/or constructed developments within the surrounding area which extends east beyond SR 429 include TwinWaters, Waterside on John's Lake, Waterside on John's Lake Phase 2, Hickory Hammock, Avalon Reserve, Stoneybrook West, Carriage Pointe, Stone Creek, Belle Meade, Avamar Crossings, Alexander Ridge, and Carriage Ponte Reserve.

- (5) The rezoning will not interfere with an adjacent property owner's reasonable expectation of use or enjoyment; and

In accordance with the City's comprehensive plan, the only zoning permitted within the Urban Village future land use designation is Urban Village Planned Unit Development or Institutional. Further, in accordance with land development regulations and the comprehensive plan, the proposed UVPUD will provide for adequate buffering against adjoining properties and rights-of-way in the form of either landscaping to create a visual screen and/or perimeter walls/fencing.

- (6) There is availability and adequacy of primary streets and thoroughfares to support traffic to be generated within the proposed UVPUD and the surrounding area, or an agreement or binding conditions have been established that will provide such transportation facilities to support said traffic in a reasonable time frame.

Transportation access will be provided in the form of one main access point onto Marsh Road at the south end of an existing roundabout, as well as one exit-only access onto Marsh Road. Additionally, two secondary access points to the TwinWaters subdivision

will be provided to ensure cross access connections to the adjoining properties located to the east of the proposed development. All roadway improvements will be constructed at the owner's expense and in compliance with city concurrency standards for transportation.

Traffic studies/analyses submitted with any proposed development are reviewed for accuracy and consistency with the goals, objectives, and policies of the City's comprehensive plan in addition to the City's vision for future growth and expansion. A traffic study/analysis found that the proposed UVPUD project will have an impact on the roadway network, specifically on the segment of Marsh Road between Williams Road and Avalon Road as well as on the Marsh Road intersections at Williams Road, Avalon Road, and at the Project Entrance. The Developer shall be responsible for payment of the proportionate fair share of the proposed improvements at these intersections to mitigate the project's traffic impacts. The payment of the fair share amount will be addressed in the Developer's Agreement or by other agreement acceptable to the City Manager. The Developer's Agreement shall address the fair share payment amount as well as when such payment shall occur.

- (7) The degree of departure or conformity of the proposed PUD with surrounding areas in terms of character and density.

The proposed UVPUD project is consistent with the comprehensive plan's goals, objectives and policies for the Urban Village future land use designation and the UVPUD zoning criteria and land development regulations. The proposed UVPUD project features a gross density of 0.84 (1.86 net) dwelling units per acre which is substantially lower than the maximum density of 4 dwelling units per acre permitted within the Urban Village future land use designation and in accordance with the Sixth Amendment to the Restated Interlocal Agreement for Joint Planning Area between Orange County and the City of Winter Garden.

The proposed UVPUD is not premature or presently out of character in relationship to the surrounding area. There are many residential and commercial developments within the surrounding area which have similar or greater density and/or intensity than the proposed UVPUD project. Some of the approved and/or constructed developments within the surrounding area which extends east beyond SR 429 include TwinWaters, Waterside at John's Lake Hickory Hammock, Avalon Reserve, Stoneybrook West, Carriage Pointe, Stone Creek, Belle Meade, Avamar Crossings, Alexander Ridge, and Carriage Ponte Reserve.

- (8) Compatibility of uses and improvements within the PUD and the relationship with surrounding existing or proposed developments.

The proposed UVPUD project integrates several elements that provide for cohesion between existing natural features/resources and the existing and proposed uses surrounding the property. The project includes construction of a 5 foot wide sidewalk extending the length of the property frontage on Marsh Road to enhance pedestrian circulation as identified in the Sixth Amendment to the Restated Interlocal Agreement for Joint Planning Area between Orange County and the City of Winter Garden. The project includes a 2.87 acre park, which will be located on the west side of the property,

immediately adjacent to Marsh Road. Cross access connection points are being provided to the TwinWaters UVPUD located to the east of the subject property to ensure multiple points of entry/exit and provide property owners to the east vehicular and pedestrian access through the subject property.

- (9) Prevention of erosion and degrading or enhancement of the surrounding areas.

The proposed UVPUD project provides for an (average) 25 foot upland buffer from the wetlands identified along the shoreline of Lake Avalon, and meets the environmental standards of the Wekiva Study Area. To the greatest extent possible, stormwater management features will be designed as landscape amenities. Proper erosion and sedimentation control measures will be taken during the construction process.

- (10) Provision for recreation facilities, surface drainage, flood control and soil conservation as shown in the preliminary development plan.

Recreational facilities are identified within the proposed UVPUD project to include a 5 foot wide sidewalk along Marsh Road. Internal to the project, there will be a 2.87 acre park area with recreational amenities that include a pool, cabana structure, community & butterfly garden, playground, bike paths, a community pier, and a lakefront dog park. The recreational facilities proposed comply with the Wekiva Study Area Resource Protection Overlay requirements for passive recreation. Requirements for recreation areas stipulated by the City of Winter Garden subdivision standards are proposed to be met to the greatest extent possible, and payment by the developer into the city recreational fund will make up for any shortfall.

Stormwater management for the proposed UVPUD project will be provided in on-site stormwater management areas to satisfy the City of Winter Garden, St. John's Water Management District and strict requirements of the Wekiva Study Area criteria.

- (11) The nature, intent and compatibility of any common open space, including the proposed method for the maintenance and conservation of the common open space.

The property on which the UVPUD project is proposed to be developed is located within the Wekiva Study Area Resource Protection Overlay as defined by the City's Comprehensive Plan, and therefore must comply with the Wekiva Study Area Open Space requirements as defined by the City's Comprehensive Plan Policies 1-3.1.7 & 1-3.1.8, which requires that a minimum of 25% of the developable area be Wekiva Study Area Open Space. Wekiva Study Area (WSA) Open Space is land area that remains undisturbed or minimally disturbed such as trails and boardwalks, as part of a natural resource preserve or passive recreation area and includes land preserved for Conservation purposes. WSA Open Space may include dry retention, passive recreation, school playgrounds and buffers. Up to 50% of the WSA Open Space requirement may be met with dry stormwater retention areas. None of the 25% WSA Open Space may be chemically treated with pesticides or fertilizers. WSA Open Space shall not include setback areas, private yards, street right of way, parking lots, impervious surfaces or active recreation areas. The proposed UVPUD project must comply with the Wekiva Study Area Open Space requirements.

- (12) The feasibility and compatibility of the specified stage(s) or phase(s) contained in the preliminary development plan to exist as an independent development.

If applicable, each phase of development of the proposed UVPUD project must operate as an individual unit in that each particular phase will be able to stand-alone in the event that no other phase is developed. Currently, the project is not anticipated to be phased.

- (13) The availability of existing or planned reclaimed water service to support the proposed PUD.
Reclaimed water capacity is available to serve the property on which the UVPUD is proposed to be developed. All necessary utility lines (water, sewer, and reclaimed water) will be connected to serve the development of the property, and all connection costs shall be borne by the property owner. The developer is required to pay their fair share of the costs to oversize the utilities along Marsh Road.
- (14) The benefits within the proposed PUD development and to the general public to justify the requested departure from standard land use requirements inherent in a PUD classification.
The proposed UVPUD includes 60 foot to 90 foot wide lot sizes. Lots will be designed to incorporate a variety of garage orientations, with the stipulation that all garages must be recessed either behind a front porch or behind the front building façade. Front porches will be incorporated into the designs of at least 50% of the residential units.
The proposed UVPUD project incorporates the following features which are of benefit to the general public: construction of a 5-foot wide sidewalk along the site frontage on Marsh Road to provide for pedestrian circulation and access on Marsh Road; as well as substantial wetland buffering, which will protect the water quality of Lake Avalon for the benefit of the future residents and rural settlement properties to the south.
- (15) The conformity and compatibility of the proposed common open space, residential and/or nonresidential uses within the proposed PUD.
Nonresidential uses are not proposed within the UVPUD proposal for the project. The UVPUD proposal includes 107 single family residential dwelling units with 28.74 acres of open space area including 2.87 acres of recreation area. The recreation and open space areas are complementary and supportive to the residential component of the proposed UVPUD project. The project is a pedestrian friendly design and provides internal access to the subdivision to the east (TwinWaters) as well as a sidewalk along Marsh Road connecting the project to other nearby properties.
- (16) Architectural characteristics of proposed residential and/or nonresidential development.
A range of facade treatments and variations on building massings have been incorporated into the residential units in the proposed UVPUD project including front porches, side entry/courtyard garages, and recessed garage doors. Building elevations are provided within the Premier Property Urban Village Planned Unit Development Preliminary Development Plan.
- (17) A listing of the specific types of nonresidential uses to be allowed.
Not applicable; Nonresidential uses are not proposed for the Premier UVPUD project.

URBAN VILLAGE PLANNED UNIT DEVELOPMENT INTENT & REQUIREMENTS

Development within the urban village future land use classification shall be designed based on an urban development pattern which encourages the formation of a suburban village. The standards and procedures of the urban village planned unit development are intended to promote flexibility of design and to permit planned diversification and integration of uses and structures, while retaining in the city commission the absolute authority to establish such limitations and regulations as it deems necessary to protect and promote the public health, safety and general welfare. Determining whether to require a mixture of residential and non-residential uses and a variety of housing types and lot sizes within individual urban village planned unit developments will be based on anticipated development patterns and size of property ownerships. Each individual urban village planned unit development will not be required to incorporate all uses permitted in the urban village planned unit development land use regulations.

Through the urban village planned unit development process, which may involve the approval of multiple UVPUDs, all development within the urban village future land use classification shall follow the general design principles of: (staff conclusions/findings are underlined)

- (1) creating a series of walkable residential neighborhoods;

Proposed UVPUD will include cross access connections to the parcels within the subject property and to the TwinWaters development to the east for vehicular and pedestrian access. Additionally the proposed UVPUD features a sidewalk along the property frontage on Marsh Road, which will include a pedestrian connection along the roundabout that connects to the subdivision to the north (Waterside on John's Lake).

- (2) developing an integrated park and trail system to facilitate pedestrian travel and recreation;

The proposed UVPUD features a sidewalk along the property frontage on Marsh Road. The UVPUD will include recreation amenities that meet the requirements of the City's Code of Ordinances for open space & recreational facilities. A natural trail/bike path is included as a recreation amenity within the proposed park area.

- (3) developing a comprehensive network of roads and traffic calming solutions to complement and support the existing Marsh Road infrastructure;

The developer is required to remit payment to the City for the costs to improve the Marsh Road intersections at Williams Road and Avalon Road based on the project's proportionate impact on these intersections. Additionally, if required, additional right-of-way will be dedicated to the City to facilitate roadway improvements along Marsh Road.

- (4) establishing connectivity to natural systems while preserving wetlands and other natural resources and protecting water quality and quantity;

Proposed UVPUD incorporates shoreline preservation through wetland buffering along Lake Avalon to preserve and protect the lake's water quality. The UVPUD also includes a provision about requiring participation in a new taxing district to pay for water quality management of Lake Avalon if requested by adjacent lakefront property owners.

- (5) creating a mixed-use character through the integration of a diversity of uses;

N/A; the proposed UVPUD does not provide for non-residential uses.

- (6) creating a focus center within the urban village

N/A; the proposed UVPUD will be part of the residential community surrounding a future commercial village center that will be located west of the subject property (the Four Corners UVPUD, approved by Ordinance 15-04).

- (7) The urban village planned unit development shall provide a compact integrated development pattern with a park or central feature located within a ¼ mile walking distance of the majority of residences in each neighborhood.

The proposed UVPUD includes a large open space/recreation area, which is prominently located within the western portion of the UVPUD site. The recreational amenities include a pool, cabana structure, community & butterfly garden, playground, bike paths, a community pier, and a lakefront dog park.

- (8) To ensure adequate housing diversity, urban village planned unit development should generally contain a variety of housing types which may include both attached and detached housing product with ownership and rental opportunities, as well as live/work housing.

The proposed UVPUD will contain only single family detached residential units and does not include any live work units.

- (9) The street network shall be designed to create a hierarchy of interconnected streets and traffic calming solutions to allow travel through and between neighborhoods and beyond the urban village planned unit development. Roadway cross sections shall be designed to accommodate multiple modes of transportation.

The proposed UVPUD will provide cross access connections to properties located to the east (TwinWaters subdivision), as well as one full access and one exit only access onto Marsh Road. The full access is located at the southern end of a newly-installed roundabout that also provides access to the Waterside on John's Lake subdivision to the north.

- (10) Emphasis shall be placed on pedestrian and bike paths and shall be incorporated in street cross sections and open spaces.

The proposed UVPUD includes a sidewalk along Marsh Road that is part of a fully integrated network of sidewalks which will connect and provide cross access between properties located to the east and to the north. When the property to the west is developed, the developers of that property will be required to connect to the sidewalk along the subject property.

- (11) All development proposals within an urban village planned unit development shall, as determined by the city commission, be consistent with the requirements and/or guidelines of the Sixth Amendment to the Restated Interlocal Agreement for Joint Planning Area between Orange County and the City of Winter Garden (Dated January 24, 2007) as approved by the city commission, as such may be amended from time to time.

The proposed UVPUD is consistent with the Sixth Amendment to the Restated Interlocal Agreement for Joint Planning Area between Orange County and the City of Winter Garden.

- (12) All development within the urban village planned unit development shall comply with the Wekiva Parkway and Protection Act, and shall meet or exceed the standards of the Resource Protection Overlay as established by the City's Comprehensive Plan. In the event of a conflict or conflicts between the Urban Village Planned Unit Development zoning district

and the Resource Protection Overlay, the Resource Protection Overlay shall control to the extent such conflict exists.

The proposed UVPUD will comply with the Wekiva Study Area Resource Protection Overlay requirements as stipulated in the City's Comprehensive Plan. The proposed UVPUD will meet the Wekiva Open Space requirements, and stricter Wekiva drainage requirements.

- (13) Maximum density in the urban village planned unit development for any neighborhood shall be four dwelling units per gross acre except in the village center where the density may be up to 12 dwelling units per gross acre. However, certain neighborhoods may use residential clustering while maintaining the overall maximum density for the neighborhood. Maximum intensity for non residential development is 0.3 floor area ratio.

The proposed UVPUD development plan will have a gross developable density of 0.84 (1.86 net) dwelling units per acre.

- (14) Stormwater facilities within the urban village residential planned unit development shall generally be designed as amenities and low impact design (LID) techniques will be used where practical.

The proposed UVPUD will incorporate stormwater facilities and ponds into the design of the community through placement of the facilities where they function as both visual features and buffers, while also meeting the stricter Wekiva Study Area requirements.

- (15) New development shall connect to City utilities, potable water, sanitary sewer, and reclaimed water when available.

The proposed UVPUD will make connections to city utilities- water, wastewater, and reclaimed water- at the developer's expense.

- (16) Residential and nonresidential uses are allowed in the village center and may occupy the same building where nonresidential occupies the first floor with residential on the upper floors.

N/A; the proposed UVPUD is not located in the area that will be developed as the Village Center and therefore will not have non-residential uses.

- (17) Accessory dwelling units, not to exceed 850 square feet, above garages shall be allowed for a maximum of 50% of the residential units in the urban village planned unit development. These additional accessory units shall not be counted towards the density.

The proposed UVPUD does not reference or include plans for accessory dwelling units.

Consistent with the goal of ensuring the entirety of lands designated with the urban village future land use designation develop in such a way as to meet the goals and policies of the comprehensive plan, the city commission shall have the flexibility in deciding whether to require a mixture of residential and non-residential uses and a variety of housing types and lot sizes within individual urban village planned unit developments based on anticipated development patterns.

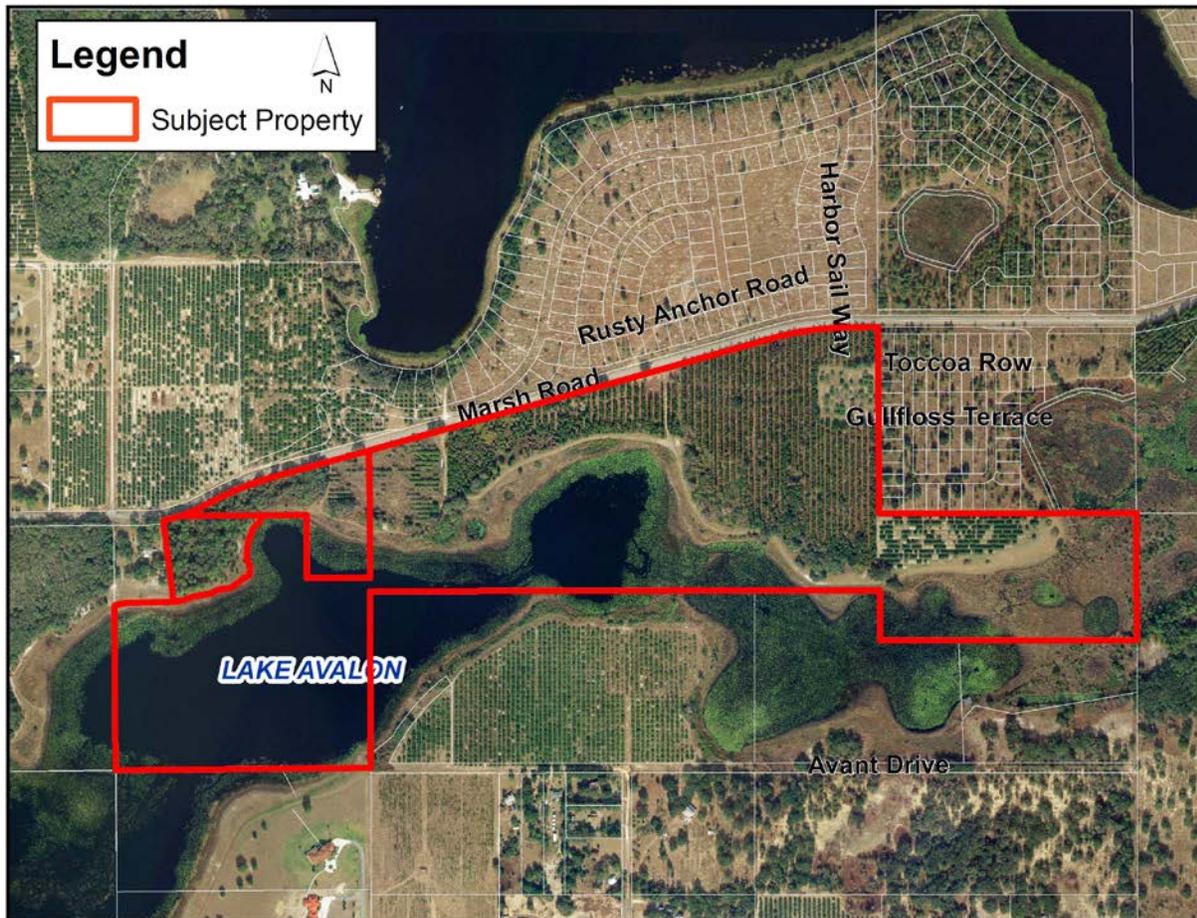
The urban village planned unit development shall be located in the urban village future land use designation as defined in the city's comprehensive plan, or in such other areas as determined by city commission.

SUMMARY

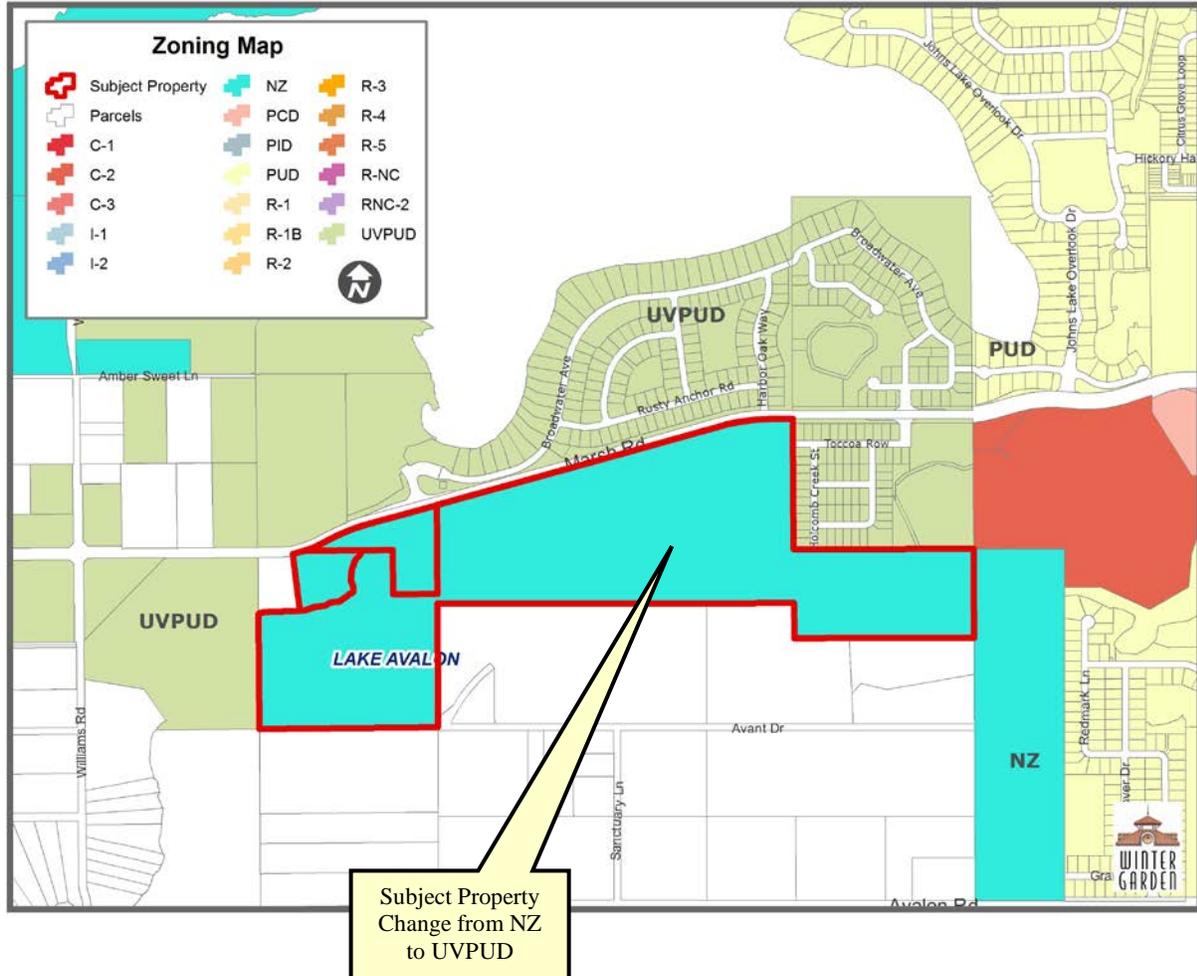
City Staff recommend approval of the proposed Ordinance 16-32. Rezoning the subject property from City NZ to City UVPUD is consistent with the City's Comprehensive Plan, Future Land Use Map and land development regulations, and is consistent with the trend of development in the area.

The proposed development of the subject property is consistent with the stipulations and guidelines of the Sixth Amendment to the Restated Interlocal Agreement for Joint Planning Area between Orange County and the City of Winter Garden which requires that rezoning applications or development plans for properties located within the JPA expansion area must be processed as Planned Unit Developments.

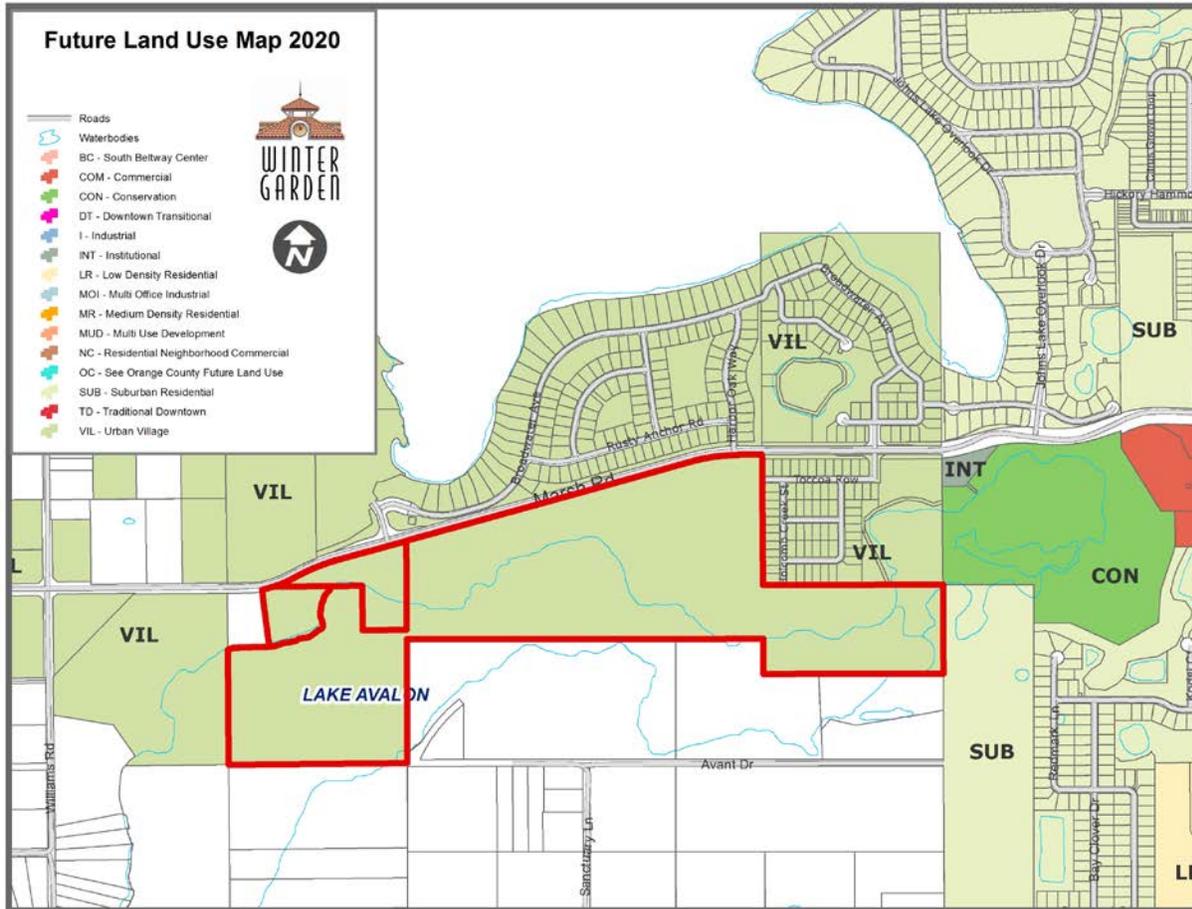
AERIAL PHOTO
16848, 17000, & 17166 Marsh Road



ZONING MAP
16848, 17000, & 17166 Marsh Road



FUTURE LAND USE MAP
16848, 17000, & 17166 Marsh Road



END OF STAFF REPORT

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Pash, Community Development Director

Via: Mike Bollhoefer, City Manager

Date: May 23, 2016

Meeting Date: May 26, 2016

Subject: Site Plan

Culvers Restaurant

13649 West Colonial Drive (0.87±Acres)

Parcel ID #23-22-27-4036-00-092

Issue: Applicant is requesting Site Plan Approval to construct a Culvers restaurant.

Discussion:

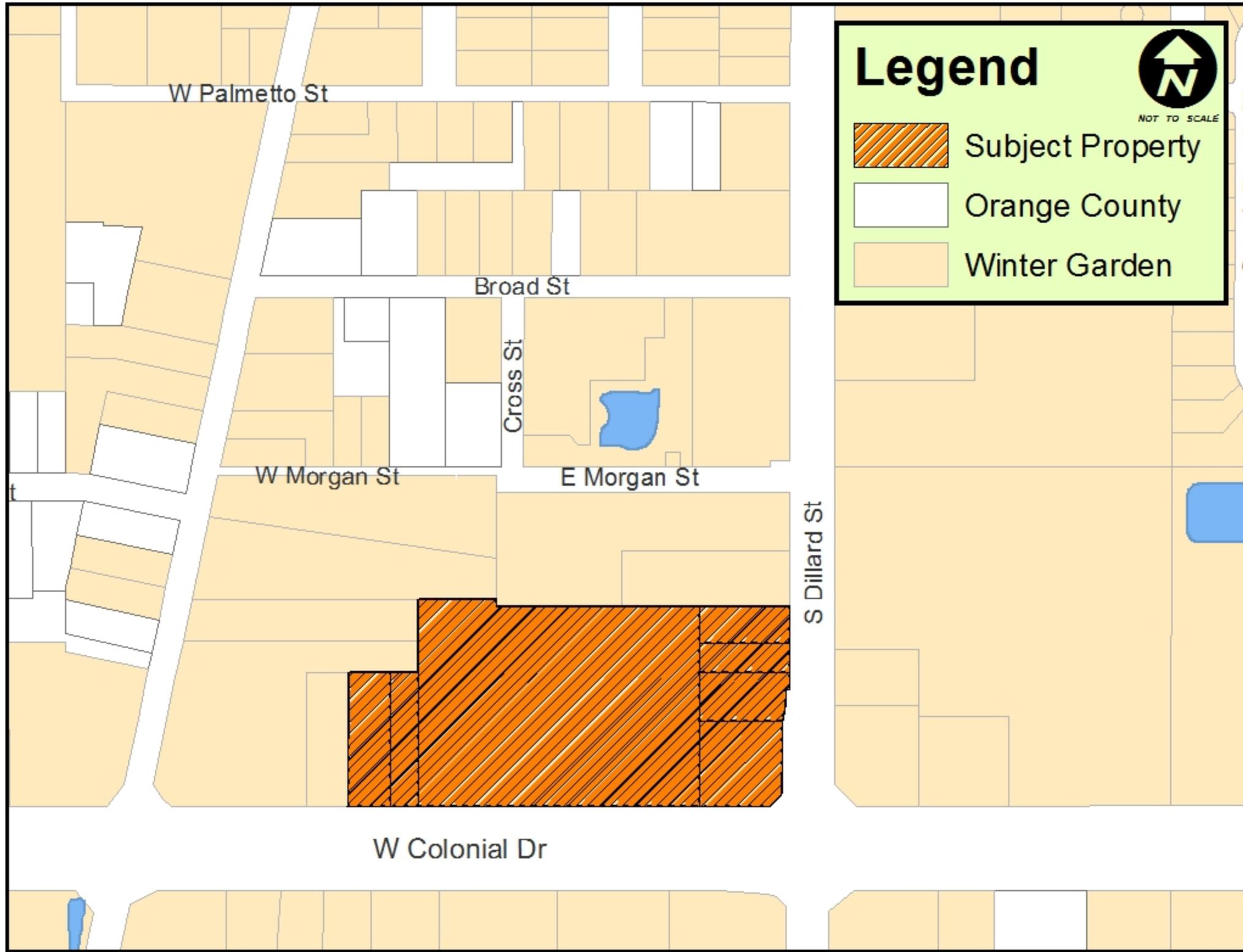
The applicant is proposing to develop this lot of the 0.87+/- acre site with a 4,253 square foot restaurant with landscaping improvements.

Recommended action:

Staff recommends approval of the Site Plan subject to the conditions of the DRC staff report.

Attachments/References:

Location Map
Construction Plans
DRC Staff Report



CIVIL SITE CONSTRUCTION PLANS

FOR



OF WINTER GARDEN

PARCEL ID #s: 23-22-27-4036-00-101, 23-22-27-4036-00-092



AERIAL PHOTOGRAPH

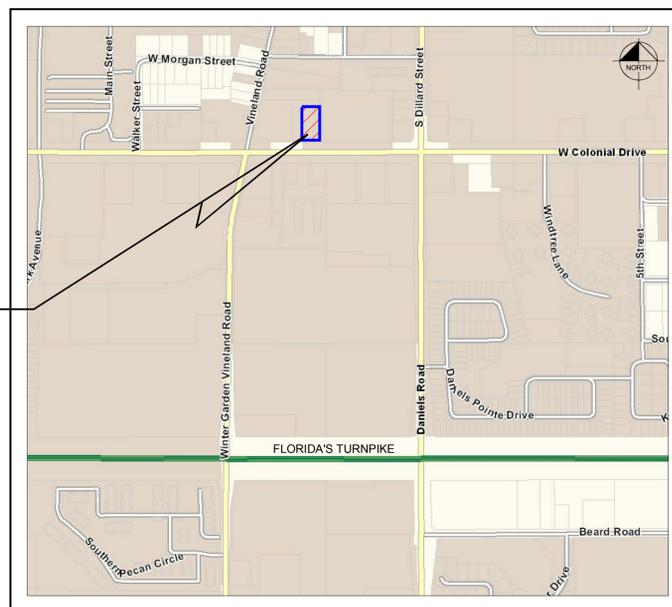
N.T.S.

PROJECT LOCATION

SHEET INDEX

C0.0	COVER
C1.0	GENERAL NOTES
C2.0	STORMWATER POLLUTION PREVENTION PLAN
C3.0	EXISTING CONDITIONS
C4.0	OVERALL SITE PLAN
C4.1	SITE VEHICULAR PATH
C4.2	SITE PLAN
C5.0	PAVING, GRADING, AND DRAINAGE PLAN
C6.0	UTILITY PLAN
C7.0	CONSTRUCTION DETAILS
C8.0-C8.5	CITY OF WINTER GARDEN STANDARD DETAILS
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS
L3.0	LANDSCAPE SPECIFICATIONS
L4.0	IRRIGATION PLAN
L5.0	IRRIGATION NOTES
E003	PHOTOMETRIC PLAN

WINTER GARDEN, FLORIDA APRIL 29, 2016

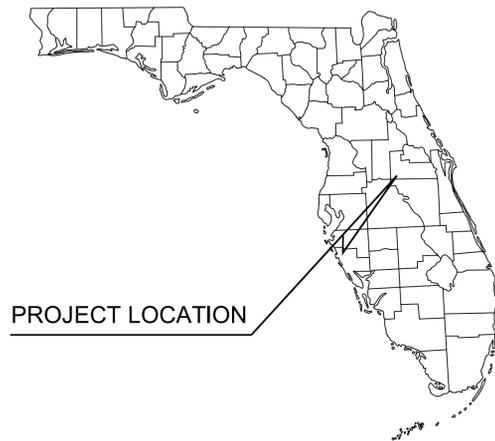


SECTION 23, TOWNSHIP 22S, RANGE 27E

LOCATION MAP

N.T.S.

PROJECT LOCATION



PROJECT LOCATION

LEGAL DESCRIPTION

TITLE REFERENCE NO. 201400235

PARCEL 1:

THE EAST 24.96 FEET OF LOT NINE (9) AND THE WEST ONE-HALF (1/2) OF LOT TEN (10) OF JOINER-REINERS SUBDIVISION, ORANGE COUNTY, FLORIDA, AS PER PLAT THEREOF RECORDED IN PLAT BOOK O, PAGE 116, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, LESS AND EXCEPT THE SOUTH 45 FEET THEREOF.

PARCEL 2:

THE EAST 1/2 OF LOT 10, JOINER-REINERS SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK O, PAGE 116, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, LESS AND EXCEPT THE SOUTH 45 FEET THEREOF.

PROJECT TEAM

DEVELOPER

COLEMAN FAMILY ENTERPRISES, LLC
436 CALLOPE ST.
OCOOE, FL 34761
CONTACT: TIMOTHY COLEMAN
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ORLANDO, FL 32819
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EMAIL: rhodge@intram.com

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ORLANDO, FL 32803
CONTACT: GERRI
PHONE: (407) 894-6314
EMAIL: accu@accurightsurveys.net

UTILITY PROVIDERS

WATER, SEWER AND RECLAIMED WATER:

CITY OF WINTER GARDEN
300 WEST PLANT STREET
WINTER GARDEN, FL 34787
CONTACT: ARTHUR MILLER
PHONE: (407) 656-4111
FAX: (407) 877-2363

CABLE/TELEPHONE:

BRIGHT HOUSE NETWORKS
3767 ALL AMERICAN BLVD.
ORLANDO, FL 32810
CONTACT: MARVIN USRY
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POWER:

DUKE ENERGY
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WINTER GARDEN, FL 33787
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PHONE: (407) 905-3321

TELEPHONE:

AT&T - SOUTHEAST
450 N. GOLDENROD RD.
ORLANDO, FL 32807
CONTACT: GLENN PRUNYI
PHONE: (407) 380-0938

GAS:

LAKE APOPKA NATURAL GAS DISTRICT
1320 WINTER GARDEN-VINELAND ROAD
WINTER GARDEN, FL 34778
CONTACT: ALEX WOSGIEN
PHONE: (407) 656-2734

PREPARED BY
Kimley»Horn

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BRENT A. LENZEN, P.E.
FL. P.E. NO. 78537

WINTER GARDEN
APRIL 29, 2016
ENGINEER'S PROJECT No. 149710000

No.	REVISIONS	DATE	BY

Drawing name: K:\ORL_Civil\149710000-Culvers Winter Garden\CADD\CONSTR\PlanSheets\00.0-COVER.dwg CO.0-COVER Apr 28, 2016 2:02pm by: derek.ramsburg
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STORMWATER POLLUTION PREVENTION PLAN

SITE DESCRIPTION

PROJECT NAME AND LOCATION

SR 50 & DILLARD STREET COMMERCIAL
TAX PARCEL: 23-22-27-4036-00-101 & 23-22-27-4036-00-092
CITY OF WINTER GARDEN, FLORIDA

*SEE COVER SHEET FOR LOCATION MAP

DEVELOPER NAME AND ADDRESS

COLEMAN FAMILY ENTERPRISES, LLC
436 CALLIOPE ST.
OCOE, FL 34761
CONTACT: TIMOTHY COLEMAN
PHONE: (407) 687-7004

PROJECT DESCRIPTION

THE PROPOSED PROJECT WILL CONSIST OF A CULVER'S RESTAURANT FRONTING WEST COLONIAL DRIVE (SR 50). MASS GRADING OF THE SITE HAS ALREADY BEEN COMPLETED AND THE STORMWATER INFRASTRUCTURE IS ALREADY IN PLACE FOR THIS DEVELOPMENT. THE SITE ACCESS, DRIVE AISLES AND PARKING SPACES HAVE ALREADY BEEN PROVIDED FOR THE CULVERS DEVELOPMENT, WHICH WILL ONLY CONSIST OF "CURB IN" PROPOSED WORK.

PROJECT AREA: 0.25 ACRES
CONTRIBUTING DRAINAGE AREA: 0.25 ACRES

CONTROL STRUCTURE: N/A
LONGITUDE : 81° 35' 08" LATITUDE: 28° 32' 47"

ULTIMATE RECEIVING WATERS: LAKE APOPKA

ACTIVITIES THAT REQUIRE EROSION CONTROL

PERIMETER AND OTHER EROSION AND SEDIMENT CONTROLS: INSTALLATION OF STORM WATER, SANITARY SEWER, AND WATER STRUCTURES COMPONENTS; CURB, SIDEWALKS AND DRIVE-THRU FACILITIES.

*SEE PLANS FOR THE LOCATION OF TEMPORARY SEDIMENT BARRIERS AND OTHER EROSION CONTROL METHODS.

SOIL PARAMETERS

SOIL TYPES:

SERIES NAME	HYDROLOGIC GROUP
BASINGER FINE SAND, DEPRESSIONAL	A/D
WABASSO-URBAN LAND COMPLEX	C/D

SEQUENCE OF MAJOR ACTIVITIES

THE ORDER OF CONSTRUCTION IS AS FOLLOWS:

1. PROVIDE STABILIZED CONSTRUCTION ENTRANCE
2. INSTALL SILT FENCES AND OTHER EROSION CONTROL METHODS
3. CLEAR AND GRUB FOR SEDIMENT BASIN AND EARTH DIKE
4. CONSTRUCT EARTH DIKE AND SEDIMENT BASIN
5. FINISH CLEARING AND GRUBBING
6. REMOVE AND STORE TOPSOIL
7. PROVIDE INITIAL GRADING AS REQUIRED
8. STABILIZE ALL DISTURBED AREAS AS SOON AS POSSIBLE
9. INSTALL UTILITIES, STORM SEWER, CURB AND GUTTER
10. INSTALL BASE TO ROAD AND PARKING AREA
11. FINISH GRADING ENTIRE SITE
12. CONSTRUCT FINAL PAVING
13. REMOVE ACCUMULATED SEDIMENT
14. REMOVE ANY ITEMS THAT ARE NOT REQUIRED

TIMING OF CONTROL MEASURES

THE INSTALLATION OF SILT FENCE (AND OTHER EROSION CONTROL MEASURES), A STABILIZED ENTRANCE AND SEDIMENT BASIN SHALL OCCUR PRIOR TO CLEARING AND GRUBBING ACTIVITY. AFTER CONSTRUCTION IS COMPLETE, THE ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE AREAS SHALL BE REGRADED AND PERMANENTLY STABILIZED AS SHOWN ON THE PLANS.

EROSION AND SEDIMENT CONTROLS

BEST MANAGEMENT PRACTICES SHALL BE USED FOR THIS PROJECT TO CONTROL EROSION AND TURBIDITY CAUSED BY STORM WATER RUN-OFF. THE LOCATION AND DETAILS OF EROSION CONTROL METHODS ARE SHOWN ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING THESE CONTROL METHODS AS SHOWN ON THE PLANS OR AS REQUIRED. HE/SHE SHALL ALSO PROVIDE THE REQUIRED EROSION PROTECTION AS REQUIRED BY LOCAL, STATE AND FEDERAL LAW.

STORM WATER MANAGEMENT

STORM WATER COLLECTION SHALL BE PROVIDED BY CATCH BASINS. THE EXISTING POND SYSTEM HAS BEEN DESIGNED TO KEEP PEAK FLOW RATES FROM THE TWENTY FIVE YEAR/24 HOUR STORMS AND FDOT CRITICAL STORM FREQUENCY AND DURATION AT THEIR PRE-DEVELOPMENT RATES.

STABILIZATION PRACTICES:

TEMPORARY STABILIZATION - TOPSOIL STOCK PILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASE, SHALL BE STABILIZED WITH TEMPORARY SEED AND MULCH WITHIN 7 DAYS OF THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE TEMPORARY SEED REQUIRED CAN BE FOUND IN TABLE 1.65 A OF THE FLORIDA DEVELOPMENT MANUAL. PRIOR TO SEEDING, WHERE SOILS ARE ACIDIC 2 TONS OF PULVERIZED AGRICULTURAL LIMESTONE SHOULD BE ADDED PER ACRE AND 450 POUNDS OF 10-20-20 FERTILIZER SHALL BE APPLIED TO EACH ACRE. AFTER SEEDING, EACH AREA SHALL BE IMMEDIATELY MULCHED WITH STRAW OR EQUIVALENT EQUAL AREAS OF THE SITE WHICH ARE TO BE PAVED SHALL BE TEMPORARILY STABILIZED BY APPLYING GEOTEXTILE AND STONE SUB-BASE UNTIL BITUMINOUS PAVEMENT CAN BE APPLIED.

PERMANENT STABILIZATION - DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASE SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE APPROPRIATE PERMANENT SEED MIX CAN BE FOUND IN TABLES 1.66A, 1.66B AND 1.66C OF THE FLORIDA DEVELOPMENT MANUAL. PRIOR TO SEEDING, 2 TONS/ACRE OF FINELY GROUND AGRICULTURAL LIMESTONE AND THE PROPER FERTILIZER BASED ON THE TYPE OF SEEDING SHALL BE APPLIED TO EACH ACRE TO PROVIDE PLANT NUTRIENTS. AFTER SEEDING, EACH AREA SHALL BE MULCHED IMMEDIATELY.

STRUCTURAL PRACTICES:

EARTH DIKE - IF REQUIRED, AN EARTH DIKE SHALL BE CONSTRUCTED ALONG THE SITE PERIMETER. A PORTION OF THE DIKE SHALL DIVERT RUN-ON AROUND THE CONSTRUCTION SITE. THE REMAINING PORTION OF THE DIKE SHALL COLLECT RUNOFF FROM THE DISTURBED AREA AND DIRECT THE RUNOFF TO THE SEDIMENT BASIN.

SEDIMENT BASIN - A SEDIMENT BASIN SHALL BE CONSTRUCTED IN THE COMMON DRAINAGE AREA FOR THE SITE. ALL SEDIMENT COLLECTED IN THE BASIN MUST BE REMOVED FROM THE BASIN UPON COMPLETION OF CONSTRUCTION. SEDIMENT FROM THE BASIN MAY BE USED AS FILL ON THE SITE IF IT IS SUITABLE SOIL.

WASTE DISPOSAL

WASTE MATERIALS - ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN A METAL DUMPSTER WITH A SECURE LID IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN THE DUMPSTER. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITIES TO HAVE THE DUMPSTER EMPTIED AT LEAST TWICE A WEEK AND THE WASTE TAKEN TO AN APPROPRIATE LANDFILL. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE. THE SUPERINTENDENT SHALL ORGANIZE TRAINING FOR THE EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH WASTE MATERIALS. THE SUPERINTENDENT SHALL BE RESPONSIBLE FOR POSTING AND ENFORCING WASTE MATERIAL PROCEDURES.

HAZARDOUS WASTE - HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS OR AS DIRECTED BY THE MANUFACTURER. THE SUPERINTENDENT SHALL ORGANIZE THE PROPER TRAINING FOR EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH HAZARDOUS WASTE MATERIALS. THESE PROCEDURES SHALL BE POSTED ON THE SITE. THE PERSON WHO MANAGES THE SITE SHALL BE RESPONSIBLE FOR ENFORCING THE PROCEDURES.

SANITARY WASTE - SANITARY WASTE SHALL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITY FOR COLLECTION OF THE SANITARY WASTE AT LEAST THREE TIMES A WEEK TO PREVENT SPILLAGE ONTO THE SITE.

OFF-SITE TRACKING

A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO REDUCE SEDIMENT TRACKING OFFSITE. THE MAJOR ROAD CONNECTED TO THE PROJECT SHALL BE CLEANED ONCE A DAY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK RESULTING FROM CONSTRUCTION TRAFFIC. ALL TRUCKS HAULING MATERIALS OFFSITE SHALL BE COVERED WITH A TARPULIN.

ITEMS REQUIRING POLLUTION PREVENTION

THE FOLLOWING ITEMS ARE EXPECTED TO BE PRESENT ON THE PROJECT SITE:

-ASPHALT	-CLEANING SUPPLIES
-CONCRETE	-DETERGENTS
-FERTILIZERS	-MASONARY BLOCK/BRICKS
-METAL PIECES	-PAINT
-PETROLEUM BASED PRODUCTS	-WOOD
-TAR	

THE FOLLOWING ARE NON-STORM WATER SOURCES THAT WILL BE ENCOUNTERED AT THE SITE AND SHOULD BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE:

-UNCONTAMINATED GROUNDWATER EXPOSED DURING EXCAVATION
-WATER FROM WATER LINE FLUSHING
-PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).

SPILL PREVENTION AND CONTROL

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

GOOD HOUSEKEEPING

SUPERINTENDENT SHALL INSPECT PROJECT AREA DAILY FOR PROPER STORAGE, USE, AND DISPOSAL OF CONSTRUCTION MATERIALS.

STORE ONLY ENOUGH MATERIAL ON SITE FOR PROJECT COMPLETION.

ALL SUBSTANCES SHOULD BE USED BEFORE DISPOSAL OF CONTAINER.

ALL CONSTRUCTION MATERIALS STORED SHALL BE ORGANIZED AND IN THE PROPER CONTAINER AND IF POSSIBLE, STORED UNDER A ROOF OR PROTECTIVE COVER.

PRODUCTS SHALL NOT BE MIXED UNLESS DIRECTED BY THE MANUFACTURER.

ALL PRODUCTS SHALL BE USED AND DISPOSED OF ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

HAZARDOUS PRODUCTS

MATERIALS SHOULD BE KEPT IN ORIGINAL CONTAINER WITH LABELS UNLESS THE ORIGINAL CONTAINERS CANNOT BE RESEALED. IF ORIGINAL CONTAINERS CANNOT BE USED, LABELS AND PRODUCT INFORMATION SHALL BE SAVED.

PROPER DISPOSAL PRACTICES SHALL ALWAYS BE FOLLOWED IN ACCORDANCE WITH MANUFACTURER AND LOCAL/STATE REGULATIONS.

PRODUCT SPECIFIC PRACTICES

PETROLEUM PRODUCTS MUST BE STORED IN PROPER CONTAINERS AND CLEARLY LABELED. VEHICLES CONTAINING PETROLEUM PRODUCTS SHALL BE PERIODICALLY INSPECTED FOR LEAKS. PRECAUTIONS SHALL BE TAKEN TO AVOID LEAKAGE OF PETROLEUM PRODUCTS ON SITE.

THE MINIMUM AMOUNT OF FERTILIZER SHALL BE USED AND MIXED INTO THE SOIL IN ORDER TO LIMIT EXPOSURE TO STORM WATER. FERTILIZERS SHALL BE STORED IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINT CONTAINERS SHALL BE SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT MUST BE DISPOSED OF IN AN APPROVED MANNER.

CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

-SPILL CLEANUP INFORMATION SHALL BE POSTED ON SITE TO INFORM EMPLOYEES ABOUT CLEANUP PROCEDURES AND RESOURCES.

-THE FOLLOWING CLEAN-UP EQUIPMENT MUST BE KEPT ON-SITE NEAR THE MATERIAL STORAGE AREA: GLOVES, MOPS, RAGS, BROOMS, DUST PANS, SAND, SAWDUST, LIQUID ABSORBER, GOGGLES, AND TRASH CONTAINERS.

-ALL SPILLS SHALL BE CLEANED UP AS SOON AS POSSIBLE.

-WHEN CLEANING A SPILL, THE AREA SHOULD BE WELL VENTILATED AND THE EMPLOYEE SHALL WEAR PROPER PROTECTIVE COVERING TO PREVENT INJURY.

-TOXIC SPILLS MUST BE REPORTED TO THE PROPER AUTHORITY REGARDLESS OF THE SIZE OF THE SPILL.

-AFTER A SPILL, THE PREVENTION PLAN SHALL BE REVIEWED AND CHANGED TO PREVENT FURTHER SIMILAR SPILLS FROM OCCURRING. THE CAUSE OF THE SPILL, MEASURES TO PREVENT IT, AND HOW TO CLEAN THE SPILL UP SHALL BE RECORDED.

-THE SUPERINTENDENT SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR AND IS RESPONSIBLE FOR THE DAY TO DAY SITE OPERATIONS. THE SUPERINTENDENT ALSO OVERSEES THE SPILL PREVENTION PLAN AND SHALL BE RESPONSIBLE FOR EDUCATING THE EMPLOYEES ABOUT SPILL PREVENTION AND CLEANUP PROCEDURES.

MAINTENANCE AND INSPECTION PRACTICES

THE FOLLOWING ARE MAINTENANCE AND INSPECTION PRACTICES THAT SHALL BE COMPLETED BY THE CONTRACTOR:

-ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE CHECKED DAILY AND AFTER EACH 0.5 INCH OR GREATER RAINFALL BY THE SUPERINTENDENT OR SOMEONE UNDER HIS/HER DIRECT SUPERVISION.

-ALL SEDIMENT AND EROSION CONTROL METHODS SHALL BE KEPT IN GOOD CONDITION. REPAIRS MUST BE MADE WITHIN 24 HOURS OF REPORT.

-THE SILT FENCE SHALL BE INSPECTED PERIODICALLY FOR HEIGHT OF SEDIMENT AND CONDITION OF FENCE.

-THE SILT FENCE SHALL BE CLEARED OF SEDIMENT WHEN SEDIMENT MEASURES ONE-THIRD THE HEIGHT OF THE FENCE.

-THE SEDIMENT BASINS/DITCHES SHALL BE CHECKED MONTHLY FOR DEPTH OF SEDIMENT. THEY SHALL BE CLEANED WHEN SEDIMENT REACHES 10% OF TOTAL CAPACITY AND AFTER CONSTRUCTION IS COMPLETE.

-DIVERSION DIKES SHALL BE INSPECTED MONTHLY. ANY BREACHES SHALL BE PROMPTLY REPAIRED.

-ALL SEEDING SHALL BE CHECKED FOR PROPER GROWTH AND UNIFORMITY. UNSTABILIZED AREAS SHALL BE RE-SODDED.

-A MAINTENANCE REPORT SHALL BE COMPLETED DAILY AFTER EACH INSPECTION OF THE SEDIMENT AND EROSION CONTROL METHODS. THE REPORTS SHALL BE FILED IN AN ORGANIZED MANNER AND RETAINED ON-SITE DURING CONSTRUCTION. AFTER CONSTRUCTION IS COMPLETED, THE REPORTS SHALL BE SAVED FOR AT LEAST THREE YEARS. THE REPORTS SHALL BE AVAILABLE FOR ANY AGENCY THAT HAS JURISDICTION OVER EROSION CONTROL.

-THE SUPERINTENDENT SHALL ORGANIZE THE TRAINING FOR INSPECTION PROCEDURES AND PROPER EROSION CONTROL METHODS FOR EMPLOYEES THAT COMPLETE INSPECTIONS AND REPORTS.

POLLUTION PREVENTION PLAN CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

SIGNED: _____ DATE: _____

BRENT A. LENZEN, P.E.
FLORIDA REGISTRATION NUMBER: 78537
PROFESSIONAL ENGINEER

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FORM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

SIGNATURE AND DATE	NAME AND TITLE, COMPANY / ADDRESS AND TELEPHONE NUMBER	RESPONSIBILITY

No.	REVISIONS	DATE

Kimley»Horn
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PHONE: 407-898-1511
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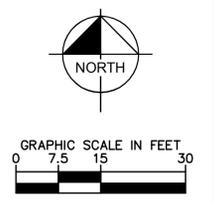
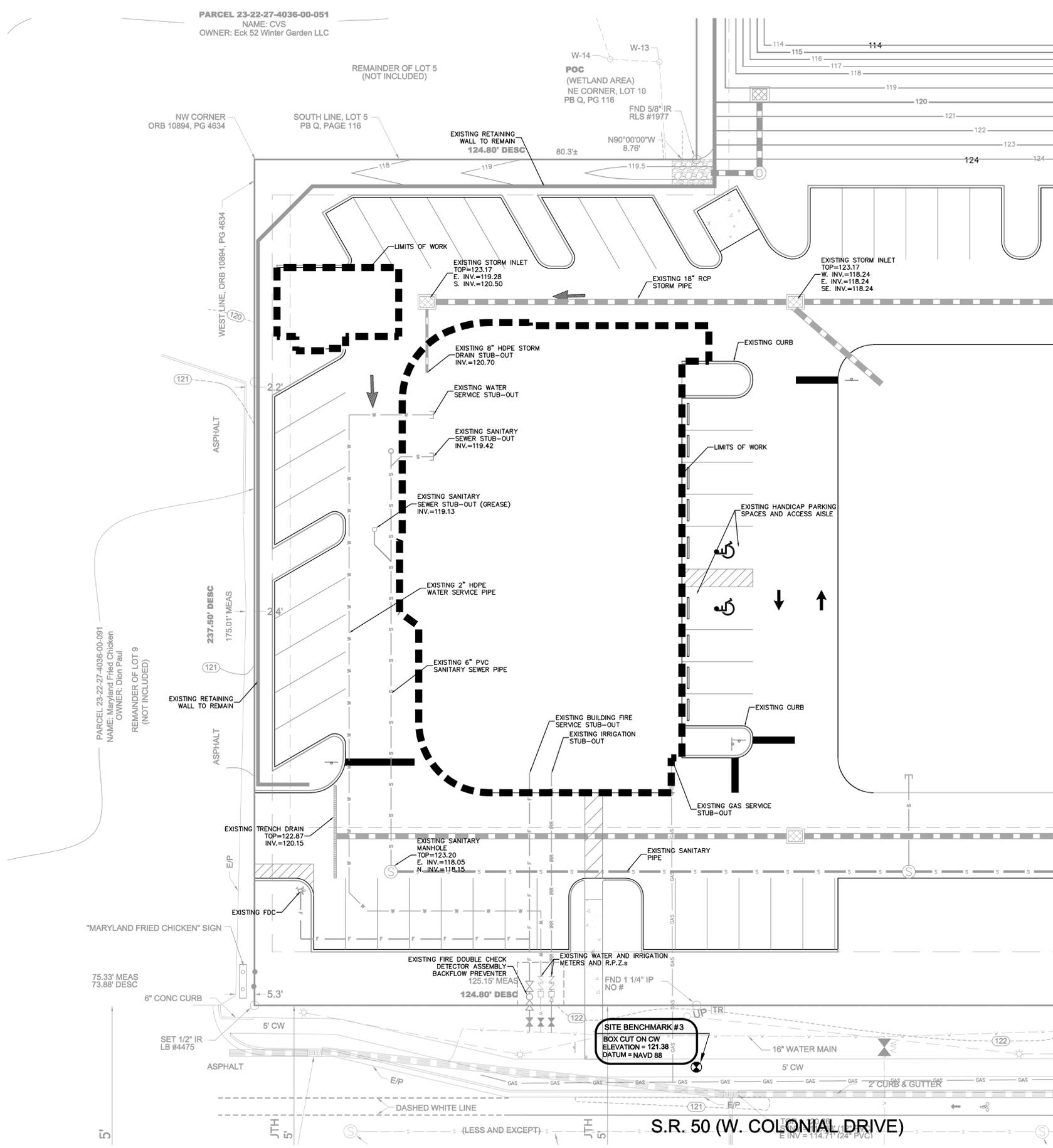
KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
149710000	04/29/2016	AS SHOWN	BAL	BAL	JAM

STORMWATER
POLLUTION
PREVENTION PLAN



SHEET NUMBER
C2.0

Plotted By: Ramasubramanian, Derek. Sheet: Sert: Culverters of Winter Garden. Layout: C3.0-EXIST-COND. April 28, 2016 02:03:59pm. K:\ORL_Civil\149710000-Culverters Winter Garden\CADD\CONSTR\PlanSheets\C3.0-EXIST-COND.dwg
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PARCEL 23-22-27-4036-00-051
 NAME: CVS
 OWNER: Eck 52 Winter Garden LLC

PARCEL 23-22-27-4036-00-081
 NAME: Maryland Fried Chicken
 OWNER: Dion Paul
 REMAINDER OF LOT 9
 (NOT INCLUDED)

75.33' MEAS
 73.88' DESC
 6" CONC CURB
 5.3'
 5' CW
 SET 1/2" IR
 LB #4475

SITE BENCHMARK #3
 BOX CUT ON CW
 ELEVATION = 121.38
 DATUM = NAVD 88

- EROSION CONTROL NOTES:**
- REFER TO SWPPP SHEET FOR ADDITIONAL NOTES/DETAILS.
 - INSTALL AND MAINTAIN SILT FENCE PER FDOT INDEX # 102 AT LIMITS OF CONSTRUCTION.
 - UTILIZE PERFORATED SOCK DRAIN (OR EQUIVALENT) IN FRONT OF EXISTING/PROPOSED CURB INLETS ADJACENT TO CONSTRUCTION ACTIVITIES.
 - INSTALL AND MAINTAIN FILTER FABRIC UNDER GRATES OF ALL EXISTING AND PROPOSED INLETS.
 - CONTRACTOR TO PHASE EROSION CONTROL AS NEEDED.

LEGEND

	CULVERT'S IMPROVEMENTS
	PROPERTY LINE
	EXISTING WATER MAIN
	EXISTING SANITARY MAIN
	EXISTING SANITARY MAIN (GREASE)
	EXISTING STORM PIPE
	EXISTING FIRE LINE
	EXISTING IRRIGATION LINE
	EXISTING GAS LINE

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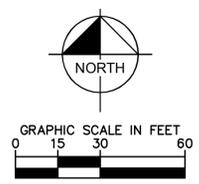
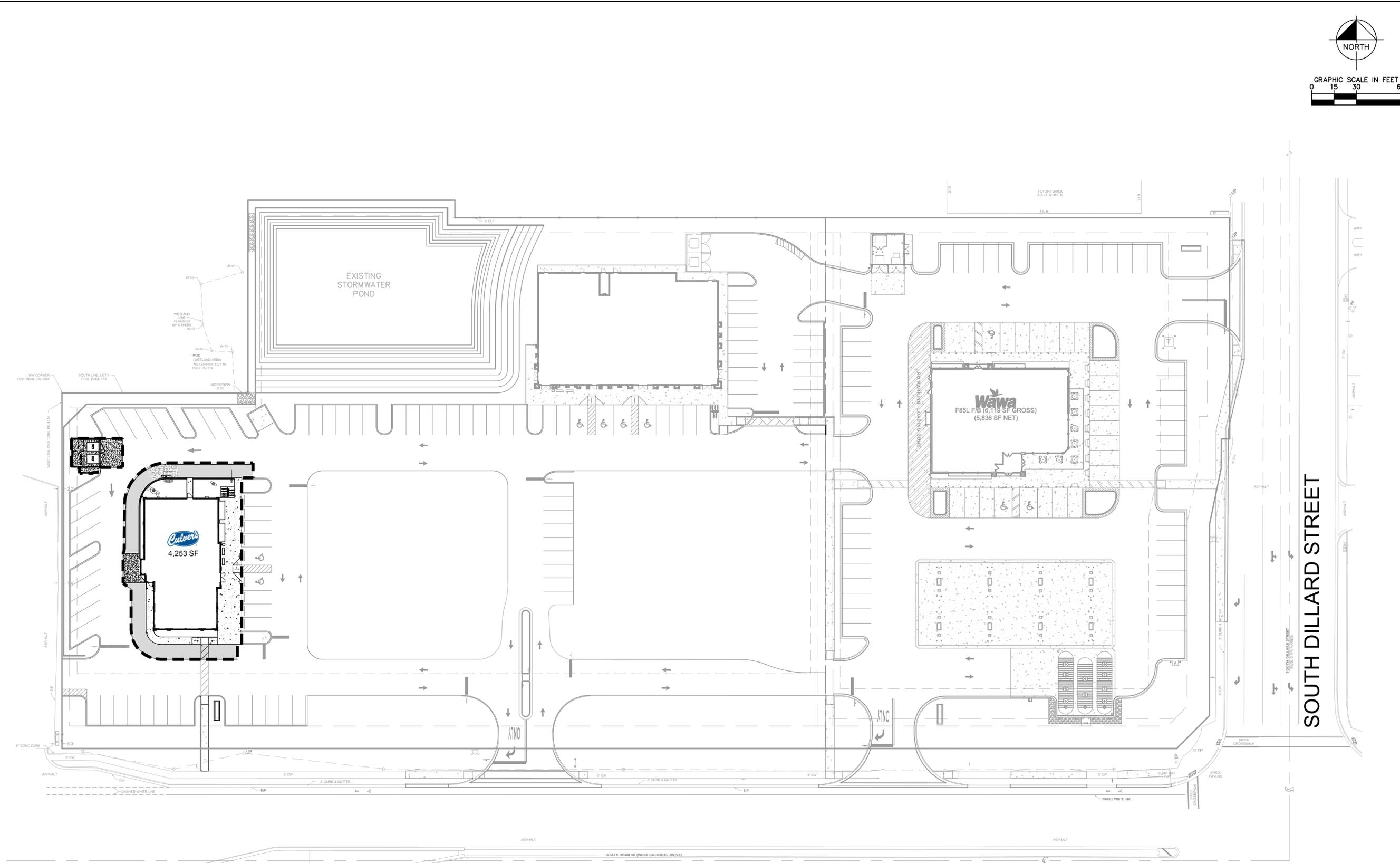
LICENSED PROFESSIONAL ENGINEER
 BRUCE A. LEIBERMAN
 No. 14882
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 DATE: 04/29/2016

KHA PROJECT	149710000
DATE	04/29/2016
SCALE	AS SHOWN
DESIGNED BY	BAL
DRAWN BY	BAL
CHECKED BY	JAM
DATE	04/29/2016

EXISTING CONDITIONS

CITY OF WINTER GARDEN, FLORIDA
 SHEET NUMBER
C3.0

Plotted By: Ramsburg, Derek - Sheet: Sct. Culvers of Winter Garden - Layout: C4.0 - OVERALL - April 28, 2016 02:05:02pm - K:\VRL-Civil\149710000-Culvers Winter Garden\CAAD\CONSTR\PlanSheets\C4.0-OVERALL.dwg
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S.R. 50 (W. COLONIAL DRIVE)

SOUTH DILLARD STREET

LEGEND
 ■■■■■ CULVER'S IMPROVEMENTS

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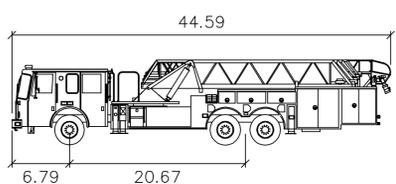
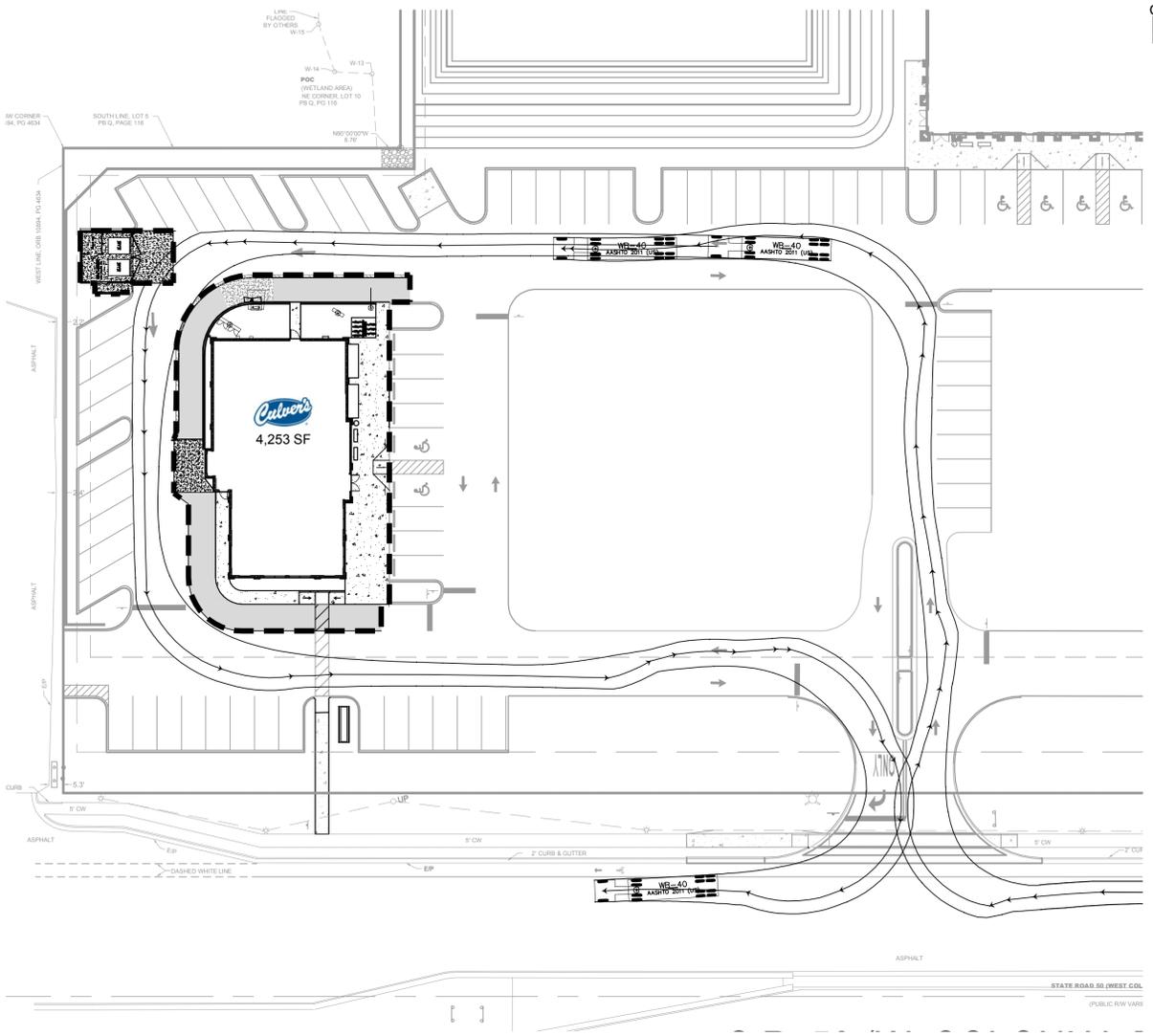
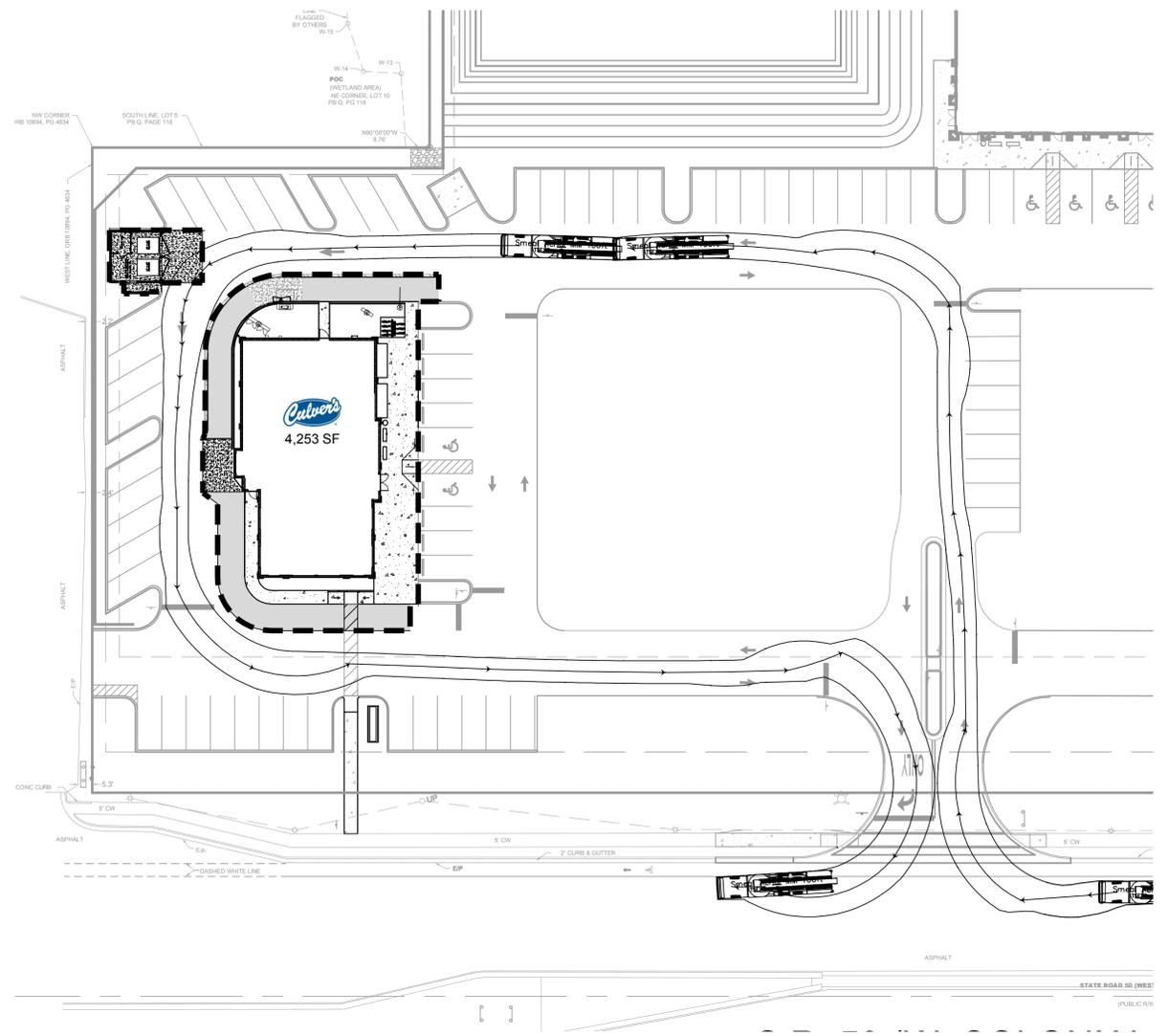


KHA PROJECT 149710000
 DATE 04/29/2016
 SCALE AS SHOWN
 DESIGNED BY BAL
 DRAWN BY BAL
 CHECKED BY JAM DATE: 04/29/2016

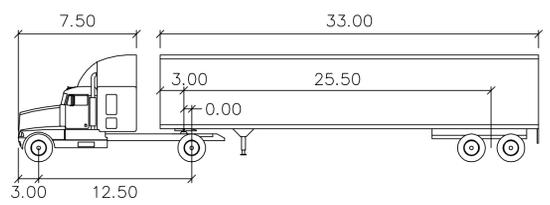
OVERALL SITE PLAN

Culver's
 CITY OF WINTER GARDEN FLORIDA
 SHEET NUMBER C4.0

Plotted By: Ramsburg, Derek - Sheet: Smt.Culvers of Winter Garden - Layout: C4.1 - SITE_VEH_VEH - April 28, 2016 02:06:11pm - K:\VRL\Civil\149710000-Culvers Winter Garden\CADD\CONSTR\PlanSheets\C4.1-SITE_VEH.dwg
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Smeal Aerial MM 100ft



WB-40		feet	
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.00	Steering Angle	: 20.3
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.00		

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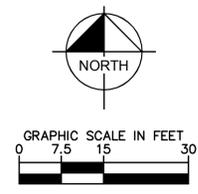
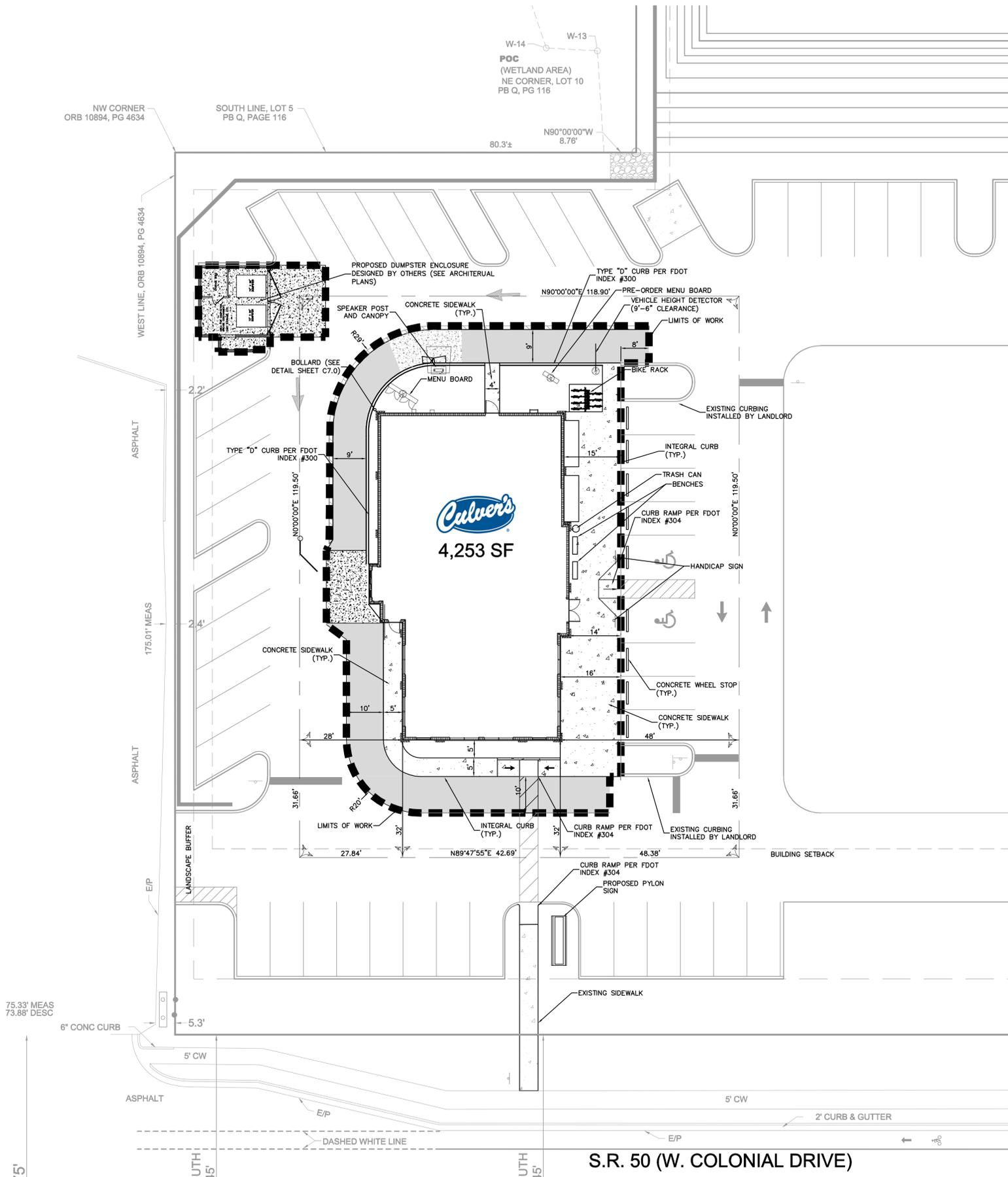


KHA PROJECT	149710000
DATE	04/29/2016
SCALE	AS SHOWN
DESIGNED BY	BAL
DRAWN BY	BAL
CHECKED BY	JAM
DATE	04/29/2016

SITE VEHICULAR PATH



Plotted By: Ramsburg, Derek Sheet: Set: Culver's of Winter Garden Layout: C4.2 - SITE - April 28, 2016 02:07:11pm k:\ORL\Civil\149710000-Culver's Winter Garden\CADD\CONSTR\PlanSheets\C4.2-SITE.dwg
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SITE DATA

TOTAL SITE AREA:	3.87 ACRES
EXISTING ZONING:	PCD
EXISTING LAND USE:	COMMERCIAL
PROPOSED LAND USE:	COMMERCIAL MAX.
BUILDING HEIGHT:	35'
PROPOSED BUILDING AREA:	4,253 SF

EXISTING

TOTAL IMPERVIOUS:	1.88 AC. (48.6%)
TOTAL PERVIOUS AREA:	1.99 AC. (51.4%)

PROPOSED

BUILDING AREA:	0.10 AC. (2.6%)
CONCRETE/PAVEMENT:	0.15 AC. (3.9%)
TOTAL IMPERVIOUS:	0.25 AC. (6.5%)
TOTAL PERVIOUS AREA:	0.02 AC. (0.5%)

PROPOSED OVERALL DEVELOPMENT IMPERVIOUS AREA

MAXIMUM IMPERVIOUS AREA:	80.0% (3.10 AC)
--------------------------	-----------------

REQUIRED BUILDING SETBACKS:

FRONT (SR 50)	50 FEET
SIDE (INTERIOR)	10 FEET
REAR (INTERIOR)	10 FEET

REQUIRED PARKING:

1 SPACE/4 SEATS (123 SEATS)/4:	31 SPACES
1 SPACE/3 EMPLOYEES (12 EMPLOYEES MAX):	4 SPACES
TOTAL:	35 SPACES
PROPOSED PARKING:	40 SPACES

LEGEND

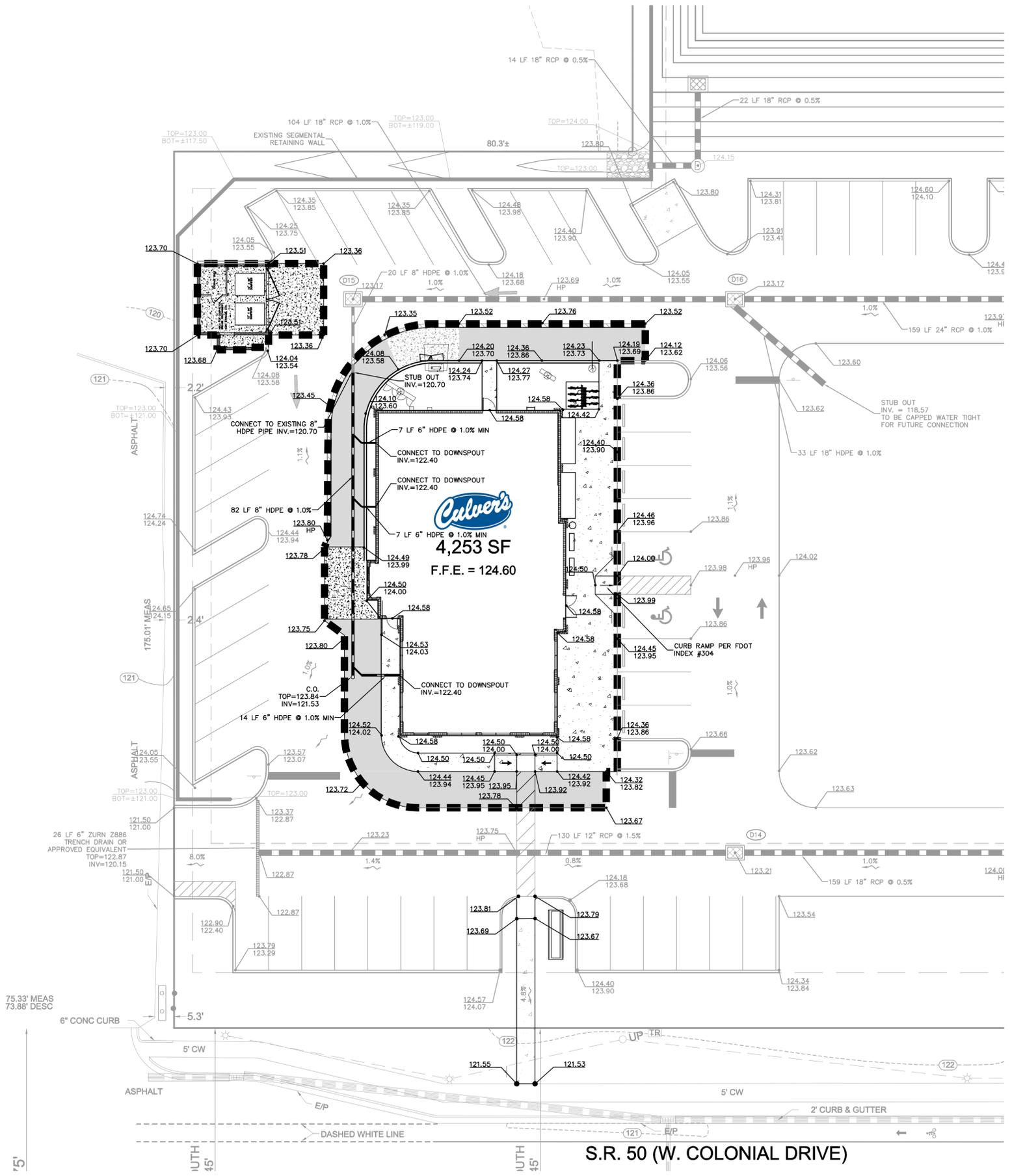
	CULVER'S IMPROVEMENTS
	PROPOSED CONCRETE PAVEMENT SEE DETAIL SHEET C7.0
	PROPOSED CONCRETE SIDEWALK SEE DETAIL SHEET C7.0
	PROPOSED ASPHALT PAVEMENT SEE TYPICAL PAVEMENT SECTION SHEET C7.0

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<h1 style="margin: 0;">Kimley»Horn</h1> <p style="font-size: small; margin: 0;"> © 2016 KIMLEY-HORN AND ASSOCIATES, INC. 3660 MAGUIRE BOULEVARD, SUITE 200, ORLANDO, FL 32803 PHONE: 407-896-1511 WWW.KIMLEY-HORN.COM CA 00000696 </p>	<p style="font-size: x-small; margin: 0;"> LICENSED PROFESSIONAL ENGINEER BRITAIN A. LEWIS, P.E. 04/29/2016 SCALE AS SHOWN DESIGNED BY BAL DRAWN BY BAL CHECKED BY JAM DATE: 04/29/2016 </p>
<h2 style="margin: 0;">SITE PLAN</h2>	<p style="font-size: x-small; margin: 0;"> SHEET NUMBER <h3 style="margin: 0;">C4.2</h3> </p>
	<p style="font-size: x-small; margin: 0;"> CITY OF WINTER GARDEN FLORIDA </p>

Plotted By: Ramsburg, Derek - Sheet: Srt-Culvers of Winter Garden - Layout: C5.0 - PGD - April 28, 2016 - 02:08:21pm - k:\ORL_Civil\149710000-Culvers Winter Garden\CADD\CONSTR\PlanSheets\C5.0-FGD.dwg
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- NOTES**
- ALL PEDESTRIAN SIDEWALKS, PATHWAYS, AND CROSSWALKS SHALL BE CONSTRUCTED NOT TO EXCEED MAX. 2.0% CROSS SLOPE, MAX. 5% RUNNING SLOPE.
 - ALL PLAN ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
 - PROPOSED GRADES TO MATCH EXISTING ELEVATIONS AT PROPERTY LINE.
 - CONNECT ALL ROOF DOWNSPOUTS TO 6-INCH HDPE WITH MIN. 1.0% SLOPE.
 - FOR EROSION CONTROL NOTES REFER TO SHEET C2.0.
 - ALL DRAINAGE PIPES SHALL BE FILTER FABRIC WRAPPED PER FOOT DETAIL #280.
 - STORM DRAINAGE STRUCTURES AND PIPES INSTALLED FOR THIS PROJECT SHALL BE OBSERVED AND EVALUATED BY THE ENGINEER OF RECORD PRIOR TO FINAL PAVING OR SURFACE RESTORATION. THE ENGINEER SHALL EVALUATE WHETHER CONTRACTOR'S WORK IS GENERALLY PROCEEDING IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. PRIOR TO FINAL ACCEPTANCE, ALL STORM PIPES (AND PIPE JOINTS) INSTALLED FOR THIS PROJECT SHALL BE INSPECTED USING A CLOSED CIRCUIT TELEVISION (CCTV) CAMERA. THE CCTV INSPECTION SHALL BE COMPLETED BY A FIRM WITH PERSONNEL THAT SPECIALIZES IN THIS TYPE OF WORK AND MUST BE APPROVED BY THE ENGINEER OF RECORD BEFORE FINAL ACCEPTANCE OF THE PROJECT.

EXISTING DRAINAGE STRUCTURES

- (D14) TYPE "D" INLET PER FDOT INDEX #232
GRATE=123.21
E. INV=118.20
W. INV=118.20
- (D15) TYPE "D" INLET PER FDOT INDEX #232
TOP=123.17
E. INV=119.28
S. INV=120.50
- (D16) TYPE "D" INLET PER FDOT INDEX #232
GRATE=123.17
W. INV=118.24
E. INV=118.24
SE. INV=118.24

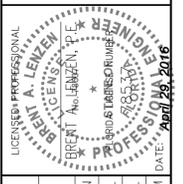
LEGEND

- CULVER'S IMPROVEMENTS
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING STORMWATER PIPE
- PROPOSED STORMWATER PIPE
- PROPOSED STORMWATER MANHOLE
- PROPOSED STORMWATER INLET
- EXISTING ELEV. TOP OF CURB
- EXISTING ELEV. BOT. OF CURB
- EXISTING SPOT ELEVATION
- DIRECTION OF FLOW
- NEW ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT SEE DETAIL SHEET C7.0
- PROPOSED CONCRETE SIDEWALK SEE DETAIL SHEET C7.0
- PROPOSED ELEV. TOP OF CURB
- PROPOSED ELEV. BOT. OF CURB
- PROPOSED SPOT ELEVATION

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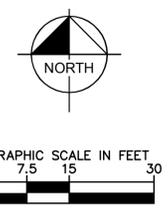
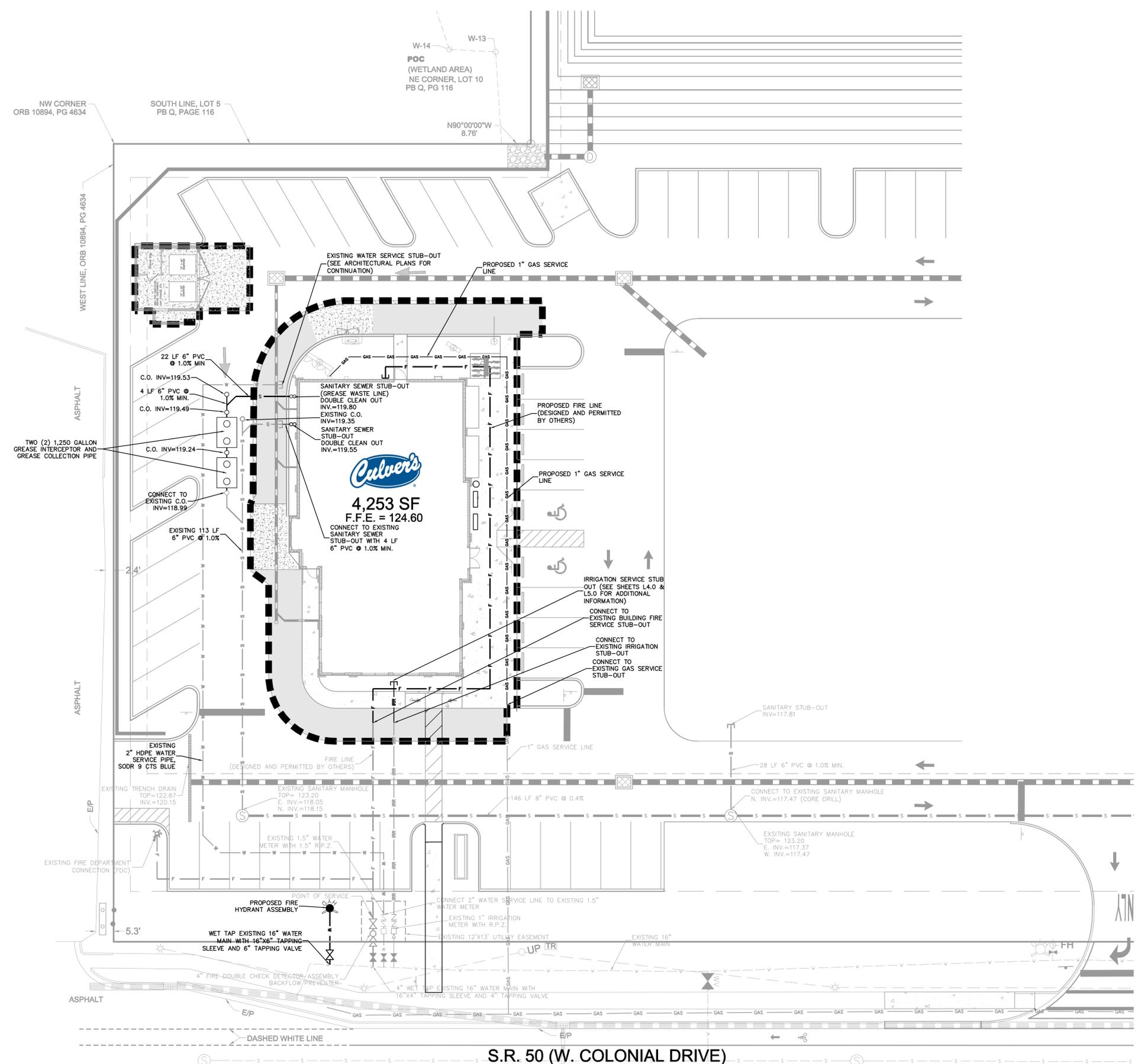
KHA PROJECT	149710000
DATE	04/29/2016
SCALE	AS SHOWN
DESIGNED BY	BAL
DRAWN BY	BAL
CHECKED BY	JAM
DATE	04/29/2016

PAVING, GRADING, AND DRAINAGE PLAN



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Plotted By: Ramsburg, Derek - Sheet: Sst-Culvers of Winter Garden - Layout: C6.0-UTIL - April 28, 2016 - 02:09:26pm - K:\ORL\Civil\149710000-Culvers Winter Garden\CADD\CONSTR\PlanSheets\C6.0-UTIL.dwg
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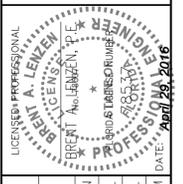


- UTILITY NOTES**
1. ALL ONSITE UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED.
 2. MAINTAIN A MINIMUM OF 3-FT OF COVER OVER ALL PROPOSED WATER AND WASTEWATER LINES.
 3. REFER TO ADDITIONAL UTILITY NOTES AND DETAILS ON SHEETS C1.0 AND C8.0-C8.5.
 4. ALL UTILITIES SHALL BE IN ACCORDANCE WITH CITY OF WINTER GARDEN UTILITY STANDARDS AND CONSTRUCTION SPECIFICATIONS.
 5. REFER TO PLUMBING & ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION REGARDING BUILDING UTILITIES AND REQUIRED CONDUITS/SLEEVES.
 6. ALL ELECTRICAL CONDUIT CONSTRUCTION SHALL BE IN ACCORDANCE WITH ELECTRIC SERVICE RULES AND STANDARDS, UTILITIES COMMISSION, CITY OF WINTER GARDEN AND THE NATIONAL ELECTRIC SAFETY CODE.
 7. ALL WATER SERVICE CONSTRUCTION SHALL BE IN ACCORDANCE WITH WATER SERVICE RULES AND STANDARDS.
 8. ALL SANITARY SEWER SERVICE CONSTRUCTION SHALL BE IN ACCORDANCE WITH WASTEWATER RULES AND STANDARDS, UTILITIES COMMISSION AND CITY OF WINTER GARDEN.
 9. THE CONTRACTOR SHALL NOTIFY CITY OF WINTER GARDEN PUBLIC UTILITIES CONSTRUCTION DEPARTMENT 48 HOURS PRIOR TO ANY UTILITY CONSTRUCTION (407) 254-9788.

- LEGEND**
- CULVER'S IMPROVEMENTS
 - EXISTING SANITARY MAIN
 - EXISTING WATER MAIN
 - EXISTING GAS LINE
 - EXISTING STORMWATER PIPE
 - EXISTING IRRIGATION LINE
 - EXISTING FIRE LINE
 - PROPOSED SANITARY MAIN
 - PROPOSED WATER MAIN
 - PROPOSED STORMWATER PIPE
 - PROPOSED FIRE LINE
 - PROPOSED GAS LINE
 - PROPOSED IRRIGATION LINE
 - EXISTING STORMWATER MANHOLE
 - EXISTING SANITARY MANHOLE
 - EXISTING WATER VALVE
 - EXISTING FIRE HYDRANT
 - PROPOSED SANITARY MANHOLE
 - EXISTING SANITARY MANHOLE

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DRAWN BY	BAL
CHECKED BY	JAM
JAM DATE	04/29/2016

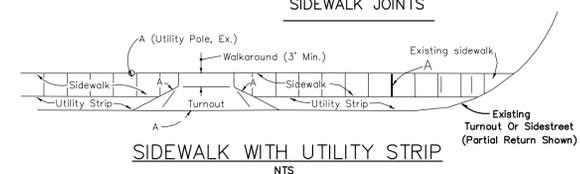
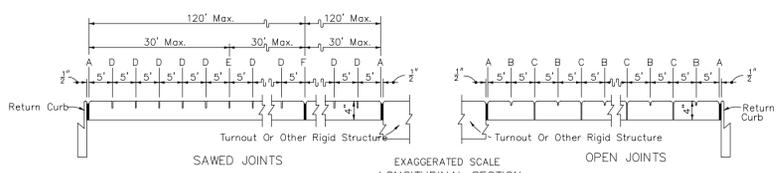
UTILITY PLAN

CITY OF WINTER GARDEN FLORIDA

SHEET NUMBER
C6.0

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Plotted By: Ramasubramanian, Derek. Sheet: Sidewalks of Winter Garden. Layout: C7.0-DETAILS. April 28, 2016. 02:46:26pm. K:\ORL_Civil\49710000-Culvers Winter Garden\CADD\CONSTR\PlanSheets\C7.0-DETAILS.dwg
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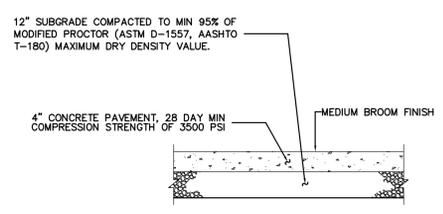
- JOINT LEGEND**
- A - 1/2" EXPANSION JOINTS (PERFORMED JOINT FILLER)
 - B - 1/2" DUMMY JOINTS, TOOLED
 - C - 1/2" FORMED OPEN JOINTS
 - D - 1/2" SAW CUT JOINTS, 1/2" DEEP (96 HOUR) MAX. 5' CENTERS
 - E - 1/2" SAW CUT JOINTS, 1/2" DEEP (12 HOUR) MAX. 30' CENTERS
 - F - 1/2" EXPANSION JOINT WHEN RUN OF SIDEWALK EXCEEDS 120'
 - G - COLD JOINT WITH BOND BREAKER, TOOLED
- FOOTNOTES:**
- ALL 1/2" JOINTS SHALL BE CONSTRUCTED WITH PREFORMED JOINT FILLER.
 - 1/8" OPEN JOINTS PLACED AT EQUAL (20' MAX.) INTERVALS FOR DRIVEWAYS OVER 20' WIDE. JOINTS IN CURB AND GUTTER TO MATCH JOINTS IN DRIVEWAYS.
 - DRIVEWAYS (6" CONCRETE) SHALL BE OF A UNIFORM WIDTH (W) AS SHOWN ON SHT. P-1.

GENERAL NOTES

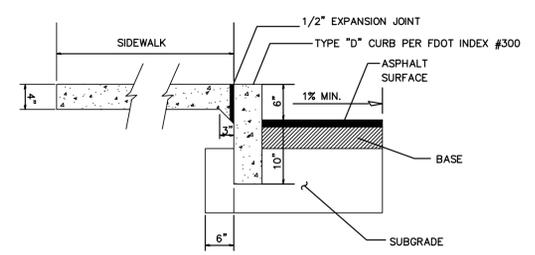
SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FDOT STANDARD SPECIFICATION NO. 522 EXCEPT FOR CURB OUT RAMP RUNS WHICH SHALL BE FINISHED IN ACCORDANCE WITH INDEX NO. 304.

BOND BREAKER MATERIAL CAN BE ANY IMPERMEABLE COATED OR SHEET MEMBRANE OR PREFORMED MATERIAL HAVING A THICKNESS OF NOT LESS THAN 6 MILS NOR MORE THAN 1/2".

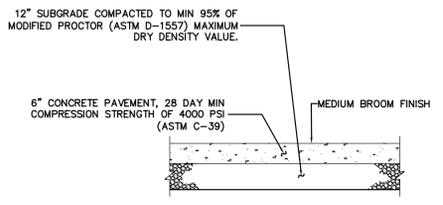
CONCRETE SIDEWALK DETAIL
N.T.S.



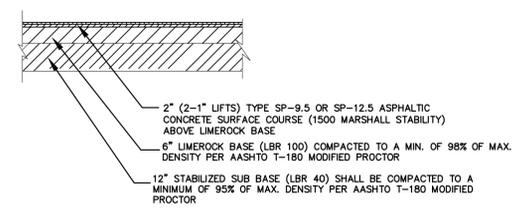
CONCRETE SIDEWALK DETAIL
N.T.S.



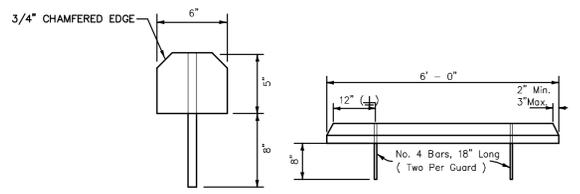
SIDEWALK INTEGRAL CURB DETAIL
N.T.S.



CONCRETE PAVEMENT SECTION
N.T.S.

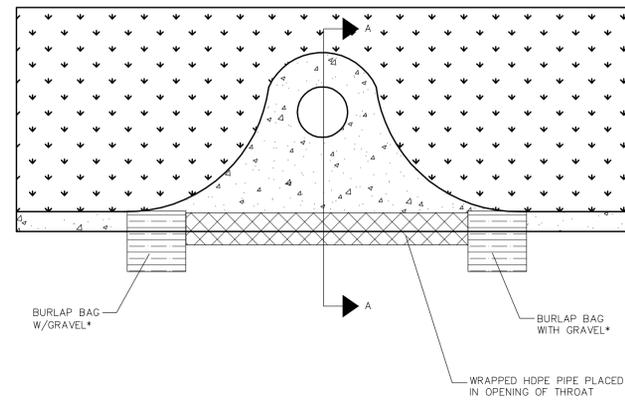


TYPICAL ASPHALT PAVEMENT SECTION
N.T.S.

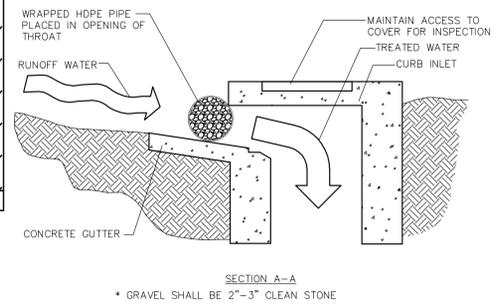


WHEEL STOP PROFILE (TYP.)
N.T.S.

WHEEL STOP FRONT VIEW
N.T.S.

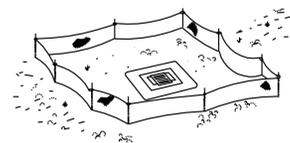


SOCK DRAIN INLET SEDIMENT FILTER
N.T.S.



SECTION A-A
* GRAVEL SHALL BE 2"-3" CLEAN STONE

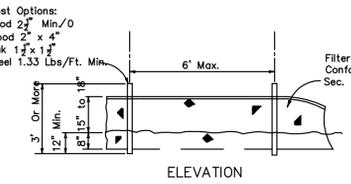
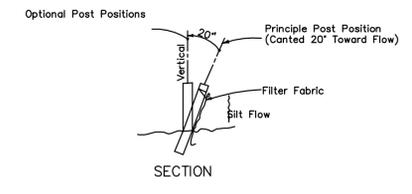
CONTRACTOR TO PLACE FILTER FABRIC UNDER GRADE DURING CONSTRUCTION.



Type III Silt Fence Protection Around Ditch Bottom Inlets.

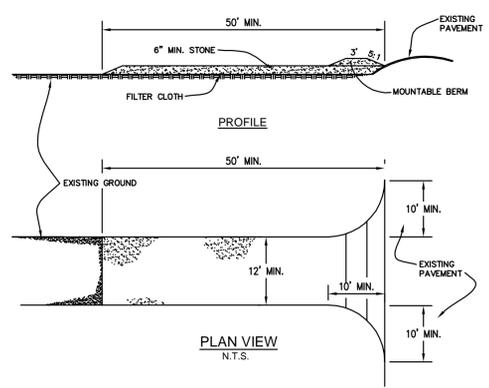
Do not deploy in a manner that silt fences will act as a dam across permanent flowing watercourses. Silt fences are to be used at upland locations and turbidity barriers used at permanent bodies of water.

SILT FENCE APPLICATIONS
N.T.S.

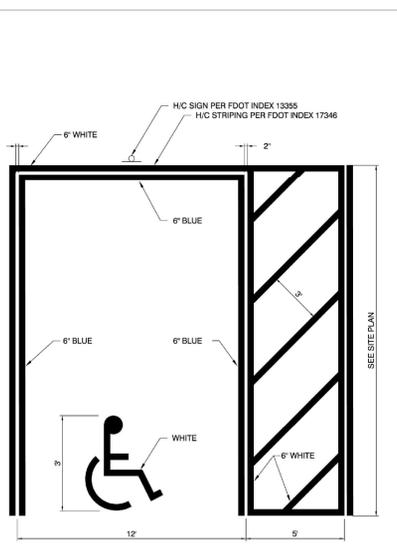


TYPE III SILT FENCE
N.T.S.

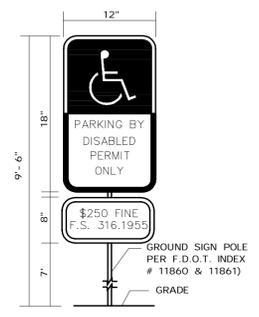
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACK OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVED SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

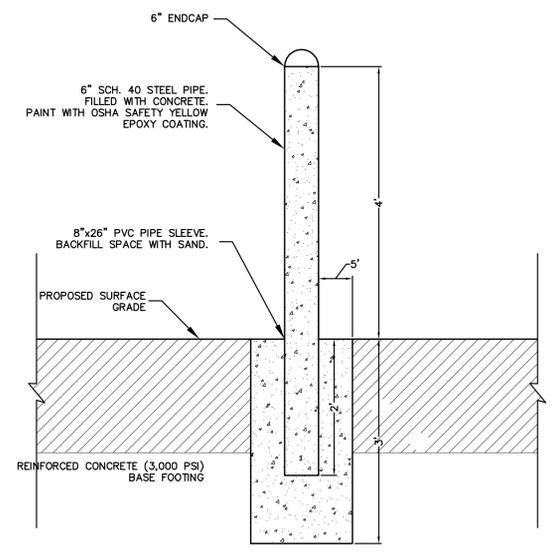


HANDICAP PARKING PAVEMENT MARKING
N.T.S.



- NOTES:**
- ALL LETTERS ARE 1" SERIES "C" PER MUTCD.
 - TOP PORTION OF SIGN SHALL HAVE REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
 - BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 - FINE NOTIFICATION SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 - ONE (1) SIGN REQUIRED FOR EACH PARKING SPACE.
 - INSTALLATION HEIGHT OF SIGN SHALL BE IN ACCORDANCE WITH SECTION 24-23 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

HANDICAP SIGN DETAIL
N.T.S.



BOLLARD DETAIL
N.T.S.

NO.	REVISIONS	DATE

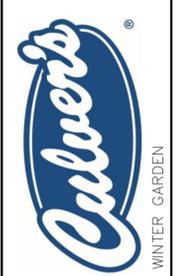
Kimley»Horn

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 PHONE: 407-898-1511
 WWW.KIMLEY-HORN.COM CA 00000696

LICENSED PROFESSIONAL
 A. LEWIS
 CIVIL ENGINEER
 PROFESSIONAL SEAL
 APR 28 2016

KHA PROJECT	149710000
DATE	04/29/2016
SCALE	AS SHOWN
DESIGNED BY	BAL
DRAWN BY	BAL
CHECKED BY	JAM
DATE	04/29/2016

CONSTRUCTION DETAILS



CITY OF WINTER GARDEN - GENERAL NOTES:

- ALL UTILITY SYSTEMS AND IMPROVEMENTS CONSTRUCTED IN THE CITY OF WINTER GARDEN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MANUAL OF STANDARDS AND SPECIFICATIONS FOR UTILITY CONSTRUCTION FOR THE CITY OF WINTER GARDEN, TO BE REFERRED TO AS MSS/CWG, THE LATEST EDITION AT THE TIME PERMITS ARE APPROVED SHALL BE EFFECTIVE FOR THE DURATION OF THE SUBJECT WORK OR PROJECT DEVELOPMENT.
- THE CITY OF WINTER GARDEN GENERAL NOTES AND DETAILS ARE PROVIDED FOR THE CONVENIENCE OF FIELD PERSONNEL. THEY DO NOT INCLUDE ALL REQUIREMENTS OF THE MSS/CWG. THE CONTRACTOR SHALL REFER TO THE FULL TEXT OF THE MSS/CWG FOR FURTHER DETAIL AND CLARITY WHEN NEEDED.
- ANY REQUEST FOR VARIANCE OR NONCOMPLIANCE FROM THE MSS/CWG NOTED ABOVE MUST BE APPROVED BY THE CITY ENGINEER OR UTILITIES DIRECTOR.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN CLOSE PROXIMITY TO WATER, WASTEWATER, RECLAIMED WATER AND OTHER UTILITY SYSTEMS. THE CONTRACTOR SHALL COORDINATE UTILITY LOCATIONS WITH RESPECTIVE UTILITY OWNERS AND/OR CALL "SUNSHINE ONE CALL", 1-800-432-4770 A MINIMUM OF 72 HOURS IN ADVANCE.
- CONTRACTOR'S DAMAGE OF WINTER GARDEN UTILITY SYSTEM: THE CONTRACTOR SHALL IMMEDIATELY NOTIFY AND REPORT DAMAGE TO THE CITY OF WINTER GARDEN UTILITY DIVISION, (NO MESSAGE) PHONE # 407-656-4100.
- IMMEDIATELY REPAIR OF DAMAGED UTILITY SYSTEM: THE CONTRACTOR SHALL IMMEDIATELY REPAIR ANY DAMAGE TO THE CITY OF WINTER GARDEN UTILITY SYSTEM AS REQUIRED BY THE UTILITY OWNER AT CONTRACTOR'S COST. IN CASE OF UNRESPONSIVE ACTION BY THE CONTRACTOR, THE CITY RESERVES THE RIGHT TO REPAIR DAMAGE. THE CONTRACTOR SHALL REIMBURSE THE CITY OF WINTER GARDEN OF ALL REPAIR COST.
- ADVANCE NOTIFICATION OF CONSTRUCTION: THE CONTRACTOR SHALL NOTIFY CITY OF WINTER GARDEN, UTILITY DIVISION, PH.# 407-656-4100, AT LEAST SEVEN (7) CALENDAR DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY.
- ADVANCE NOTIFICATION OF UTILITY CONNECTION: THE CONTRACTOR SHALL NOTIFY THE CITY OF WINTER GARDEN AT LEAST SEVEN CALENDAR DAYS IN ADVANCE TO SCHEDULE CONNECTIONS TO UTILITY SYSTEM.
- UTILITY VALVE OPERATION: ONLY CITY OF WINTER GARDEN UTILITY PERSONNEL SHALL OPERATE VALVES AND FIRE HYDRANTS. THE CONTRACTOR, WHEN NEEDED, SHALL CALL THE CITY TO REQUEST VALVE OPERATIONS AT LEAST TWO (2) DAYS IN ADVANCE OF CONSTRUCTION WORK.
- OPERATIONS INVOLVING WATER OR WASTEWATER FACILITIES INCLUDING PUMPING STATIONS: THE CONTRACTOR SHALL COORDINATE AT LEAST TWO (2) WEEKS IN ADVANCE, ANY CONSTRUCTION OPERATION THAT MAY REQUIRE THE DISCONTINUATION OF SERVICE OR OPERATION OF A FACILITY. THE CITY WILL PROVIDE PERSONNEL TO OPERATE THE CITY FACILITIES.
- REQUIRED TESTING BY CONTRACTOR: THE CONTRACTOR SHALL NOTIFY THE CITY OF WINTER GARDEN AT LEAST TWO (2) DAYS PRIOR TO SAMPLING ACTIVITIES FOR PURPOSE OF TESTING AS REQUIRED BY THE CITY. THE CONTRACTOR SHALL NOT TEST OR SAMPLE WITHOUT OBSERVATION BY CITY INSPECTION PERSONNEL.
- TEMPORARY OR CONSTRUCTION WATER SERVICE CONNECTIONS PROVIDED BY FIRE HYDRANT CONNECTION: THE CITY WILL PROVIDE METER ON FIRE HYDRANT. THE CONTRACTOR SHALL PROVIDE NON-REFUNDABLE ACCOUNT INITIATION FEE, A REFUNDABLE SECURITY DEPOSIT FOR THE METER APPARATUS AND PAY ALL COST FOR WATER USED.
- ALL AS BUILT MEASUREMENTS & ELEVATIONS ARE TO BE MADE BY A LICENSED LAND SURVEYOR.

CoWG WATER SYSTEM NOTES:

- THE CONTRACTOR SHALL PROVIDE AND INSTALL A CITY APPROVED BACKFLOW DEVICE ASSEMBLY AT EACH CONNECTION POINT TO THE CITY WATER SYSTEM.
- REPAIRS TO NEW WATER LINES, TO OBTAIN SPECIFIED PRESSURE TEST, WILL BE ALLOWED ONLY UP TO A NUMBER EQUAL TO 10% OF THE TOTAL NUMBER OF JOINT CONNECTIONS.
- THE CONTRACTOR SHALL HYDROSTATICALLY TEST ALL WATER MAINS AND SERVICE LATERALS AT 150 PSI FOR A TWO HOUR PERIOD. TESTING MUST BE OBSERVED BY A CITY INSPECTOR.
- THE CONTRACTOR SHALL INSTALL WARNING TAPE OVER ALL NEW WATER MAINS. WARNING TAPE SHALL BE AS FOLLOWS: NON-DETECTABLE, SIZE 2" WITH "WATER LINE BELOW", MUST BE PLACED 8" TO 12" BELOW FINISHED GRADE ON ALL PVC WATER MAINS, LATERALS AND HEADER TEES, NUMBER 10 GAUGE TRACER WIRE SHALL BE ATTACHED TO THE TOP OF THE PIPE WITH DUCT TAPE, AT LEAST FIVE TIMES PER JOINT. THE TRACER WIRE SHALL ALSO BE ATTACHED TO ALL PVC LATERALS AND ATTACHED TO THE OUTSIDE OF EACH VALVE BOX SO THAT A PIPE LOCATOR CAN BE CONNECTED TO IT.
- THE CONTRACTOR SHALL INSTALL WATER MAINS PER MoSS/CoWG SPECIFICATIONS. SOLVENT CEMENTED JOINTS AND THRUST BLOCKS ON PIPING SYSTEMS SHALL NOT BE ALLOWED.
- THE CONTRACTOR SHALL INSTALL ALL WATER MAINS TO A MINIMUM DEPTH OF 36 INCHES AND A MAXIMUM DEPTH OF 42 INCHES BELOW FINAL GRADE.
- THE CONTRACTOR SHALL INSTALL ALL SERVICE LATERALS A UNIFORM DISTANCE APART, LOCATED ON PROPERTY LOT LINE AT 90° FROM THE WATER MAIN. SERVICE LATERALS SHALL BE SEPARATELY CONNECTED TO THE WATER MAIN, NOT SPLICED TOGETHER.
- THE CONTRACTOR SHALL CUT A "W" INTO CONCRETE CURB, LOCATED INSIDE OF A PAINTED BLUE SQUARE, LOCATED DIRECTLY IN FRONT OF EACH SERVICE LOCATION.
- THE CONTRACTOR SHALL INSTALL CURB STOP, IN METER BOX, CURB STOP SHALL BE SET 8" BELOW FINISHED GRADE.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL IN-LINE VALVES ON WATER MAINS AT 1,000 FOOT MAXIMUM SPACING BETWEEN VALVES. VALVES SHALL BE LOCATED ON ALL TEES AND CROSSES. WATER MAINS SHALL BE PLACED UNDER SIDEWALKS WHERE POSSIBLE.
- ALL WATERMANS SHALL BE CLEANED BY PIGGING THE LINE WITH A FOAM PIG (MINIMUM OF 2 TIMES). A FULL BORE FLUSH MAY BE REQUIRED AFTER PIGGING TO ENSURE THE PIPE IS CLEAN AND READY FOR SERVICE. THE CONTRACTOR SHALL COORDINATE LINE PIGGING AND FULL BORE FLUSH WITH THE CITY INSPECTOR.
- THE CONTRACTOR SHALL DEMONSTRATE THAT LOCATION WIRE INSTALLED OVER ALL WATER MAINS IS IN WORKING CONDITION AT TIME OF ACCEPTANCE BY THE CITY.
- ALL NEW SUBDIVISION CONSTRUCTION SHALL INSTALL DOUBLE POTABLE WATER SERVICES AT THE PROPERTY LINES.

CoWG - WASTEWATER SYSTEM NOTES:

- SANITARY SEWER MAINS AND SERVICES SHALL BE PVC SDR-26 (MINIMUM). FITTINGS SHALL BE SDR-26. DUCTILE IRON IS NOT APPROVED FOR SANITARY SEWERS.
- ALL SERVICES SHALL BE 6" (MINIMUM) DIAMETER AND TERMINATE AT THE PROPERTY LINE WITH 6" CLEAN OUT, (36" TO 48" DEEP AT LOT LINE)
- MAGNETIC TAPE MUST BE PLACED 2" ABOVE THE TOP OF PIPE FOR THE ENTIRE LENGTH OF ALL MAINS AND SERVICES.
- ALL SANITARY MANHOLES SHALL BE PAINTED INSIDE AND OUT WITH "BITUMASTIC SUPER SERVICE BLACK", BY KOPPERS OR APPROVED EQUAL. MANHOLES RECEIVING FLOW FROM FORCE MAINS SHALL BE LINED WITH FIBERGLASS OR HOPE AT THE PRECASTERS FACILITY.
- ALL PIPE CONNECTIONS TO PRE-CAST MANHOLES SHALL BE MADE USING A FLEXIBLE EPDM RUBBER BOOT AND STAINLESS STEEL STRAP OR CAST IN BOOT BY A-LOK, Z-LOK OR EQUAL.
- CONNECTIONS MADE TO EXISTING MANHOLES SHALL BE CORE BORED WITH A MINIMUM 6" BORE AND CONNECTION SEALED WITH FLEXIBLE BOOT AND STAINLESS STEEL CLAMP.
- DEAD END MANHOLES SHALL HAVE A MINIMUM OF 5 FEET OF COVER FROM FINISHED GRADE TO OUTLET PIPE INVERT.
- ALL PRECAST SEWER MANHOLES SHALL HAVE A 4 FOOT MINIMUM HIGH BARREL CONE SECTIONS SHALL BE 3 FOOT MAXIMUM. CONCRETE DONUTS FOR EXTENDING ARE ACCEPTABLE TO RAISE MANHOLES UP TO 1 FOOT MAXIMUM.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL BALLCENTRIC PLUG VALVES IN FORCE MAINS AT 1000 FOOT MAXIMUM SPACING BETWEEN VALVES. VALVES SHALL BE LOCATED AT ALL TEES AND CROSSES.
- THE CONTRACTOR SHALL CUT A "S" INTO CONCRETE CURB LOCATED INSIDE OF A PAINTED GREEN SQUARE BOX, IN FRONT OF EACH SERVICE LOCATION.
- THE CONTRACTOR SHALL PROVIDE TV INSPECTION OF ALL SANITARY SEWER MAINS AFTER SYSTEM IS COMPLETED, THOROUGHLY CLEANED, DRAINED AND FULLY VISIBLE. TV INSPECTION SHALL BE PERFORMED IN ACCORDANCE WITH SPECIFICATIONS. FAULTY INSPECTION DUE TO POOR CONDITIONS WILL REQUIRE REINSPECTION BY CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE A (WARRANTY) TV INSPECTION AT THE TWO YEAR IN SERVICE MILESTONE FOR EACH SYSTEM.
- THE CONTRACTOR SHALL PROVIDE SANITARY SEWER TESTING, EXFILTRATION OR AIR, AS REQUIRED BY DESIGN ENGINEER AND SUBMIT CERTIFIED RESULTS TO THE CITY ENGINEER.
- GRAVITY SEWERS DEPTHS SHALL NOT EXCEED 18 FEET.
- THE DESIGN ENGINEER SHALL PROVIDE A MINIMUM OF ONE FOOT OF FREEBOARD BETWEEN THE LOWEST FINISHED FLOOR ELEVATION AND THE TOP ELEVATION OF THE WET WELL.
- ALL PENETRATIONS INTO CONCRETE STRUCTURES SHALL BE PRE-CAST OR CORE-DRILLED.
- WARRANTY - ALL MATERIALS & EQUIPMENT TO BE FURNISHED AND/OR INSTALLED BY THE CONTRACTOR SHALL BE WARRANTED FOR A PERIOD OF TWO YEARS FROM THE DATE OF FINAL ACCEPTANCE THEREOF AGAINST DEFECTIVE MATERIALS, DESIGN, AND WORKMANSHIP. UPON RECEIPT OF NOTICE FROM THE CITY OF FAILURE OF ANY PART OF THE WARRANTED EQUIPMENT OR MATERIALS DURING THE WARRANTY PERIOD, THE AFFECTED PART, PARTS, OR MATERIALS SHALL BE PROMPTLY REPLACED BY THE CONTRACTOR WITH NEW PARTS OR MATERIALS AT NO EXPENSE TO THE CITY. IN THE EVENT THE CONTRACTOR FAILS TO MAKE THE NECESSARY REPLACEMENT OR REPAIRS IMMEDIATELY AFTER NOTIFICATION, THE CITY MAY ACCOMPLISH THE WORK AT THE EXPENSE OF THE CONTRACTOR.

CLOSED CIRCUIT TELEVISION (CCTV) INSPECTION OF SEWER LINES

GENERAL:

- ALL NEW SANITARY SEWER LINES, PRIVATE OR CITY MAINTAINED, IN THE CITY OF WINTER GARDEN'S SERVICE AREA SHALL BE INSPECTED BY CLOSED CIRCUIT TV INSPECTION BY THE CONTRACTOR WITH A CITY INSPECTOR PRESENT PRIOR TO BEING ACCEPTED BY THE CITY.

REQUIREMENTS PRIOR TO INSPECTION RELEASE:

- ALL ELEMENTS OF THE SEWER SYSTEM MUST BE INSTALLED AND BE COMPLETELY FINISHED, INCLUDING MAIN SEWER LINES, LATERALS, CLEAN OUTS, AND MANHOLES PRIOR TO CCTV INSPECTION.
- ALL SEWER LINES SHALL BE COMPLETELY CLEANED OF ALL DEBRIS, SAND, WATER, ETC. PRIOR TO THE CCTV INSPECTION. ANY OBJECT OR MATTER THAT PREVENTS CCTV INSPECTION FROM VIEWING CONDITION OF PIPELINE IS CONSIDERED AN OBSTRUCTION REQUIRING ADDITIONAL CLEANING. WHEN CCTV VIEW IS OBSTRUCTED, INSPECTION SHALL BE TERMINATED. THE CONTRACTOR SHALL CLEAN THE SEWER SYSTEM COMPLETELY AND RESCHEDULE CCTV RE-INSPECTION WITH THE CITY.
- A HYDRAULIC SEWER CLEANER SHALL NOT BE USED DURING THE CCTV INSPECTION, IF LINES ARE FOUND TO BE OBSCURED BY WATER OR DEBRIS DURING THE CCTV INSPECTION, THE INSPECTION SHALL BE TERMINATED AND RESCHEDULED TO A TIME WHEN SEWER CLEANING IS COMPLETE.

TELEVISION EQUIPMENT MINIMUM REQUIREMENTS:

- THE CLOSED CIRCUIT TV CAMERA SHALL PRODUCE A CLEAR COLOR PICTURE ON THE MONITOR AND ON THE DVD RECORDING. THE CAMERA SHALL BE ABLE TO SHOW DETAIL TO THE POINT THAT ALL JOINTS AND ANY DEFECTS MAY BE READILY SEEN AT THE TIME OF THE INSPECTION. THE CAMERA SHALL STOP AND PAN AT EACH JOINT FOR COMPLETE 360 DEGREE INSPECTION.
- REFER TO APPENDIX B OF THE REFERENCED STANDARDS FOR SPECIFICATION OF CLOSED CIRCUIT TELEVISION INSPECTION EQUIPMENT.
- THE VIDEO RECORDER SHALL PRODUCE A NO NOISE STILL PICTURE, AND PROVIDE BOTH AUDIO AND VIDEO DURING THE INSPECTION.
- A MEASURING DEVICE, APPROVED BY THE CITY, TO CHECK THE GRADE OF THE PIPE DURING THE INSPECTION, SHALL BE REQUIRED. GAUGE DEPTH, 0" TO 2" MIN. WITH 1/2" MARKINGS.
- AUDIO OF THE INSPECTION SHALL BE SIMULTANEOUSLY RECORDED ON DVD DISC. THE AUDIO SHALL CONSIST OF ORDINARY DESCRIPTION AND COMMENTARY. A TAPE WILL BE GIVEN TO THE INSPECTOR ON SITE AT THE END OF THE DAY.

PROCEDURE FOR TELEVISION

- THE CITY'S ENGINEERING INSPECTION DIVISION SHALL BE GIVEN AT LEAST THREE (3) BUSINESS DAYS NOTICE PRIOR TO THE TIME PLANNED FOR THE TV INSPECTION TO COMMENCE. A DEFINITE TIME AND DATE WILL BE AGREED UPON BY THE CONTRACTOR AND INSPECTOR AT THAT TIME.
- NO INSPECTION SHALL COMMENCE WITHOUT THE PRESENCE OF THE INSPECTOR, EXCEPT WHEN PRIOR ARRANGEMENTS HAVE BEEN MADE BETWEEN THE CONTRACTOR, INSPECTOR, AND THE CITY. TV INSPECTION SHALL BE PERFORMED BY THE CONTRACTOR AT THE EXPENSE OF THE CONTRACTOR.
- ALL CCTV INSPECTIONS SHALL COMMENCE UP STREAM OF THE SYSTEM TO PREVENT FOREIGN SUBSTANCES FROM ENTERING A SECTION PREVIOUSLY TELEVIEWED. THE CAMERA SHALL BE STARTED FROM THE DOWNSTREAM MANHOLE AND PROCEED UPSTREAM IN DIRECTION OPPOSING THE NORMAL FLOW IN THE LINE. THIS PROCEDURE WILL ALLOW FOR THE VIEWING OF THE SERVICE LATERALS.
- BEFORE THE CAMERA IS PLACED IN THE SEWER LINE, WATER WITH YELLOW OR ORANGE DYE SHALL BE PUT INTO THE UPSTREAM MANHOLE OF THE SECTION BEING TELEVIEWED. CAMERA WILL HAVE A GAUGE SHOWING 1/2" MARKS FROM 1/2" TO 2-1/2". THIS WILL ENABLE THE CAMERA TO DETECT ANY CHANGES IN GRADE THAT MAY BE PRESENT IN THE SYSTEM.
- THE CCTV AND DVD RECORDER SHALL BE TURNED ON BEFORE THE CAMERA IS PLACED IN THE MANHOLE FOR INSPECTION AND SHALL NOT BE TURNED OFF UNTIL THE CAMERA IS REMOVED FROM THE MANHOLE. THE CAMERA SHALL BE MOVED THROUGH THE LINE UNDER THE CONTROL OF THE CCTV CAMERA OPERATOR. THE CAMERA SHALL BE DRAWN THROUGH THE LINE AT A RATE NOT TO EXCEED THIRTY (30) FEET PER MINUTE AND SHALL STOP AT ALL SERVICE CONNECTIONS AND PIPE JOINTS IN THE PIPELINE.
- A DVD RECORDING SHALL BE MADE OF THE ENTIRE SYSTEM BEING TELEVIEWED. THIS SHALL BECOME THE PROPERTY OF THE CITY UPON COMPLETION OF THE TV INSPECTION (NOT A COPY). THE TAPES SHALL BE LABELED IN SUCH A MANNER THAT IT STATES THE PROJECT NAME, DATE OF INSPECTION AND LINE SECTION ACCORDING TO CONSTRUCTION PLANS CONTAINED ON EACH TAPE. A WRITTEN REPORT SHALL ACCOMPANY THE DVD DISC.

CoWG RECLAIMED WATER SYSTEM GENERAL NOTES:

- ALL PRIVATE RECLAIMED WATER SYSTEMS SHALL HAVE A CITY APPROVED BACKFLOW DEVICE ASSEMBLY AT EACH CONNECTION POINT TO THE CITY WATER SYSTEM.
- REPAIRS TO NEW WATER LINES, TO OBTAIN SPECIFIED PRESSURE TEST, WILL BE ALLOWED ONLY UP TO A NUMBER EQUAL TO 10% OF THE TOTAL NUMBER OF JOINT CONNECTIONS.
- ALL MAINS AND SERVICE LATERALS SHALL BE HYDROSTATICALLY TESTED AT 150 PSI FOR A TWO HOUR PERIOD.
- WARNING TAPE, NON-DETECTABLE, SIZE 2" WITH "REUSE WATER LINE BELOW", MUST BE PLACED 8" TO 12" BELOW FINISHED GRADE ON ALL PVC WATER MAINS, LATERALS AND HEADER TEES, NUMBER 10 GAUGE TRACER WIRE SHALL BE ATTACHED TO THE TOP OF THE PIPE WITH DUCT TAPE, AT LEAST FIVE TIMES PER JOINT. THE TRACER WIRE SHALL ALSO BE ATTACHED TO ALL PVC LATERALS AND ATTACHED TO THE OUTSIDE OF EACH VALVE BOX SO THAT A PIPE LOCATOR CAN BE CONNECTED TO IT. THE CONTRACTOR SHALL DEMONSTRATE THE LOCATE WIRE TO BE IN WORKING CONDITION AT PROJECT COMPLETION.
- THE CONTRACTOR SHALL INSTALL RECLAIMED WATER MAINS PER MoSS/CoWG. SOLVENT CEMENTED JOINTS AND THRUST BLOCKS SHALL NOT BE ALLOWED.
- REUSE WATER MAIN SHALL BE BURIED TO A MINIMUM DEPTH OF 36" AND A MAXIMUM DEPTH 42" BELOW FINAL GRADE.
- SERVICE LATERALS MUST BE LOCATED A UNIFORM DISTANCE APART AND ALIGNED TO PROPERTY LOT LINE AT 90° FROM THE RECLAIMED WATERMAIN.
- CUSTOMER SERVICE LATERALS SHALL NOT BE SPLICED TOGETHER BETWEEN THE WATER MAIN AND CURB STOP.
- THE CONTRACTOR SHALL CUT CURB A "RW" INTO CONCRETE CURB LOCATED INSIDE OF A PAINTED SQUARE (PURPLE), DIRECTLY IN FRONT OF EACH SERVICE LATERAL AND VALVE.
- THE CONTRACTOR SHALL SET DEPTH OF CURB STOP, IN METER BOX, 8" BELOW FINISHED GRADE.
- THE CONTRACTOR SHALL INSTALL VALVE(S) IN MAIN, NO MORE THAN 1,000 FEET APART IN BETWEEN TEES AND CROSSES. VALVES SHALL BE PROVIDED AT EACH TEE OR CROSS LOCATED IN MAIN LINE.
- RECLAIMED WATER MAINS MAY BE LOCATED UNDER SIDEWALKS. RECLAIMED MAINS LOCATED UNDER PAVEMENT SHOULD BE MINIMIZED.
- ALL WATERMANS SHALL BE CLEANED BY PIGGING THE LINE WITH A FOAM PIG (MINIMUM OF 2 TIMES). A FULL BORE FLUSH MAY BE REQUIRED AFTER PIGGING TO ENSURE THE PIPE IS CLEAN AND READY FOR SERVICE. THE CONTRACTOR SHALL COORDINATE LINE PIGGING AND FULL BORE FLUSH WITH THE CITY INSPECTOR.
- RECLAIMED WATERMAIN MAINS SHALL BE 8 INCH DIAMETER MINIMUM, 4 INCH IS ALLOWED ON DEAD END RUNS SERVING LESS THAN 20 HOMES. THE DESIGN ENGINEER SHALL SUBMIT HYDRAULIC CALCULATIONS THAT DEMONSTRATE THE PROPOSED SYSTEM WILL PROVIDE REQUIRED FLOWS AND MAINTAIN SYSTEM ABOVE MINIMUM PRESSURE. PEAK IRRIGATION RATE SHALL BE SIX(6) TIMES GREATER THAN THE AVERAGE IRRIGATION RATE OF FLOW.
- RECLAIMED WATER SYSTEM COMPONENTS INCLUDING PIPE, VALVE BOX TOPS AND METER BOX TOPS SHALL BE RECLAIMED PURPLE IN COLOR.

CoWG - THRUST RESTRAINT TABLE

RESTRAINED FORCE MAIN PIPE TABLE									
MINIMUM LENGTH(FIT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S)	PIPE SIZE								
	6"	8"	10"	12"	16"	20"	24"	30"	36"
90° BEND	19	25	30	34	44	52	60	70	80
45° BEND	8	10	12	14	18	21	25	30	34
22-1/2° BEND	4	5	6	7	9	10	12	14	16
11-1/4° BEND	2	3	4	5	6	7	8	9	10
PLUG, DEAD END OR BRANCH OF TEE	40	52	63	72	93	111	130	155	178
VALVE	20	25	32	36	47	56	78	116	89

RESTRAINED WATER AND RECLAIMED PIPE TABLE									
MINIMUM LENGTH(FIT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S)	PIPE SIZE								
	6"	8"	10"	12"	16"	20"	24"	30"	36"
90° BEND	29	37	44	51	65	77	89	105	120
45° BEND	12	15	18	21	27	32	37	44	50
22-1/2° BEND	6	7	9	10	13	15	18	21	24
11-1/4° BEND	3	4	5	6	7	8	9	10	12
PLUG, DEAD END OR BRANCH OF TEE	59	77	93	108	138	166	194	231	265
VALVE	59	77	93	108	138	166	194	231	265

CoWG THRUST RESTRAINT NOTES:

- THE TABLES INDICATE MINIMUM LENGTHS OF RESTRAINED JOINTS ON EACH SIDE OF FITTINGS AND CHANGES IN DIRECTION. WHERE PRACTICAL, FULL LENGTHS OF RESTRAINED PIPE SHALL BE LAID TO ACHIEVE THE REQUIRED MINIMUM RESTRAINT.
- WHERE COMBINATIONS OF FITTINGS ARE USED, THE PIPING BETWEEN THE FITTINGS SHALL BE RESTRAINED. THE MINIMUM RESTRAINED LENGTH OF PIPE REQUIRED UPSTREAM AND DOWNSTREAM OF THE COMBINATION OF FITTINGS SHALL BE DETERMINED ON THE BASIS OF ONE EQUIVALENT FITTING (I.E., 2-45 DEGREE BENDS WILL BE CONSIDERED AS THOUGH A 90° BEND WERE LOCATED MIDWAY BETWEEN THE TWO 45° BENDS).
- FOR PIPE THAT IS ENCASED IN POLYETHYLENE, RESTRAINED JOINTS MINIMUM LENGTHS SHALL BE INCREASED BY 50 PERCENT.
- FOR FITTINGS OTHER THAN THOSE PRESENTED IN THE ABOVE TABLES, RESTRAINED JOINT LENGTHS SHALL BE DETERMINED IN ACCORDANCE WITH "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" BY THE DUCTILE IRON PIPE RESEARCH ASSOCIATION. RESTRAINED JOINT LENGTHS FOR A GIVEN PRESSURE RANGE SHALL BE BASED ON THE MAXIMUM PRESSURE FOR THE TEST PRESSURE RANGE, SM (SAND SILT) SOIL, 3-FEET DEPTH, LAYING CONDITION NO. 3 AND FACTOR OF SAFETY OF 1.5.
- IN-LINE VALVES: PROVIDE MECHANICAL RESTRAINT ON EACH SIDE OF THE VALVE.
- ALL RECLAIMED WATER PIPING SHALL BE HYDROSTATICALLY TESTED AT A PRESSURE OF 150 PSI. ALL WASTEWATER PIPING SHALL BE HYDROSTATICALLY TESTED AT A PRESSURE OF 100 PSI.

HORIZONTAL & VERTICAL SEPARATION REQUIREMENTS											
PROPOSED UTILITY	POTABLE WATER		RECLAIMED WATER*		SANITARY SEWER (GRAVITY)		SANITARY SEWER (FORCEMAIN)		STORM WATER		ACCEPTABLE VARIANCES
	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.	
POTABLE WATER	-	-	3'	12"	6'	12"	6'	12"	3'	6" A 12" B	SEE GENERAL NOTES: NO. 4 & 5
RECLAIMED WATER**	3'	12"	-	-	3'	12" B	3'	12"	-	-	
SANITARY SEWER (GRAVITY)	6'	12"	3'	12" B	6" A	-	-	-	-	-	
SANITARY SEWER (FORCEMAIN)	6'	12"	3'	12"	-	-	-	-	-	-	

GENERAL NOTES:

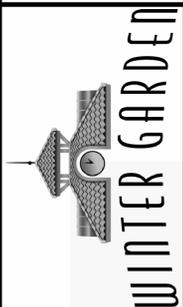
- THE TABLE REPRESENTS THE MINIMUM SEPARATION REQUIREMENTS AS DESCRIBED IN F.D.E.P. RULES OF THE FLORIDA ADMINISTRATION CODE (F.A.C.). THESE SEPARATION REQUIREMENTS SHALL APPLY BETWEEN NEWLY PROPOSED UTILITY LINES AND EXISTING OR PROPOSED UTILITY LINES AND EXISTING OR PROPOSED UTILITY LINES.
- * FOR THE PURPOSE OF THIS TABLE, RECLAIMED WATER SHALL MEAN UNRESTRICTED PUBLIC ACCESS REUSE WATER AS DEFINED BY F.A.C. 162-610, CHAPTER III. OTHER TYPES OF RECLAIMED WATER ARE CONSIDERED RAW SEWAGE AND SEPARATIONS LISTED FOR SANITARY SEWER SHALL APPLY.
- ALL SEPARATION DISTANCES ARE FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE UNLESS OTHERWISE SPECIFIED. CRITERION PRODUCING GREATER CLEARANCE SHALL BE USED.
 - A - DENOTES POTABLE WATER ABOVE RECLAIMED WATER, SANITARY SEWER OR STORM WATER; OR RECLAIMED WATER ABOVE SANITARY SEWER.
 - B - DENOTES POTABLE WATER BELOW RECLAIMED WATER, SANITARY SEWER OR STORM WATER; OR RECLAIMED WATER BELOW SANITARY SEWER.
- UTILITY SEPARATION - VERTICAL CLEARANCE MITIGATION
 - WHERE WATER AND GRAVITY SANITARY SEWER MAINS CROSS WITH LESS THAN REQUIRED VERTICAL CLEARANCE OR THE SEWER MAIN IS ABOVE THE WATER MAIN, THE SANITARY SEWER WILL BE 20 FEET OF EITHER:
 - DUCTILE IRON PIPE, CENTERED ON THE POINT OF CROSSING, OR;
 - CONCRETE ENCASED VITRIFIED CLAY, OR;
 - PVC PIPE UPGRADED TO WATER MAIN STANDARDS AND PRESSURE TESTED.
 - WHERE WATER MAINS AND STORM SEWER PIPES CROSS WITH LESS THAN REQUIRED VERTICAL CLEARANCE, THE WATER MAIN SHALL BE 20 FEET OF DUCTILE IRON PIPE CENTERED ON THE POINT OF CROSSING.
- UTILITY SEPARATION - HORIZONTAL SEPARATION MITIGATION
 - WHEN A WATER MAIN PARALLELS A GRAVITY SANITARY SEWER MAIN, A SEPARATION (MEASURED EDGE TO EDGE) OF AT LEAST SIX FEET SHOULD BE MAINTAINED. WHERE THIS SEPARATION IS NOT MET, ONE OF THE FOLLOWING MUST OCCUR:
 - THE WATER MAIN IS LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 6 INCHES ABOVE THE TOP OF THE SEWER, OR;
 - IF BOTH SANITARY SEWER AND POTABLE WATER MAINS ARE PROPOSED AND THE ABOVE (1.) IS NOT MET, THE SANITARY SEWER PIPES SHALL BE UPGRADED TO THE EQUIVALENT PIPE MATERIAL AS THE WATER MAIN AND PRESSURE TESTED.
 - IF THE SANITARY SEWER IS EXISTING AND THE POTABLE WATER MAIN IS PROPOSED, THE WATER MAIN SHALL, AT A MINIMUM, BE UPGRADED TO DUCTILE IRON PIPE, CONSTRUCTED IN SEPARATE TRENCHES, LAID AT A HIGHER ELEVATION THAN THE SANITARY SEWER, AND UTILIZE STAGGERED JOINTS.
 - SEPARATION REQUIREMENTS BETWEEN FORCE MAINS AND POTABLE WATER MAINS MUST BE MAINTAINED UNLESS APPROVED IN ADVANCE BY THE DEPARTMENT.
- NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SANITARY OR STORM WATER MANHOLE OR STRUCTURE.

WINTER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEERS DOCUMENTS:

THE DETAILS, NOTES AND SPECIFICATIONS SHOWN ON THIS SHEET REPRESENT THE NOTED STANDARDS OF THE CITY OF WINTER GARDEN FOR CONSTRUCTION OF PUBLIC WORKS AND UTILITY INFRASTRUCTURE. BY INCLUDING THE STANDARDS, THE DESIGN ENGINEER HAS ACKNOWLEDGED THAT THEY ARE EFFECTIVE TO THE PROJECT AND THAT DETAILS, NOTES, OR SPECIFICATIONS ARE AS PROVIDED BY THE CITY AND HAVE NOT BEEN REVISED OR MODIFIED WITHOUT WRITTEN APPROVAL FROM THE CITY ENGINEER OR UTILITY DIRECTOR.

DATE	ITEM	REVISION
4/4/14 <td>1 <td>Revised General Notes</td> </td>	1 <td>Revised General Notes</td>	Revised General Notes
4/4/14 <td>2 <td>Revised Water & Reuse Notes</td> </td>	2 <td>Revised Water & Reuse Notes</td>	Revised Water & Reuse Notes

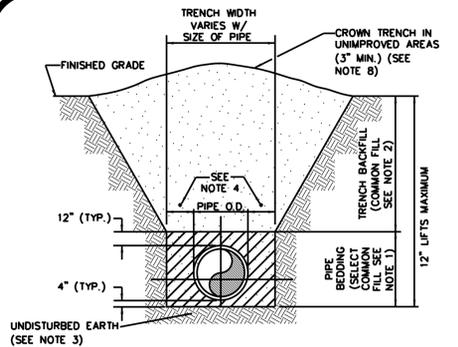
City of Winter Garden, Florida
STANDARDS AND SPECIFICATIONS
 For Utilities Construction



STANDARD DETAILS
 FOR
 UTILITIES SYSTEMS

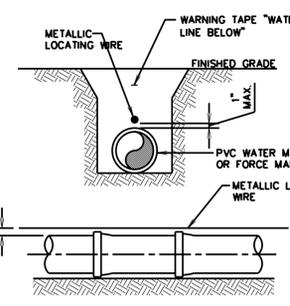
DATE
JANUARY 2008
SHEET

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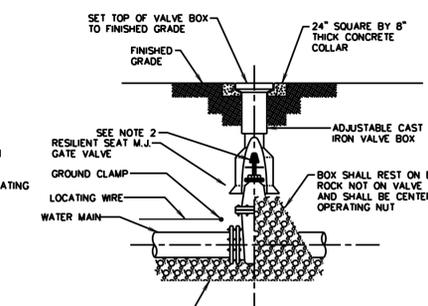
- NOTES:**
- PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
 - TRENCH BACKFILL: COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
 - PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING MAY BE REQUIRED AS DIRECTED BY THE CITY OF WINTER GARDEN.
 - (*) 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" LARGER.
 - WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 - ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 - REFER TO SECTION 32.5 OF THE CITY OF WINTER GARDEN MANUAL OF STANDARDS AND SPECIFICATIONS FOR WASTEWATER AND WATER MAIN CONSTRUCTION FOR SHEETING AND BRACING IN EXCAVATIONS.
 - FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN CITY OF WINTER GARDEN RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

STANDARD BEDDING DETAIL
N.T.S.



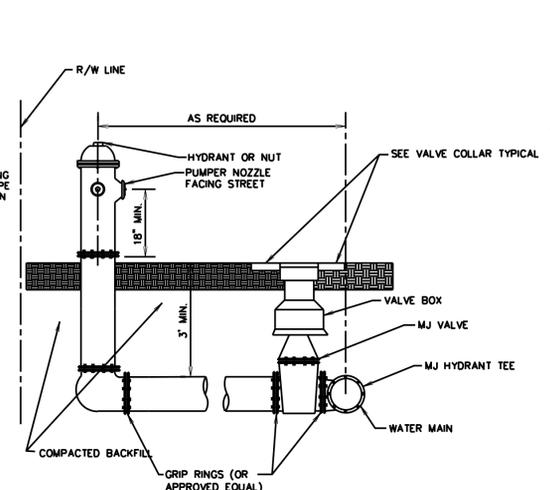
- NOTES:**
- PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (10 GAUGE COPPER) CAPABLE OF DETECTION BY A CABLE LOCATOR AND SHALL BE ATTACHED TO THE TOP OF PIPE WITH DUCT TAPE, AT LEAST 5 TIMES PER JOINT.
 - LOCATING ROD SHALL TERMINATE AT THE TOP OF EACH VALVE BOX AND BE CAPABLE OF EXTENDING ABOVE TOP OF BOX 1/2" SO AS NOT TO INTERFERE WITH VALVE OPERATION.

PVC PIPE LOCATING WIRE DETAIL
N.T.S.

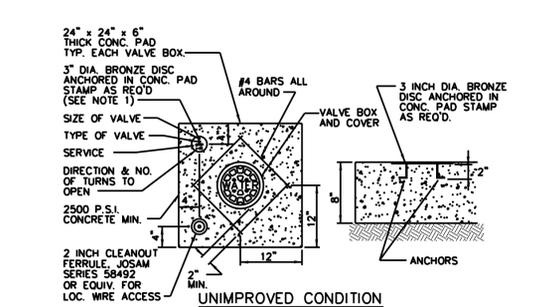


- GENERAL NOTES:**
- PVC EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
 - THE ACTUATING NUT FOR DEEPER VALVES SHALL BE EXTENDED TO COME UP TO 4 FOOT DEPTH BELOW FINISHED GRADE.

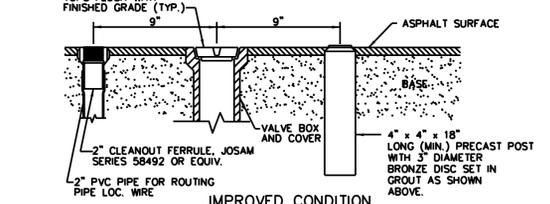
GATE VALVE AND VALVE BOX DETAIL
N.T.S.



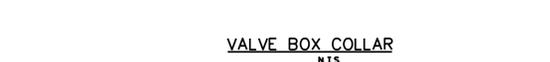
FIRE HYDRANT ASSEMBLY DETAIL
N.T.S.



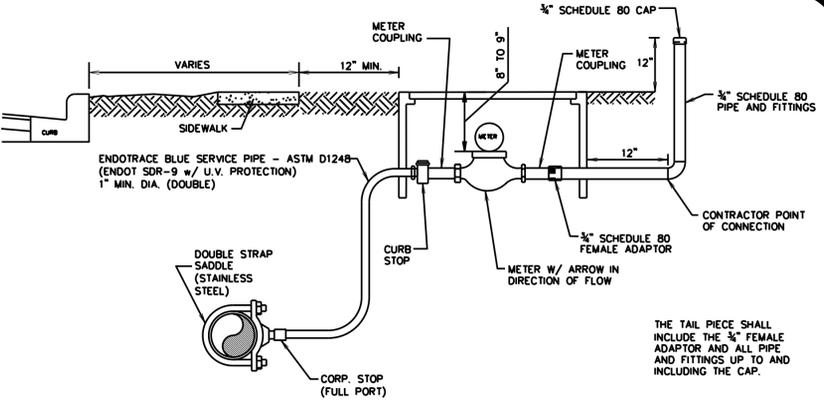
VALVE BOX COLLAR
N.T.S.



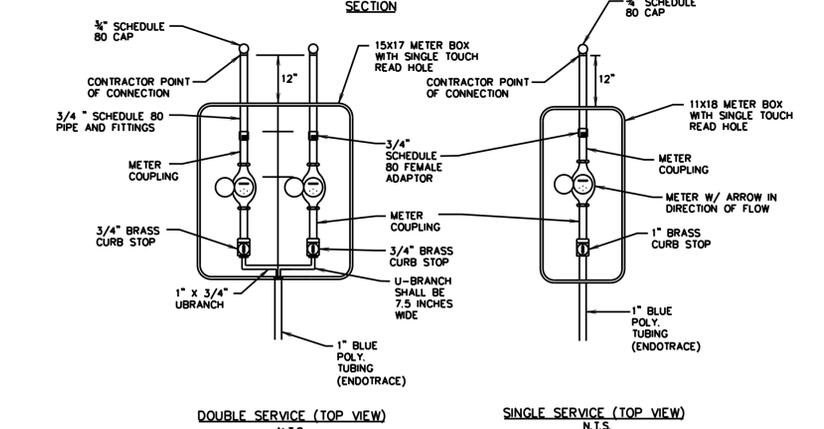
IMPROVED CONDITION
N.T.S.



UNIMPROVED CONDITION
N.T.S.



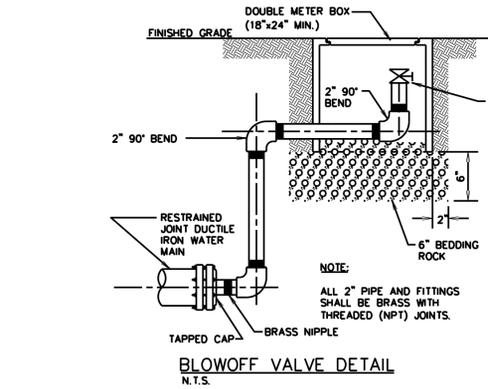
DOUBLE SERVICE (TOP VIEW)
N.T.S.



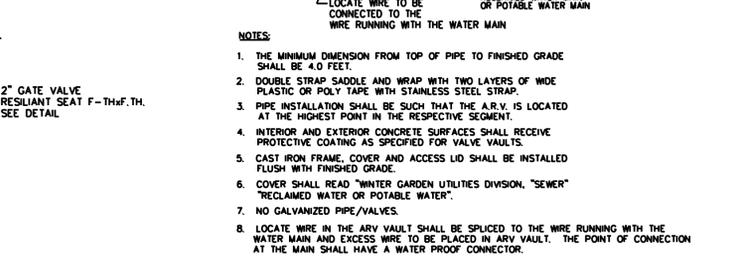
SINGLE SERVICE (TOP VIEW)
N.T.S.

- NOTES:**
- ALL FITTINGS BETWEEN THE WATER MAIN AND THE METER COUPLING SHALL BE BRASS WITH COMPRESSION/PACK JOINT CONNECTIONS.
 - NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
 - EACH SERVICE SHALL TERMINATE IN A METER BOX ASSEMBLY, WHICH SHALL BE PLACED TO GRADE IN THE UTILITY EASEMENT AT THE PROPERTY LINE(S) OF THE LOT(S) TO BE SERVED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION TO AND INCLUDING THE METER BOX ASSEMBLY. THE CITY SHALL FURNISH THE METER AND THE TAIL PIECE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING THE METER BOX ASSEMBLY TO FINISH GRADE AND MAKING ANY GRADE ADJUSTMENTS TO THE METER BOX IF REGRADING OCCURS.
 - ALL SERVICE LINES SHALL BE POLY ENDTRACE PIPE AND SHALL BE BLUE IN COLOR W/WIRE.
 - THE POINT OF CONNECTION IS LOCATED ONE FOOT BEYOND THE METER BOX. THE PLUMBER/CUSTOMER SHALL BE RESPONSIBLE FOR MAINTENANCE BEYOND THE POINT OF CONNECTION.
 - IN NO CASE IS METER TO BE INSTALLED IN SIDEWALK OR OTHER PAVED AREAS.

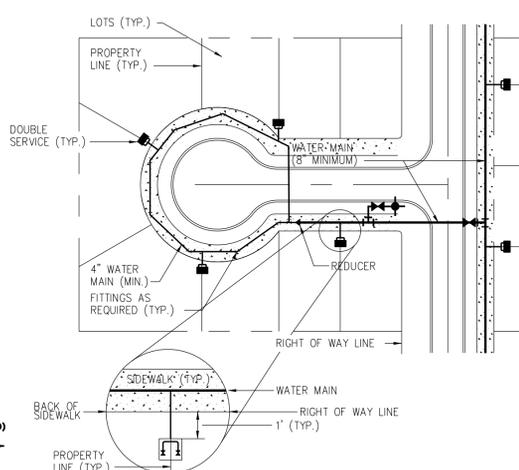
POTABLE WATER SINGLE AND DOUBLE SERVICE DETAIL
N.T.S.



BLOWOFF VALVE DETAIL
N.T.S.

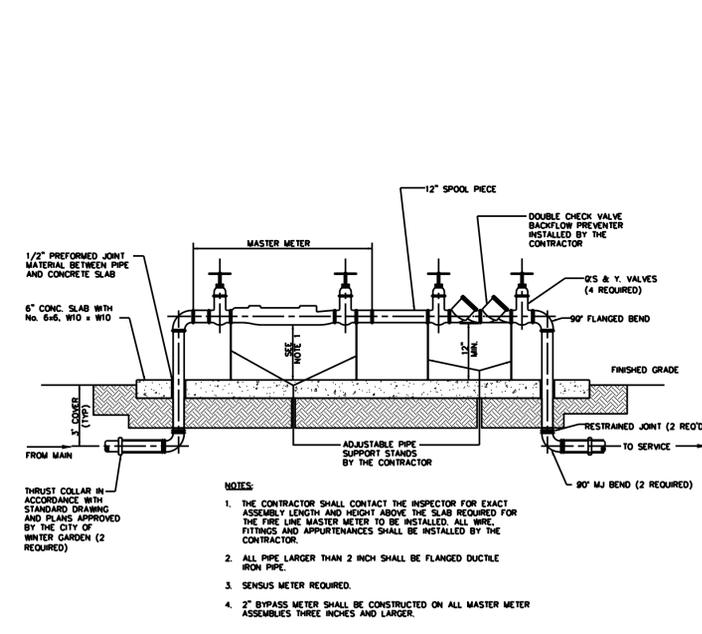


AIR RELEASE VALVE ASSEMBLY
N.T.S.



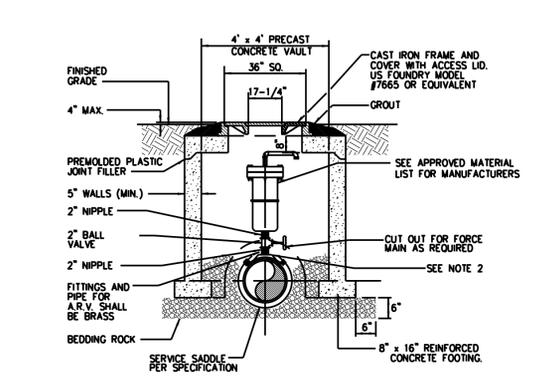
- NOTES:**
- ANCHORING TYPE 90° BEND SHALL ONLY BE USED WHERE RIGHT-OF-WAY CONSTRUCTIONS WILL NOT ALLOW INSTALLATION OF A STRAIGHT ASSEMBLY.
 - METER BOX TO BE INSTALLED BY THE CONTRACTOR.

CUI-DE-SAC LOOPING AND METER BOX PLACEMENT DETAIL
N.T.S.



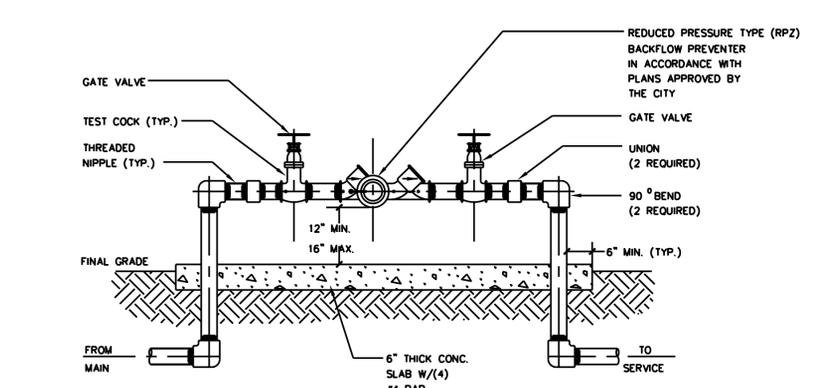
- NOTES:**
- THE CONTRACTOR SHALL CONTACT THE INSPECTOR FOR EXACT ASSEMBLY LENGTH AND HEIGHT ABOVE THE SLAB REQUIRED FOR THE FIRE LINE MASTER METER TO BE INSTALLED. ALL WIRE FITTINGS AND APPURTENANCES SHALL BE INSTALLED BY THE CONTRACTOR.
 - ALL PIPE LARGER THAN 2 INCH SHALL BE FLANGED DUCTILE IRON PIPE.
 - SENSUS METER REQUIRED.
 - 2" BYPASS METER SHALL BE CONSTRUCTED ON ALL MASTER METER ASSEMBLES THREE INCHES AND LARGER.

MASTER METER ASSEMBLY
N.T.S.



- NOTES:**
- THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 3.0 FEET.
 - DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
 - PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
 - INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATING AS SPECIFIED FOR VALVE VAULTS.
 - CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
 - COVER SHALL READ "WINTER GARDEN UTILITIES DIVISION AND "POTABLE WATER".
 - NO GALVANIZED PIPE/VALVES.

POTABLE WATER SYSTEM AIR RELEASE VALVE AND VAULT
N.T.S.



- NOTES:**
- ALL PIPE AND FITTINGS 2" AND SMALLER SHALL BE THREADED SCHEDULE 80 PVC. NO GALVANIZED PIPE WILL BE APPROVED.
 - ALL PIPE LARGER THAN 2" SHALL BE FLANGED DUCTILE IRON PIPE.
 - NO GALVANIZED PIPE ALLOWED.

BACKFLOW PREVENTER DETAIL
N.T.S.

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DATE	ITEM	NO.	DESCRIPTION
4/3/14 <td>1 <td>WATER SERVICE <td></td> </td></td>	1 <td>WATER SERVICE <td></td> </td>	WATER SERVICE <td></td>	
4/3/14 <td>2 <td>ARY DETAILS <td></td> </td></td>	2 <td>ARY DETAILS <td></td> </td>	ARY DETAILS <td></td>	

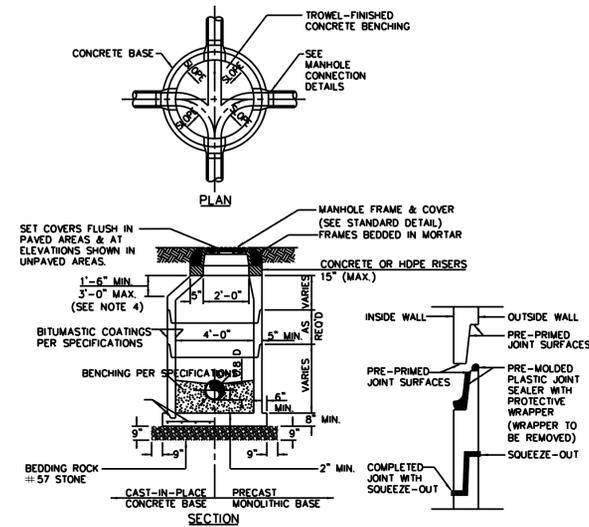
City of Winter Garden, Florida
STANDARDS AND SPECIFICATIONS
For Utilities Construction



STANDARD DETAILS FOR POTABLE WATER SYSTEMS

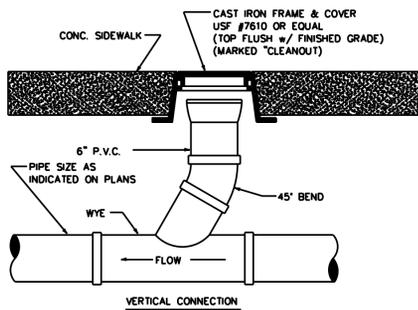
DATE
JANUARY 2008
SHEET

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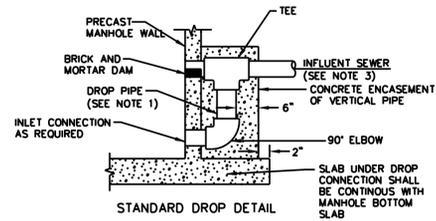


- NOTES:**
- DROP CONNECTIONS ARE REQUIRED WHENEVER INVERT OF INFLUENT SEWER IS 24" OR MORE ABOVE THE INVERT OF THE MANHOLE. SEE MANHOLE CONNECTION DETAILS. ALL DROPS TO BE OUTSIDE OF THE MANHOLE.
 - E-Z RAPP OUTSIDE ALL JOINTS
 - GROUT WITH NON-SHRINKING GROUT INSIDE JOINTS
 - NO CONES OVER 3 FT. TALL
 - ALL PRECAST CONCRETE SHALL BE COATED INSIDE AND OUTSIDE WITH COAL TAR EPOXY, MINIMUM 16 MIL DMT.

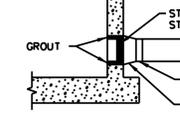
PRECAST CONCRETE SANITARY MANHOLE
N.T.S.



CLEAN OUT DETAIL FINISHED BUILDOUT (IN PAVED AREA)
N.T.S.



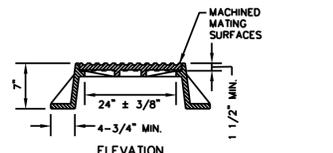
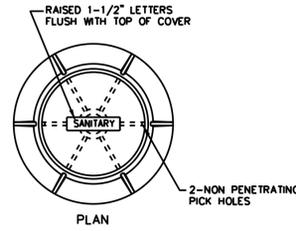
STANDARD DROP DETAIL



STANDARD PRECAST MANHOLE PIPE CONNECTION

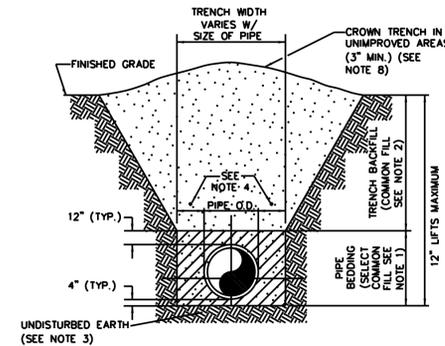
- NOTES:**
- DROP PIPE AND FITTINGS SHALL BE OF EQUAL SIZE AND MATERIAL AS THE INFLUENT SEWER.
 - AN OUTSIDE DROP CONNECTION SHALL BE REQUIRED FOR ALL INFLUENT WHICH HAVE AN INVERT 2' OR MORE ABOVE THEN MANHOLE INVERT.

SANITARY MANHOLE CONNECTION DETAILS
N.T.S.



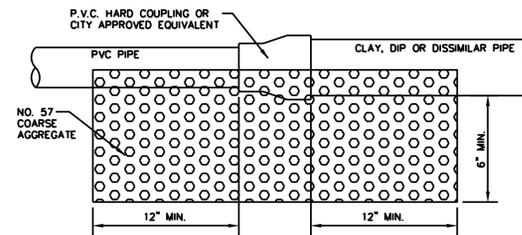
- NOTES:**
- MANHOLE FRAME & COVER SHALL BE 24" OPENINGS, USE #AS-225 AS MANUFACTURED BY U.S. FOUNDRY & MFG. CORP. OR APPROVED EQUAL
 - RAIN STOPPER LIDS OR RAIN GUARD LIDS (LFVHS) REQUIRED.

STANDARD MANHOLE FRAME AND COVER
N.T.S.



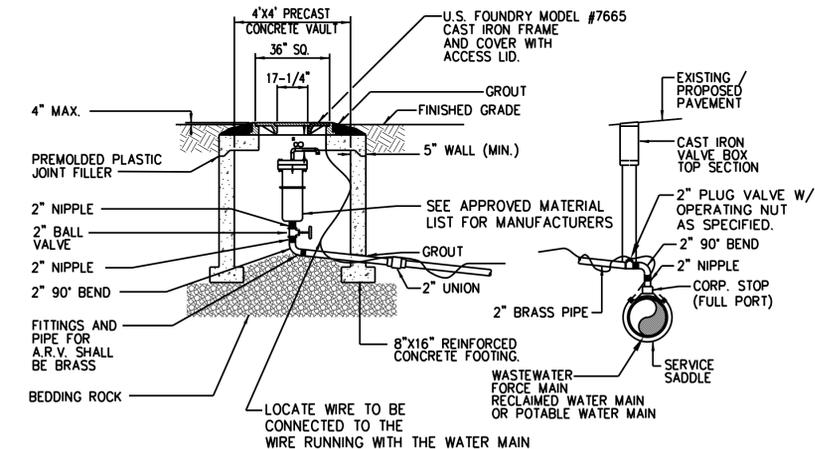
- NOTES:**
- PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
 - TRENCH BACKFILL: COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
 - PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING MAY BE REQUIRED AS DIRECTED BY THE CITY OF WINTER GARDEN.
 - (+) 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.
 - WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 - ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 - REFER TO SECTION 32.5 OF THE ORANGE COUNTY MANUAL OF STANDARDS AND SPECIFICATIONS FOR WASTEWATER AND WATER MAIN CONSTRUCTION FOR SHEETING AND BRACING IN EXCAVATIONS.
 - FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN CITY OF WINTER GARDEN RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

STANDARD BEDDING DETAIL
N.T.S.



- NOTE:**
- FIELD VERIFY MATERIALS OF EXISTING PIPES TO SELECT PROPER CONNECTOR.
 - HARBCO COUPLING OR APPROVED EQUIVALENT FOR ALL PIPE MATERIALS, UNLESS APPROVED IN WRITING BY THE CITY.

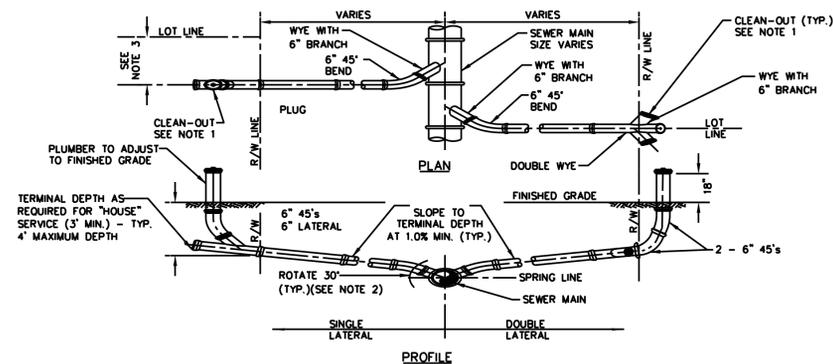
SEWER MAIN CONNECTION DETAIL
N.T.S.



- NOTES:**
- THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 4.0 FEET.
 - DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
 - PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
 - INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATING AS SPECIFIED FOR VALVE VAULTS.
 - CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
 - COVER SHALL READ "WINTER GARDEN UTILITIES DIVISION, "SEWER" RECLAIMED WATER OR POTABLE WATER".
 - NO GALVANIZED PIPE/VALVES.
 - LOCATE WIRE IN THE ARV VAULT SHALL BE SPLICED TO THE WIRE RUNNING WITH THE WATER MAIN AND EXCESS WIRE TO BE PLACED IN ARV VAULT. THE POINT OF CONNECTION AT THE MAIN SHALL HAVE A WATER PROOF CONNECTOR.

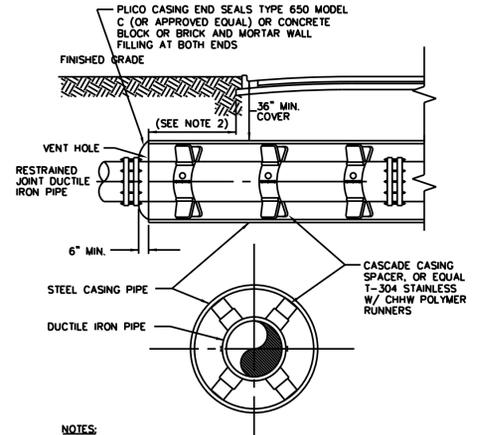
OFFSET TYPE AIR RELEASE VALVE ASSEMBLY

WINTER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEERS DOCUMENTS:
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- NOTES:**
- CLEANOUT SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH STANDARD PLUMBING CODE.
 - INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
 - WYES AND 45° BENDS SHALL BE PVC (SDR 26).
 - LOCATE SINGLE LATERAL AS CLOSE TO LOT LINE AS POSSIBLE, 25' MAXIMUM.

SANITARY SEWER SERVICE LATERAL DETAIL
N.T.S.

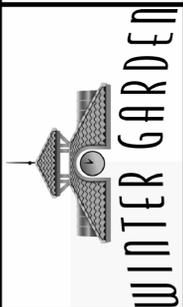


- NOTES:**
- WHERE PRACTICAL, CASING SHALL EXTEND 8' BEYOND EDGE OF PAYMENT AND SHALL NOT BE LESS THAN 6' BEYOND EDGE OF PAYMENT IN ANY CASE.
 - CASING SPACERS AND END SEALS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 - DESIGN ENGINEER TO DETERMINE NEED FOR SACRIFICIAL ANODE (S) FOR CORROSION CONTROL.

BORE AND JACK DETAIL
N.T.S.

DATE	ITEM
4/7/14 <td>SANITARY MANHOLE</td>	SANITARY MANHOLE
4/7/14 <td>OFFSET ARV DETAIL</td>	OFFSET ARV DETAIL

City of Winter Garden, Florida
STANDARDS AND SPECIFICATIONS
For Utilities Construction



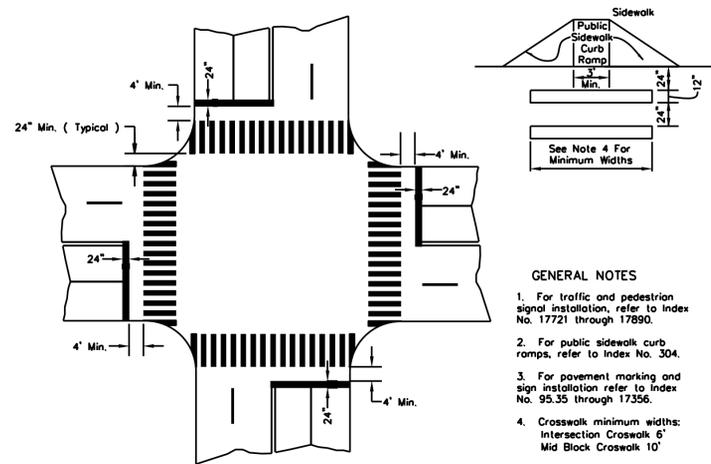
STANDARD DETAILS FOR WASTEWATER SYSTEMS

DATE
JANUARY 2008
SHEET

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GENERAL NOTES:

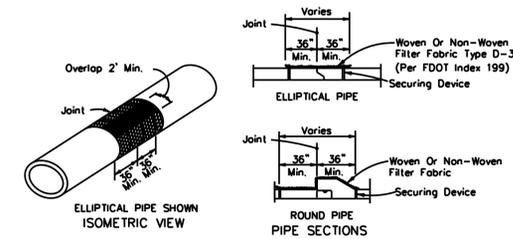
1. ALL NEW STORM AND SANITARY SEWER LINES IN THE CITY OF WINTER GARDEN SHALL BE SUBJECTED TO CLOSED CIRCUIT TV INSPECTION PRIOR TO BEING ACCEPTED BY THE CITY, WHETHER PRIVATE OR CITY MAINTAINED. ALL STORM SEWER PIPE SHALL BE REINSPECTED AT THE YEAR END, COST TO BE PAID BY THE OWNER.
2. PIPE MATERIAL SHALL BE AS SHOWN ON THE CONSTRUCTION PLANS UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
3. CONTRACTOR AND OWNER ARE RESPONSIBLE FOR ENSURING THAT ALL CITY, COUNTY, STATE (FDEP, FDOT, SJRWMD, ETC.), AND FEDERAL PERMITS HAVE BEEN ISSUED FOR THE PROJECT.
4. ALL STORM SYSTEM MUST BE WATER-TIGHT WITH ALL JOINTS WRAPPED.
5. STORM SYSTEM WILL BE CLEANED PRIOR TO BEING TV'D.
6. THE OWNER SHALL KEEP A COPY OF THE WATER MANAGEMENT DISTRICT PERMIT, NPDES, NOI AND SWPP PLAN IN A CONSPICUOUS LOCATION ON THE JOB SITE AT ALL TIMES.
7. ALL STORM SEWER MANHOLES FRAME & COVER SHALL BE ASTM 225.
8. CLEAN SAND SHALL CONSIST OF MATERIAL HAVING LESS THAN 5% PASSING THE #200 SIEVE.
9. ONLY CONCRETE RISER RINGS WILL BE ALLOWED TO BE PLACED FOR STORM MANHOLES. ALL RISER RINGS SHALL BE SEALED TO THE STRUCTURE USING WRAPID SEAL. NO MORE THAN 15" WILL BE ALLOWED.
10. STORM SEWER PIPES SHALL MEET ASTM C76 & ASTM C507.
11. ALL STORM SEWER STRUCTURE SECTIONS SHALL BE SEALED WITH WRAPID SEAL.



GENERAL NOTES

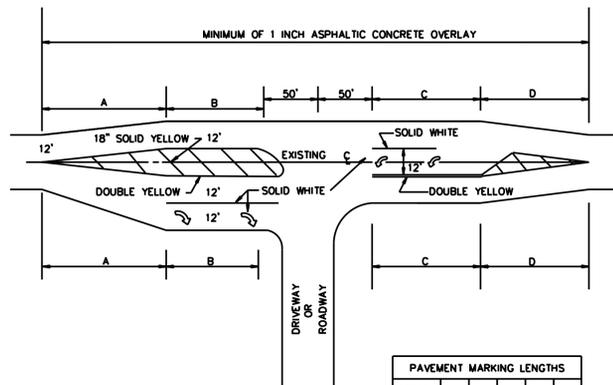
1. For traffic and pedestrian signal installation, refer to Index No. 17721 through 17890.
2. For public sidewalk curb ramps, refer to Index No. 304.
3. For pavement marking and sign installation refer to Index No. 95.35 through 17356.
4. Crosswalk minimum widths: Intersection Crosswalk 6' Mid Block Crosswalk 10'

**SPECIAL EMPHASIS CROSSWALK
SIGNALIZED OR STOP SIGN
CONTROLLED INTERSECTION
N.T.S.**



FOR ALL PIPE TYPES - CONCRETE PIPE SHOWN

**FILTER FABRIC JACKET
N.T.S.**

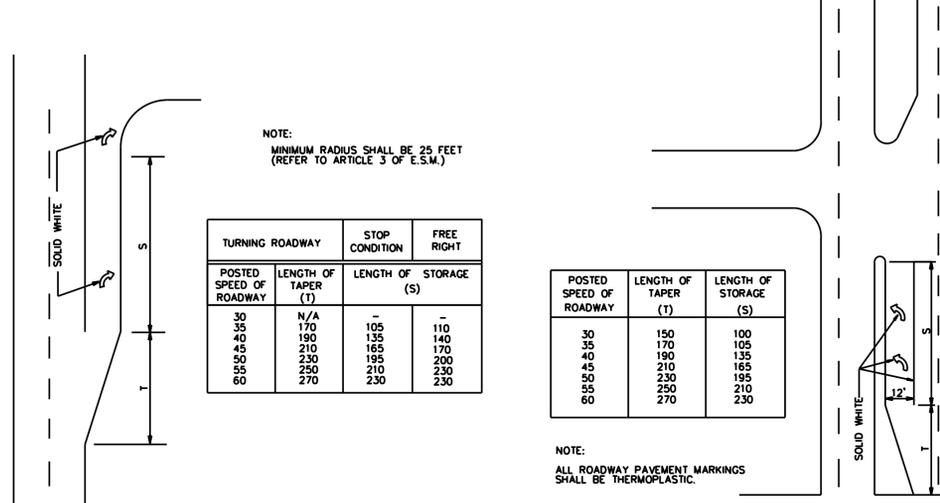


NOTES:

- 1) STRIPING ACCORDING TO F.D.O.T. STANDARD INDEX #17346B.
- 2) LANE WIDTHS TO MATCH EXISTING LANE WIDTHS.
- 3) MINIMUM RADIUS SHALL BE 25 FEET (REFER TO ARTICLE 3 OF E.S.M.)
- 4) ALL ROADWAY PAVEMENT MARKING SHALL BE THERMOPLASTIC.

SPEED	PAVEMENT MARKING LENGTHS			
	A	B	C	D
40 MPH	190'	110'	135'	190'
45 MPH	210'	140'	165'	210'
50 MPH	230'	170'	195'	230'
55 MPH	250'	200'	210'	250'

**TYPICAL INTERSECTION
N.T.S.**



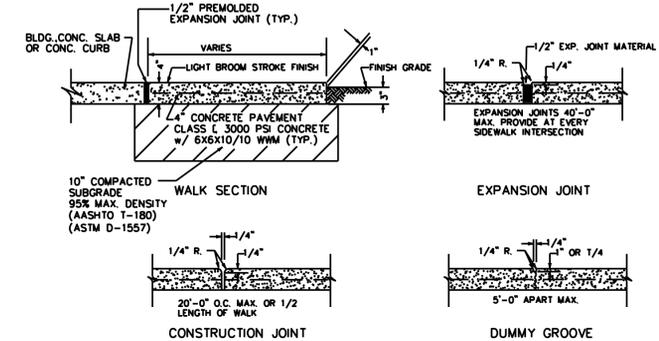
POSTED SPEED OF ROADWAY	LENGTH OF TAPER (T)	STOP CONDITION	
		TURNING ROADWAY	FREE RIGHT
30	N/A	-	110
35	170	105	140
40	190	135	170
45	210	165	200
50	230	195	230
55	250	210	230
60	270	230	230

POSTED SPEED OF ROADWAY	LENGTH OF TAPER (T)	LENGTH OF STORAGE (S)
35	170	105
40	190	135
45	210	165
50	230	195
55	250	210
60	270	230

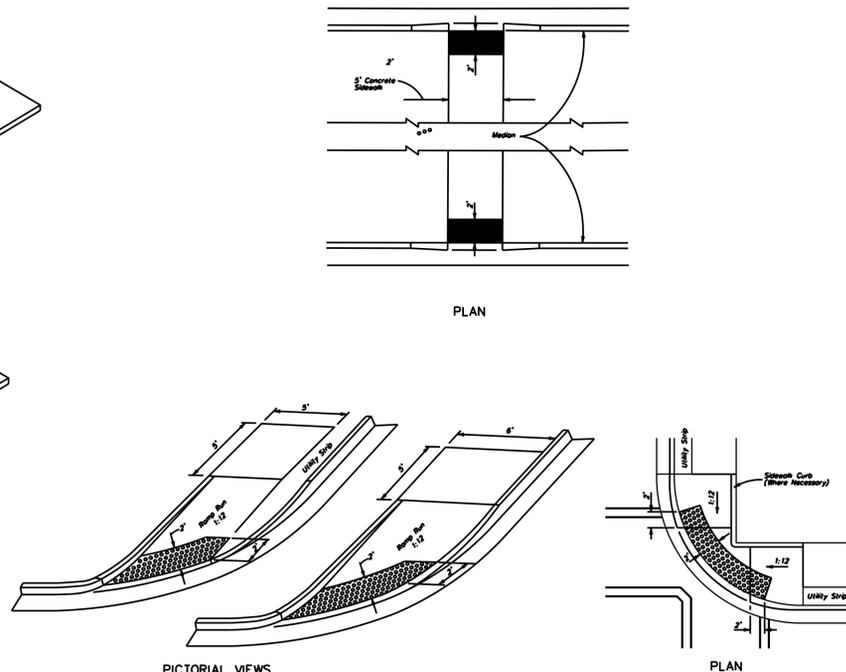
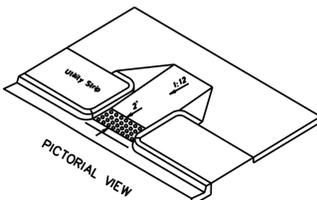
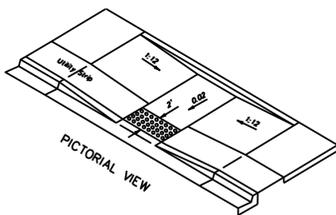
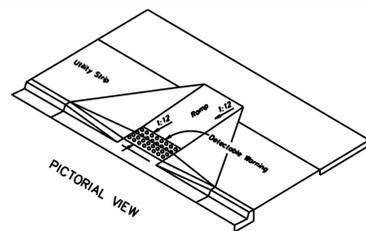
NOTE:
ALL ROADWAY PAVEMENT MARKINGS SHALL BE THERMOPLASTIC.

**RIGHT TURN
DECELERATION LANE
N.T.S.**

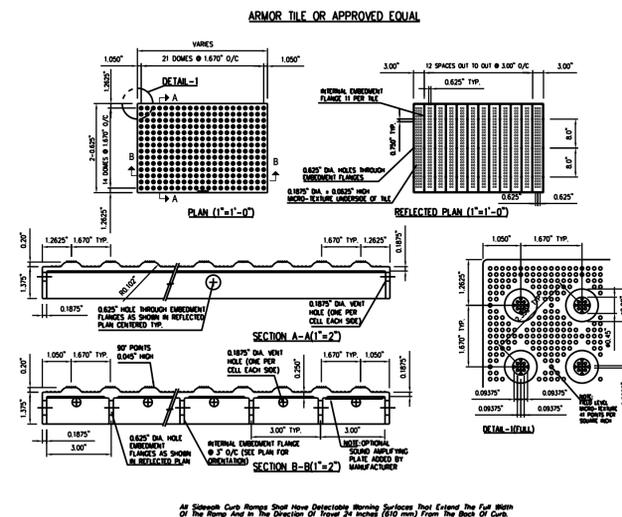
**LEFT TURN
STORAGE LANE
(DIVIDED HIGHWAY)
N.T.S.**



**SIDEWALK DETAILS
N.T.S.**



**TYPICAL PLACEMENT OF DETECTABLE WARNING ON CURB RAMP
N.T.S.**



NOTE:
1. CURB RAMP DETECTABLE WARNING TILE SHALL BE ARMOR TILE OR EQUAL.

**CURB RAMP DETECTABLE WARNING DETAIL
N.T.S.**



PLATE SHALL BE ADDED TO STORMWATER INLETS AS REQUIRED BY THE CITY.

DATE	ITEM	DETAIL
4/4/14 <td>1</td> <td>Deleted Underdrain</td>	1	Deleted Underdrain

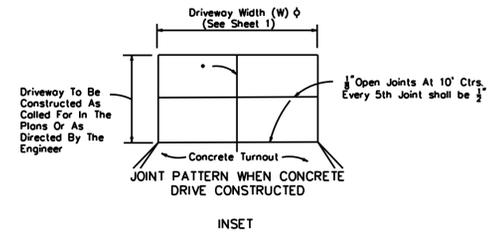
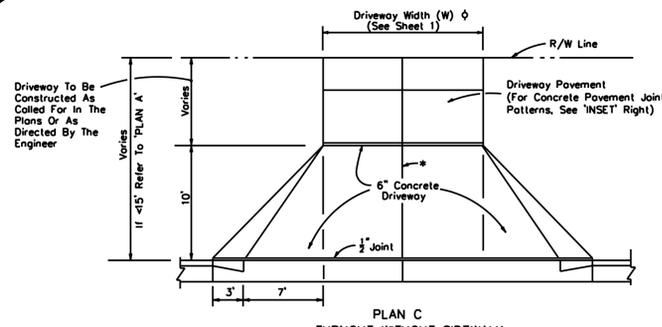
City of Winter Garden, Florida
STANDARDS AND SPECIFICATIONS
For Roadway & Drainage Construction



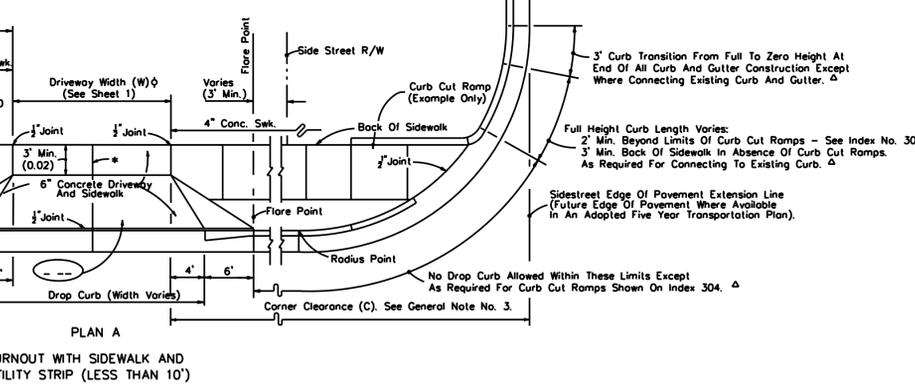
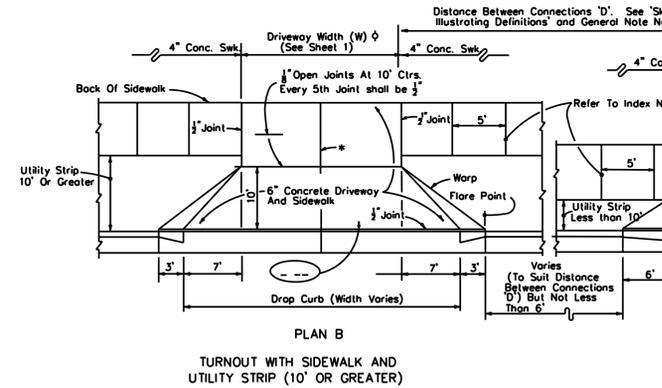
GENERAL NOTES
FOR
PUBLIC SERVICES

DATE
JANUARY 2008
SHEET

C8.3



Footnotes:
 All 1/2" joints shall be constructed with preformed joint filler.
 * 1/2" Open joints placed at equal (20' max.) intervals for driveways over 20' wide. Joints in curb and gutter to match joints in driveways.
 Δ When connecting to sidewalk curb and gutter sections, the no drop curb limits should extend back to the sidewalk radius point. With or without curb and gutter, no driveway should encroach on the corner radius.
 φ Driveways (6" concrete) shall be of a uniform width (W) to the right of way line.
 ○ Alpha-numeric identification of a flared driveway type specifically called for in the plans, see sheets 3 and 4.



SPECIAL NOTES FOR URBAN FLARED TURNOUTS

1. Driveway 6" concrete pavement and drop curb shall meet the material and construction requirements of Sections 522 and 520 respectively of the FDOT Standard Specifications. The driveway foundation shall meet the requirement of Subarticle 522-4.
2. For details of drop curb and curb cut ramps refer to indexes Nos. 300 and 304 respectively.
3. Where turnouts are constructed within existing curb and gutter, the existing curb and gutter shall be removed either to the nearest joint beyond the flare point or to the extent that no remaining section is less than 5 feet long; and, drop curb constructed in accordance with Notes Nos. 1 and 2.
4. Cost for preformed joint filler shall be included in the cost for the concrete pavement (concrete sidewalk, 6" thick).
5. For turnouts with radial returns see the requirements under the "Summary Of Geometric Requirements For Turnouts", the "General Notes", the details of "Rural Turnout Construction" and the detail of "Limits Of Clearing & Grubbing, Stabilization And Base At Intersections".
6. Department maintenance of pavement shall extend out to the right of way or 2 feet back of sidewalk, whichever distance is less.
7. The maintenance and operation of highway lighting, traffic signals, associated equipment, and other necessary devices shall be the responsibility of a public agency.
8. All pavement markings on the State highways, including acceleration and deceleration lane markings, and signing installed for the operation of the State highway shall be maintained by the Department.
9. All signing and marking installed for the operation of the connection (such as stop bars and stop signs for the connection) shall be the responsibility of the permittee.
10. Turnouts will be paid for under the contract unit price for Sidewalk Concrete (6" thick), SY.

DESIGN NOTES FOR URBAN FLARED TURNOUTS

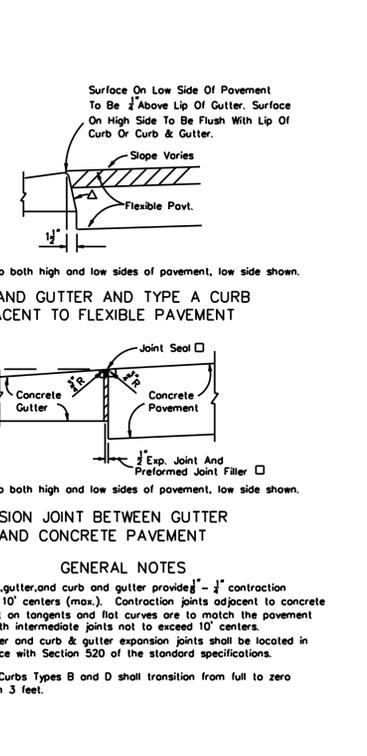
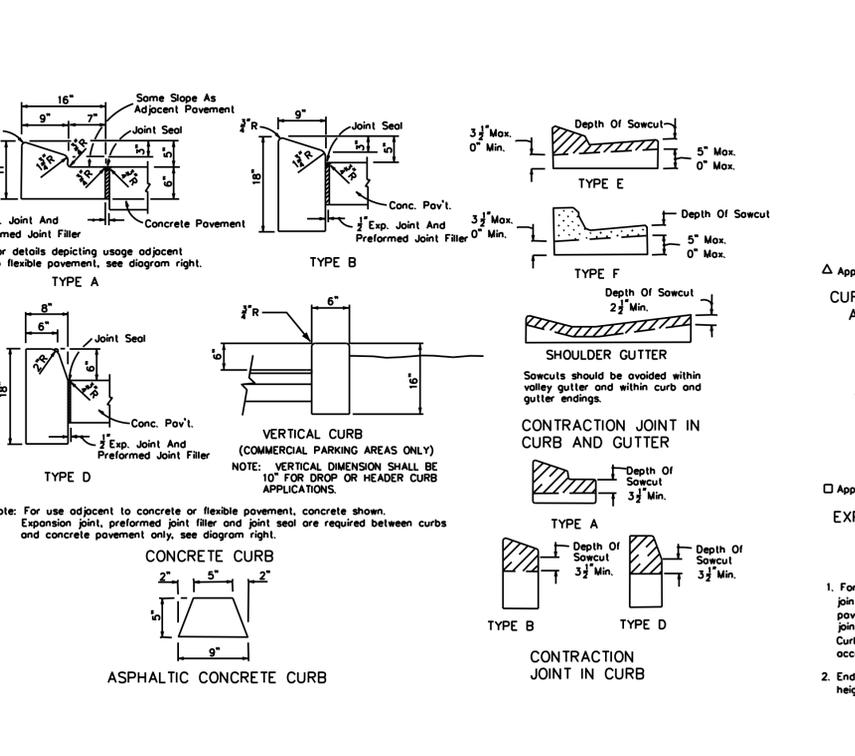
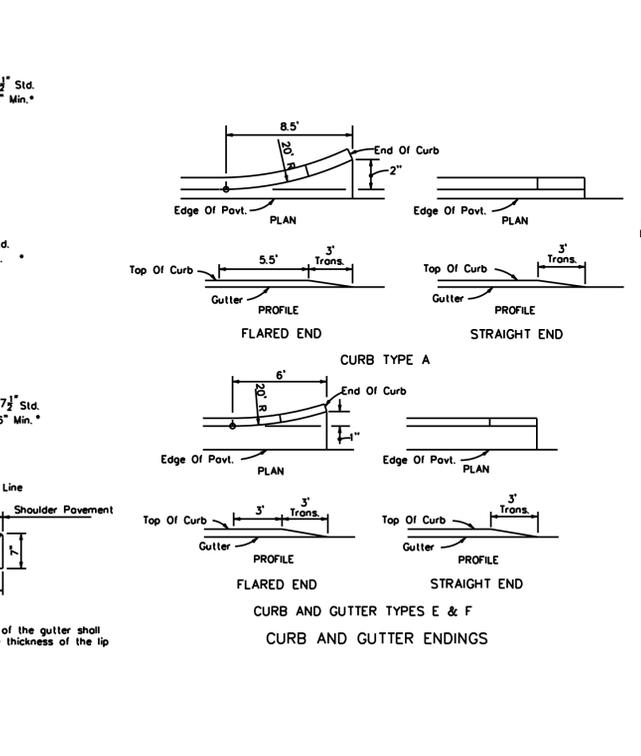
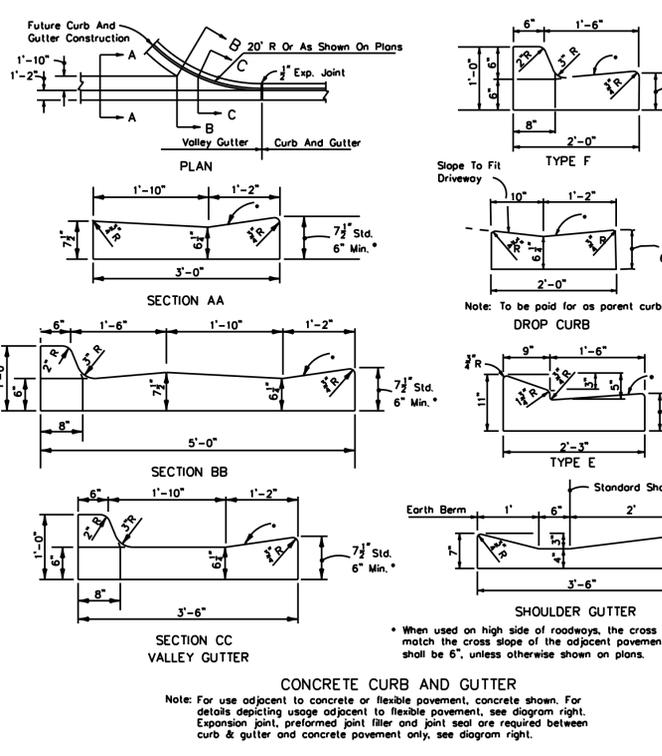
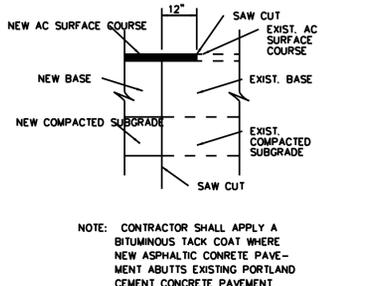
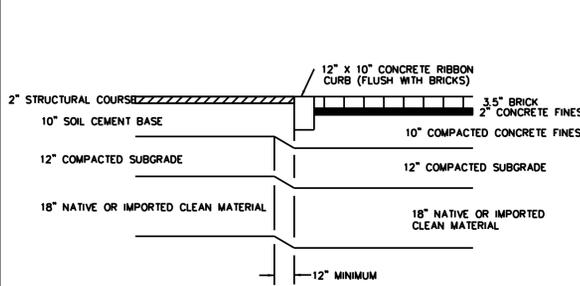
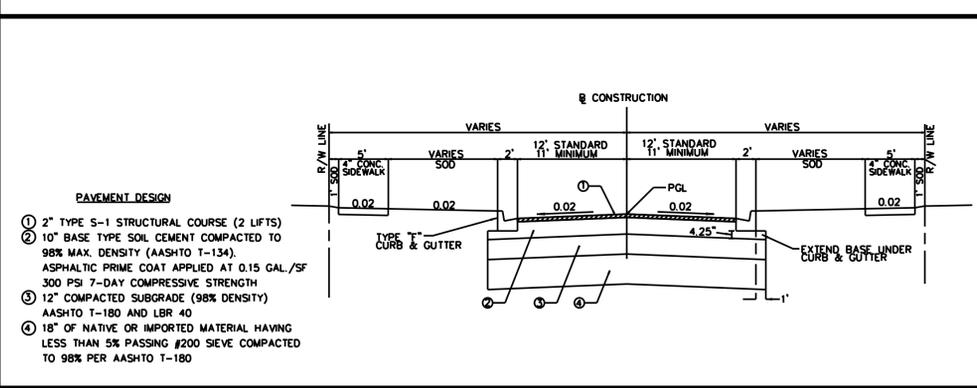
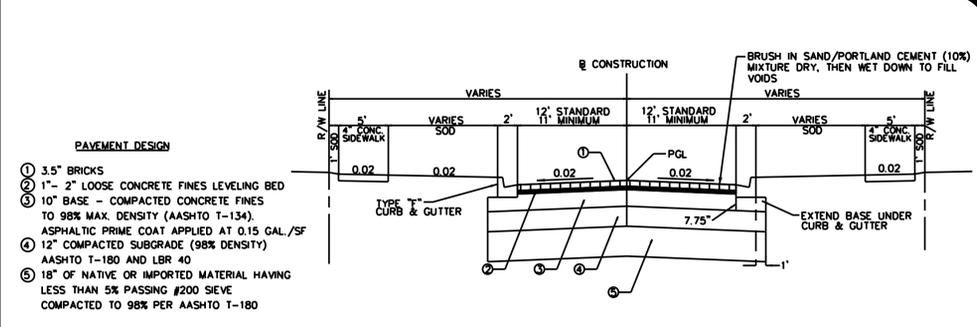
1. Driveways indicated as 'Adverse Applications' are those with slopes that can cause overhang drag for representative standard passenger vehicles under fully loaded conditions; or, those with slopes that can cause drivers who are leaving the roadway to slow or pause to the extent that traffic demand volumes will be impeded.
2. The standard flared driveways on this index may not accommodate vehicles with low beds, low undercarriage or low overhang features. Where such vehicles are design vehicles, driveways are to have site specific flare designs or Category designs.
3. When specific flare type driveways are to be constructed, the type shall be designated in the plans using the assigned alpha-numeric designation.

Driveways indicated as 'Marginal Applications' are those with slopes that can cause overhang drag for representative standard passenger vehicles under fully loaded conditions when the driveway is located on the low side of fully super-elevated roadways.

Driveways indicated as 'General Applications' are those with slopes that can readily accommodate representative standard passenger vehicles and those and those that can accommodate representative standard trucks, vans, buses and recreational vehicles operating under normal crown and super-elevation conditions.

Note: See sheet 1 for 'GENERAL NOTES'

URBAN FLARED TURNOUTS
 N.T.S.
 PER INDEX No. 515 OF THE F.D.O.T.
 ROADWAY AND TRAFFIC DESIGN STANDARDS



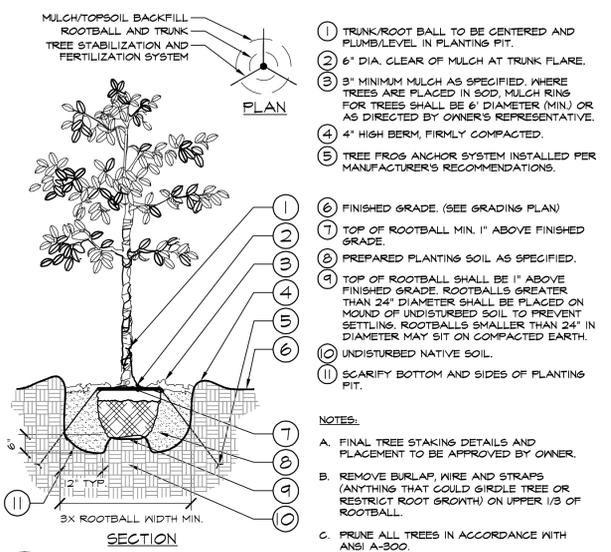
DATE	4/4/14
ITEM	Brick Typical Section
No.	1
OR	> 10 0 2 U

City of Winter Garden, Florida
 STANDARDS AND SPECIFICATIONS
 For Roadway & Drainage Construction

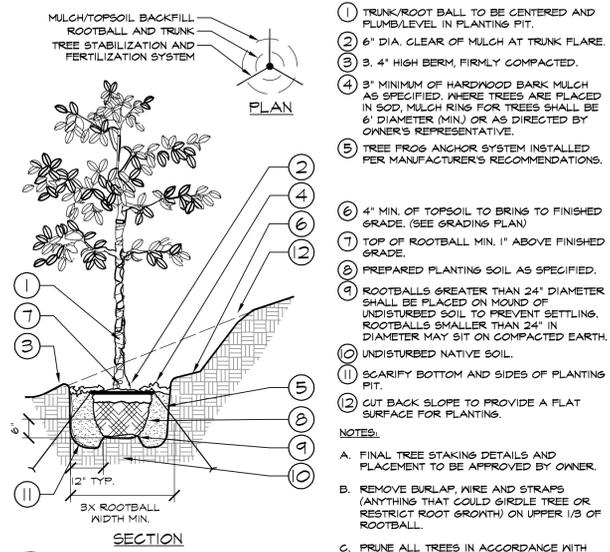


STANDARD DETAILS
 FOR
 PUBLIC SERVICES

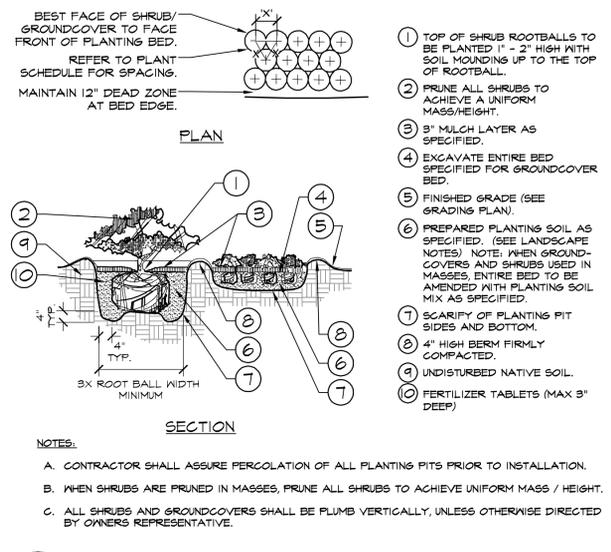
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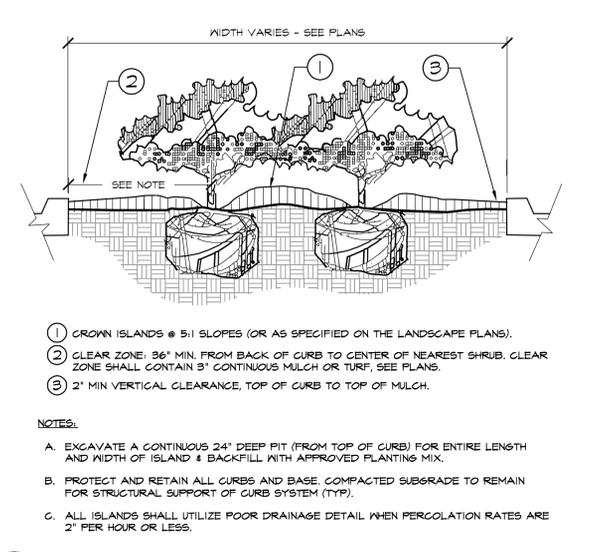
1 TREE PLANTING
SECTION / PLAN NTS



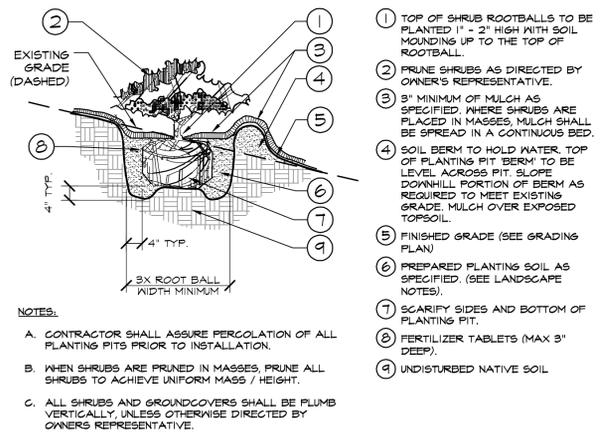
2 TREE PLANTING ON A SLOPE
SECTION / PLAN NTS



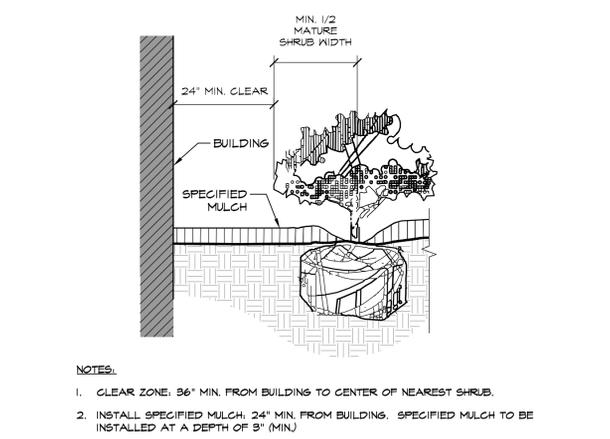
3 SHRUB/GROUNDCOVER PLANTING
SECTION / PLAN NTS



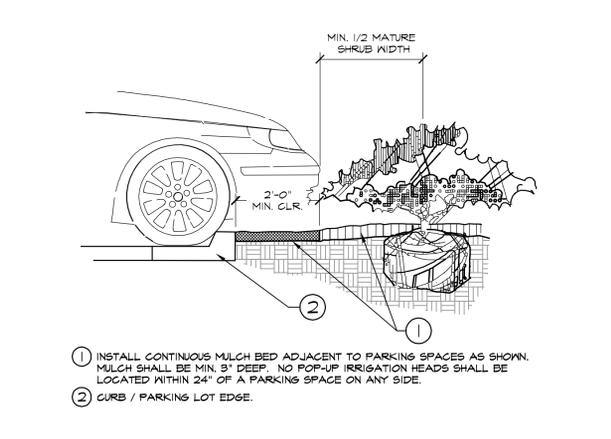
4 PLANTED PARKING LOT ISLANDS/MEDIANS
SECTION NTS



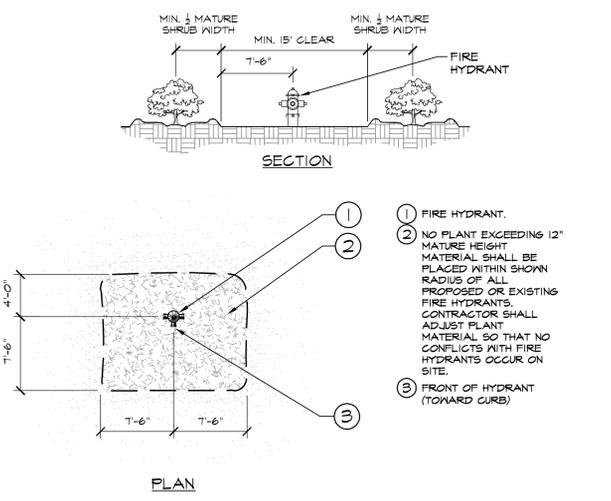
5 SHRUB/GROUNDCOVER PLANTING ON A SLOPE
SECTION NTS



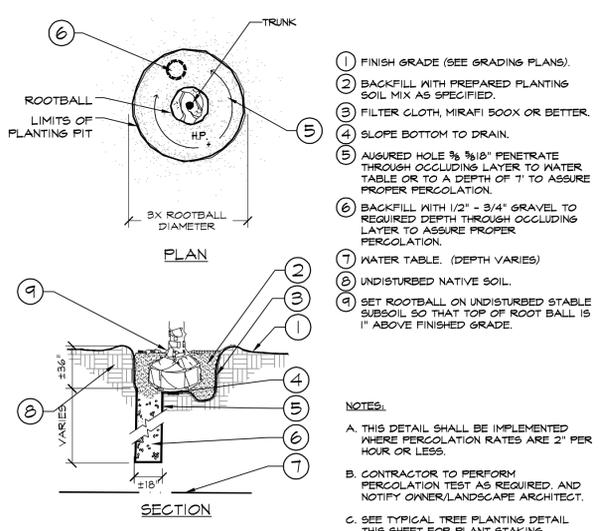
6 PLANTINGS ADJACENT TO BUILDINGS
SECTION NTS



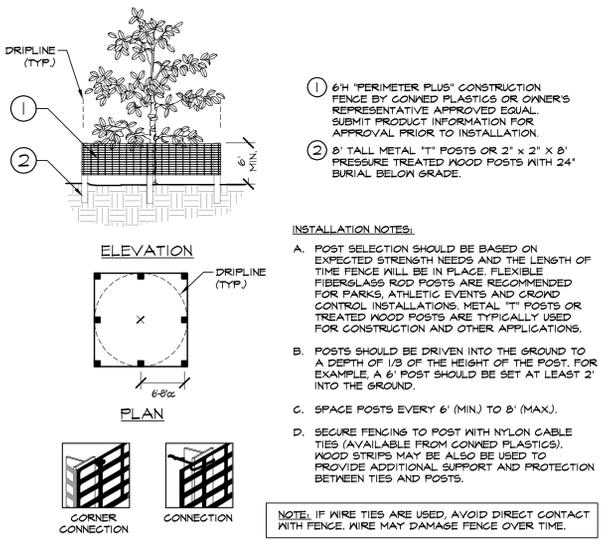
7 PARKING SPACE/CURB PLANTING
SECTION NTS



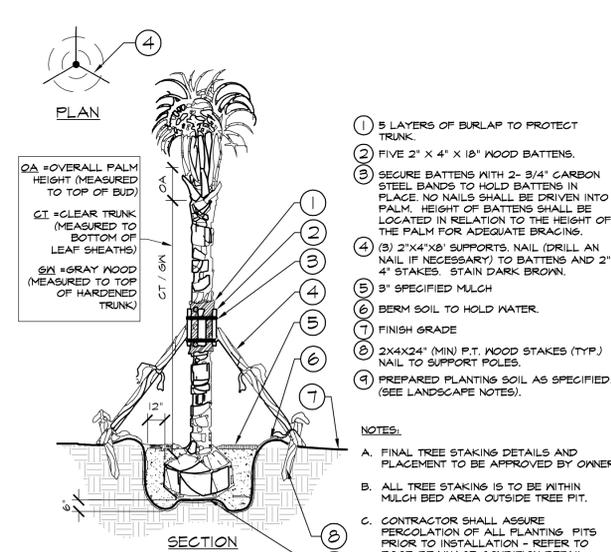
8 SHRUB PLANTING AT FIRE HYDRANT
SECTION / PLAN NTS



9 POOR DRAINAGE CONDITION
SECTION / PLAN NTS



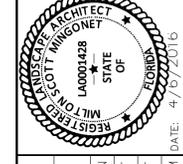
10 TREE PROTECTION FENCING
ELEVATION / PLAN NTS



11 PALM PLANTING
SECTION / PLAN NTS

NO.	REVISIONS	DATE

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 PHONE: 407-898-1511
 WWW.KIMLEY-HORN.COM CA 0000696



KHA PROJECT	149626000
DATE	04/05/2016
SCALE	AS SHOWN
DESIGNED BY	MTE
DRAWN BY	MTM
CHECKED BY	MSM
DATE	4/5/2016

LANDSCAPE DETAILS
 CITY OF WINTER GARDEN FLORIDA

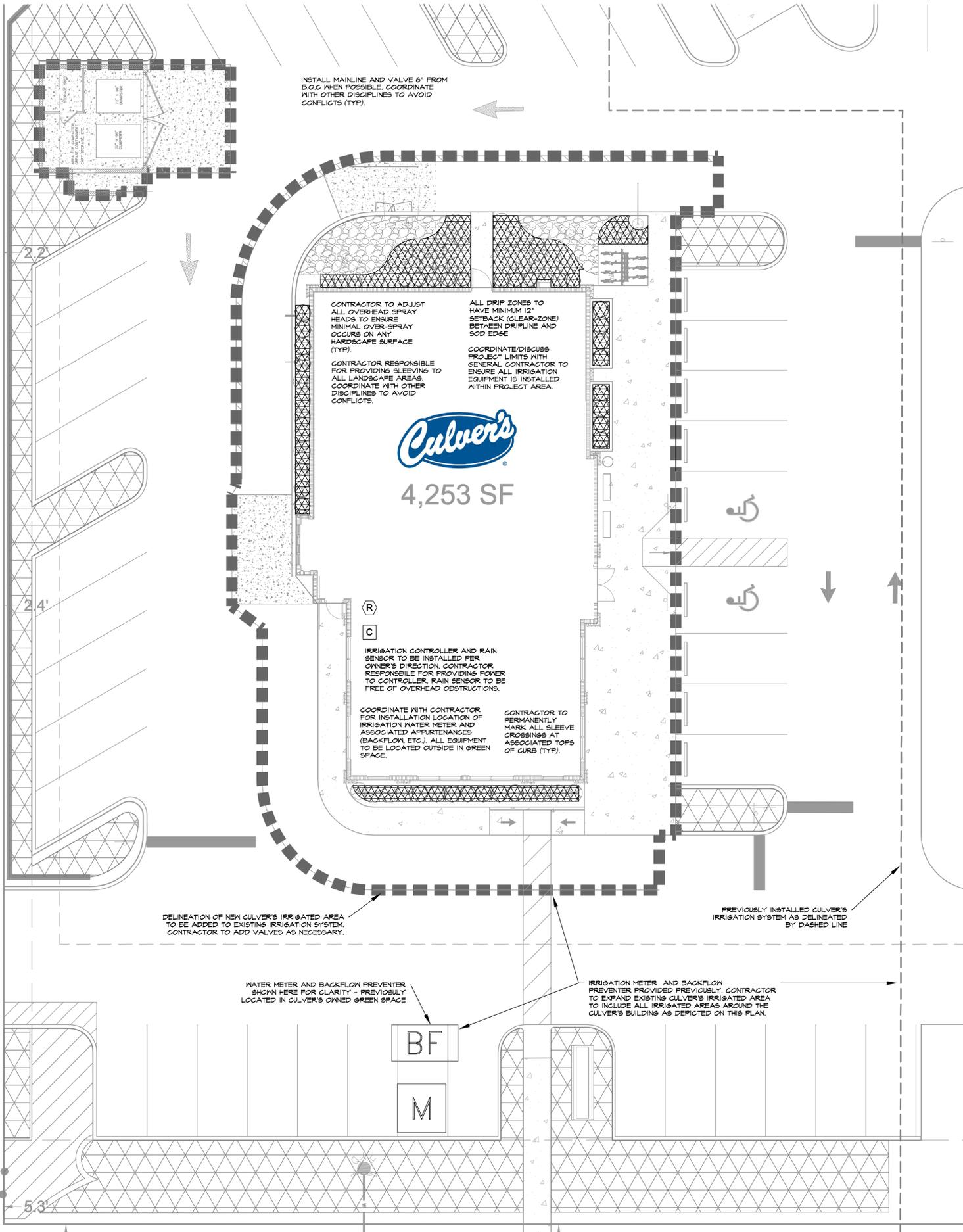
SHEET NUMBER
L2.0

Plotted By: Franko, Matt - Sheet Set: Culvers of Winter Garden - Layout: IRRIGATION PLAN - April 06, 2016 08:35:10am - K:\ORL_Civil\149710000-Culvers Winter Garden\CADD\CONSTR\PlanSheets\4.0-IRRIGATION PLAN.dwg
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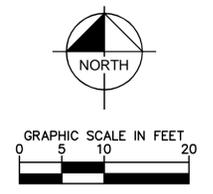
WEST LINE, ORB 10894, PG 4

175.01' MEAS

E/P



Culver's
4,253 SF



SCHEMATIC IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	QUANTITY
	LANDSCAPE PLANTING BEDS TO BE IRRIGATED BY SURFACE DRIP LINE. DRIP LINE TO BE 0.4 GPH EMITTERS WITH 18" EMITTER SPACING AND 16" ROW SPACING	+/- 633.5 SF
BF	BACKFLOW PREVENTER PER CITY DETAIL	EXST
M	WATER METER	EXST
R	WIRELESS RAIN SENSOR	1
C	AUTOMATIC CONTROLLER (HOUSED IN LOCKABLE, MOUNTABLE STRUCTURE) - COORDINATE FINAL LOCATION WITH OWNER	1

IRRIGATION SYSTEM DEMAND:

TOTAL IRRIGATED AREA: 0.045 ACRES

WEEKLY WATER APPLICATION: PEAK MONTH IS MAY AT 4.75 INCHES AVERAGE IRRIGATION REQUIREMENT PER MONTH. 4.75/31 DAYS PER MONTH = 0.15 INCHES PER DAY. 0.15 INCHES PER DAY x 7 DAYS PER WEEK = 1.05 INCHES PER WEEK REQUIRED

FORMULA: $Q = K \times A$

WHERE:
 Q = SPRINKLER SYSTEM CAPACITY IN GALLONS PER MINUTE
 A = TOTAL IRRIGATED AREA
 D = GROSS DEPTH OF APPLICATION IN INCHES
 F = NUMBER OF DAYS ALLOWED FOR ONE COMPLETION OF ONE IRRIGATION APPLICATION
 H = NUMBER OF HOURS THE SYSTEM IS OPERATED IN A DAY
 E = EFFICIENCY OF IRRIGATION SYSTEM (75%)

$K = 459 = 43560 \text{ SQ FT PER AC} \times 1.48 \text{ GALLONS PER CU. FT.} / 60 \text{ MIN PER HOUR} \times 12 \text{ IN PER FOOT}$

POINT OF CONNECTION: 2 DAY RUNTIME SCHEDULE

FORMULA = $Q = 0.045 \text{ AC} \times 1.05 \text{ IN} / 2 \text{ DAYS} \times 6 \text{ HRS.} \times 0.75 \text{ EFF}$

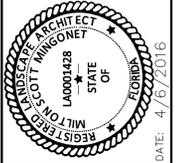
FORMULA = $Q = 459 \times 6 \text{ PM}$

FORMULA = $Q = 0.766 \text{ GPM}$

No.	REVISIONS	DATE	BY

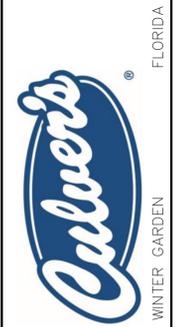
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 PHONE: 407-895-1511
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KHA PROJECT	149626000
DATE	04/05/2016
SCALE	AS SHOWN
DESIGNED BY	MTF
DRAWN BY	MTF
CHECKED BY	MSM
DATE	4/8/2016

IRRIGATION PLAN



CALL 48 HOURS BEFORE YOU DIG
 IT'S THE LAW! DIAL 811
 Know what's below. Call before you dig.
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

Plotted By: Franko, Matt - Sheet Set: Cultivars of Winter Garden - Layout: IRRIGATION NOTES - April 06, 2016 08:37:56am - K:\ORL_Civil\49710000-Cultivars Winter Garden\CADD\CONST\PlanSheets\L5.0-IRRIGATION NOTES.dwg
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1
 L5.0 TYPICAL SCHEMATIC IRRIGATION NOTES

IRRIGATION SYSTEM NOTES:

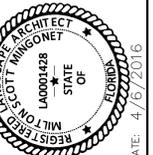
1. THE IRRIGATION MAINLINE LAYOUT IS DIAGRAMMATIC. ANY CHANGES MADE IN THE IRRIGATION MAINLINE DUE TO FIELD CONDITIONS OR CONTRACTOR'S SUBMITTED DESIGN SHALL BE IN ACCORDANCE WITH THESE STANDARDS.
2. SET SPRAY HEADS 6" AND ROTORS 12" IN FROM BACK OF CURB OR 24" IF PAVEMENT HAS NO CURB.
3. THE IRRIGATION MAINLINE LAYOUT IS DIAGRAMMATIC. ANY CHANGES MADE IN THE IRRIGATION MAINLINE DUE TO FIELD CONDITIONS OR CONTRACTOR'S SUBMITTED DESIGN SHALL BE IN ACCORDANCE WITH THESE STANDARDS.
4. IRRIGATION CONTRACTOR IS RESPONSIBLE FOR PERFORMING ALL NECESSARY MODIFICATIONS REQUIRED TO MEET THE SCHEMATIC INTENT OF THESE PLANS PRIOR TO SUBMITTING PROPOSAL. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE FOLLOWING BUT NOT LIMITED TO AVAILABLE FLOW, AVAILABLE PRESSURE, CONNECTION ASSEMBLY, CAPACITY OF THE SYSTEM.
5. CONTRACTOR TO PROVIDE NEW AUTOMATIC CONTROLLER FOR PROPOSED SYSTEM (NO BATTERY OPERATED CONTROLLERS ALLOWED). COORDINATE LOCATION WITH OWNER.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AUTOMATIC RAIN SENSOR. COORDINATE LOCATION W/ OWNER.
7. IRRIGATION SHALL NOT BE COMBINED ON A SINGLE ZONE AND SHALL BE ZONED ACCORDING TO IRRIGATION TYPE, PRECIPITATION RATE, AND THE SYSTEM'S AVAILABLE WATER / PRESSURE. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO OWNER FOR REVIEW PRIOR TO INSTALLATION.
8. VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. ALL UTILITIES AND STRUCTURES MAY NOT BE SHOWN ON THESE PLANS-CONTRACTOR SHALL FIELD VERIFY.
9. CONTRACTOR TO FIELD VERIFY ALL POINT OF CONNECTION SOURCE INFORMATION INCLUDING PSI AND GPM PRIOR TO CONSTRUCTION.
10. INSTALLATION OF WORK SHALL BE COORDINATED WITH OTHER CONTRACTORS IN SUCH A MANNER AS TO ALLOW FOR A SPEEDY AND ORDERLY COMPLETION OF ALL WORK ON-SITE.
11. CONTRACTOR SHALL COORDINATE WITH THE PLANTING PLAN FOR PLANTER BED AND TREE LOCATIONS TO ENSURE ALL PLANT MATERIAL IS COVERED BY 100% HEAD-TO-HEAD IRRIGATION.
12. CONTRACTOR SHALL PROVIDE "AS-BUILT" DRAWINGS OF THE FINAL INSTALLATION TO OWNER AT SUBSTANTIAL COMPLETION BEFORE RECEIVING FINAL PAYMENT.
13. PRODUCTS SHALL BE AS SPECIFIED OR APPROVED EQUAL.
 PRE-APPROVED MANUFACTURERS:
 1. TORO
 2. HUNTER
 3. RAINBIRD
14. IRRIGATION CONTRACTOR SHALL SECURE ANY AND ALL NECESSARY PERMITS FOR THE WORK PRIOR TO COMMENCEMENT OF HIS OPERATIONS ON-SITE. COPIES OF THE PERMITS SHALL BE SENT TO THE OWNER/GENERAL CONTRACTOR. WORK IN THE R.O.W. SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF LOCAL AND/OR STATE JURISDICTION.
15. LOCATE ALL IRRIGATION LINES WITHIN LANDSCAPED AREAS WHENEVER POSSIBLE. ALL LINES UNDER PAVEMENT MUST BE SLEEVED WITH SCH. 40 PVC 2x SIZE OF PIPE AND FREE OF STONES/DEBRIS. ALL VALVES SHALL BE LOCATED WITHIN LANDSCAPED AREAS.
16. MAINLINE SHALL NOT BE LOCATED WITHOUT PRIOR APPROVAL OF THE OWNER'S REPRESENTATIVE.
17. THE IRRIGATION CONTRACTOR SHALL BE DIRECTLY RESPONSIBLE FOR SLEEVEING AND DIRECTIONAL BORES.
18. ALL SLEEVES UTILIZED BY THE IRRIGATION CONTRACTOR WHETHER INSTALLED BY HIM OR NOT, SHALL BE LOCATED ON THE "AS-BUILT" DRAWINGS. THE DEPTH BELOW FINISH GRADE TO THE NEAREST FOOT OF EACH END OF THE SLEEVE SHALL BE NOTED AT EACH SLEEVE LOCATION ON THE "AS-BUILT" DRAWINGS. ALL SLEEVES ON PLAN FOR WALL PENETRATIONS AND UNDER SIDEWALKS SHALL BE SIZED TWO PIPE SIZES GREATER THAN THE PIPE IT CARRIES.
19. ALL PRESSURIZED MAINLINES AND LATERALS UNDER PAVEMENT SHALL BE WITHIN SCH. 40 PVC SLEEVES (2x LARGER THAN THE PIPE IT HOUSES). WHERE ELECTRIC OR HYDRAULIC VALVE CONTROL LINES PASS THROUGH A SLEEVE WITH OTHER MAIN OR LATERAL LINES THEY SHALL BE CONTAINED WITHIN A SEPARATE, SMALLER CONDUIT.
20. NUMBER THE TOP OF ALL VALVE BOX LIDS WITH MINIMUM 1" HEIGHT BLACK LETTERS TO CORRESPOND TO AUTOMATIC AND GATE VALVE DESIGNATIONS. ALL HOSE BIBB VALVE BOXES SHALL BE LABELED IN A SIMILAR MANNER WITH THE DESIGNATION "HB". LETTER OUTSIDE OF THE CLOCK CABINETS TO CORRESPOND WITH IRRIGATION CLOCK PROGRAM DESIGNATION.
21. THE IRRIGATION CONTRACTOR SHALL INSTALL A COLOR CODED METAL DETECTABLE MARKING TAPE WHICH CLEARLY NOTES: "CAUTION: IRRIGATION LINE BURIED BELOW." THE TAPE SHALL BE INSTALLED THE FULL LENGTH OF THE IRRIGATION MAINLINE.
22. ELECTRIC SERVICE TO THE CONTROLLER SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.
23. ALL 24 VAC WIRING FROM DECODER TO VALVE SHALL BE OF DIRECT BURIAL COPPER WIRE. MAXIMUM LENGTH OF WIRE FROM DECODER TO VALVE SHALL NOT EXCEED 400 FEET. AS FOLLOWS:
 CONTROL WIRES - #14
 COMMON WIRES - #14
24. ALL VALVES, SPLICES WITHIN CONTROL LINES, AND QUICK COUPLERS SHALL BE LOCATED WITHIN NDS VALVE BOXES AS FOLLOWS:
 -RECTANGULAR 12"X11" HEAVY DUTY BOX (PURPLE COVER FOR REUSE TO BE PROVIDED WHERE APPROPRIATE).
25. ALL IRRIGATION HEADS/DRIP TUBING SHALL BE LOCATED ONE (1) FOOT FROM BACK OF CURB WHEN NEXT TO A ROADWAY. (THIS SHALL NOT INCLUDE PARKING AREAS OR DRIVE AISLES).
26. HEADS, LATERALS, EMITTERS, AND VALVES ARE NOT SHOWN, BUT ARE NECESSARY FOR A FULLY FUNCTIONING IRRIGATION SYSTEM.
27. LOCATE ALL VALVES IN PLANTING BEDS WITH A MINIMUM OF 3'-0" FROM BACK OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED. PIPE SIZES ON EITHER SIDE OF SECTION VALVES CONNECTING MAINLINE TO SECTION LATERAL SHALL BE ONE (1) PIPE SIZE LARGER THAN VALVE SIZE. WHERE MAINLINES RUN PARALLEL TO PAVEMENT OR CURBS, THE MAINLINE SHALL BE OFFSET 2'-0" FROM THE EDGE OF PAVEMENT OR CURB.
28. IRRIGATION ZONES SHALL BE SEPARATED FOR HIGH AND LOW WATER USE REQUIREMENTS AND OPERATED ON DIFFERENT WATERING CYCLES. BUBBLERS, DRIPLINE, AND SPRAY HEADS SHALL BE SEPARATED ON DIFFERENT VALVES. AT NO TIME SHALL MULTIPLE IRRIGATION HEAD TYPES BE LOCATED ON THE SAME VALVE.
29. ALL DRIP ZONES SHALL BE INSTALLED WITH A FLUSH VALVE AND AIR RELIEF VALVE. IN THE EVENT THAT A DRIP ZONE HAS MORE THAN ONE HIGH OR LOW POINT, MORE THAN ONE AIR RELIEF VALVE OR FLUSH VALVE WILL BE REQUIRED FOR THAT ZONE. DRIPLINE SHALL PROVIDE 0.9 GPH EMITTERS, 18" O.C. WITH 18" LINE SPACING AT A MINIMUM.
30. ALL WIRING FOR CONNECTION OF THE VALVES TO THE CONTROLLER SHALL FOLLOW MANUFACTURERS SPECIFICATIONS. IF REQUIRED, ALL WIRING FOR A TWO WIRE PATH SHALL BE WITH RED/BLUE TWISTED PAIR 14 AWG. ELECTRIC CONTROL LINES FROM THE DECODER TO THE SOLENOID VALVES SHALL BE TWISTED PAIR 18 AWG. ALL DECODERS SHALL BE GROUNDED EVERY 1000 L.F. OR EVERY 10 DEVICES. ALL WIRE SHALL BE FURNISHED IN MINIMUM 2500' REELS AND SPLICING SHALL BE MINIMIZED. BURY SPLICE KIT. ALL 24 VOLT WIRING SHALL BE DONE IN ACCORDANCE WITH EXISTING CODES. SPLICING SHALL BE IN VALVE BOXES OR CONTROLLERS ONLY. IRRIGATION SYSTEM CONTROL SHALL BE TWO WIRE PATH. CONTRACTOR SHALL FOLLOW ALL MANUFACTURER'S REQUIREMENTS FOR THIS INSTALLATION. TWO WIRE SYSTEM SHALL HAVE 2-WAY COMMUNICATIONS FIELD PROGRAMMABILITY, STATION SPECIFICATIONS AND INTEGRATED SURGE PROTECTION.
31. ALL CONTROL WIRE SHALL BE INSTALLED IN A 1 1/2" ELECTRICAL CONDUIT.
32. SMALLEST DIAMETER LATERAL PIPE SHALL BE 3/4".
33. IRRIGATION SYSTEM SHALL BE CAPABLE OF SUPPLYING AN AVERAGE OF 1.05" OF WATER PER WEEK WITHIN WATERING RESTRICTIONS AS APPLICABLE.
34. IRRIGATION SYSTEM SHALL NOT BE INSTALLED THROUGH EXISTING, OR PRESERVED PLANT COMMUNITIES.
35. CONTRACTOR TO MINIMIZE IRRIGATION OVERTHROW TO IMPERVIOUS AND NATURAL AREAS THROUGH FIELD ADJUSTMENTS TO INDIVIDUAL HEADS.
36. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED BY THE CONTRACTOR TO THE CONDITION DENOTED ON THE LANDSCAPE PLAN.
37. IRRIGATION PIPING INSTALLED UNDER ROADS AND SIDEWALKS SHALL BE IN SCHEDULE 40 PVC SLEEVING AT 2X THE PIPE SIZE. ALL SLEEVING SHALL BE FREE OF STONES AND DEBRIS.
38. IRRIGATION SOURCE TO BE EITHER WELL OR NON-POTABLE WATER. IRRIGATION CONTRACTOR TO VERIFY SOURCE PRIOR TO DESIGN.
39. POINT OF CONNECTION TO BE DETERMINED BY OWNER. IRRIGATION SYSTEM CONNECTIONS TO THE COUNTY SERVICE SHALL COMPLY WITH ALL APPLICABLE CODES.
40. IRRIGATION CONNECTION MAY REQUIRE BACKFLOW PREVENTION, VERIFY WITH COUNTY.
41. IRRIGATION SYSTEM SHALL COMPLY WITH THE LOCAL JURISDICTION LAND DEVELOPMENT CODE.
42. IRRIGATION SYSTEM TO PROVIDE 100% FULL, HEAD-TO-HEAD COVERAGE OF ALL PLANT MATERIAL.
43. ALL IRRIGATION PRODUCTS ARE TO BE INDICATED FOR RECLAIMED USE (PURPLE IN COLOR) INTENDED FOR FUTURE CONNECTION TO RECLAIMED SOURCE.



CITY OF WINTER GARDEN FLORIDA

IRRIGATION NOTES

KHA PROJECT	149626000
DATE	04/05/2016
SCALE	AS SHOWN
DESIGNED BY	MTE
DRAWN BY	MTE
CHECKED BY	MSM
DATE:	4/8/2016



Kimley»Horn
 © 2016 KIMLEY-HORN AND ASSOCIATES, INC.
 3660 MAGUIRE BOULEVARD, SUITE 200, ORLANDO, FL 32803
 PHONE: 407-895-1511
 WWW.KIMLEY-HORN.COM CA 00000696

No.	REVISIONS	DATE	BY

SHEET NUMBER
L5.0

CULVER'S OF WINTER GARDEN, FL

Exterior Finish Selections – Sept. 2015

General Notes:

- The Exterior Finish Selection document is to be used in conjunction with the Floor Plan and Exterior Elevations.
- Anticipate 8-10 week lead times for all materials and finishes.
- CFSI does not guarantee the availability of selected products.
- It is the contractor's responsibility to coordinate the delivery and installation of all materials and finishes unless otherwise noted.
- It is the contractor's responsibility to review finish samples with the owner. Color, texture, and sheen is to be reviewed if applicable.
- It is the franchisee's responsibility to share this document with any pertinent consultants (e.g. Architect, Engineer, General Contractor, Subcontractor, etc.).
- No Dry Stacking of Manufactured Stone on Exterior or Interior
- When using Fiber Cement, installers are to seal cut edges

Project Lead:

Name: Ryan Kotila

Phone: 608.644.2677

Email: ryankotila@culvers.com

The project lead is the CFSI point of contact for this project. Any questions or items needing clarification can be answered by the project lead.

Example of EIFS & Fiber Cement Board



Example of all EIFS



Culver Franchising System, Inc.
1240 Water Street • Prairie du Sac, WI 53578 • Phone: 608.643.7980 • Fax: 608.643.7982

EXTERIOR MATERIAL OPTIONS: [SELECT 1 OF NEXT 4 COMBINATIONS]

The color ranges on this page are preselected to coordinate with the stone selected.

Manufactured Stone:



No dry stacking on the exterior or interior of the building
 Manufacturer: Boulder Creek
 Style: Prairie Bluff
 Color: Laner Newbury Blend
 Sill and Accessories: Antique tan

Pilaster & Cornice Material and Finish:



Manufacturer: Parex
 Style: Fine Sand Finish
 Location: Pilaster & Cornices
 Color: to match Sherwin Williams SW7509 Tiki Hut

Main Field Material Options:



Manufacturer: Parex
 Style: Fine Sand Finish
 Location: Main Field Color
 Color: to match Sherwin Williams SW7038 Tony Taupe



James Hardie – NOT USED
 Style: Hardieplank Lap Siding
 Color: Khaki Brown

AWNINGS:



- Baraboo Tent & Awning
Sunbrella
Solid Blue



- Baraboo Tent & Awning
Sunbrella
Striped

PARAPET:



- Una-Clad
Regal Blue



- Una-Clad
Medium Bronze

LIGHTING:



- Blue LED light around Perimeter
[Verify compliance with city]

- No Blue LED light around Perimeter

Gooseneck Exterior Lighting: Mfg: RAB Lighting



Standard color option:

5 Year Warranty on Finish and Parts

- White

Semi-Custom Option:

5 year warranty on finish and parts
Increased cost (verify with GC)
Increased lead time (verify with GC)

- Brown

Semi-Custom Option:

5 year warranty on finish and parts
Increased cost (verify with GC)
Increased lead time (verify with GC)

- Silver



Custom Option:

2 year warranty on finish
5 year warranty on parts
Increased cost (verify with GC)
Increased lead time (verify with GC)

- Hammered Bronze Interpon 600 JW415QF

For lighting information please contact:

Crescent Electric Supply Co. - Chris Crull – 608-289-4563 or
Christopher.crull@cesco.com

ATTENTION: All lighting must be purchased through Crescent Electric except blue LED perimeter lighting.

PATIO FURNITURE OPTIONS:

Wausau Tile:

For more information please contact: Wausau Tile – Wendi Fleming 1.866.482.7138 x338

Attention: Wausau tile will provide patio layouts if your architect or contractor provides a dimensioned patio.



- Powder coated aluminum w/ 100% recycled plastic slats
Moveable chairs and in-ground mounted tables
- Concrete table and bench in one
Select color from www.wausatile.com/culvers

Kettler:

For more information please contact:

Order and Shipping via Boelter – 1.855.726.6743, press 1 for equipment needs

Warranty Information – Steve Springer 1.757.589.9082

Attention:

- Kettler furniture is only recommend for patios shaded by pergolas, trees, or other structures.
- Kettler and Boelter will not provide patio layouts, please consult a local architect or landscape designer to develop a patio plan that includes table and chair quantities and to ensure your patio will meet ADA requirements for your location.
- Kettler furniture options are not compatible with umbrellas



Example of Monte Carlo chair

Culver Franchising System, Inc.
1240 Water Street • Prairie du Sac, WI 53578 • Phone: 608.643.7980 • Fax: 608.643.7982



Monte Carlo Arm Chair
style 303202-20



Monte Carlo Side Chair
style QH341720



Carlo Bar Stool
style QH360020



Reno Arm Chair
style QH36020



Reno Side Chair
style QH36820



Reno Bar Stool
style QH36920



40" Mesh Square ADA Table
style 101819-22



30" Mesh Round Table
style QH683022



32" Mesh Square Table
style QH683522



36" Mesh Square Bar Table
style QH313622

Umbrellas:

For more information please contact: Baraboo Tent and Awning – Dan School - 608.963.5349



Baraboo Tent and Awning

- Classic Umbrella
*To be used with Wausau Tile’s Concrete furniture or in-ground mounted tables ONLY, movable umbrellas are not allowed



Baraboo Tent and Awning

- Curved Umbrella
*To be used with Wausau Tile’s Concrete furniture or in-ground mounted tables ONLY, movable umbrellas are not allowed

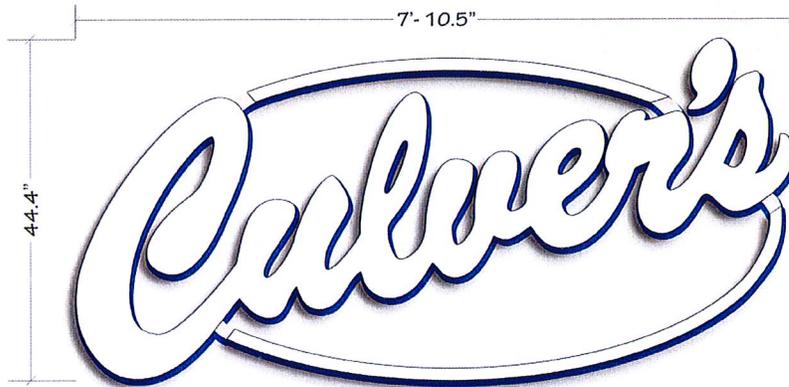
Patio Amenities:

Garbage cans, snuffers, and planters can be purchased through Wausau Tile. Visit their website for access to the catalogue for colors and pricing, www.wausautile.com/culvers.



WALL SIGNS

Illuminated White Script Channel Letters



SCALE: 1/2" = 1'

SL-30

SL-30

Illuminated White Script Channel Letters

DATE CREATED: 7.22.13

REVISION HISTORY:

1.13.15

1.14.15 LED LIGHTING

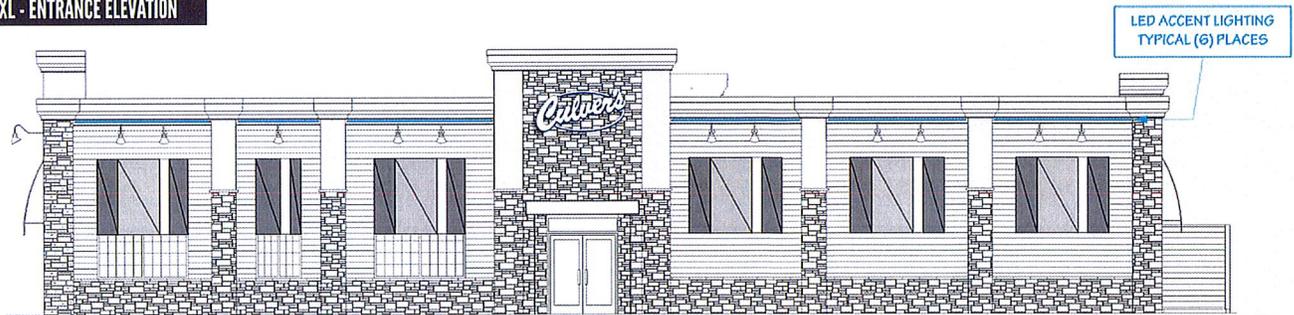
NOTES:

- Channel letter fabrication
- One piece back (saddle capped sections)
- LED internal illumination
- White faces, white light, blue returns.

METRO XL - FRONT ELEVATION



METRO XL - ENTRANCE ELEVATION



SCALE: 1/16" = 1'

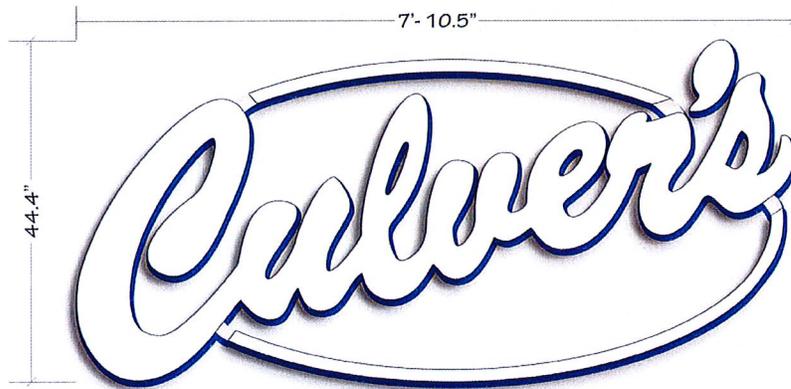
SL-30

TYPICAL PLACEMENT(6)



WALL SIGNS

Illuminated White Script Channel Letters



SCALE: 1/2" = 1'

SL-30

SL-30

Illuminated White Script Channel Letters

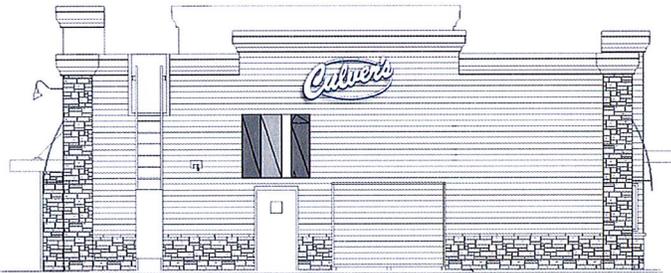
DATE CREATED: 7.22.13

REVISION HISTORY:
1.13.15

NOTES:

- Channel letter fabrication
- One piece back (saddle capped sections)
- LED internal illumination
- White faces, white light, blue returns.

METRO XL - REAR ELEVATION



METRO XL - DRIVE-THRU ELEVATION



SCALE: 1/16" = 1'

SL-30

TYPICAL PLACEMENT(S)

CITY OF WINTER GARDEN

Development Review Committee

300 West Plant Street - Winter Garden, Florida 34787-3011

(407) 656-4111 - FAX (407) 877-2363

MEMORANDUM

TO: STEVE PASH, COMMUNITY DEVELOPMENT MANAGER
FROM: DEVELOPMENT REVIEW COMMITTEE
DATE: MAY 23, 2016
SUBJECT: REVIEW OF SITE PLAN – CULVERS RESTAURANT
13501 WEST COLONIAL DRIVE (Staff Review)

Pursuant to your request, we have reviewed the revised site plan dated 4/29/16 for compliance with the City's stormwater and site requirements. This plan proposes one 4,253 s.f. fast food restaurant with associated parking, stormwater and utility improvements as an outparcel at the northwest corner of Dillard and SR 50 (farthest western site from Wawa). This was submitted in response to our comments dated 3/26/16 and DRC meeting of 3/30/16.

ENGINEERING

1. Planning Department shall review and comment on proposed use, parking count, setbacks, open space, landscaping, buffering, lighting and signage, including the SR 50 overlay and PD Zoning requirements.
2. All dumpsters shall be enclosed and shall provide 12' minimum inside clearance (each way inclusive of bollards). Coordinate with Public Services Solid Waste Division.
3. Previous utility impact fee credits were based on (3) 1" irrigation meters and (3) 2" potable meters and were included in the meters shown on this site plan.
4. Fire protection (i.e. sprinklers) requires approval from the Fire Department.
5. All improvements (parking, utilities, storm, etc.) are shown as existing; approval of this site plan is contingent on approval of the commercial/medical office site plan that is under separate review and shows the installation of these improvements.
6. Landscaping shall not encroach on required sight lines at intersections or driveways. Design Engineer shall provide certification that sight distance requirements are being met.
7. No trees may be planted over or within 5 feet of any utility lines. Only sod or shrubs may be planted over utility lines.
8. Permit from SJRWMD is required as well as permits or exemptions from FDEP for water, wastewater and NPDES.

Response indicates the St. Johns permit was included with the re-submittal, but was not in our package. Please provide.

9. On-site lighting will be required pursuant to City Code; dark skies lighting is required; provide photometrics plan for Planning Department review.

PLANNING

10. Traffic Impact Fees (Informational Item) – 4,253 square foot fast food restaurant with drive thru at \$58,351.00 per 1,000 square feet = \$248,166.80.
11. Deliveries – No deliveries can be done between 9:00 PM and 7:00 AM.
12. Parking – The minimum required parking for restaurants is 1 space per 4 seats and 1 space per 3 employees.

13. Elevations – The building shall be built using the option that includes siding and the solid color awning.
14. Lighting – All lighting shall meet dark sky requirements consistent with Chapter 118, Division 4 of the City Code.
15. Signs – All signs shall meet the requirements of Chapter 102 of the City Code and the PCD Ordinance.
16. No outdoor displays or storage is allowed on this property.
17. Landscaping – This property is located in the West State Road 50 Overlay and shall follow the requirements of the overlay as outlined in Chapter 118 of the City Code.
 - a. Minimum 10 foot wide landscaped area around the building consistent with Table 3.4.1. Shrubs and Ground Cover shall comprise at least 50% of the landscaped area. A 5 foot wide sidewalk may be in this buffer.
 - b. Minimum 5 foot wide landscape buffer is required between parcels. Please provide a 5 foot wide landscaped buffer on the east side consistent with Table 3.4.2.
 - i. 1 Canopy tree shall be provided every 50 linear feet. These trees shall be 3” caliper and 12’ tall.
 - ii. A 3 foot tall hedge shall be installed along the entire landscape tract. The hedge shall be 3’ tall at planting and planted 36 inches on center (Walters Viburnum is suggested to stay consistent with the City landscaping of the medians on State Road 50).
 - c. Parking Lot Landscaping:
 - i. 1 Canopy tree shall be provided on each island.

PUBLIC SERVICES

18. No comments at this time.

BUILDING

19. No comments at this time.

FIRE

20. No comments at this time.

STANDARD GENERAL CONDITIONS

21. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
22. All work shall conform to City of Winter Garden standards and specifications.
23. Fencing, if proposed, shall meet all City requirements for height, type, etc. Chain link fencing shall be vinyl coated per Code. All construction shall conform to City of Winter Garden Standards, Specifications and Ordinances.
24. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
25. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
26. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The applicant should note that if approval is granted, the City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional,

- county, municipal or other agencies that may have jurisdiction.
27. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of **2.25%** of the cost of all site improvements shall be paid prior to issuance of the building permit.

Additional comments may be generated at subsequent reviews.

Please review this information and contact our office if you have any questions. Thank you.

END OF MEMORANDUM

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Laura Zielonka, Finance Director
Via: Michael Bollhoefer, City Manager
Date: May 6, 2016 **Meeting Date:** May 26, 2016
Subject: Select Fiscal Year 2016/2017 Budget Hearing Dates.

Issue: The City Commission will not be able to hold the budget hearings on the regularly scheduled City Commission meeting dates due to conflicts with the Orange County Board of County Commission scheduled hearings.

The Florida Truth In Millage (TRIM) requires taxing authorities to:

- Hold the tentative budget hearing from Sep 3 to Sep 18.
- Hearings must take place Monday through Friday after 5:00 p.m. or any time on Saturday. Do not hold hearings on Sunday.
- No taxing authority, except multicounty/water management districts, can hold a hearing on the same day as a school district or county commission.

Below are the dates that are **UNAVAILABLE** for the budget hearings:

- Thursday, September 8, 2016 (OCBCC budget hearing)
- Tuesday, September 13, 2016 (OCPS budget hearing)
- Thursday, September 22, 2016 (OCBCC budget hearing)

Below are the best **AVAILABLE** dates for the City's Budget Hearings:

FIRST HEARING

Tuesday, Sep 6, 2016

Wednesday, Sep 7, 2016

Monday, Sep 12, 2016

Wednesday, Sep 14, 2016

Thursday, Sep 15, 2016

SECOND HEARING

Tuesday, Sep 20, 2016

Wednesday, Sep 21, 2016

Monday, Sep 26, 2016

Wednesday, Sep 28, 2016

Thursday, Sep 29, 2016

Recommended Action: Commission will need to select the dates for the 1st budget hearing and 2nd budget hearing from the above listed available dates.