



AGENDA
CITY COMMISSION
CITY HALL COMMISSION CHAMBERS
300 W. Plant Street

REGULAR MEETING

July 9, 2015

6:30 p.m.

CALL TO ORDER

Determination of a Quorum

Opening Invocation and Pledge of Allegiance

1. **APPROVAL OF MINUTES**

Regular Meeting of June 25, 2015

2. **FIRST READING AND PUBLIC HEARING OF PROPOSED ORDINANCES**

A. **Ordinance 15-55:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING APPROXIMATELY 7.15 ± ACRES OF CERTAIN REAL PROPERTY GENERALLY LOCATED ON THE NORTH SIDE OF ROPER ROAD, EAST OF WINTER GARDEN VINELAND ROAD AND WEST OF DANIELS ROAD, FROM CITY R-1 TO CITY PUD; PROVIDING FOR CERTAIN PUD REQUIREMENTS; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE (Serenades By Sonata PUD) **with the second reading and public hearing being held July 23, 2015** - Community Development Director Williams

B. **Ordinance 15-56:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING ARTICLE V, SECTION 98-121 OF CHAPTER 98 OF THE CODE OF ORDINANCES OF THE CITY OF WINTER GARDEN CONCERNING THE COMMUNITY REDEVELOPMENT AGENCY; PROVIDING FOR WAIVER OF THE TERM LIMITATIONS UPON MAJORITY VOTE OF THE CITY COMMISSION FOR MEMBERS OF THE BOARD OF COMMISSIONERS OF THE COMMUNITY REDEVELOPMENT AGENCY; PROVIDING FOR CODIFICATION; PROVIDING FOR SEVERABILITY, CODIFICATION, AND AN EFFECTIVE DATE **with the second reading and public hearing being held July 23, 2015** – City Manager Bollhoefer

3. **SECOND READING AND PUBLIC HEARING OF PROPOSED ORDINANCES**

A. **Ordinance 15-53:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING SECTIONS 38-123 THROUGH 38-150 OF CHAPTER 38 OF THE CODE OF ORDINANCES OF THE CITY OF WINTER GARDEN CONCERNING LITTERING; PROVIDING FOR REGULATIONS OF DOOR-TO-DOOR DISTRIBUTION OF LEAFLETS, PAMPHLETS, AND OTHER HANDBILLS; PROVIDING REGULATIONS OF DISTRIBUTION OF LEAFLETS, PAMPHLETS AND OTHER HANDBILLS UPON AUTOMOBILES AND OTHER VEHICLES; PROVIDING FOR REASONABLE REGULATION OF EXPRESSION AND SPEECH; PROVIDING FOR REGULATIONS NECESSARY TO MAINTAIN AESTHETICS OF THE CITY AND TO PREVENT THE ACCUMULATION OF LITTER AND THE AESTHETICS OF THE CITY BY PROVIDING A LEAST RESTRICTIVE MANNER OF SECURING EXPRESSIVE ITEMS; PROVIDING FOR EXEMPTIONS; PROVIDING FOR VARIANCES; PROVIDING FOR ENFORCEMENT; PROVIDING FOR CODIFICATION; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE – Community Development Director Williams

B. **Ordinance 15-54:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING SECTIONS 38-121 THROUGH 38-150 OF CHAPTER 38 OF THE CODE OF ORDINANCES OF THE CITY OF WINTER GARDEN CONCERNING LITTERING; PROVIDING FOR THE REGULATION OF COMMERCIAL HANDBILLING AND REQUIREMENTS FOR LICENSING FOR OFF-PREMISES COMMERCIAL HANDBILLING ON PUBLIC PROPERTY;

PROVIDING FOR THE DELETION OF SURPLUSAGE AND FOR RENUMBERING;
PROVIDING FOR CODIFICATION; PROVIDING FOR SEVERABILITY; AND
PROVIDING FOR AN EFFECTIVE DATE – Community Development Director
Williams

4. **REGULAR BUSINESS**

- A. Recommendation to approve Site Plan for 640 Garden Commerce Parkway (Barrier One) – Community Development Director Williams
- B. Recommendation to approve Final Plat for Black Lake Preserve – Community Development Director Williams
- C. Recommendation to approve Final Plat for Hickory Hammock Phase 1C – Community Development Director Williams
- D. Recommendation to approve awarding two CDBG Housing Rehabilitation contracts to the qualified low bidder Central Florida Renovations contingent upon receiving Site Specific Release from the Department of Economic Opportunity for 770 Klondike Street (*Annie Mullins*) and 754 Klondike Street (*Annie Noble*) – Economic Development Director Gerhartz
- E. Appointment to the Code Enforcement Board for unexpired term of resigning board member Harold Petch ending July 1, 2016 (*postponed 6/25/2015*) – City Clerk Golden

5. **MATTERS FROM PUBLIC** (*Limited to 3 minutes per speaker*)

6. **MATTERS FROM CITY ATTORNEY** – Kurt Ardaman

7. **MATTERS FROM CITY MANAGER** – Mike Bollhoefer
- A. Discussion on a resolution on moratorium on Plant Street

8. **MATTERS FROM MAYOR AND COMMISSIONERS**

ADJOURN to a Regular Meeting on July 23, 2015 at 6:30 p.m. in City Hall Commission Chambers, 300 W. Plant Street, 1st floor

NOTICES:

In accordance with Florida Statutes 286.0105, if any person decides to appeal any decision made by said body with respect to any matter considered at such meeting, he/she will need a record of the proceedings and, for that purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The City of Winter Garden does not prepare or provide such record.

Any opening invocation that is offered before the official start of the Commission meeting shall be the voluntary offering of a private person, to and for the benefit of the Commission. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the City Commission or the city staff, and the City is not allowed by law to endorse the religious or non-religious beliefs or views of such speaker. Persons in attendance at the City Commission meeting are invited to stand during the opening invocation and to stand and recite the Pledge of Allegiance. However, such invitation shall not be construed as a demand, order, or any other type of command. No person in attendance at the meeting shall be required to participate in any opening invocation that is offered or to participate in the Pledge of Allegiance. You may remain seated within the City Commission Chambers or exit the City Commission Chambers and return upon completion of the opening invocation and/or Pledge of Allegiance if you do not wish to participate in or witness the opening invocation and/or the recitation of the Pledge of Allegiance. (Reference Resolution 15-04)

	Those needing assistance to participate in any of these proceedings should contact the City Clerk's Office at least 48 hours in advance of the meeting (407) 656-4111 x2254.		Help for the hearing impaired is available through the Assistive Listening System. Receivers can be obtained at the meeting from the Information Technology Department (407) 656-4111 x5455.
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CITY OF WINTER GARDEN

CITY COMMISSION REGULAR MEETING MINUTES

June 25, 2015

A **REGULAR MEETING** of the Winter Garden City Commission was called to order by Mayor Rees at 6:30 p.m. at City Hall, 300 West Plant Street, Winter Garden, Florida. An Opening Invocation and Pledge of Allegiance were given.

Present: Mayor John Rees, Commissioners Bob Buchanan, Kent Makin, Robert Olszewski and Colin Sharman

Also Present: City Manager Mike Bollhoefer, City Attorney Kurt Ardaman, City Clerk Kathy Golden, Assistant City Manager - Public Services Don Cochran, Assistant City Manager - Administrative Services Frank Gilbert, Community Development Director Ed Williams, Economic Development Director Tanja Gerhartz, Finance Director Laura Zielonka, Fire Chief Matt McGrew, Police Chief George Brennan, and Recreation Director Jay Conn

1. **APPROVAL OF MINUTES**

Motion by Commissioner Sharman to approve the regular meeting minutes of June 11, 2015. Seconded by Commissioner Makin and carried unanimously 5-0.

2. **PRESENTATION**

Natalie Betancourt, owner of Shape up 4 Seniors, LLC, presented the City Commission with a plaque in appreciation of the support given to the Seniors Health Expo 2015 event at the Jessie Brock Center. She shared that she plans on repeating the event next year that will only get bigger and better.

3. **FIRST READING AND PUBLIC HEARING OF PROPOSED ORDINANCES**

A. **Ordinance 15-53:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING SECTIONS 38-123 THROUGH 38-150 OF CHAPTER 38 OF THE CODE OF ORDINANCES OF THE CITY OF WINTER GARDEN CONCERNING LITTERING; PROVIDING FOR REGULATIONS OF DOOR-TO-DOOR DISTRIBUTION OF LEAFLETS, PAMPHLETS, AND OTHER HANDBILLS; PROVIDING REGULATIONS OF DISTRIBUTION OF LEAFLETS, PAMPHLETS AND OTHER HANDBILLS UPON AUTOMOBILES AND OTHER VEHICLES; PROVIDING FOR REASONABLE REGULATION OF EXPRESSION AND SPEECH; PROVIDING FOR REGULATIONS NECESSARY TO MAINTAIN AESTHETICS OF THE CITY AND TO PREVENT THE ACCUMULATION OF LITTER AND THE AESTHETICS OF THE CITY BY PROVIDING A LEAST RESTRICTIVE MANNER OF SECURING EXPRESSIVE ITEMS; PROVIDING FOR EXEMPTIONS; PROVIDING FOR VARIANCES; PROVIDING FOR ENFORCEMENT; PROVIDING

FOR CODIFICATION; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE

City Attorney Ardaman read Ordinance 15-53 by title only. Mr. Ardaman noted that this ordinance is very close to the Altamonte Springs provisions. This is a mechanism for dealing with the primary concern of the casting of unwanted materials on private premises. It also deals with placement of items on automobiles. He informed that this ordinance would not be easy to enforce.

Mayor Rees explained that it is his understanding that a call would have to be made to whomever is distributing the material or the resident would place a sign in the yard stating (i.e. no trespassing, no soliciting, etc.) to have it stopped. Mr. Ardaman confirmed the understanding.

Commissioner Buchanan shared what he personally has done in the past in order to stop such distributions at his home. City Attorney Ardaman explained the process of homeowner communication with the distributor, whether by sign or calling. There was discussion that if the distributor continued, the City would then issue a warning and if still not stopped, the City would then pursue penalties under the ordinance.

Commissioner Olszewski gained clarity on the subject by invoking a hypothetical situation which was answered by City Attorney Ardaman. There was discussion and clarification on the use of such an ordinance and possible complications in its enforcement. Also discussed was the use of a single sign at the entrance of a multi-unit development and the need for case by case analysis.

Commissioner Olszewski addressed the issue of freedom of speech and its protection. Commissioner Olszewski confirmed with City Attorney Ardaman that his understanding of the Florida Supreme Court ruling is that political canvassing is not solicitation under the law. Mr. Ardaman expressed that with this issue of door to door solicitation the City has the authority to provide for what we have here with no distinction between political speech or other speech; it is all the same.

Mayor Rees opened the public hearing.

Sharon Lambert, 749 Stevelynn Circle, Winter Garden, Florida, stated that she brought this issue to the City Commission with her concern being the idea of protection of private property and not having to opt out. She feels that it should be an opt-in situation and shared her past experience with the Orlando Sentinel's use of a third party for their distributions. She expressed that the advertiser is not always the one actually in our community distributing the material. They are not looking at whose address doesn't want delivery. Third party deliverers are not easy to track down.

Commissioner Sharman shared that it will be possible to adjustment or update of the ordinance as needed.

Mayor Rees closed the public hearing.

Motion by Commissioner Makin to approve Ordinance 15-53 with the second reading and public hearing being scheduled for July 9, 2015. Seconded by Commissioner Sharman and carried 4-1; Commissioner Olszewski opposed.

- B. **Ordinance 15-54:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING SECTIONS 38-121 THROUGH 38-150 OF CHAPTER 38 OF THE CODE OF ORDINANCES OF THE CITY OF WINTER GARDEN CONCERNING LITTERING; PROVIDING FOR THE REGULATION OF COMMERCIAL HANDBILLING AND REQUIREMENTS FOR LICENSING FOR OFF-PREMISES COMMERCIAL HANDBILLING ON PUBLIC PROPERTY; PROVIDING FOR THE DELETION OF SURPLUSAGE AND FOR RENUMBERING; PROVIDING FOR CODIFICATION; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE

City Attorney Ardaman read Ordinance 15-54 by title only. Mr. Ardaman stated that the First Amendment attorney in his office reviewed this ordinance and suggested changes to make it consistent with the other ordinance. It also deals with the same kind of distributions but is primarily key to streets, alleys, parkways, parks and anything within the City.

Mayor Rees opened the public hearing; hearing and seeing none, he closed the public hearing.

Motion by Commissioner Buchanan to approve Ordinance 15-54 with the second reading and public hearing being scheduled for July 9, 2015. Seconded by Commissioner Makin and carried unanimously 5-0.

4. **SECOND READING AND PUBLIC HEARING OF PROPOSED ORDINANCES**

- A. **Ordinance 15-50:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING THE CITY OF WINTER GARDEN FISCAL YEAR 2014-2015 BUDGET; PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE

City Attorney Ardaman read Ordinance 15-50 by title and the following excerpt from Section 1 as follows:

REVENUES	
General Fund	\$997,701
Law Enforcement Trust Fund	21,353
Local Option Gas Tax Fund	55,906
Transportation Impact Fee-General Fund	1,955,548
Utility Operating Fund	1,170,553
Utility Impact Fee Fund	33,089
Utility Renewal and Replacement Fund	438,386
Stormwater Fund	660,658

Solid Waste Fund

108,665
\$5,441,859

Mr. Ardaman shared that the expenditures are itemized identically to the revenues for the same total.

Finance Director Zielonka stated that this ordinance amends the current year budget to account for all the changes that have happened since the approval of the original budget back in September. She stated that Exhibit 1 shows the details of the requested adjustments.

Mayor Rees asked for clarification on some of the adjusted items.

Commissioner Buchanan asked about the funds for the Tucker Ranch project to go along with the grant. Ms. Zielonka informed the Commissioner that it was included in the original budget.

Mayor Rees opened the public hearing; hearing and seeing none, he closed the public hearing.

Motion by Commissioner Buchanan to adopt Ordinance 15-50. Seconded by Commissioner Sharman and carried unanimously 5-0.

- B. **Ordinance 15-51**: AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING DIVISION 2, ARTICLE II, CHAPTER 42 OF THE WINTER GARDEN CITY CODE; PROVIDING FOR THE WAIVER OF ROAD IMPACT FEES IN THE HISTORIC DOWNTOWN DISTRICT AREA UNDER CERTAIN CIRCUMSTANCES; PROVIDING CRITERIA FOR SUCH WAIVERS; PROVIDING FOR AUTOMATIC REPEAL OF WAIVER PROVISION AFTER A SET PERIOD; PROVIDING FOR CODIFICATION; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE

City Attorney Ardaman read Ordinance 15-51 by title only. Community Development Director Williams stated that this is within the historic downtown area as identified on the comprehensive plan with a set boundary for that area. He noted that primary redevelopment is occurring and the City would like it to continue. This ordinance allows the City Commission, under certain circumstances, to negotiate a waiver or reduction in transportation and impact fees as an inducement for quality development. He noted that there may be circumstances where it may be appropriate to waive the entire fee or a portion of it. He expressed that many jurisdictions use this as a method of encouraging development and staff recommends approval.

Commissioner Buchanan asked if there would be criteria for the City Commission to follow in coming up with these different values. Mr. Williams responded yes and explained that it would be weighted criteria and gave an example.

Commissioner Makin asked if this impact fee reduction includes parking spaces. Mr. Williams responded no, that is a separate issue.

Mayor Rees opened the public hearing; hearing and seeing none, he closed the public hearing.

City Attorney Ardaman explained that if this ordinance is passed, it will expire after two years unless adjustments are made.

Motion by Commissioner Buchanan to adopt Ordinance 15-51. Seconded by Commissioner Makin and carried unanimously 5-0.

- C. **Ordinance 15-52:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 0.19 +/- ACRES OF LAND LOCATED AT 161 SOUTH BOYD STREET ON THE EAST SIDE OF SOUTH BOYD STREET NORTH OF WEST SMITH STREET AND SOUTH OF TREMAINE STREET, FROM R-2 (RESIDENTIAL DISTRICT) TO C-1 (CENTRAL COMMERCIAL DISTRICT); PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE

City Attorney Ardaman read Ordinance 15-52 by title only. Community Development Director Williams stated that this parcel of land is located just south of the old fire station. It currently contains a duplex that is in less than perfect repair. The property owner is looking to redevelop the property with office and commercial uses. The Planning and Zoning Board and staff have reviewed it and recommend approval of the rezoning.

Mayor Rees opened the public hearing; hearing and seeing none he closed the public hearing.

Motion by Commissioner Buchanan to adopt Ordinance 15-52. Seconded by Commissioner Sharman and carried unanimously 5-0.

5. PUBLIC HEARING MATTER

- A. Consider condemning property located at 160 East Plant Street, Winter Garden, Florida;
Owner: Winter Garden Gateway Corporation

Community Development Director Williams stated that the property owner has submitted the documentation the City requested regarding stabilization and structural integrity improvement of the building. He noted that architectural plans and a site plan have been submitted. Staff has not completed the architectural review with the Architectural Review and Historical Preservation Board which will be done before the second reading in July. In addition, staff is preparing a DRC type review of the site plan. The property owner has

met the submission dates. Staff has not completed the review and is asking the City Commission for postponement of this item until July 23, 2015 at 6:30 p.m.

There was discussion on the current condition of the building.

Motion by Commissioner Buchanan to POSTPONE the consideration of condemnation for property located at 160 East Plant Street, Winter Garden, Florida until July 23, 2015 at 6:30 p.m. Seconded by Commissioner Sharman and carried 4-1; Commissioner Makin opposed.

6. **REGULAR BUSINESS**

A. **Recommendation to approve the Police Department purchasing additional body-worn cameras and accessories for \$12,634 from Fiscal Year 2015 Justice Assistance Grant (JAG) funds, with public comment**

Police Chief Brennan stated that the fiscal year of 2015 local Edward Byrne Memorial Justice Assistance Grant Program has earmarked \$12,634 for use by the City of Winter Garden Police Department. He noted that staff is requesting to use some of those funds to purchase additional body-worn cameras for the officers.

There was discussion on the number of cameras needed to outfit an entire shift.

Mayor Rees asked about reimbursement if the City purchased the units themselves. It was noted that JAG will purchase the units with grant money but will not reimburse. Police Chief Brennan stated that he could look at purchasing additional body-worn cameras as part of his budget for next year, but it would not be a part of this process.

There was discussion regarding storage and retention of the cameras data.

Mayor Rees opened the matter to public comment.

James Hall, 375 Grove Court, Winter Garden, Florida, stated that in support of what Police Chief Brennan addressed, it is a lot more complex with camera video in potential evidentiary situations. If there is something caught on camera, it would not be in the best interest of the City to have this stored in the Cloud. He mentioned recent news of the Federal government being hacked and stated that it would be best to have this data stored in-house.

Mayor Rees closed the public hearing.

Motion by Commissioner Buchanan to approve the Police Department purchasing additional body-worn cameras and accessories for \$12,634 from fiscal year 2015 Justice Assistance Grant (JAG) funds. Seconded by Commissioner Makin and carried unanimously 5-0.

B. Recommendation to approve contributing \$5,000 towards playground equipment at the Winter Garden Little League field

City Manager Bollhoefer shared that the Little League has solicited funds from the Sports Authority and are using some of their own funds to purchase a playground by the Little League fields for the younger children to play while their families are there watching the games. They are requesting the City give them an additional \$5,000 to help pay for this playground. Mr. Bollhoefer noted that the Little League has done a wonderful job and the City tries to partner with them and help whenever possible.

Mayor Rees agreed that they have done a wonderful job and stated that the total cost is \$33,000. He suggested the City Commission go ahead and contribute \$7,000. Commissioner Sharman noted that the playground would be available for everyone to use when there are no games and would be a benefit for everyone.

Motion by Commissioner Sharman to approve contributing \$7,000 towards playground equipment at the Winter Garden Little League field. Seconded by Commissioner Makin and carried unanimously 5-0.

C. Appointments to the Code Enforcement Board for three-year terms for expiring seats held by Johnny Clark, Bruce Woloshin, and Joe Skubas, and fill the unexpired term of resigning board member Harold Petch ending July 1, 2016

City Clerk Golden stated that the list of names provided is for the positions that are expiring. There are three terms expiring and one resignation, for a total of four seats of the seven to be considered.

Commissioner Makin motioned to appointed Eric Rainville. Commissioner Buchanan seconded the motion. Motion carried unanimously 5-0. Commissioner Olszewski noted a correction to the list of members that Bruce Woloshin is a resident of District 3, not 1 as indicated.

City Manager Bollhoefer noted that both Johnny Clark and Bruce Woloshin have expressed their desire to stay on the Code Enforcement Board for another term.

Commissioner Makin hearing that the current members wished to retain their seats **WITHDREW** his motion to appoint Eric Rainville. **Motion by Commissioner Makin to reappoint Johnny Clark and Bruce Woloshin to the Code Enforcement Board and rescind his earlier motion of appointing Eric Rainville. Seconded by Commissioner Buchanan and carried unanimously 5-0.**

Motion by Commissioner Buchanan to appoint Ron Sikes to the Code Enforcement Board to replace Joe Skubas. Seconded by Commissioner Olszewski and carried unanimously 5-0.

Commissioner Sharman requested a postponement of his nomination for District 4 (Harold Petch's seat) until he has had a chance to speak with the applicants.

7. **MATTERS FROM PUBLIC**

Anthony Peterson, 194 Jean Street, Winter Garden, Florida, stated that each year he requests permission to hold an event called Unity in the Community. He explained that it is an event for children and their parents to better their mindset and is especially for the youth in East Winter Garden. He described the purpose of the event and shared some of its history, noting that this event has been successful in the past.

Commissioner Olszewski stated that he has attended the Unity in the Community event for the past five years and shared that he observed the community involvement. He applauds Mr. Peterson's efforts and his intent to better the lives of the children in East Winter Garden.

City Manager Bollhoefer stated that this request actually came to the City Commission last year and it was decided that Mr. Peterson would work with the local Economic Development group to help organize the event. Mr. Bollhoefer asked Mr. Peterson if he had met with this group and if they agreed to work with him on the event. Mr. Peterson explained that he was sent to Pastor Snell and some others. He explained that he was told by the City Manager that this event did not have enough community support and that it required a petition. He noted that he had petitions signed and it still was not allowed. City Manager Bollhoefer asked if he had met with the board. Mr. Peterson responded no, because the denial came from the City Manager, not the board (Commission).

Mr. Bollhoefer stated that at the last event held in the City of Winter Garden there were three shootings; one of which was into a sheriff's car. Mr. Bollhoefer suggested that the City put on the event and have it be held for the locals. He noted past issues were because of a lot of the people coming from outside [*Winter Garden*] and getting out of control. He expressed that staff would like the City to host the Unity in the Community event, put up the funds, work together, and bring in the speakers.

Mayor Rees asked Mr. Peterson if he could get with staff and work with the City, we would be happy to help put on this event.

Mr. Peterson announced that the event would be August 25, 2015 at 1:00 p.m. which is a week before school starts.

David Kassander, 15155 Ovation Drive, Winter Garden, Florida, asked for an update on the Avalon/Tilden traffic light. Mr. Bollhoefer stated that he believes the City is within two to three weeks of getting that light up and noted that it is a long process. He explained that the road needed to be redesigned to add an extra lane. There was discussion on the delay. He will give Mr. Kassander the date when he has it.

8. **MATTERS FROM CITY ATTORNEY** – There were no items.

9. **MATTERS FROM CITY MANAGER**

A. City Manager Bollhoefer announced that the City offices will be closed on Friday, July 3rd in observance of the 4th of July holiday.

10. **MATTERS FROM MAYOR AND COMMISSIONERS**

Commissioner Makin addressed the green poles near the event signage on Daniels Road just past Daniels Landing near the townhomes. Mr. Bollhoefer stated that they are in the process of being replaced.

Commissioner Buchanan asked if there is a board reviewing downtown to be sure things did not get worn out before being replaced, such as canopies. City Manager Bollhoefer responded yes, there is the Code Enforcement Board. He briefed the Commission that the City is going through three phases. Phase one is going after the worst offenders first, phase two would be the secondary offenders such as awnings, and the third would be the small cases. Mr. Bollhoefer noted that this is a minimum maintenance ordinance.

Commissioner Makin asked that the downtown post office parking area be reviewed. He noted that people cannot get in to check their mail on Saturdays due to the Farmer's Market, and everything else going on that is taking up too much area. It was also discussed that some people park there for hours to go on the bike trail.

There was discussion that some of the spaces be marked "15 minutes only" with City Manager Bollhoefer stating it would be implemented for a few spaces.

Commissioner Olszewski addressed an email sent by Orange County Commissioner Scott Boyd stating that the Windermere and Roberson Road project has been delayed. He asked if this was correct as he thought that this project was to be taken over by the City of Winter Garden. Mr. Bollhoefer responded that the last he spoke with Orange County Commissioner Boyd two weeks ago and he was told there were going to be a few minor changes. He explained some of the discussions.

Commissioner Sharman shared that he meets regularly with the City Manager, and the Windermere and Roberson Road intersection is his number one agenda item. The temporary signal was approved at the last meeting. The finalization will be back to the City Commission. He is anxious to get the intersection done.

Commissioner Sharman thanked Commissioner Olszewski for setting up the event with the Governor at Main Street Mowers.

Mayor Rees invited everyone to attend the July 4th events.

The meeting adjourned at 7:33 p.m.

APPROVED:

Mayor John Rees

ATTEST:

City Clerk Kathy Golden, CMC

DRAFT

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Ed Williams, Community Development Director

Via: City Manager Mike Bollhoefer

Date: July 1, 2015

Meeting Date: July 9, 2015

Subject: Ordinance 15-55
Sonata West Orange Campus PUD

Issue: The applicant is requesting a Rezoning from R-1 to PUD to allow construction of a 114 unit Assisted/Independent Living Facility at 420 Roper Road.

Discussion:

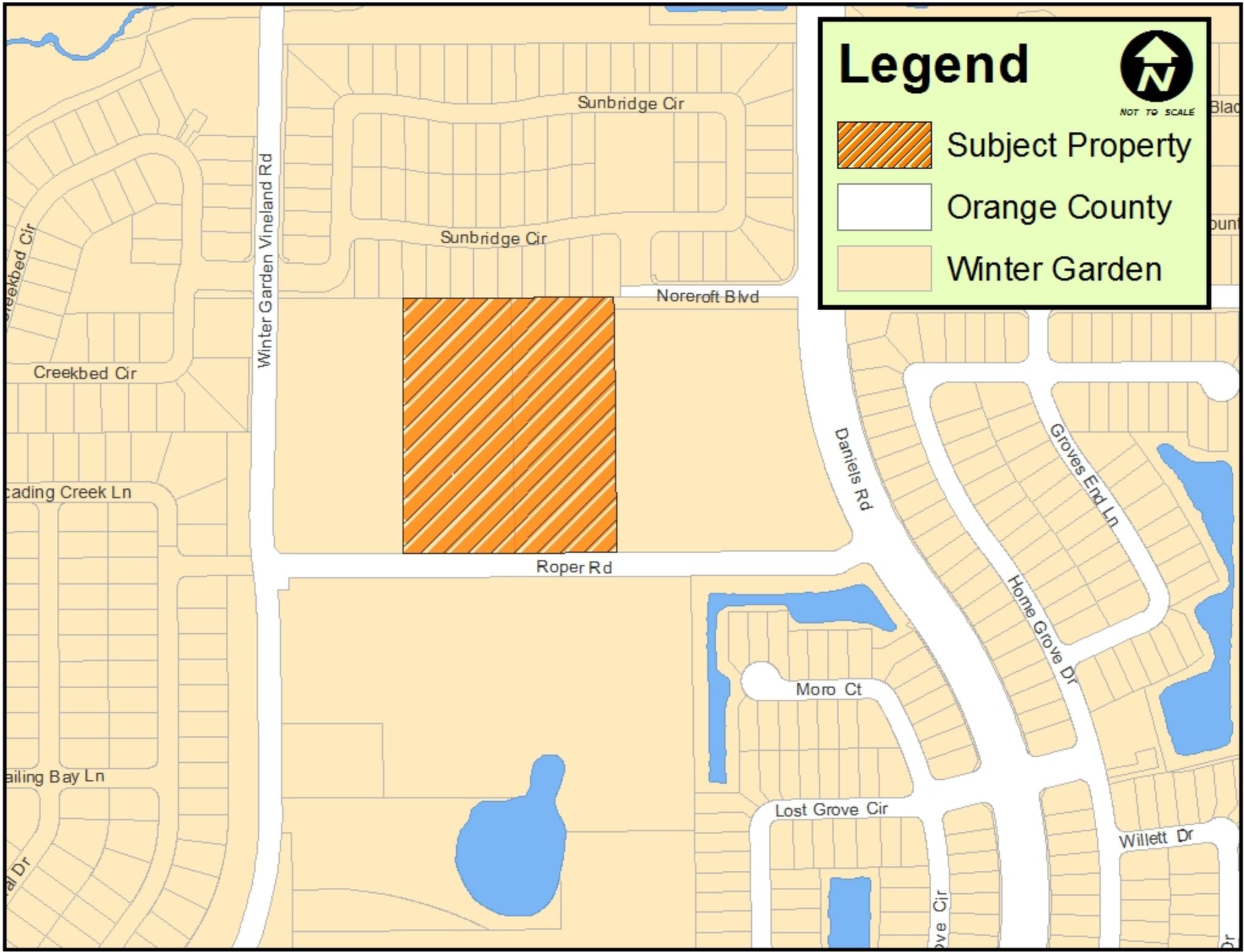
The applicant is requesting a Rezoning from R-1 to PUD to allow construction of a 114 unit Assisted/Independent Living Facility at 420 Roper Road.

Recommended Action:

Staff recommends approval of Ordinance 15-55 with the second reading scheduled for the July 23, 2015 City Commission meeting.

Attachments/References:

Ordinance 15-55
Staff Report
Location Map



Legend



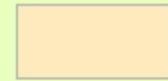
NOT TO SCALE



Subject Property



Orange County



Winter Garden

ORDINANCE 15-55

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING APPROXIMATELY 7.15 ± ACRES OF CERTAIN REAL PROPERTY GENERALLY LOCATED ON THE NORTH SIDE OF ROPER ROAD, EAST OF WINTER GARDEN VINELAND ROAD AND WEST OF DANIELS ROAD, FROM CITY R-1 TO CITY PUD; PROVIDING FOR CERTAIN PUD REQUIREMENTS; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE. (Serenades By Sonata PUD)

WHEREAS, the owner(s) of real property generally described as approximately 7.15 ± acres of certain real property generally located on the north side of Roper Road, east of Winter Garden Vineland Road and west of Daniels Road in Winter Garden, Florida, being more particularly described on Exhibit “A” attached hereto and incorporated herein by this reference (the “Property”), desire to rezone their property from City R-1 to City PUD, and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the adoption of this Ordinance and the proposed development of the Property is consistent with the City of Winter Garden Comprehensive Plan, and the City of Winter Garden Code of Ordinances, therefore;

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: Rezoning. After due notice and public hearing, the zoning classification of the Property, as described in Exhibit “A” attached hereto, is hereby rezoned from City R-1 to City PUD in the City of Winter Garden, Florida subject to the following conditions, provisions and restrictions:

- a. **Conceptual Plan-** All development on the Property must substantially conform to the requirements identified in the Sonata West Orange Campus PUD Plan attached hereto as Exhibit “B.” Should any conflict be found between this Ordinance and the Sonata West Orange Campus PUD Plan attached hereto as Exhibit “B”, then the standards and conditions established by this Ordinance shall control.
- b. **Zoning-** Due to the nature of the permitted uses set forth in this Ordinance, the following sections of Article V, Division 2 of the City Code of Ordinances regarding Residential Planned Unit Developments shall not apply to the Property: section 118-860, section 118-921, section 118-923, section 118-925, and section 118-927. Unless specifically noted elsewhere in Exhibit “B” attached hereto, or expressly provided for herein, all development on the

Property must comply with the general zoning requirements of the Residential Planned Unit Development zoning district. These requirements include any approval procedure of the Residential Planned Unit Development zoning district.

c. **Permitted Uses-** With respect to the Sonata West Orange PUD Area as identified in Exhibit “B” attached hereto, the only permitted use shall be an Independent/Assisted Living Facility and an Outdoor Recreation Area.

d. **Prohibited Uses-** Unless specifically identified by this Ordinance as a permitted use, all other uses are prohibited.

e. **Design Criteria/Architectural Standards-**

1. **Maximum Building Length-** Notwithstanding Section 118-925 of the City Code of Ordinances, the maximum length of the Assisted/Independent Living Facility building in the Sonata West Orange Campus PUD Area as identified in Exhibit “B” attached hereto shall not exceed 320 feet.

2. **Maximum Building Height-**

With respect to the Sonata West Orange Campus PUD Area as identified in Exhibit “B” attached hereto, maximum building height shall not exceed 45 feet (three stories on the northern portion of the building), and the remainder of the building shall not exceed two stories (35 feet).

3. **Outdoor Recreation Area –**

The outdoor recreation area shall be designed to be consistent with the architecture of the main building or to complement the architecture of the building. This outdoor area shall consist of a pavilion with restrooms, bocce ball courts, a putting green, tables and chairs, and a trail around the pond.

4. **Signage-** All signage proposed for the Property shall conform to the requirements and regulations pertaining to specified commercial corridors within the City of Winter Garden as defined in Chapter 118, Article X, Division 2 of the City of Winter Garden Code of Ordinances. One single-tenant ground sign shall be permitted for the Sonata West Orange Campus PUD Area as identified in Exhibit “B.” The signage shall be reviewed at time of Site Plan Review.

5. **Impervious Surface Area Ratio-** The maximum impervious surface area ratio for the Property shall not exceed 60% and shall be consistent with the overall maximum impervious surface area ratio

that the Planned Unit Development is designated and permitted for by Saint John's River Water Management District.

6. Common Open Space-

The minimum common open space provided for the Property shall be 20%. For the purposes of this Ordinance the area identified as "Courtyard" on Exhibit "B" and some retention areas may be considered as contribution toward fulfillment of open space requirements.

Specifically, dry retention may contribute to the fulfillment of the common open space requirement, and wet bottom retention areas may partially contribute to fulfilling open space requirements. Additionally, pervious surfaces, unless specifically identified below, may be calculated as common open space for the Property; however the following will not be considered as contributing to the common open space requirement for the Property:

- Any impervious surface as defined in Chapter 106 of the City Code of Ordinances.
- Parking Areas
- Road rights-of-way
- Required minimum yards & building spacing

7. Dark Skies- all exterior lighting shall be designed to provide safe, convenient and efficient lighting for pedestrians and vehicles. Exterior lighting shall be designed as dark skies lighting in a consistent and coordinated manner for the entire project in compliance with the requirements of Chapter 118, Article X, Division 4 of the City Code of Ordinances.

f. Delivery Hours- No deliveries shall occur between the hours of 7:00pm and 7:00am.

g. Staff Conditions- All development on the Property must comply with the following staff conditions:

1. An engineered site plan meeting all requirements of the City Code of Ordinances shall be submitted for review and approval by City staff and City Commission prior to commencement of any construction.
2. All utilities required for the development shall be run to the site at the developer's expense, including potable water, reclaimed water and sanitary sewer. 100% of all water and sewer impact fees shall be paid prior to City execution of FDEP permits and issuance of

site or building permits.

3. All irrigation on the site shall be designed to be supplied by reclaimed water. An exception may be granted for the enclosed courtyards to use potable water and will be considered at final site plan review.
4. The survey indicates that a portion of the site is jurisdictional wetlands. All wetlands shall be shown and addressed at the time of site plan submittal and if approved for removal shall be mitigated with the jurisdictional agencies. Terracon Karst report is acknowledged.
5. Permits from SJRWMD and FDEP (water, wastewater and NPDES) are required prior to issuance of site or building permits.
6. Landscaping, fencing, signage, etc. shall not infringe on sight distance requirements at any intersection, including Daniels Road or Roper Road.
7. The impact fees will be reviewed with the Site Plan application to determine if an alternative impact fee study will be accepted for the Assisted Living Facility. If an alternative impact fee is accepted, two (2) years after the issuance of the certificate of occupancy for and commencing operation of the Sonata West Orange Campus (Assisted Living Facility), the City shall have the right to review traffic count data for such facility to determine if the alternative impact fee study correctly measured the impact of the facility. If the review of such traffic count data shows that the alternative impact fee study underestimated the impact of the facility on the public roads and transportation system, the City shall have the right to require the Owner to make an additional true-up payment of Road Impact Fees to compensate for the impact. All other impact fees shall be paid when required by the City of Winter Garden Code of Ordinances and in the amounts required at the then applicable impact fees rates.
8. This development is required to pay their share of the cost of the traffic light that was installed at the corner of Roper Drive and Daniels Road. The appropriate amount will be determined through the studies submitted with the Site Plan Review and the fair share shall be paid prior to permits being issued.
9. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.

10. All work shall conform to City of Winter Garden standards and specifications.
11. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
12. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
13. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others, including by way of any development order or permit issued. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City shall not be responsible and any corrective measures required will be the responsibility of the Owner/Developer. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.
14. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of the building permit.

SECTION 2: *General Requirements.*

- a. **Development Agreement-** A Development Agreement shall be drafted, approval obtained and recorded prior to approval of any site or building permits for the Property. The Development Agreement shall address

matters to include, but not limited to, project phasing, right-of-way improvement and conveyance, easements, vehicular access to the site including possible connection to the proposed Roper Road Extension, restriction of additional curb-cuts, provision for cross access, design standards, signage, impact fees, stormwater, drainage, utilities and other off-site public infrastructure improvements.

- b. **Stand Alone Clause-** Each phase of development of the Property must operate as an individual unit in that each particular phase will be able to stand-alone in the event that no other phase is developed.
- c. **Land Development Approvals and Permits-** This Ordinance does not require the City to issue any permit or approval for development, construction, building permit, or other matter by the City relating to the Property or the project or any portion thereof. These and any other required City development approvals and permits shall be processed and issued by the City in accordance with procedures set forth in the City's Code of Ordinances and subject to this Ordinance.
- d. **Amendments-** Minor amendments to this Ordinance will be achieved by Resolution of the City Commission of the City of Winter Garden. Major amendments to this Ordinance will require approval of the City Commission of the City of Winter Garden by Ordinance.
- e. **Expiration/Extension-** Expiration of this PUD shall be governed in accordance with Section 118-830, City of Winter Garden Code of Ordinances. Time extensions may be granted in accordance with Section 118-829, City of Winter Garden Code of Ordinances.

SECTION 3: Zoning Map. The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION 4: Non-Severability. Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 5: Effective Date. This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2015.

SECOND READING AND PUBLIC HEARING: _____, 2015.

ADOPTED this _____ day of _____, 2015, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

KATHY GOLDEN, City Clerk

Exhibit "A"

A parcel of land being a portion of the North 1/2 of the Northeast 1/4 of the Northwest 1/4 of Section 35, Township 22 South, Range 27 East, Orange County, Florida, being more particularly described as follows:

COMMENCE at the Northeast corner of the Northwest 1/4 of Section 35, Township 22 South, Range 27 East, Orange County, Florida; thence South 89°52'01" West, along the North line of said Northwest 1/4, a distance of 523.70 feet to a point on a line lying 523.67 feet West of and parallel to the East line of the Northeast 1/4 of said Section 35 and POINT OF BEGINNING; thence South 00°48'20" East, along said line lying 523.67 feet West of and parallel to the East line of the Northeast 1/4, a distance of 642.47 feet to the North right of way line of Roper Road according to that certain Warranty Deed recorded in Official Records Book 6852, Page 4525, Public Records of Orange County, Florida; thence South 89°47'18" West, along said right of way line, a distance of 259.51 feet to a point on the West line of the East 259.50 feet of a parcel of land described in that certain Warranty Deed recorded in Official Records Book 6002, Page 1336 of the Public Records of Orange County, Florida; thence North 00°48'20" West, along said line, a distance of 642.78 feet to the North line of the Northwest 1/4 of said Section 35; thence North 89°52'01" East, along said North line, a distance of 259.51' feet to the POINT OF BEGINNING.

AND

A parcel of land being a portion of the North 1/2 of the Northeast 1/4 of the Northwest 1/4 of Section 35, Township 22 South, Range 27 East, Orange County, Florida, being more particularly described as follows:

COMMENCE at the Northeast corner of the Northwest 1/4 of Section 35, Township 22 South, Range 27 East, Orange County, Florida; thence South 89°52'01" West, along the North line of said Northwest 1/4, a distance of 783.21 feet to a point on the East line of a parcel of land described in that certain Corrective Quit Claim Deed recorded in Official Records Book 9954, Page 4460, Public Records of Orange County, Florida and POINT OF BEGINNING; thence South 00°48'20" East, along said East line, a distance of 642.78 feet to the North right of way line of Roper Road according to that certain Warranty Deed recorded in Official Records Book 6852, Page 4525, Public Records of Orange County, Florida; thence South 89°47'18" West, along said right of way line, a distance of 225.01 feet to a point on the West line of the East 225.00 feet of said parcel of land described in Corrective Quit Claim Deed; thence North 00°48'20" West, along said West line, a distance of 643.04 feet to the North line of the Northwest 1/4 of said Section 35; thence North 89°52'01" East, along said North line, a distance of 225.01' feet to the POINT OF BEGINNING.



Exhibit "B"

COVER PAGE

SONATA WEST ORANGE CAMPUS PUD

JULY 2015

(9 PAGES - ATTACHED)

SERENADES BY SONATA PUD WINTER GARDEN, FLORIDA

JUNE 2015

SHEET INDEX:

C000	COVER SHEET
C100	DEVELOPMENT SITE & UTILITY PLAN
Lo.01	PD LANDSCAPE PLANTING PLAN
Lo.02	PD LANDSCAPE PLANTING SCHEDULE, NOTES & DETAILS
Lo.03	PD WALL AT MAIN DROP OFF
Lo.04	SHADE TREES
Lo.05	PALM TREES
Lo.06	ORNAMENTAL TREES
Lo.07	SHRUBS
Lo.08	GROUND COVER
Lo.09	POND EDGE PLANTING
A.1	IL/AL EAST ELEVATION
A.2	IL/AL NORTH ELEVATION
A.3	IL/AL SOUTH ELEVATION
A.4	IL/AL WEST ELEVATION
A.5	MEDICAL OFFICE BUILDING ELEVATION

PARCEL ID: 35-22-27-0000-00-001

PARCEL ID: 35-22-27-0000-00-042 (PARTIAL)

PARCEL ID: 35-22-27-0000-00-057

DRAINAGE STATEMENT:

- ON-SITE STORMWATER MANAGEMENT FACILITIES WILL BE PROVIDED TO MEET ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SJRWMD) AND CITY OF WINTER GARDEN REQUIREMENTS.
- STORMWATER MANAGEMENT SYSTEM WILL COMPLY WITH SJRWMD LAKE APOPKA BASIN CRITERIA. WEKIVA RECHARGE PROTECTION BASIN RECHARGE STANDARD DOES NOT APPLY AS ON-SITE SOILS ARE NOT NRCS TYPE "A" SOILS PER THE SCS SOILS MAP.

ZONING INFORMATION:

SITE: PUD, R-1
FRONT/EAST: DANIELS ROAD/PUD
SIDE/NORTH: R-1
SIDE/SOUTH: ROPER ROAD/R-1, PUD
REAR/WEST: R-1

CONTACT INFORMATION:

OWNER:
HEALTH CARE REIT, INC.
C/O SONATA HEALTH CARE, LLC
STEPHEN CARUSO
301 EAST PINE STREET, SUITE 730
ORLANDO, FL 32801
PHONE: 407-286-6490
FAX: 407-412-6155
CELL: 407-383-1575
E-MAIL: SCARUSO@SONATAHC.COM

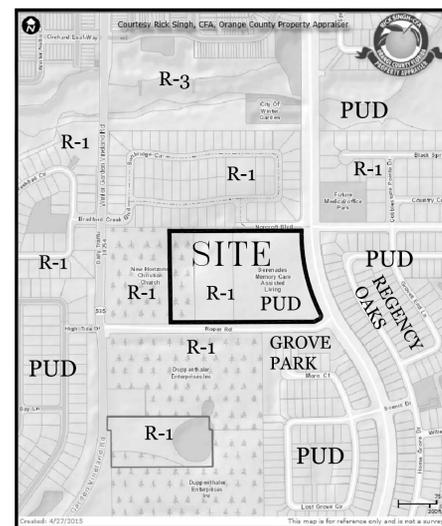
ARCHITECT:
THREE LIVING ARCHITECTURE
4040 N. CENTRAL EXPRESSWAY, SUITE 200
DALLAS, TX 75204
TEL: 214.559.4080
FAX: 214.559.0990

LANDSCAPE ARCHITECT:
TALLEY ASSOCIATES
1925 SAN JACINTO, SUITE 400
DALLAS, TX 75201
TEL: 214.871.7900
FAX: 214.871.7985

DEVELOPER:
SONATA HEALTH CARE
STEPHEN CARUSO
301 E. PINE STREET, SUITE 730
ORLANDO, FL 32801
TEL: 407.286.6490
FAX: 407.412.6155
E-MAIL: SCARUSO@SONATAHC.COM

SURVEYOR:
BENCHMARK SURVEYING & MAPPING, INC.
BILLY JOE JENKINS, JR. PSM
557 WEST PLANT STREET
WINTER GARDEN, FL 34787
TEL: 407.654.6183
FAX: 407.654.6184
E-MAIL: BENCHMARKSURVEYINGANDMAPPING.COM

ENGINEER:
KLIMA WEEKS CIVIL ENGINEERING, INC.
SELBY G. WEEKS, PE, LEED AP
385 DOUGLAS AVE., STE. 2100
ALTAMONTE SPRINGS, FLORIDA 32714
TEL: 407.478.8750
FAX: 407.478.8749
E-MAIL: SWECKS@KLIMAWEEKS.COM



VICINITY & EXISTING ZONING MAP

(NORTHWEST CORNER OF THE INTERSECTION OF DANIELS ROAD & ROPER ROAD, WINTER GARDEN, FLORIDA 34787)

Property Description (Health Care Reit West Orange Property)

A parcel of land being a portion of the Northwest 1/4 and Northeast 1/4 of Section 35, Township 22 South, Range 27 East, Orange County, Florida, being more particularly described as follows:
COMMENCE at the Northeast corner of the Northwest 1/4 of Section 35, Township 22 South, Range 27 East, Orange County, Florida; thence South 89°52'01" West, along the North line of said Northwest 1/4, a distance of 60.00 feet to the POINT OF BEGINNING, said point being on the West right of way line of Daniels Road according to that certain Warranty Deed recorded in Official Records Book 6608, Page 2300, Public Records of Orange County, Florida; thence South 00°11'04" East, along said West right of way line, a distance of 24.69 feet to a point of curvature of a curve concave Northeasterly, having a radius of 1260.00 feet and a central angle of 26°37'30"; thence 585.51 feet along the arc of said curve and said West right of way line to a point of reverse curvature with a curve, concave Northwesterly, having a radius of 25.00 feet and a central angle of 87°32'48"; thence Southwesterly, along the arc of said curve and right of way line, a distance of 38.20 feet to the point of tangency; thence South 60°43'30" West, along the North right of way of Roper Road according to the subdivision plot of GROVE PARK AT STONE CREST recorded in Plat Book 66, Page 46, Public Records of Orange County, Florida, a distance of 34.70 feet to a point of curvature of a curve, concave Northerly, having a radius of 20.00 feet and a central angle of 29°02'44"; thence, along the arc of said curve and Northerly right of way line of said Roper Road, a distance of 10.14 feet to the point of tangency; thence South 89°47'18" West, along the North right of way line according to that certain Warranty Deed recorded in Official Records Book 6852, Page 4525, Public Records of Orange County, Florida, a distance of 540.19 feet to a point on a line lying 523.67 feet West of and parallel to the East line of the Northeast 1/4 of said Section 35; thence North 00°48'20" West, along said line, a distance of 642.47 feet to the North line of the Northwest 1/4 of said Section 35; thence North 89°52'01" East, along said North line, a distance of 463.70 feet to the POINT OF BEGINNING.

LESS AND EXCEPT
A strip of land being thirty feet in width conveyed to the City of Winter Garden by Special Warranty Deed recorded in Official Records Book 10509, Page 1288 of the Public Records of Orange County, Florida and being more particularly described as follows:
COMMENCE at the Northeast corner of the Northwest 1/4 of Section 35, Township 22 South, Range 27 East, Orange County, Florida; thence South 89 degrees 52 minutes 01 seconds West, along the North line of said Northwest 1/4, a distance of 60.00 feet to the West right of way line of Daniels Road according to that certain Warranty Deed recorded in Official Records Book 6608, Page 2300, Public Records of Orange County, Florida and a POINT OF BEGINNING; thence continue South 89 degrees 52 minutes 01 seconds West, along the North line of said Northwest 1/4, a distance of 463.70 feet to a point on a line lying 523.67 feet West of and parallel to the East line of the Northeast 1/4 of said Section 35; thence South 00 degrees 48 minutes 20 seconds East, along said line, a distance of 30.00 feet; thence North 89 degrees 52 minutes 01 seconds East, along a line that is 30.00 feet South of and parallel to the North line of said Northwest 1/4, a distance of 463.39 feet to a point on the West right of way line of said Daniels Road, said point lying on a curve concave Easterly, having a radius of 1260.00 feet and a central angle of 00 degrees 14 minutes 29 seconds; thence, from a tangent bearing of North 00 degrees 25 minutes 33 seconds West, along the arc of said curve and said right of way line, 5.31 feet to a point of tangency; thence, continuing along said right of way line, North 00 degrees 11 minutes 04 seconds West a distance of 24.69 feet to the POINT OF BEGINNING.

Property Description (Proffer Property)

A parcel of land being a portion of the North 1/2 of the Northeast 1/4 of the Northwest 1/4 of Section 35, Township 22 South, Range 27 East, Orange County, Florida, being more particularly described as follows:

COMMENCE at the Northeast corner of the Northwest 1/4 of Section 35, Township 22 South, Range 27 East, Orange County, Florida; thence South 89°52'01" West, along the North line of said Northwest 1/4, a distance of 523.70 feet to a point on a line lying 523.67 feet West of and parallel to the East line of the Northeast 1/4 of said Section 35 and POINT OF BEGINNING; thence South 00°48'20" East, along said line lying 523.67 feet West of and parallel to the East line of the Northeast 1/4, a distance of 642.47 feet to the North right of way line of Roper Road according to that certain Warranty Deed recorded in Official Records Book 6852, Page 4525, Public Records of Orange County, Florida; thence South 89°47'18" West, along said right of way line, a distance of 259.51 feet to a point on the West line of the East 259.50 feet of a parcel of land described in that certain Warranty Deed recorded in Official Records Book 6002, Page 1336 of the Public Records of Orange County, Florida; thence North 00°48'20" West, along said line, a distance of 642.78 feet to the North line of the Northwest 1/4 of said Section 35; thence North 89°52'01" East, along said North line, a distance of 259.51 feet to the POINT OF BEGINNING.

Property Description (New Horizons Christian Church Property)

A parcel of land being a portion of the North 1/2 of the Northeast 1/4 of the Northwest 1/4 of Section 35, Township 22 South, Range 27 East, Orange County, Florida, being more particularly described as follows:

COMMENCE at the Northeast corner of the Northwest 1/4 of Section 35, Township 22 South, Range 27 East, Orange County, Florida; thence South 89°52'01" West, along the North line of said Northwest 1/4, a distance of 783.21 feet to a point on the East line of a parcel of land described in that certain Corrective Quit Claim Deed recorded in Official Records Book 9954, Page 4460, Public Records of Orange County, Florida and POINT OF BEGINNING; thence South 00°48'20" East, along said East line, a distance of 642.78 feet to the North right of way line of Roper Road according to that certain Warranty Deed recorded in Official Records Book 6852, Page 4525, Public Records of Orange County, Florida; thence South 89°47'18" West, along said right of way line, a distance of 212.01 feet to a point on the West line of the East 212.00 feet of said parcel of land described in Corrective Quit Claim Deed; thence North 00°48'20" West, along said West line, a distance of 643.02 feet to the North line of the Northwest 1/4 of said Section 35; thence North 89°52'01" East, along said North line, a distance of 212.01 feet to the POINT OF BEGINNING.

ALLOWABLE USES:

PRIMARY RESIDENTIAL USES: ASSISTED LIVING FACILITY, INDEPENDENT LIVING FACILITY, MEMORY CARE/NURSING HOME

NON-RESIDENTIAL USES: HOSPICE, MEDICAL OFFICE

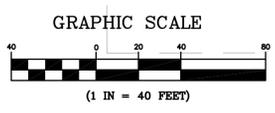
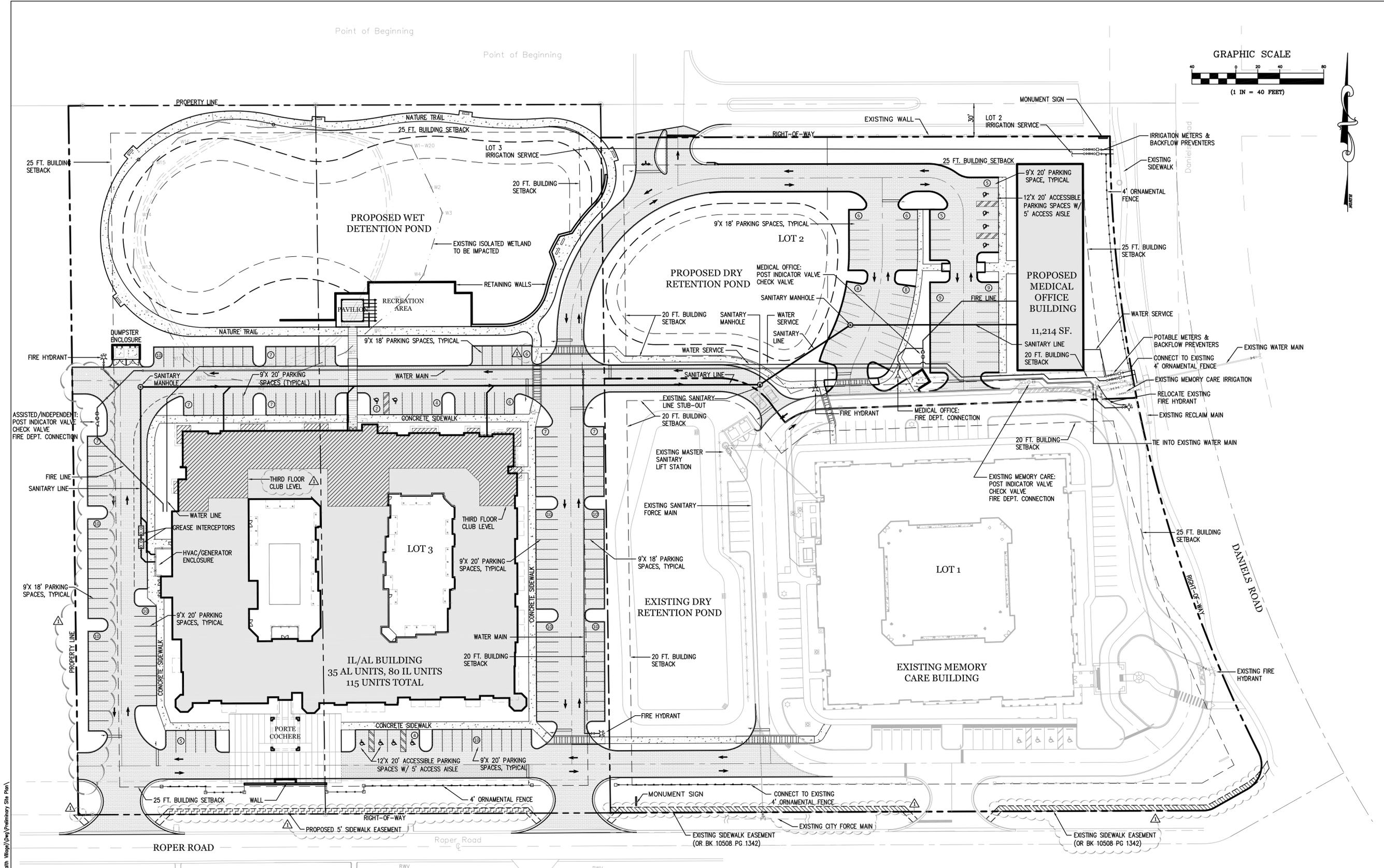
FLOOD ZONE:

SUBJECT PROPERTY LIES WITHIN ZONE X, AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP, COMMUNITY-PANEL NUMBER 12095C0215F, DATED SEPTEMBER 25, 2009.

revision	description	date
△	City Comments	6/17/15
△		
△		
△		
△		
△		

drawn by: RVZ
checked by: SGW
date: 4/27/15
plot scale: AS SHOWN
project number: 14SONA003
file name:

SERENADES BY SONATA PUD
WINTER GARDEN, FLORIDA
DEVELOPMENT SITE & UTILITY PLAN



SITE DATA:

EXTERNAL SITE LIGHTING:
SITE LIGHTING SHALL BE PROVIDED IN ACCORDANCE WITH CITY OF WINTER GARDEN CODE, SECTIONS 118: 1536-1538

UTILITY STATEMENT:
THE UTILITY DESIGN SHOWN HEREON IS PRELIMINARY FOR ILLUSTRATIVE PURPOSES AND IS SUBJECT TO CHANGE DURING FINAL DESIGN.

DELIVERIES:
NO DELIVERIES BETWEEN 9 PM AND 7 AM.

LOT 1 DATA:

BUILDING INFORMATION (EXISTING):
37,356 SF. - 45 UNIT, 56 BED MEMORY CARE FACILITY
BUILDING HEIGHT - 26 FT. (ONE STORY)
TOWER ELEMENT - 35 FT.

PARKING CALCULATION:
BASIS: 1 SPACE / 2 PATIENT BEDS

REQUIRED: 56 BED X 1 SPACE / 2 BEDS = 28 SPACE
PROVIDED: 54 STANDARD + 4 ACCESSIBLE = 58 SPACES

LOT 2 DATA:

BUILDING INFORMATION:
11,214 SF. MEDICAL OFFICE
MAXIMUM BUILDING HEIGHT - 30 FT. (ONE STORY)

MINIMUM PARKING REQUIREMENTS:
BASIS: MEDICAL OFFICE - 3 SPACES / 1,000 SF.
REQUIRED: 3 SPACES X 11,214 / 1,000 = 34
PROVIDED: 52 STANDARD + 4 ACCESSIBLE = 56 SPACES

ESTIMATED SCHEDULE:
START CONSTRUCTION - APRIL 2016
COMPLETE CONSTRUCTION - NOVEMBER 2016

LOT 3 DATA:

BUILDING INFORMATION:
115 UNIT ASSISTED / INDEPENDENT LIVING FACILITY
MAXIMUM BUILDING HEIGHT - 45 FT. (THREE STORY)

MINIMUM PARKING REQUIREMENTS:
PROPOSED BASIS:
IL: 1 SPACE PER UNIT
AL: 0.7 SPACES PER UNIT
PLUS 1 SPACE PER STAFF DURING PEAK STAFFING

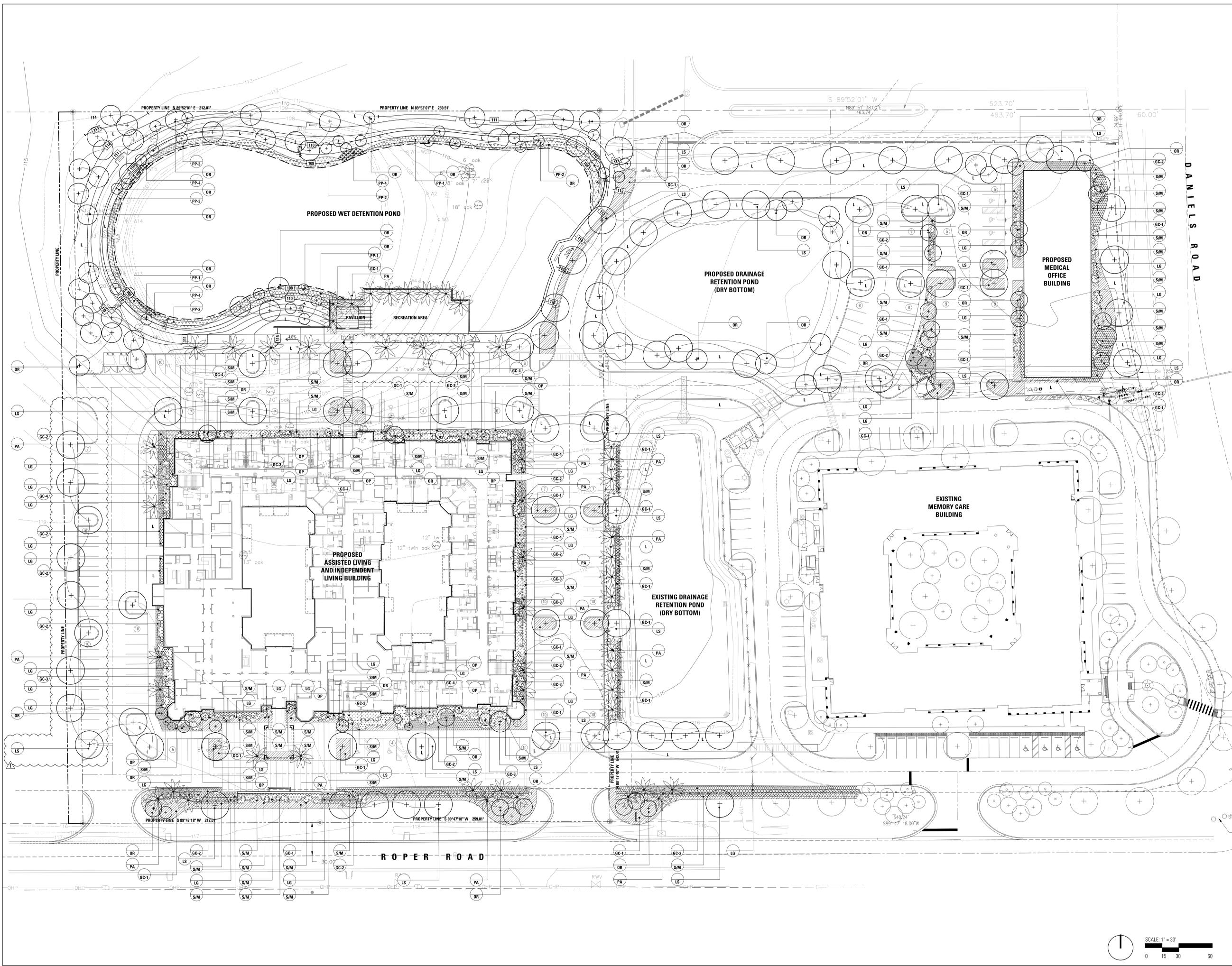
THEFOREORE:
IL UNITS = 80, AL UNITS = 35, STAFF = 35
(1 SPACE X 80 UNITS) + (0.7 SPACES X 35 UNITS) + (1 SPACE X 35 STAFF) = 140
REQUIRED PARKING = 140 SPACES

PROVIDED: 153 STANDARD + 6 ACCESSIBLE = 159 SPACES

File Location: S:\Projects\Land Projects 2014\14SONA002 (WG Health Village)\Dwg\Primary Site Plan

revision	description	date
△	City Comments	6/17/15
△		
△		
△		
△		
△		

drawn by: RVZ
checked by: SGW
date: 4/27/15
plot scale: AS SHOWN
project number: 14SONA003
file name:



Serenades By Sonata P.U.D.
420 Roper Road
Winter Garden, FL 34787

Revision	Description	Date
1	City Comments	6/17/15

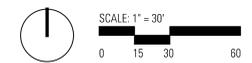
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DATE: April 27, 2015
SEAL:

OWNER: SONATA SENIOR LIVING

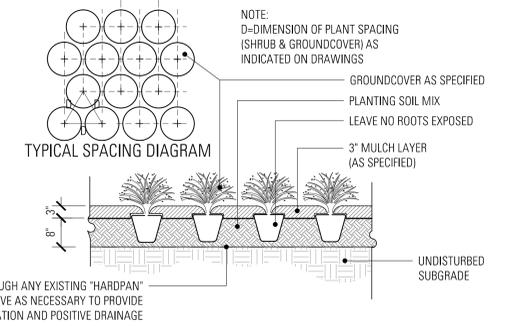
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SHEET DESCRIPTION:
PD LANDSCAPE PLANTING PLAN

SHEET NUMBER: **L0.01**

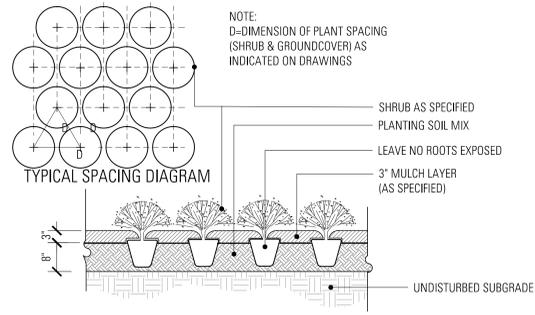
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©COPYRIGHT three 2015



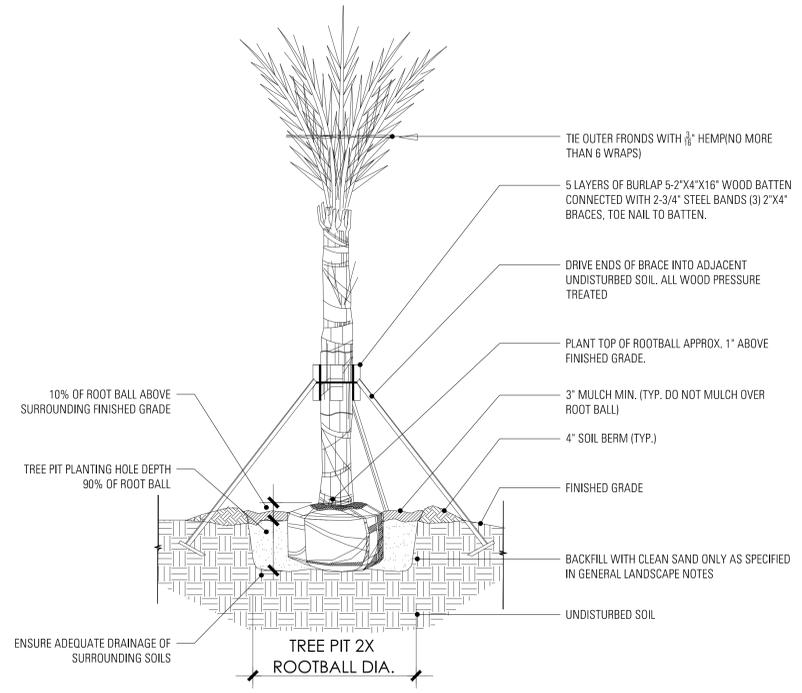
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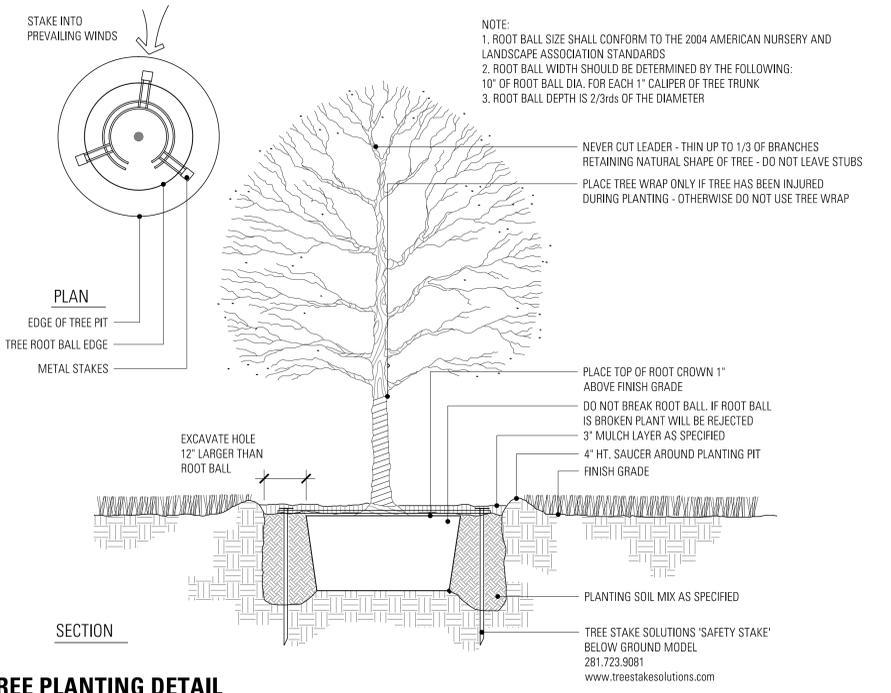
4 GROUNDCOVER PLANTING
N.T.S.



3 SHRUB PLANTING
N.T.S.



2 PALM PLANTING DETAIL
N.T.S.



1 TREE PLANTING DETAIL
Scale: 1"=1'-0"

GENERAL NOTES FOR LANDSCAPE PLANTING

- All base information provided by others. contractor shall field verify all information prior initiating planting installation.
- Contractor shall notify all pertinent utility companies 48 hours minimum prior to digging for verification of all underground utilities. Plans are prepared according to the best information available at the same of preparing these documents.
- The contractor shall become completely familiar with existing site conditions prior to beginning installation. All existing site improvements, paving, landscape, lighting, and other site elements to remain shall be protected from damage unless otherwise noted.
- Unless otherwise noted, the limits of construction are the clearing limits noted on the plans.
- The contractor shall report any discrepancies between the construction drawings and actual field conditions to the Owner's representative immediately.
- The contractor shall coordinate all work with related contractors and with the general construction of the project in order to not impede the progress of work of others or the contractor's own work.
- Contractor shall be responsible to remove all existing ground covers for all new planting beds by approved means prior to planting installation. Contractor shall be responsible to replace all portions of existing planting or lawn areas indicated to remain while completing new planting installation work with same kind of plants or grass to the satisfaction of the owner at no additional cost.
- The contractor shall bear all cost associated with soil testing and soil amendments as required as a result of the soil testing laboratory's recommendations. Prior to initiating installation the contractor shall provide soil test for at least two on-site locations.
- All plant container sizes noted on the plant list are minimum. Increase size of containers if necessary to conform to the plant size and specifications.
- All trees shall have six (6) clear trunks unless otherwise noted on the plant list. Any tree trunk with a "V" shaped crotch will be rejected. All tree caliper (Cal.) sizes noted on the plant list are minimum. Increase size if necessary to conform to specified plant size in the plant list.
- Erosion control fabric shall be installed in a shrub and groundcover planting areas as per the details and/or specifications for all slopes that are greater than 3:1 (slopes 1' vertical for every 3' horizontal).**
- Shrub and ground cover plantings are typically shown on the plans in mass planting beds. Plants shall be set in a triangular spacing pattern (staggered spacing). Plant center to center dimensions (O.C.) are indicated in the plant list.
- Landscape Contractor shall field adjust the location of plant material as necessary to avoid damage to existing trees and understorey vegetation to remain, underground and above ground utilities and all other above ground elements. All changes required shall be coordinated with the Owner's Representative and the Landscape Architect prior to Initiating any changes.

GENERAL NOTES FOR IRRIGATION

- An irrigation system will be provided that provides 100% head to head coverage.
- The irrigation system will include a rain shut-off device.
- An irrigation plan will be provided with the Final Development Plan.

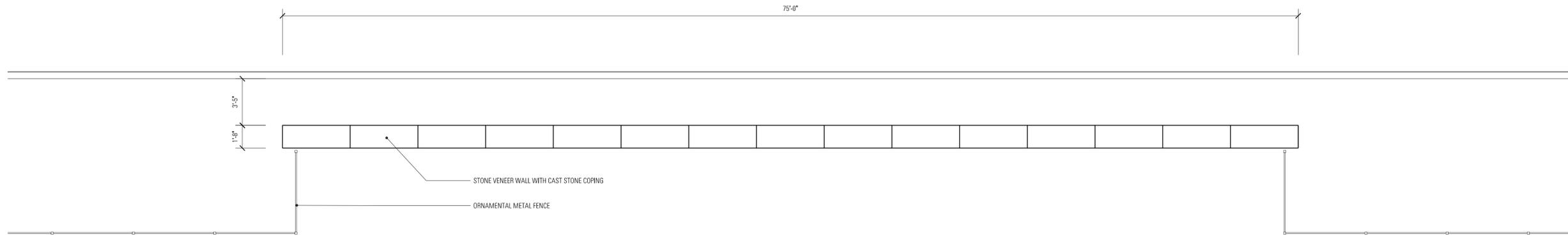
- Any substitutions to plant material, size, or type must be approved by the Landscape Architect prior to installation. Landscape Contractor shall not make any substitutions or alterations to the landscape planting plans or plant list & materials without the prior approval of the Landscape Architect and Owner's Representative. Any Landscape Planting installed that does not conform to the plans, plant list and specifications shall be replaced immediately to the satisfaction of the Owner's Representative and Landscape Architect.
- Contractor shall be responsible for hand watering as required to maintain and establish all planting (new, existing to be relocated, and existing plants to remain while irrigation system is being installed or repaired) to supplement irrigation and rainfall. The irrigation system is designed to maintain the landscape plantings and not establish them. The contractor is responsible for hand watering all planting areas, regardless of the status of existing or proposed irrigation systems.
- Contractor shall clean the work areas at the end of each working day. Landscape rubbish and debris shall be collected and deposited off-site daily. All material, products, and equipment stored on-site shall be kept in an organized manner daily.
- Contractor shall re-grade all areas disturbed by plant removal, relocation, and/or form installation work. The contractor shall replace by equal size and quality any and all existing plant material disturbed or damaged by planting removal, relocation, and/or installation.
- Existing trees or other plant material indicated on the plans to be relocated shall be handled, cared for, and maintained as new plantings. The contractor is responsible for any required root pruning, wrapping, tree spading or ball and burlapping, additional supplemental hand watering, irrigation misters installed at the tree canopy, or any other sound horticultural practice required to ensure the survival of all relocated plant material.
- The contractor shall refer to the landscape planting details, specifications, plant list and plans for further and complete planting installation instructions.
- Landscape Contractor shall fully familiarize himself / herself with the project prior to bidding the work.
- For site grading and contour information, existing vegetation to remain, buildings and other site feature locations and the location of all above and below ground utilities see the most current and up to date architectural, civil, electrical, structural and mechanical engineering drawings as provided by the Owner or Owner's Representative. Field locate all underground utilities, existing vegetation to remain and other obstructions and coordinate with Owner's Representative prior to initiating any Landscape Planting or Irrigation installation work. Landscape Contractor shall be responsible for repairing or replacing any damage committed to existing or proposed elements above or below ground to its original condition and to the satisfaction of the Owner and Owner's Representative.
- Landscape Contractor shall field stake the location of all plant material and edges of planting beds for the review and approval by the Landscape Architect prior to initiating any installation of the landscape plantings.
- Landscape Contractor shall coordinate work with the Irrigation Contractor and all other trades as required.

PLANT LIST

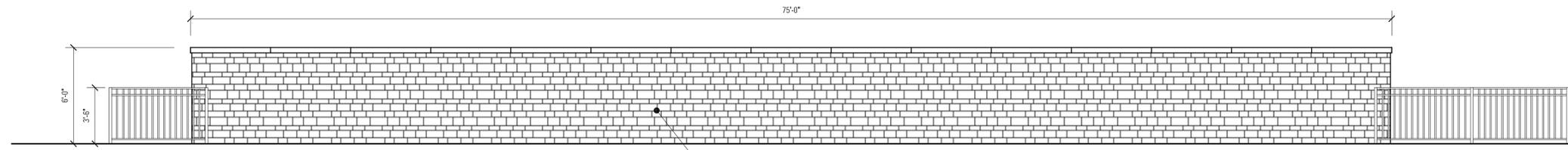
	SYM.	PLANT TYPE
TREES		
	LS	Large Shade Tree
	OR	Ornamental Tree
	PA	Palm Tree
	OP	Ornamental Palm Tree
SHRUBS / PERENNIALS		
	LG	Large Shrub
	S/M	Small/Medium Shrub
GROUNDCOVER & VINES		
	GC-1	Groundcover 1
	GC-2	Groundcover 2
	GC-3	Groundcover 3
	GC-4	Groundcover 4
POND AREA PLANTING		
	PP-1	Pond Area Planting 1
	PP-2	Pond Area Planting 2
	PP-3	Pond Area Planting 3
	PP-4	Pond Area Planting 4
LAWN & GRASSES		
	L	Lawn

PROJECT NO.:	14013
DATE:	April 27, 2015
SEAL:	
OWNER:	SONATA SENIOR LIVING
PHASE:	
SHEET DESCRIPTION:	PD LANDSCAPE PLANTING SCHEDULE, NOTES AND DETAILS
SHEET NUMBER:	L0.02
Digital File:	
©COPYRIGHT	three 2015

Serenades By Sonata P.U.D.
 420 Roper Road
 Winter Garden, FL 34787

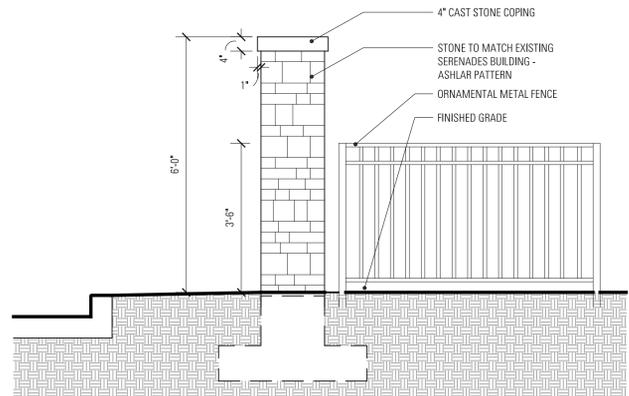


PLAN



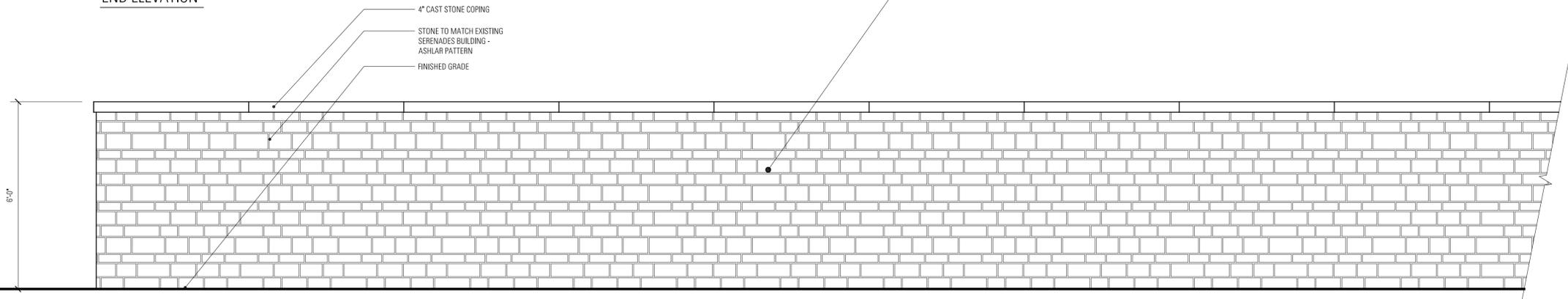
SOUTH ELEVATION

2 WALL AT MAIN DROPOFF
 SCALE: 1/4" = 1'-0"



END ELEVATION

NOTE: IDENTITY SIGNAGE TO BE MOUNTED TO WALL.
 SIGNAGE TO BE DESIGNED IN COMPLIANCE WITH CITY OF
 WINTER GARDEN REQUIREMENTS



PARTIAL SOUTH ELEVATION

1 WALL AT MAIN DROPOFF - ENLARGED PARTIAL ELEVATIONS
 SCALE: 1/2" = 1'-0"



X:\cadd\DC15004_00_SonataWestOrangeSerenades\AL\01_Schematic_Design\SHEETS\03.dwg - May 29, 2015 at 9:12am - dedon

PROJECT NO.: 14013
 DATE: May 28, 2015
 SEAL:

OWNER:
 SONATA SENIOR LIVING

PHASE:
 SHEET DESCRIPTION:
 PD WALL AT MAIN DROPOFF

SHEET NUMBER:
L0.03

Digital File:
 ©COPYRIGHT three 2015



Serenades by Sonata PUD
orlando, florida

sonata west orange campus
east elevation



Serenades by Sonata PUD
orlando, florida

sonata west orange campus
north elevation



Serenades by Sonata PUD
orlando, florida

sonata west orange campus
south elevation

A.3



Serenades by Sonata PUD
orlando, florida

sonata west orange campus
west elevation

A.4

CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

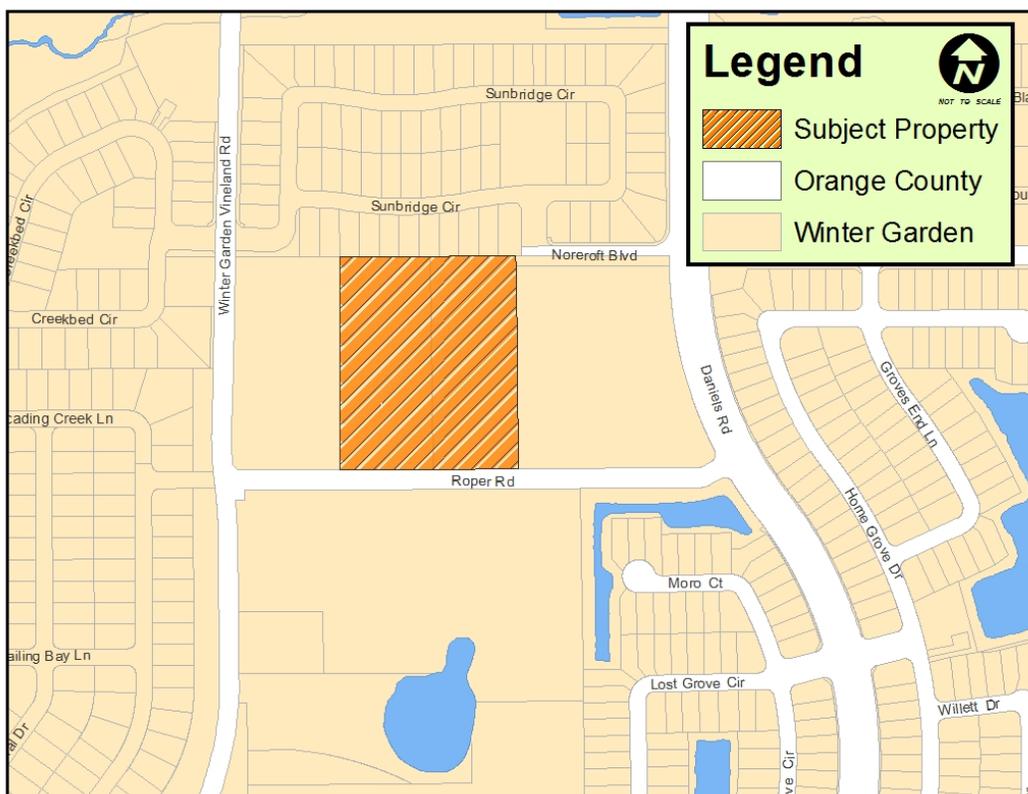
TO: PLANNING AND ZONING COMMITTEE
PREPARED BY: STEVE PASH, COMMUNITY DEVELOPMENT MANAGER
DATE: JUNE 30, 2015
SUBJECT: REZONING
420 Roper Road (7.15+/- ACRES)
PARCEL ID # 35-22-27-0000-00-057

APPLICANT: KLIMA WEEKS CIVIL ENGINEERING, INC.

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located on the north side of Roper Road west of Daniels Road and east of Winter Garden Vineland Road and is approximately 7.15 ± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting to rezone 7.15 ± acres of land Planned Unit Development (PUD). The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation R-1 (Single-Family Residential District) in the City of Winter Garden. The subject property is designated Low Density Residential on the Future Land Use Map of the Comprehensive Plan.

EXISTING USE

The subject property is currently vacant and is planted with trees.

ADJACENT LAND USE AND ZONING

The property located to the north is developed as a single-family neighborhood (Bradford Creek East) but no homes have been constructed, is zoned PUD, and located in the City. The property located to the east is developed with the Serenades by Sonata Memory Care Facility (a 35,000 square foot, 42 unit, 54 bed Memory Care/Nursing Home Facility), is zoned PUD, and located in the City. The property to the west is unimproved vacant non-agricultural acreage zoned R-1, and located in the City. The properties to the south contain one large single-family lot and the Grove Park at Stonecrest single-family neighborhood, are zoned R-1 and PUD, and located in the City.

PROPOSED USE

The applicant proposes to develop the 7.15 ± acre site with a 134,000 square foot building containing a 115 unit Assisted/Independent Living Facility. The building will also contain a kitchen and dining area, exercise room, common areas, and a swimming pool/garden area in the courtyard areas. The pond is proposed to have an outdoor recreation area built into it with a pavilion, bocce ball court, putting green, tables, restrooms, and a trail around the pond. According to the survey, a portion of the proposed pond is jurisdictional wetlands. All wetlands shall be shown and addressed at the time of site plan submittal and if approved for removal shall be mitigated with the jurisdictional agencies.

PUBLIC FACILITY ANALYSIS

The property does not have a point of transportation access at this time because the property is vacant. However, if the property is developed as proposed by the applicant then access will be provided in the form of a driveway on Roper Road. The property will also have connectivity through cross access with the neighboring development (Serenades by Sonata) out to the signalized Daniels Road Roper Road intersection.

Water, sewer, and reclaimed utilities by the City of Winter Garden will be required for any new development of the property. At such time that the property is developed, all necessary utility lines will be extended and connections made, all extension and connection costs shall be borne by the property owner.

The City will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents including building permits. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department under the First Response System.

All concurrency requirements identified by the City of Winter Garden Code of Ordinances and Comprehensive Plan will be met by the proposed development.

SUMMARY

The proposed development is a reasonable and low intensity use of the land and would not generate a significant increase in traffic volume beyond that typically generated by single-family residential uses, and represents a use that is compatible with the area.

Further, the adjacent property owners should not be negatively impacted as the surrounding properties are developed with single-family planned unit developments. A Community Meeting was held on June 15, 2015 at which time the applicant presented the proposal to develop a 134,000 square foot Independent/Assisted Living Facility on the 7.15 ± acre property. The comments generated from the Community Meeting primarily focused on the building use, impact of site lighting on surrounding single-family residential communities, and questions about other development that has taken place in this area. All concerns have been addressed by the applicant and staff through the use of the PUD zoning designation and limiting the uses of the property within the PUD Ordinance. Staff has coordinated with the applicant to ensure that the development of the property will be consistent with the surrounding residential communities both in the scale and size of the building as well as the open space standards and impervious surface ratio criteria.

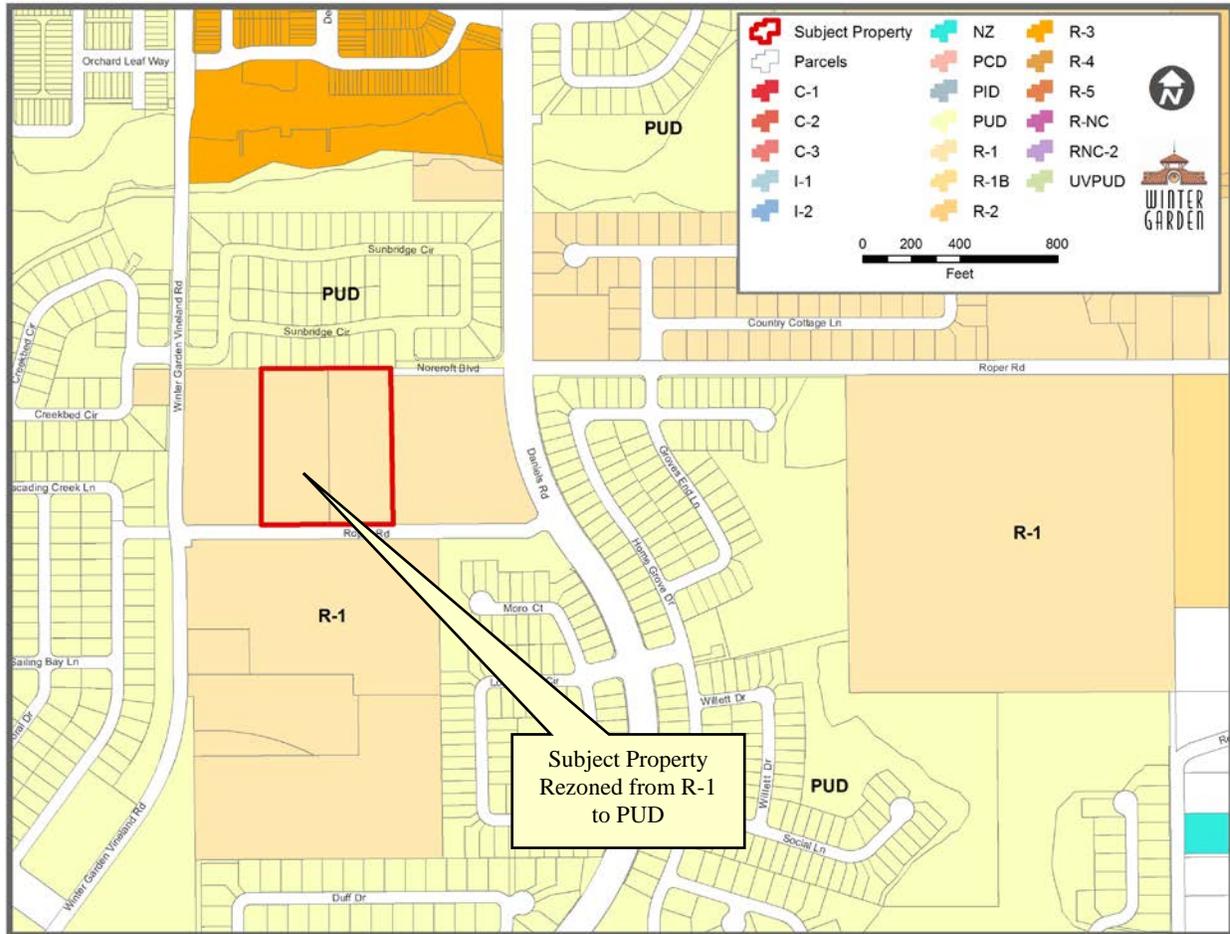
The proposed rezoning from R-1 to PUD is consistent with the City's Comprehensive Plan and the City of Winter Garden Code of Ordinances. Staff recommends approval of the proposed Ordinance to rezone the subject property from R-1 to PUD subject to the conditions in Ordinance 15-55.

MAPS

AERIAL PHOTO
420 Roper Road



ZONING MAP
420 Roper Road



FUTURE LAND USE MAP
720 Roper Road



END OF STAFF REPORT

THE CITY OF WINTER GARDEN
City Commission AGENDA ITEM

From: Mike Bollhoefer, City Manager

Date: 07/02/15

Meeting Date: 07/09/15

Subject: Amendment to Section 98-121 of the City Code

Issue: There has been some concern expressed regarding the required term limits for board members. These limits could create disruptions on boards at a time when boards are working on ongoing projects and important issues. This is especially true for the CRAAB as it tends to be a project driven board. This amendment would allow the Commission to waive the term limit requirements for the Community Redevelopment Advisory Board when they believe it is in the best interest of the City.

Recommendation: Approve Ordinance 15-56 authorizing the Commission to waive term limits for the Community Redevelopment Advisory Board when it is determined that doing so is in the best interest of the Board.

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING ARTICLE V, SECTION 98-121 OF CHAPTER 98 OF THE CODE OF ORDINANCES OF THE CITY OF WINTER GARDEN CONCERNING THE COMMUNITY REDEVELOPMENT AGENCY; PROVIDING FOR WAIVER OF THE TERM LIMITATIONS UPON MAJORITY VOTE OF THE CITY COMMISSION FOR MEMBERS OF THE BOARD OF COMMISSIONERS OF THE COMMUNITY REDEVELOPMENT AGENCY; PROVIDING FOR CODIFICATION; PROVIDING FOR SEVERABILITY, CODIFICATION, AND AN EFFECTIVE DATE.

WHEREAS, the City of Winter Garden (the “City”) currently provides limitations upon the reappointment of members to the board of commissioners of the Community Redevelopment Agency (“CRA”); and

WHEREAS, the City recognizes that, in certain circumstances, the limitations upon the reappointment of members to board of commissioners of the CRA is unfavorable in terms of disruption, inconvenience, and works as a limitation on experience, qualifications, and expertise; and

WHEREAS, the City desires to amend Article V of Chapter 98 of the City’s Code of Ordinances to allow the waiver of the reappointment limitations upon a majority vote of the City Commission at any regular or special City Commission meeting; and

NOW THEREFORE, BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION I: That SECTION 98-121 is hereby amended to read as follows (~~struckout text~~ indicates deletions while underlined text indicates additions):

Sec. 98-121. Community redevelopment agency.

- (d) The board of commissioners of the community redevelopment agency shall, at its first meeting in July, appoint a community redevelopment advisory board, which shall consist of no less than seven and no more than nine members, of which a majority shall either reside, own property or operate a business located within the area of operation of the community redevelopment agency. Beginning on August 1, 2010, members shall be appointed for a term of three years, expiring in the month of July of the third year. Members appointed prior to August 1, 2010 shall serve out the remainder of the terms to which they were appointed. Vacancies occurring during a term may be filled at any time in the same manner as the initial appointment was made, and shall remain effective until the first community

redevelopment agency meeting in July of the last year of the remaining term when a successor is appointed. A member of the advisory board cannot be reappointed after serving two consecutive full terms until he or she has remained off the board for one year; however, for members serving on the board as of August 1, 2010 and who are in the process of serving two or more consecutive terms at such time, such members may serve one additional succeeding term without interruption, regardless of the term limitations contained herein. Further, in the event that the city commission determines that special circumstances exist, the city commission may reappoint any member of the advisory board ~~for a third consecutive term~~ and waive any such term limits contained herein by majority vote at any special or regular meeting of the city commission. The terms of the chairman and vice-chairman of this advisory board shall be three years. The vice-chairman of this advisory board may be appointed chairman in the event the current chairman vacates his or her position as chairman, with the vice-chairman's unexpired term filled by appointment in the same fashion as the original appointment. If an advisory board member fails to attend more than three regularly scheduled meetings per year with a valid excuse, or two regularly scheduled meetings per year without a valid excuse, then that member shall relinquish his/her seat as a member of the advisory board. A member who has an excused absence may vote on any item on the agenda by making his or her vote known in writing to the chair or recording secretary prior to the start of the meeting. The community redevelopment advisory board shall have all duties and responsibilities as may be formally delegated by the community redevelopment agency, but shall, at a minimum, be responsible for the preparation and implementation of the community redevelopment plan through its recommendations to the community redevelopment agency.

All other provisions shall remain the same.

SECTION II: INCONSISTENCY. If any Ordinances or parts of Ordinances are in conflict herewith, this Ordinance shall control to the extent of the conflict.

SECTION III: SEVERABILITY. If any portion of this Ordinance is determined to be void, unconstitutional, or invalid by a court of competent jurisdiction, the remainder of this Ordinance shall remain in full force and effect.

SECTION IV: CODIFICATION. That Section I of this Ordinance shall be codified or made a part of the City of Winter Garden Code of Ordinances.

SECTION V: This Ordinance shall become effective upon approval by the City Commission at its second reading.

FIRST READING: _____, 2015.

SECOND READING AND PUBLIC HEARING: _____, 2015.

APPROVED:

John Rees, Mayor/Commissioner

ATTESTED:

Kathy Golden, City Clerk

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Ed Williams, Community Development Director

Via: City Manager Mike Bollhoefer

Date: July 1, 2015

Meeting Date: July 9, 2015

Subject: Ordinance 15-53 & 15-54
Door-to-Door Distributions and Commercial Handbilling

Issue: There have been requests from citizens to reduce or stop the door-to-door distribution of pamphlets and other handbills.

Discussion:

Citizens have requested that we put regulations into place that will reduce or stop door-to-door distribution of pamphlets and other handbills. If we approve an ordinance concerning the door-to-door distribution of pamphlets, it also requires changes to the regulations for commercial handbilling.

Recommended Action:

Staff recommends approval of Ordinance 15-53 and Ordinance 15-54.

Attachments/References:

Ordinance 15-53
Ordinance 15-54

Ordinance 15-53

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING SECTIONS 38-123 THROUGH 38-150 OF CHAPTER 38 OF THE CODE OF ORDINANCES OF THE CITY OF WINTER GARDEN CONCERNING LITTERING; PROVIDING FOR REGULATIONS OF DOOR-TO-DOOR DISTRIBUTION OF LEAFLETS, PAMPHLETS, AND OTHER HANDBILLS; PROVIDING REGULATIONS OF DISTRIBUTION OF LEAFLETS, PAMPHLETS AND OTHER HANDBILLS UPON AUTOMOBILES AND OTHER VEHICLES; PROVIDING FOR REASONABLE REGULATION OF EXPRESSION AND SPEECH; PROVIDING FOR REGULATIONS NECESSARY TO MAINTAIN AESTHETICS OF THE CITY AND TO PREVENT THE ACCUMULATION OF LITTER AND THE AESTHETICS OF THE CITY BY PROVIDING A LEAST RESTRICTIVE MANNER OF SECURING EXPRESSIVE ITEMS; PROVIDING FOR EXEMPTIONS; PROVIDING FOR VARIANCES; PROVIDING FOR ENFORCEMENT; PROVIDING FOR CODIFICATION; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Winter Garden (the “City”) recognizes that pamphlets, leaflets, brochures, handbills, and other similar expressive materials have played a vital role in the progress and shaping of our nation; and

WHEREAS, the City recognizes that pamphlets, leaflets, brochures, handbills, and other similar expressive materials are afforded governmental protections as set forth in federal and Florida law; and

WHEREAS, the City recognizes that the protections of the First Amendment to the United States Constitution extends to the door-to-door distribution of pamphlets, leaflets, brochures, handbills, and other similar expressive materials to occupants of private premises; and

WHEREAS, federal and Florida courts have held that the prevention of litter, in certain circumstances, constitutes a substantial governmental interest while a substantial governmental interest also exists in protecting the aesthetics and safety of a community; and

WHEREAS, the accumulation of pamphlets, leaflets, brochures, handbills, and other similar expressive materials on private premises may indicate temporary or permanent vacancy of private premises or otherwise lead to criminal targeting of such temporarily or permanently vacant private premises; and

WHEREAS, pursuant to section 403.413, Florida Statutes, the Florida legislature has enacted the Florida Litter Law, which provides that the discarding, placing, or depositing of litter in or on any private property is prohibited, unless prior consent of the owner has been given and unless the dumping of such litter by such person will not cause a public nuisance or otherwise be in violation of any other state or local law, rule, or regulation; and

WHEREAS, the City desires to balance the freedom of speech and freedom of expression protections afforded by federal and Florida law with the protected desire of certain private property owners to be left alone or to not have their right of privacy disturbed or otherwise have pamphlets, leaflets, brochures, handbills, and other similar expressive materials left without their consent upon their private premises; and

WHEREAS, the City desires to balance the freedom of speech and freedom of expression protections afforded by federal and Florida law with the substantial governmental interests in the prevention of litter and the maintenance of the aesthetics of the City and attempt to curtail visual blight combined with the interests of owners and occupants of automobiles and other vehicles to have their private property left alone by those who do not have permission to use it;

NOW THEREFORE, BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION I: That SECTION 38-123 is hereby amended to read as follows (~~struckout text~~ indicates deletions while underlined text indicates additions):

Section 38-123—~~38-150. Reserved.~~ DEFINITIONS.

As used in this chapter, unless the context otherwise clearly indicates, the following terms shall mean as indicated in the following:

Automobile means any motor vehicle, motorcycle, truck, trailer, semitrailer, truck tractor and semitrailer combination, or any other vehicle operated on the roads of the state of Florida, used to transport persons or property, and propelled by power other than muscular power.

Handbill means any unsolicited merchandise, advertisements, flyers, dodgers, circulars, leaflets, pamphlets, booklets, magazines, newspapers, newsletters, or any other printed or otherwise reproduced original or copies of any matter or literature.

Private premises shall mean any dwelling, house, building, or other structure, designed or used wholly or in part for private residential purposes, whether inhabited or temporarily or continuously uninhabited or vacant, and shall include any yard, grounds, walk, driveway, porch, steps, vestibule, or mailbox belonging or appurtenant to that dwelling, house, building, or other structure.

Section 38-124. DECLARATION OF POLICY.

It is the policy of the City in keeping with the laws of the United States of America and the spirit of the Constitution of the State of Florida, to promote and balance its concerns for community aesthetics, safety, and littering combined with the right of private owners of property to be left alone and otherwise not have their private property invaded or littered by those who do not have permission to use it with the guaranteed and inalienable rights of members of the public to express and exercise their rights to free speech and expression on and about private property in certain instances.

Section 38-125. DISTRIBUTION OF HANDBILLS ON PRIVATE PROPERTY GENERALLY.

(a) Placement of handbills on private property. It shall be unlawful for any person to distribute, deposit, place, throw, scatter, or cast any handbill upon any private premises if requested by anyone on those premises not to do so, or if there is placed on the premises in a conspicuous position near the entrance, a sign bearing the words "No Trespassing," "No Peddlers or Agents," "No Advertisement," "No Solicitation," "No Solicitors or Peddlers," or any similar notice indicating in any manner that the occupant(s) of the private premises desires to be left alone or to not have his or her right of privacy disturbed or not to have any handbills left upon his or her premises.

(b) Manner of placement of handbills on private property. It shall be unlawful for any person to distribute, deposit, place, throw, scatter, or cast any handbill in or upon any private premises which are inhabited except by handing or transmitting such handbill directly to the owner, occupant, or any other person then present in or upon the private premises who consents to such distribution; provided, that in the case of inhabited, private premises which are not posted as provided in subsection (a), such person, unless requested by anyone upon the premises not to do so, may place or deposit the handbill in or upon the inhabited private premises, so long as the handbill is so placed or deposited as to secure or prevent it from being blown or drifted about the premises or elsewhere and such placement or deposit does not damage or otherwise cause material interference with the premises as is or should be apparent to a reasonable person, except that mailboxes may not be used for distribution when prohibited by federal postal laws or regulations.

(c) Placement of handbills on vacant private premises. Notwithstanding the preceding provisions, it shall be unlawful for any person to distribute, deposit, place, throw, scatter, or cast any handbill in or upon any private premises where it is or should be readily apparent to a reasonably prudent person that the property is uninhabited or has been otherwise vacant for a substantial period of time.

(d) Accumulation of litter. It shall be unlawful for any person to distribute, deposit, place, throw, scatter, or cast any handbill in or upon any private premises where it is or should be apparent to a reasonable person that any previous day's distribution of any such material has not been removed or such distribution or deposit

results in an excessive accumulation of handbills that is or should be apparent to a reasonable person.

(e) Placement of handbills on vehicles. It shall be unlawful for any person to place, deposit, throw, or affix in any manner any handbill, sign, poster, advertisement, pamphlet, leaflet, or handbill into or onto any automobile or other vehicle on any public property or on any parking lot open to the use of the public, unless he or she be the owner thereof or unless he or she has first secured the consent of the owner thereof. Notwithstanding the foregoing, this subsection shall not prohibit the handing, transmitting, or distributing of any handbill to the owner or other occupant of a vehicle who is willing to accept it.

Section 38-126. EXEMPTIONS.

The provisions of this chapter shall not apply to the regular delivery of newspapers, magazines, or other similar materials which have been subscribed to by the persons receiving them or by occupants of the residence to which they are delivered whereby consent to receive such items has been given or by the distribution of mail by the United States Government. Notwithstanding the preceding, the exempted materials referenced herein shall still be subject to the manner of placement provisions set forth in Section 38-125(b) relating to placement or depositing so as to secure such materials in a manner that does not damage or otherwise cause material interference with the premises.

Section 38-127. VARIANCES.

The City Commission may, by written resolution, grant variances from the provisions of this chapter to permit the distribution of handbills as otherwise prohibited, upon such terms and conditions as the City Commission may impose, after due consideration of the following:

- (1) The nature, scope, method, and times of distribution;
- (2) The extent of the distribution, both as to time required and area to be covered;
- (3) The date or dates on or between which the distribution is to be accomplished;
- (4) The approximate number of individuals who will be engaged in the distribution;
- (5) The provision for removal by the individual or organization proposing the distribution of items not removed by the property owner within a reasonable period of time following the distribution; and

- (6) The likelihood, or lack thereof, of the distribution constituting a real and present danger to the public health, safety, and welfare.

Section 38-128. ENFORCEMENT.

In the event that a violation of this article has occurred or is occurring, the City shall have the right to one or more of the following remedies or actions after an initial verbal warning:

(a) *Code Enforcement Proceedings* – The City may initiate a code enforcement proceeding against the person(s) or entities in violation of this ordinance. A violation may be prosecuted as a violation of an itinerant or transient nature and one that is irreparable and irreversible. Notwithstanding the foregoing, any person who violates the provisions of this chapter shall be entitled an initial warning prior to initiation of code enforcement proceedings.

(b) *Civil Citation* – A civil citation may be issued against the person(s) or entities in violation as set forth in chapter 2 of the Winter Garden Code of Ordinances. The City's law enforcement officers or code enforcement officers are authorized to issue notices to appear to the violator(s). An initial violation of this chapter shall result in an initial warning. A subsequent or repeat violation occurring within a period of one year from the date of the initial warning shall be punishable as a Class I violation as set forth in chapter 2 of the Winter Garden Code of Ordinances. Additional violations occurring within a period of one year from the date of the previous violation shall be punishable as the Classification Penalty that corresponds with the number of subsequent or repeat violations, which shall not exceed Class V.

(c) *Criminal Penalty* – The City may prosecute the violator for a criminal misdemeanor punishable by a fine not exceeding \$500.00 or imprisonment for a term not exceeding 60 days, or by both such fine and imprisonment in the discretion of the court. Notwithstanding the foregoing, any person who violates the provisions of this chapter shall be entitled an initial warning prior to initiation of any criminal proceedings.

(d) *Other Remedies* – The City may institute any appropriate action at law or in equity to bring about compliance or remedy, including but not limited to, instituting an action in court to enjoin violating actions, in which case the violating person(s) or entity shall be liable to the City for reimbursement of the City's attorneys' fees and costs concerning such action. Notwithstanding the foregoing, any person who violates the provisions of this chapter shall be entitled an initial warning prior to initiation of any other remedies as authorized in this subsection.

Section 38-129—150. RESERVED.

SECTION II: INCONSISTENCY. If any Ordinances or parts of Ordinances are in conflict herewith, this Ordinance shall control to the extent of the conflict.

SECTION III: SEVERABILITY. If any portion of this Ordinance is determined to be void, unconstitutional, or invalid by a court of competent jurisdiction, the remainder of this Ordinance shall remain in full force and effect.

SECTION IV: CODIFICATION. That Section I of this Ordinance shall be codified or made a part of the City of Winter Garden Code of Ordinances.

SECTION V: This Ordinance shall become effective upon approval by the City Commission at its second reading.

FIRST READING: _____, 2015.

SECOND READING AND PUBLIC HEARING: _____, 2015.

APPROVED:

John Rees, Mayor/Commissioner

ATTESTED:

Kathy Golden, City Clerk

Ordinance 15-54

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING SECTIONS 38-121 THROUGH 38-150 OF CHAPTER 38 OF THE CODE OF ORDINANCES OF THE CITY OF WINTER GARDEN CONCERNING LITTERING; PROVIDING FOR THE REGULATION OF COMMERCIAL HANDBILLING AND REQUIREMENTS FOR LICENSING FOR OFF-PREMISES COMMERCIAL HANDBILLING ON PUBLIC PROPERTY; PROVIDING FOR THE DELETION OF SURPLUSAGE AND FOR RENUMBERING; PROVIDING FOR CODIFICATION; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Winter Garden (the “City”) recognizes that pamphlets, leaflets, brochures, handbills, and other similar expressive materials have played a vital role in the progress and shaping of our nation; and

WHEREAS, the City recognizes that pamphlets, leaflets, brochures, handbills, and other similar expressive materials are afforded governmental protections as set forth in federal and Florida law; and

WHEREAS, the City recognizes that commercial pamphlets, leaflets, brochures, handbills and other expressive materials located off-premises relating thereto may be regulated by reasonable time, place, and manner restrictions and may be made subject to licensing requirements under certain circumstances; and

WHEREAS, federal and Florida courts have held that the prevention of litter, in certain circumstances, constitutes a substantial governmental interest while a substantial governmental interest also exists in protecting the aesthetics and safety of a community; and

NOW THEREFORE, BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION I: That SECTION 38-121 is hereby amended to read as follows (~~struckout text~~ indicates deletions while underlined text indicates additions):

Section 38-121. Distribution of commercial handbills on streets.

It shall be unlawful for any person to distribute or cause to be distributed on any of the streets, avenues, alleys, or parks within the city or any vacant property within the city, where it is or should be readily apparent to a reasonably prudent person that the property is uninhabited or has been otherwise vacant for a substantial period of time,

~~within the city any paper~~ commercial handbills, circulars, dodgers or other off-premises advertising matter, unless a license is obtained as provided in subsection 66-104(3)b.

SECTION II: SECTION 38-122. Placing or throwing handbills in vehicles. Section 38-122 is hereby deleted in its entirety.

SECTION III: That SECTIONS 38-123—38-128 are renumbered as sections 38-122—38-127.

SECTION IV: That SECTIONS 38-129—38-150 are hereby amended to read as follows (~~struckout text~~ indicates deletions while underlined text indicates additions):

Section 38-129~~8~~—150. RESERVED.

SECTION V: INCONSISTENCY. If any Ordinances or parts of Ordinances are in conflict herewith, this Ordinance shall control to the extent of the conflict.

SECTION VI: SEVERABILITY. If any portion of this Ordinance is determined to be void, unconstitutional, or invalid by a court of competent jurisdiction, the remainder of this Ordinance shall remain in full force and effect.

SECTION VII: CODIFICATION. That Sections I-IV of this Ordinance shall be codified or made a part of the City of Winter Garden Code of Ordinances.

SECTION VIII: This Ordinance shall become effective upon approval by the City Commission at its second reading.

FIRST READING: _____, 2015.

SECOND READING AND PUBLIC HEARING: _____, 2015.

APPROVED:

John Rees, Mayor/Commissioner

ATTESTED:

Kathy Golden, City Clerk

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Ed Williams, Community Development Director

Via: City Manager Mike Bollhoefer

Date: July 2, 2015 **Meeting Date:** July 9, 2015

Subject: 640 Garden Commerce Parkway
Barrier One
Site Plan Approval
PARCEL ID# 24-22-27-9385-00-180

Issue: The applicant is requesting Site Plan approval to construct an +/- 11,764 sq. ft. office and warehouse building with associated site improvements on a vacant parcel in the Winter Garden Commerce Center Phase 1 industrial subdivision.

Discussion:

The 0.97 acre +/- subject property, which is located in the Winter Garden Commerce Center Phase 1 industrial subdivision, is currently vacant.

The applicant is proposing to construct an approximately 11,764 sq. ft. single-story concrete tilt wall office and warehouse building, as well as associated landscaping and other site improvements. The proposed development is required to adhere to the site design and architectural standards of the property's PID (Planned Industrial Development) zoning per Ordinance 13-42.

Recommended Action:

Staff recommends approval of the proposed Site Plan subject to the conditions of the DRC staff report dated July 2, 2015. Development of the property with an 11,764 square foot office and warehouse building is consistent with the City's Comprehensive Plan. Further, the adjacent property owners should not be negatively impacted as the building is proposed to be constructed within an existing light industrial subdivision.

Attachment(s)/References:

Location Map
DRC Staff Report
Site Plan Set

BARRIER ONE



BORRELLI + PARTNERS
ARCHITECTURE PLANNING LANDSCAPE INTERIORS
AAC 000711

720 Vassar Street,
Orlando FL. 32804
407.418.1338 :: fax 407.418.1342

BARRIER ONE INTERNATIONAL INC.
640 WINTER GARDEN COMMERCE CENTER - LOT#18
ORANGE COUNTY, FL 34787

CONSTRUCTION DOCUMENTS
06/2015

CONSULTANTS:

CIVIL ENGINEERS

DAO CONSULTANTS, INC.

1110 EAST MARKS ST.
ORLANDO, FL. 32803-4018
(407) 898-6872

STRUCTURAL ENGINEERS

IBC, INC.

1690 DUNLAWTON AVE., SUITE 110
PORT ORANGE, FL. 32127
(407) 312-9585

MECHANICAL, ELECTRICAL & PLUMBING ENGINEERS

JL & CO.

1180 HARDWOOD AVE. SUITE 3000
ALTAMONTE SPRINGS, FL. 32714
(321) 972-4466

LANDSCAPE DESIGN

BORRELLI + PARTNERS

720 VASSAR ST.
ORLANDO, FL. 32804
(407) 418-1338



TOPOGRAPHIC SURVEY

SHEET 1 OF 1
SECTION 24
TOWNSHIP 22 SOUTH
RANGE 27 EAST

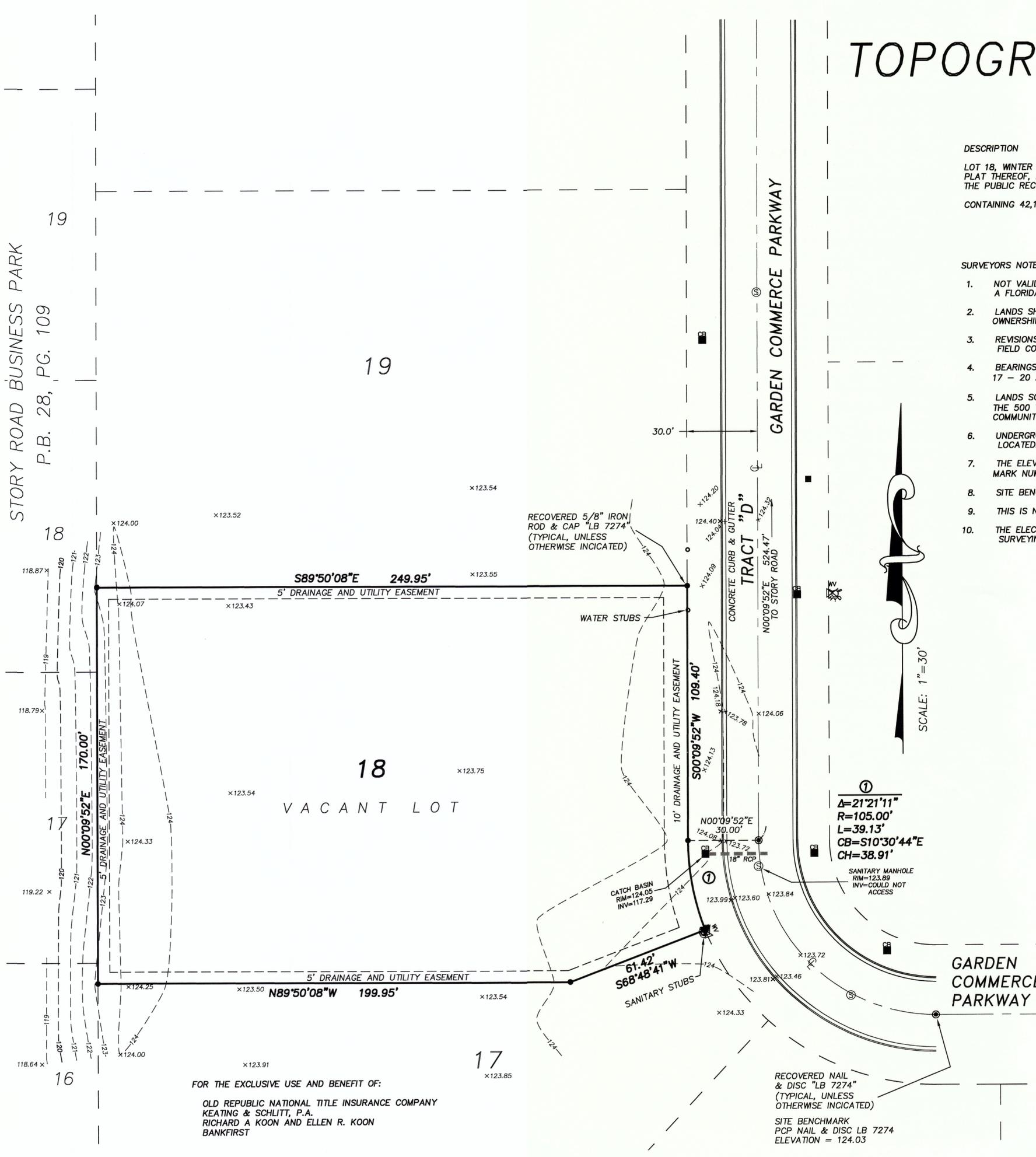
DESCRIPTION

LOT 18, WINTER GARDEN COMMERCE CENTER PHASE 1, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 72, PAGES 133 THROUGH 134, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

CONTAINING 42,104.22 SQUARE FEET OR 0.966 ACRES, MORE OR LESS.

SURVEYORS NOTES:

- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS OF WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD, BY THIS FIRM
- REVISIONS DO NOT CONSTITUTE A RECERTIFICATION OF THE EXISTING FIELD CONDITIONS OF THIS SURVEY.
- BEARINGS SHOWN HEREON ARE BASED ON THE FOLLOWING: THE WEST LINE OF LOTS 17 - 20 AS N00°09'52"E (ASSUMED).
- LANDS SHOWN HEREON LIE ENTIRELY WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN) ACCORDING TO "FIRM" MAP NO. 12095C0215F AND COMMUNITY NO. 120187 0215 F, DATED SEPTEMBER 25, 2009.
- UNDERGROUND IMPROVEMENTS AND INSTALLATIONS HAVE NOT BEEN LOCATED.
- THE ELEVATIONS SHOWN HEREON ARE BASED ON ORANGE COUNTY DATUM PER BENCH MARK NUMBER L 653 027, ELEVATION = 118.19 (NAVD 1988).
- SITE BENCH MARK IS AS SHOWN HEREON.
- THIS IS NOT A BOUNDARY SURVEY.
- THE ELECTRONIC FILE FOR THIS PROJECT IS THE PROPERTY OF BISHMAN SURVEYING AND MAPPING, INC. AND IS NOT THE PROPERTY OF THE CLIENT.



LEGEND:

R	RADIUS	☐	TELEPHONE RISER
△	CENTRAL ANGLE	☐	FIRE HYDRANT
L	LENGTH	☐	MASTER WATER ASSEMBLY
CH	CHORD	☐	SEWER VALVE
CB	CHORD BEARING	☐	WATER VALVE
POB	POINT OF BEGINNING	☐	RECLAIMED WATER VALVE
POC	POINT OF COMMENCEMENT	☐	GAS VALVE
O.R.	OFFICIAL RECORDS BOOK	☐	SANITARY MANHOLE
PG.	PAGE	☐	DRAINAGE MANHOLE
TYP.	TYPICAL	☐	POWER TRANSFORMER
P.T.	POINT OF TANGENCY	☐	WATER METER
P.C.	POINT OF CURVATURE	☐	POWER METER
●	IRON ROD & CAP	☐	WATER BLOW-OFF VALVE
⊙	NAIL & DISC	☐	CLEAN-OUT
⊙	4"x4" CONCRETE MONUMENT	☐	CABLE TELEVISION RISER
⊙	IRON PIPE	☐	CATCH BASIN
x	BARBED WIRE FENCE	☐	CURB INLET
□	WOOD FENCE	☐	CURB INLET WITHOUT MANHOLE
○	CHAIN LINK FENCE	☐	+ 68.51
⊕	CENTERLINE		EXISTING GROUND ELEVATION
LB	LICENSED BUSINESS		
PSM	PROFESSIONAL SURVEYOR & MAPPER		
◇	CONCRETE UTILITY POLE		
⊕	GUY ANCHOR		
■	LIGHT POLE		
~	EXISTING GROUND CONTOUR		

FOR THE EXCLUSIVE USE AND BENEFIT OF:
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
KEATING & SCHLITT, P.A.
RICHARD A KOON AND ELLEN R. KOON
BANKFIRST

BISHMAN
Surveying & Mapping, Inc.

CERTIFICATE OF AUTHORIZATION LB 7274
32 W. PLANT STREET
WINTER GARDEN, FL 34787
Phone No. 407.905.8877
Fax No. 407.905.8875

FLORIDA SURVEYING BOARD
DONALD W. BISHMAN, P.S.M. FLORIDA REGISTRATION NO. 4218

JOB NO.: 13086.001
SURVEY DATE: 11/03/14
FIELD BY: T. CONARD
FIELD BOOK: 1408
PAGES: 43
FIELD FILE: 13086.MJF
DRAWING FILE: 13086-1.DWG

SITE DATA

EXISTING USE: VACANT LOT
 PROPOSED USE : OFFICE/WAREHOUSE
 PROPOSED SITE ZONING : PID(PLAN INDUSTRIAL DEVELOPMENT)

EXISTING LOT COVERAGE :
 LAND AREA = 42,301.35 SF (0.97ACRES).

PROPOSED LOT COVERAGE CALCULATIONS:

MAXIMUM ALLOWED = 33,686.0 SF

CALCULATIONS:

BUILDING AREA = 11,764.0 SF
 PAVED PARKING, DRIVEWAYS, SIDEWALK, PATIO = 13,123.0 SF
 TOTAL PROVIDED = 24,887.0 SF

AREA OF PROPOSED IMPERVIOUS = 24,887.0 SF
 AREA OF PROPOSED OPEN SPACE= 17,414.35 SF

ISR =(IMPERVIOUS/TOTAL AREA)
 =24,887.0 SF/42,301.35 SF = 59%

BUILDING SETBACKS REQUIRED:

75 FT FROM RIGHT OF WAY.

PARKINGS REQUIREMENTS:

1. CODE REQUIREMENTS FOR OFFICE:

AREA= 1,643 SF
 3 VEHICLES/1,000 SF OF GROSS AREA
 5 PARKING SPACES REQUIRED

2. CODE REQUIREMENTS FOR WAREHOUSE:

AREA= 9,652 SF
 1 SPACE PER 1,000 SF OF GROSS FLOOR AREA.
 10 PARKINGS SPACES REQUIRED

3. PARKING CALCULATIONS:

OFFICE = 1643.0 SF/1000 SF = 5 PARKING SPACES ×123.54
 WAREHOUSE = 9,652SF/1000 SF = 10 PARKING SPACES

TOTAL REQUIRED = 15 SPACES

4. PARKING SPACES PROVIDED:

REGULAR PARKING = 16 SPACES
 HANDICAPPED = 1 SPACES

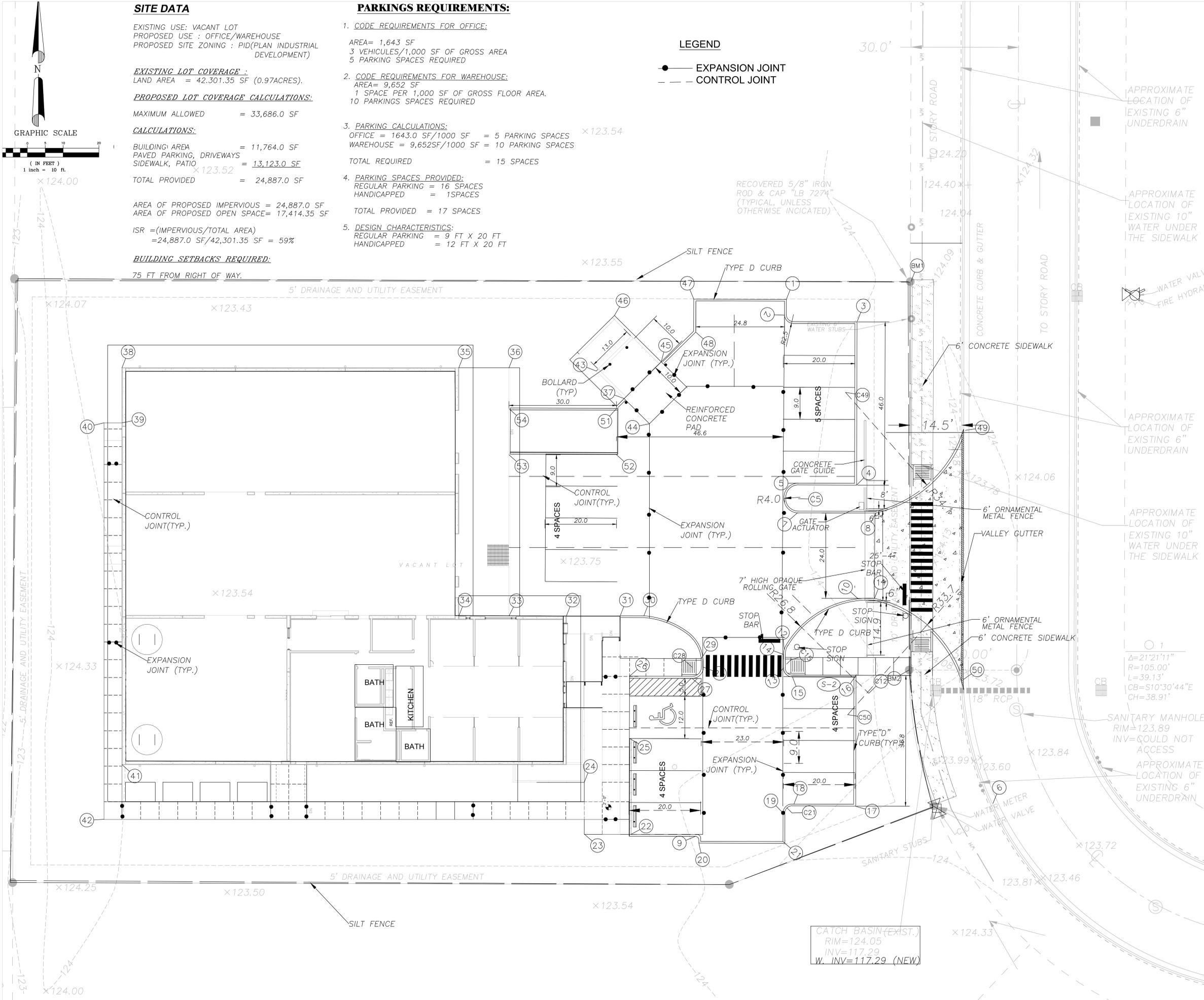
TOTAL PROVIDED = 17 SPACES

5. DESIGN CHARACTERISTICS:

REGULAR PARKING = 9 FT X 20 FT
 HANDICAPPED = 12 FT X 20 FT

LEGEND

- EXPANSION JOINT
- - - CONTROL JOINT



NODE	EASTING	NORTHING
BM1'	370242.42	1619082.81
BM2'	370241.61	1618973.41
1'	370207.64	1619077.9
2'	370207.13	1619073.44
3'	370227.36	1619071.52
4'	370227.09	1619025.52
5'	370210.84	1619026.12
6'	370264.88	1618935.75
7'	370210.54	1619017.74
8'	370232.45	1619017.63
9'	370181.8	1618926.71
10'	370227.42	1618993.5
11'	370231.99	1618993.59
12'	370206.77	1618979.23
13'	370206.54	1618974.07
14'	370206.49	1618977.91
15'	370209.03	1618971.55
16'	370226.78	1618971.95
17'	370226.57	1618935.03
18'	370209.34	1618935.72
19'	370206.31	1618933.23
20'	370182.76	1618924.82
21'	370206.26	1618925.18
22'	370163.86	1618927.32
23'	370150.91	1618927.35
24'	370150.86	1618942.02
25'	370163.59	1618954.31
26'	370163.59	1618971.9
27'	370181.04	1618971.21
28'	370184.21	1618974.37
29'	370183.59	1618976.78
30'	370167.63	1618988.87
31'	370160.99	1618988.82
32'	370145.99	1618988.87
33'	370129.99	1618988.91
34'	370115.99	1618988.95
35'	370116.2	1619058.89
36'	370130.19	1619058.85
37'	370162.29	1619050.08
38'	370022.22	1619059.16
39'	370022.17	1619043.66
40'	370017.17	1619043.67
41'	370021.9	1618947.39
42'	370016.85	1618931.98
43'	370154.54	1619057.89
44'	370169.34	1619042.99
45'	370172.68	1619060.41
46'	370159.66	1619073.5
47'	370181.8	1619078.05
48'	370182.33	1619068.77
49'	370257.48	1619040.87
50'	370160.16	1619047.26
51'	370160.12	1619034.26
52'	370130.12	1619034.35
53'	370130.16	1619047.35
54'	370130.16	1619047.35
C12'	370230.33	1618966.88
C15'	370208.41	1618976.24
C21'	370208.81	1618933.22
C28'	370181.05	1618974.38
C49'	370224.08	1619051.64
C5'	370210.82	1619021.76
C50'	370224.42	1618960.86

720 Vassar Street, Orlando, FL 32804
 407.418.1338 :: Fax 407.418.1342
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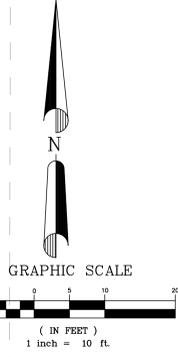
DAO CONSULTANTS
CONSULTANTS
DAO CONSULTANTS, INC.
 CERTIFICATE OF AUTHORIZATION NO.: FL #482
 1110 EAST MARKS STREET
 ORLANDO, FL 32801
 PHONE: (407) 898-4872
 FAX: (407) 898-3778

SITE PLAN

PROJECT No.	14-127
PHASE	SCHEMATIC DESIGN
SCALE	1" = 10'
DRAWN BY	ML
CHECKED BY	SCD
DATE	01/09/2015

File Path



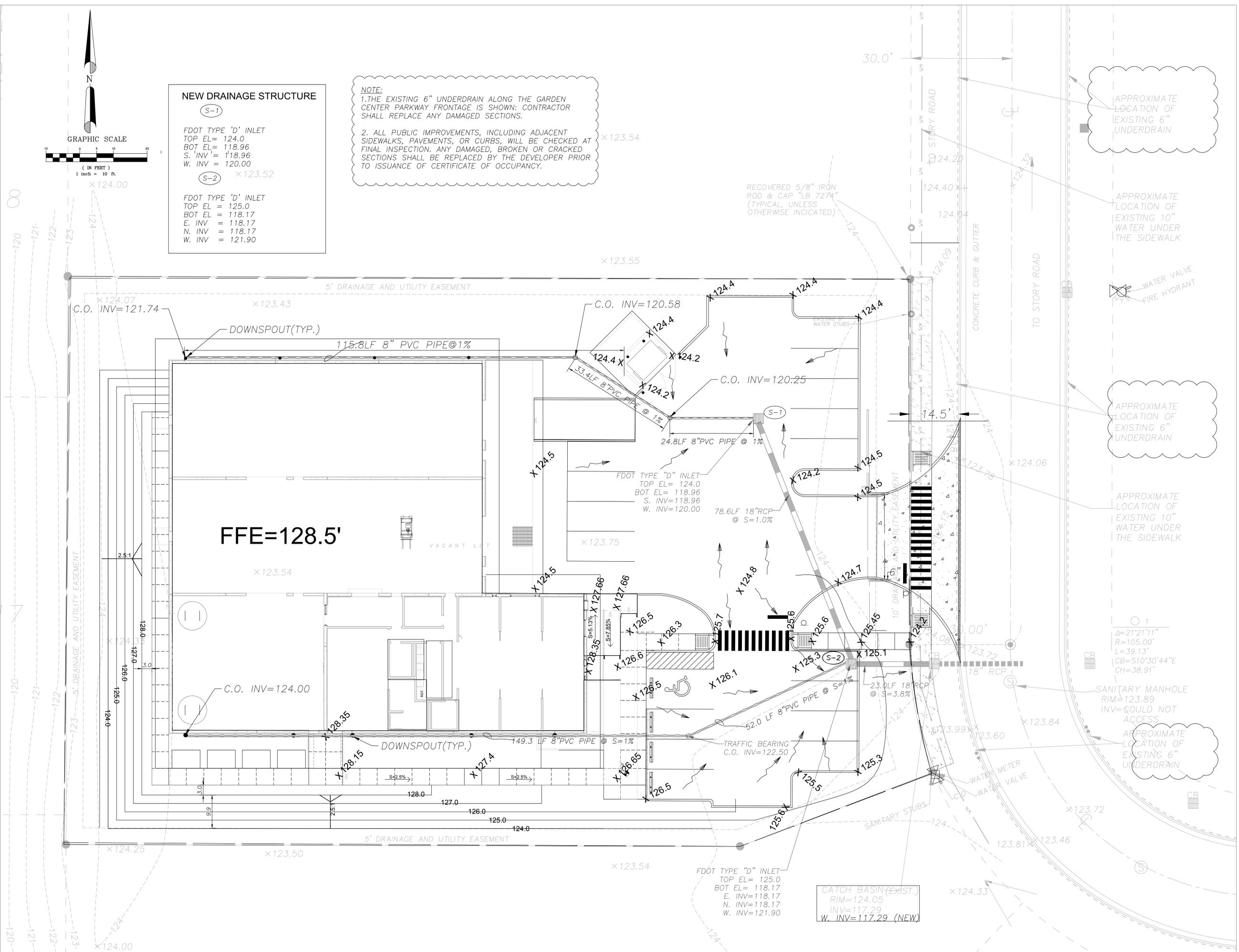


NEW DRAINAGE STRUCTURE

(S-1)
 FDOT TYPE 'D' INLET
 TOP EL = 124.0
 BOT EL = 118.96
 S. INV = 118.96
 W. INV = 120.00

(S-2) × 123.52
 FDOT TYPE 'D' INLET
 TOP EL = 125.0
 BOT EL = 118.17
 E. INV = 118.17
 N. INV = 118.17
 W. INV = 121.90

NOTE:
 1. THE EXISTING 6" UNDERDRAIN ALONG THE GARDEN CENTER PARKWAY FRONTAGE IS SHOWN; CONTRACTOR SHALL REPLACE ANY DAMAGED SECTIONS.
 2. ALL PUBLIC IMPROVEMENTS, INCLUDING ADJACENT SIDEWALKS, PAVEMENTS, OR CURBS, WILL BE CHECKED AT FINAL INSPECTION. ANY DAMAGED, BROKEN OR CRACKED SECTIONS SHALL BE REPLACED BY THE DEVELOPER PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.



APPROXIMATE LOCATION OF EXISTING 6" UNDERDRAIN

APPROXIMATE LOCATION OF EXISTING 10" WATER UNDER THE SIDEWALK

WATER VALVE
FIRE HYDRANT

APPROXIMATE LOCATION OF EXISTING 6" UNDERDRAIN

APPROXIMATE LOCATION OF EXISTING 10" WATER UNDER THE SIDEWALK

1
 $\Delta = 21'21''11''$
 $R = 105.00'$
 $L = 39.13'$
 $CB = S10'30'44''E$
 $CH = 38.91'$

SANITARY MANHOLE
RIM=123.89
INV=COULD NOT ACCESS

APPROXIMATE LOCATION OF EXISTING 6" UNDERDRAIN

CATCH BASIN (EXIST.)
RIM=124.05
INV=117.29
W. INV=117.29 (NEW)

CONSULTANTS		SIGNATURE AND DATED SEAL	
DAO CONSULTANTS, INC. 1110 EAST MARKS STREET ORLANDO, FLORIDA 32863-4018 PHONE: (407) 898-3772 FAX: (407) 898-3776		720 Vassar Street, Orlando, FL 32804 407.418.1338 :: fax 407.418.1342	
GRADING PLAN			
PROJECT No.	14-127	PROJECT ADDRESS	Project Address
PHASE	SCHEMATIC DESIGN	DATE	Orlando, FL
SCALE	1" = 10'	OWNER NAME AND ADDRESS	Client's Name
DRAWN BY	ML	OWNER ADDRESS	Orlando, FL
CHECKED BY	SCD	DATE	01/09/2015

GENERAL NOTES:

- ALL DESIGN AND CONSTRUCTION SHALL MEET THE LATEST CODES, STANDARDS, REGULATIONS AND REQUIREMENTS OF THE CITY OF WINTER GARDEN, CITY OF ORLANDO, ORANGE COUNTY, ORLANDO UTILITIES COMMISSION, OR THE FLORIDA DEPARTMENT OF TRANSPORTATION, WHICHEVER IS MORE STRINGENT.
- THE LOCATION OF ALL EXISTING UTILITIES AND TOPOGRAPHIC FEATURES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR FIELD VERIFICATION OF THE SIZE AND LOCATION OF ALL EXISTING UTILITIES SHOWN AND NOT SHOWN ON THESE PLANS AND RELATED CONSTRUCTION PRIOR TO COMMENCEMENT OF WORK SHOULD A DISCREPANCY ARISE BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, WHICH WOULD APPRECIABLY AFFECT THE EXECUTION OF THE CONSTRUCTION DEPICTED ON THESE PLANS, THE CONTRACTOR WILL HALT CONSTRUCTION AND NOTIFY THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL ADEQUATELY PROTECT ALL EXISTING STRUCTURES AND UTILITIES FROM DAMAGE OR DISPLACEMENT DURING CONSTRUCTION. IN THE EVENT OBSTRUCTIONS ARE ENCOUNTERED, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER AND THE UTILITY. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL COSTS INCURRED TO REPAIR DAMAGE OR CORRECT DISPLACEMENT.
- THE CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES WHICH ARE OCCUPIED OR IN USE WITHOUT A WRITTEN PERMISSION OF THE UTILITY COMPANY.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER ANY EXTRA WORK REQUESTED BY ANY REGULATORY AGENCY THAT IS NOT SHOWN ON THE PLANS. THE CONTRACTOR IS NOT TO PROCEED WITH ANY ADDITIONAL WORK WITHOUT PROPER WRITTEN AUTHORIZATION FROM THE OWNER.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO INSURE AGAINST POLLUTING, SILTING, OR DISTURBING TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY TO EXISTING WATER BODIES. SUCH MEASURES SHALL BE APPROVED BY THE PROJECT ENGINEER AND MAY INCLUDE, BUT NOT BE LIMITED TO, CONSTRUCTION OF TEMPORARY EROSION CONTROL STRUCTURES SUCH AS SEDIMENT BASINS, SEDIMENT CHECKS, OR SILT BARRIERS AT CONTRACTOR'S EXPENSE.
- BENCHMARKS, SURVEY MONUMENTS AND/OR OTHER REFERENCE POINTS SHALL BE CAREFULLY MAINTAINED. IF DISTURBED OR DESTROYED, THESE POINTS SHALL BE REPLACED BY THE CONTRACTOR'S SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- SOD SHALL MATCHING VARIETY TO EXISTING SITE SOD.
- ALL SOIL STRIPPINGS AND ANY UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE AND BE DISPOSED OF BY THE CONTRACTOR UNLESS OTHERWISE DIRECTED BY THE OWNER.
- AS-BUILT DRAWINGS SHALL BE GENERATED BY THE CONTRACTOR AND SUBMITTED TO THE PROJECT ENGINEER UPON PROJECT COMPLETION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ALL TREES AND OTHER VEGETATION OUTSIDE THE LIMITS OF CONSTRUCTION.
- ANY AND ALL PERMITS REQUIRED FOR CONSTRUCTION PURPOSES (LABOR, ROW, UTILIZATION, ETC.) SHALL BE RESPONSIBILITY OF THE CONTRACTOR.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL THE PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS AND/OR EASEMENTS BEFORE BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TRASH AND RUBBLE FROM THE SITE.
- CONTRACTOR SHALL PROVIDE AN EROSION CONTROL PLAN TO THE CITY ENGINEER FOR APPROVAL PRIOR TO THE PRECONSTRUCTION MEETING.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF APPROVED CONSTRUCTION PLANS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION.
- SHOP DRAWINGS OF ALL MATERIAL BEING USED FOR CIVIL SITE WORK SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
- TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH CURRENT FLORIDA D.O.T STANDARD INDEXES AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. CONTRACTOR SHALL PRESENT HIS MAINTENANCE OF TRAFFIC PLANS AT THE PRECONSTRUCTION MEETING FOR APPROVAL.
- FLORIDA STATUTE 553051 (1978) REQUIRES THAT BEFORE EXCAVATION, NOTICE BE GIVEN TO THE UTILITY OWNER A MINIMUM OF TWO (2) DAYS AND A MAXIMUM OF FIVE (5) DAYS, EXCLUDING SATURDAY, SUNDAY AND LEGAL HOLIDAYS. NOT ALL UTILITY COMPANIES ARE MEMBERS OF THE SUNSHINE STATE ONE CALL 1-800-432-4770.
- PRIOR TO COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH FLORIDA STATUTE 553051 FOR THE PROTECTION OF UNDERGROUND GAS PIPELINES.
- ONLY DOUBLE YELLOW STRIPING, HANDICAP STALL WITH ACCESS AISLE, STOP BARS, AND FIRELANE STRIPING TO BE THERMOPLASTIC.
- CONTRACTOR IS TO ADJUST ANY UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN OUT MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
- ELECTRICAL, TELEPHONE, GAS AND CABLE TELEVISION SERVICE WILL BE PROVIDED BY THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE LOCATIONS AND SERVICES FOR THESE UTILITIES WITH THE ENTITIES INVOLVED.
- PAVEMENT MARKINGS AND TRAFFIC CONTROL DEVICES (STOP SIGNS, SIGNALS, ETC.) SHALL BE INSTALLED PER MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.
- ALL CONSTRUCTION SHALL BE PER CITY OF WINTER GARDEN ENGINEERING STANDARDS MANUAL AND LAND DEVELOPMENT CODE (LDC) STANDARDS.

GENERAL SITE NOTES:

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND FIELD VERIFY EXISTENCE OF ALL UTILITIES SUCH AS BUT NOT LIMITED TO WATER, SEWER, GAS, POWER, AND COMMUNICATIONS ABOVE AND UNDER GROUND.
- ANY AND ALL DAMAGE TO EXISTING UTILITIES AT THE SITE BY THE CONTRACTOR'S OPERATIONS OR HIS SUBCONTRACTORS SHALL BE REPLACED AND/OR REPAIRED AT NO COST TO OWNER.
- CONTRACTOR SHALL INSTALL SILT BARRIERS AROUND LIMITS OF CONSTRUCTION AS OUTLINED ON DRAWINGS. ANY CHANGES TO LIMITS OF CONSTRUCTION SHOULD BE APPROVED FIRST BY OWNER BEFORE IMPLEMENTATION.
- CONTRACTOR TO INSPECT SILT BARRIERS DAILY AND PROMPTLY REPAIR ANY BREAKS FOUND DURING INSPECTION.
- CONTRACTOR TO DISPOSE CONSTRUCTION DEBRIS TO OFF-SITE DESIGNATED APPROVED AREA.
- IF DURING DEMOLITION OPERATIONS CONTRACTOR AND/OR HIS SUBCONTRACTORS UNCOVER HAZARDOUS MATERIALS, SUCH AS BUT NOT LIMITED TO ASBESTOS, P.O.L. PRODUCTS; HE SHOULD IMMEDIATELY NOTIFY THE OWNER FOR PROPER DISPOSAL OF HAZARDOUS MATERIALS.
- CONTRACTOR IS REQUIRED TO PAY FEES FOR ANY VIOLATION OF ENVIRONMENTAL LAWS ENACTED BY CITY, COUNTY, STATE, AND FEDERAL.
- ANY DAMAGED, BROKEN OR CRACKED SECTIONS OF SIDEWALK, PAVEMENT, OR CURBS IN ROW SHALL BE REPLACED BY THE DEVELOPPER PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- ALL COMPACTION SHALL BE 98% OF THE MODIFIED PROCTOR MAXIMUM DENSITY.
- ALL GRAVITY SANITARY PIPES AND FITTINGS SHALL BE SDR 26.
- AS-BUILT RECORD DRAWINGS SHALL COMPLY WITH CITY OF WINTER GARDEN REQUIREMENTS.
- ALL CONSTRUCTION SHALL CONFORM TO CITY OF WINTER GARDEN STANDARDS AND SPECIFICATIONS.
- IT IS THE RESPONSIBILITY OF THE OWNER AND THE DESIGN ENGINEER TO ENSURE THAT PRIVATELY OWNED AND MAINTAINED SYSTEMS ARE CONSTRUCTED TO THE INTENDED SPECIFICATIONS. THE CITY IS NOT RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF PRIVATELY OWNED SYSTEMS, TO INCLUDE, BUT NOT LIMITED TO, ROADWAYS, PARKING LOTS, DRAINAGE, STORMWATER PONDS OR ON-SITE UTILITIES.

GENERAL UTILITY NOTES:

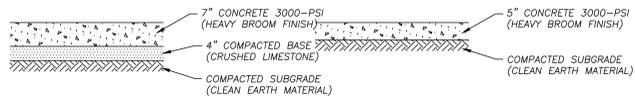
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH UTILITIES COMPANIES SUCH AS BUT NOT LIMITED TO POWER, GAS, WATER, SEWER, AND TELECOMMUNICATIONS FOR BRINGING UTILITIES LINES TO THE SITE FOR HOOK UP BY CONTRACTOR OR HIS SUBCONTRACTORS.
- CONTRACTOR SHALL VERIFY THAT EACH AND EVERY UTILITIES SYSTEM WAS PROPERLY HOOKED-UP, OPERATED AND PERFORMED AS DESIGNED.
- CONTRACTOR SHALL COORDINATE IRRIGATION SLEEVING WITH CIVIL DOCUMENTS.
- ALL ON-SITE UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE NOTIFICATION, LOCATION AND PROTECTION OF ALL UTILITIES THAT MAY EXIST WITHIN THE PROJECT LIMITS.
- THE EXISTING 6" UNDERDRAIN ALONG THE GARDEN CENTER PARKWAY IS SHOWN.; CONTRACTOR SHALL REPLACE ANY DAMAGED SECTIONS.

CONCRETE:

- ALL REINFORCING STEEL SHALL BE DESIGNED, FABRICATED, AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"(ACI 318-00) AND THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" BY THE CRSI OR AS MODIFIED BY THE CONSTRUCTION DOCUMENTS.
- REINFORCED STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615 WITH A YIELD STRENGTH OF 60,000 PSI.
- ALL REINFORCED BENDS ARE TO BE MADE COLD.
- THREADED ROD SHALL BE ASTM F1554, GRADE 36.
- ALL PHASES OF WORK PERTAINING TO CONCRETE CONSTRUCTION AND PLACEMENT SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"(ACI 318-00) AND EPCOT STANDARDS 1003-1 WITH MODIFICATIONS AS NOTED IN THE CONTRACT DOCUMENTS.
- CONCRETE SHALL DEVELOP MIN. 4000 PSI COMPRESSIVE STRENGTH AT 28 DAYS. MAXIMUM SLUMP= 3" PRIOR TO ADDITION OF ANY PLASTICIZER. WATER CEMENT RATIO=0.45.
- AGGREGATES IN REGULAR WEIGHT CONCRETE SHALL CONFORM TO ASTM C-330.
- PORTLAND CEMENT, TYPE I OR II CONFORMING TO ASTM C150 (LOW ALKALI) SHALL BE USED.
- CONCRETE OPERATIONS SHALL CONFORM TO ASTM C-94.
- ALL REINFORCEMENT BARS, TIES, ANCHOR BOLTS AND OTHER INSERTS SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE.
- CONCRETE SLABS SHALL BE FINISHED LEVEL AND TRUE TO THE EXISTING ELEVATIONS.
- UNLESS OTHERWISE NOTED, CONCRETE COVER FOR REINFORCING BARS TO FACE CONCRETE SHALL BE 2"
- ALL NEW CONCRETE TO MATCH EXISTING COLOR AND TEXTURE UNLESS OTHERWISE NOTED.

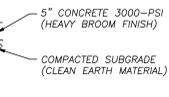
HIGH STRENGTH PAVEMENT

TERMINALS, TRUCK STOPS, AND OTHER HEAVY LOAD TRAFFIC AREAS



NORMAL STRENGTH PAVEMENT

SERVICE STATIONS, PARKING AREAS, AND OTHER LIMITED SERVICE TRAFFIC AREAS



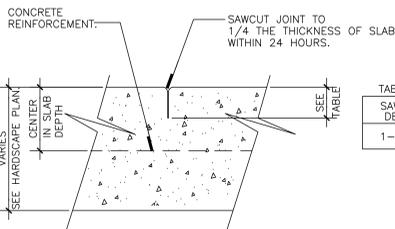
CONCRETE PAVING GENERAL NOTES

- ALL WORK SHALL BE IN CONFORMANCE WITH SPECIFICATIONS DIVISION 3 - CONCRETE
- CONCRETE ABUTTING THE EXISTING ROADWAY PAVEMENT SHALL HAVE ITS THICKNESS INCREASED TO 10" IN A TRANSITION AREA 5' FROM & PARALLEL TO THE EDGE OF PAVEMENT. REMAINDER OF APPROACH WILL BE 7" THICK.
- CONCRETE OVER UNDERGROUND TANKS SHALL BE AS NOTED ON TANK INSTALLATION DRAWINGS. CONTROL JOINTS SHALL BE CONTINUOUS THROUGH TANK SLAB.
- FOR PAD AT DUMPSTER OPENING, USE #4 REBAR @18" O.C EACH WAY.

CONCRETE PAVEMENT JOINT DETAILS

TYPE OF JOINT	USE DESCRIPTION	DETAIL
A. CONTROL JOINT 1. HAND FORMED 2. SAWED 3. PREMOLD STRIP	PLACE JOINTS SO AS TO UNIFORMLY DIVIDE SLABS INTO NOMINAL 12' x 12' SECTIONS.	
B. EXPANSION JOINT	PLACE AGAINST EXISTING CONCRETE PAVEMENTS AND STRUCTURES (BUILDINGS, CANOPY COLUMNS CATCH BASINS, ETC.)	
C. CONSTRUCTION JOINT	CONSTRUCTION JOINTS MUST BE APPROVED BY OWNER'S ENGINEER. PLACE WHEN CONTINUOUS POUR OPERATIONS ARE SUSPENDED FOR MORE THAN 30 MINUTES.	

CONCRETE PAVEMENT DETAIL
C400 N.T.S.

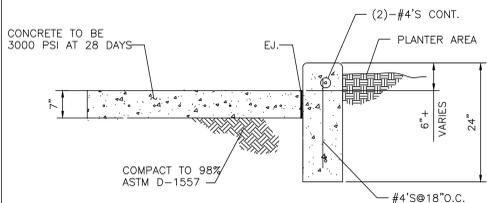


SAWCUT DEPTH	SLAB THICKNESS
1-1/2"	6"

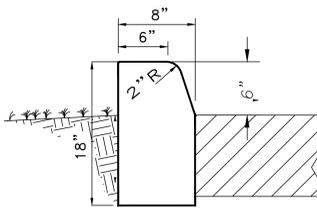
TYPICAL CONTROL JOINT / C.J.
C400 N.T.S.

NOTES

- CONTROL JOINTS SHALL BE PLACED AT EQUAL SPACES (12' MAX.) BETWEEN NORMAL EXPANSION JOINTS. CONTROL JOINTS SHALL BE SAW CUT IN THE UPPER 1/3 OF CURB AND GUTTER WITHIN 24 HOURS OF PLACEMENT.
- ENDS OF TYPE 'D' SHALL TRANSITION FROM FULL TO ZERO HEIGHTS IN 3'.
- JOINT SEAL TO BE USED AGAINST CONCRETE SIDEWALKS



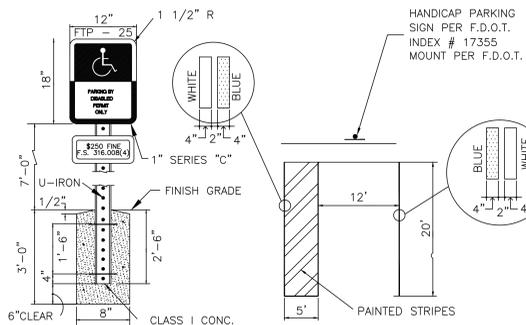
CURB DETAIL
C400 N.T.S.



NOTES

- CONTRACTION JOINTS SHALL BE PLACED AT EQUAL SPACES (10' MAX.) BETWEEN NORMAL EXPANSION JOINTS. CONTRACTION JOINTS SHALL BE SAW CUT IN THE UPPER 1/3 OF CURB AND GUTTER WITHIN 24 HOURS OF PLACEMENT.
- ENDS OF TYPE 'D' SHALL TRANSITION FROM FULL TO ZERO HEIGHTS IN 3'.
- JOINT SEAL TO BE USED AGAINST CONCRETE SIDEWALKS

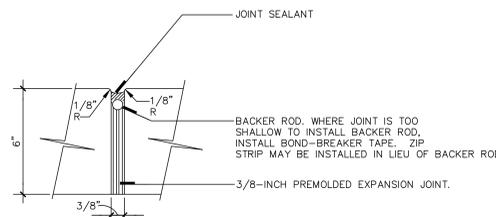
TYPE 'D' CURB
C400 N.T.S.



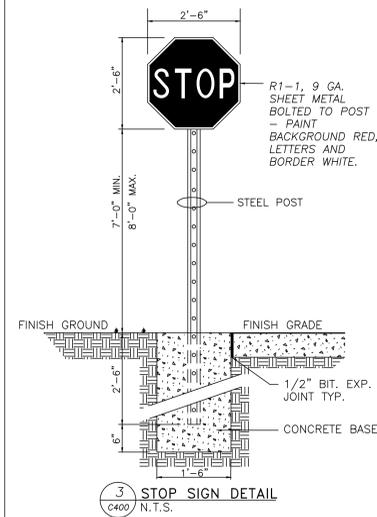
NOTES:

- STANDARD HANDICAP SIGN, TYPICAL WHITE OUTLINE ON BLUE BACKGROUND WITH A FINE FEE SIGN OF \$250 PER F.S. 316.008(4)
- THE U-IRON SHALL BE OF ASTM DESIGNATION A499-74 W/ MIN. WT. OF 2 POUNDS PER FT. W/ 5% TOLERANCE.
- THE FINISH FOR U-IRON IS TO BE GALVANIZED IN CONFORMANCE W/ ASTM SPEC-73.
- PLACE HCP SIGN BEHIND CONC. WALK, CENTERED IN FRONT OF HCP SPACE. HCP SPACE WHEEL STOP TO BE 18" FROM CURB.

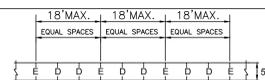
HANDICAP PARKING STALL
C400 N.T.S.



EXPANSION JOINT / E.J.
C400 N.T.S.



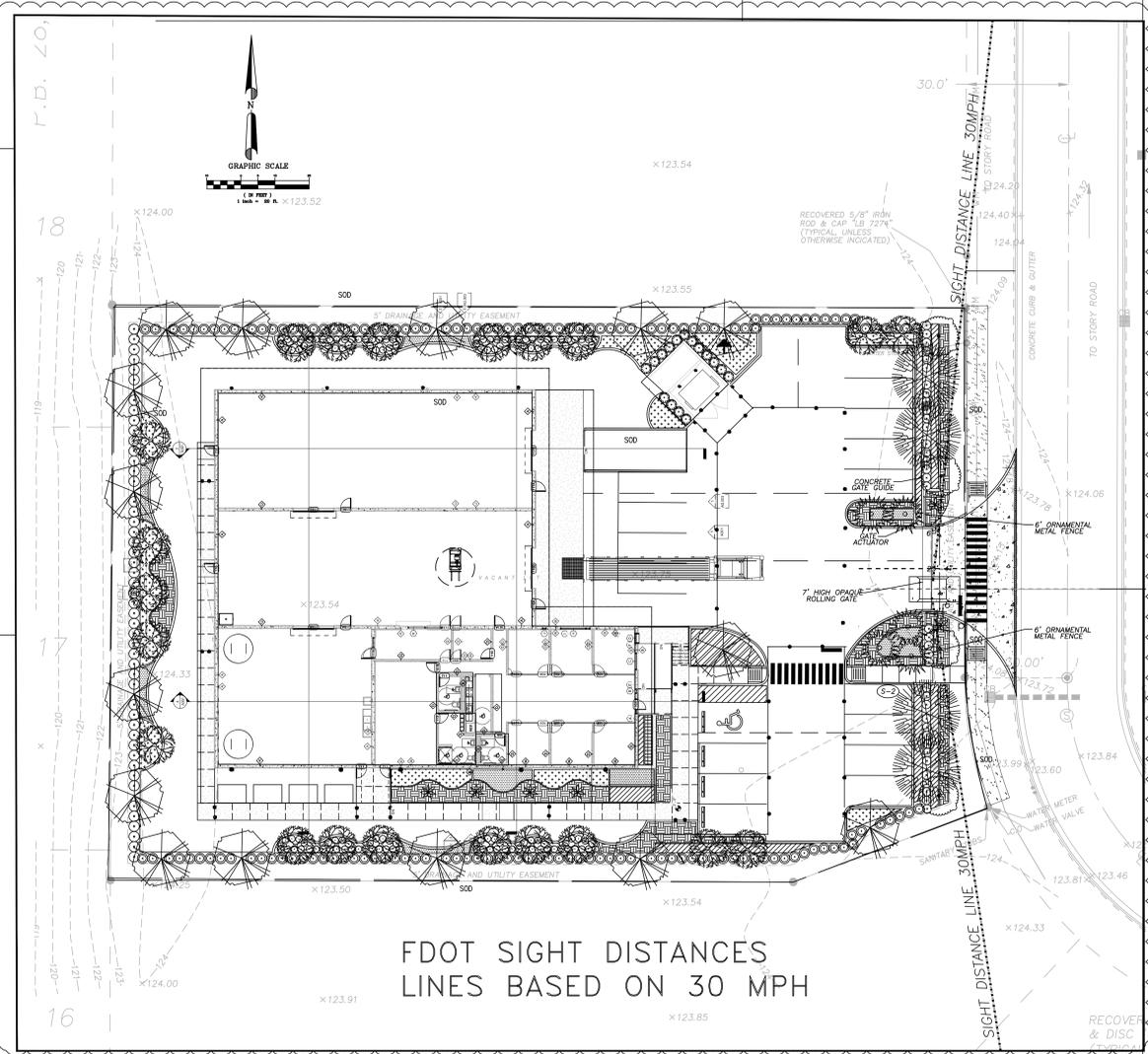
STOP SIGN DETAIL
C400 N.T.S.



E= EXPANSION JOINT
D= DUMMY JOINT
CONCRETE STRENGTH = 3000 PSI (MIN) CLASS I

- EXCEPT AS SHOWN IN PLAN, ALL NEW CONC. WALKS SHALL HAVE JOINTS SPACED AS SHOWN ABOVE. EXPANSION JOINTS SHALL BE USED TO SEPARATE NEW CONC. WALKS FROM OTHER NEW OR EXIST. CONC. CONSTRUCTION.
- SIDEWALK SHALL BE DONE IN ACCORDANCE W/F.D.O.T. STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION. (SECTION 522-CONCRETE SIDEWALK)

SIDEWALK DETAIL
C400 N.T.S.



**FDOT SIGHT DISTANCES
LINES BASED ON 30 MPH**

SIGNATURE AND DATED SEAL

CONSULTANTS

SHEET TITLE

PROJECT ADDRESS

DATE

REV. DESCRIPTION

PROJECT No. 14-127

FILE Path

720 Vassar Street, Orlando FL 32804
407.418.1338 :: fax 407.418.1342
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DAO CONSULTANTS, INC.
CONSULTANTS
1110 EAST MARKS STREET
ORLANDO, FL 32801
PHONE: (407) 898-0977
FAX: (407) 898-3778

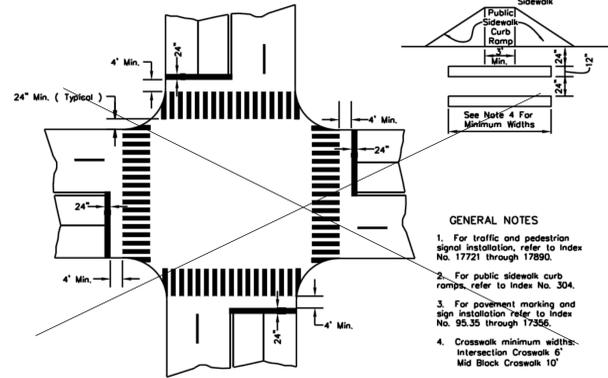
GENERAL NOTES & DETAILS

PROJECT No.	14-127
PHASE	SCHEMATIC DESIGN
SCALE	NOT TO SCALE
DRAWN BY	ML
CHECKED BY	SCD
DATE	01/09/2015
PROJECT ADDRESS	Orlando, FL
OWNER NAME AND ADDRESS	Client's Name Owner Address Orlando, FL

C.400

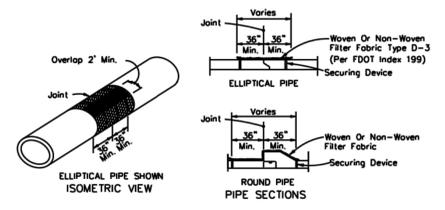
GENERAL NOTES:

1. ALL NEW STORM AND SANITARY SEWER LINES IN THE CITY OF WINTER GARDEN SHALL BE SUBJECT TO CLOSED CIRCUIT TV INSPECTION PRIOR TO BEING ACCEPTED BY THE CITY, WHETHER PRIVATE OR CITY MAINTAINED. ALL STORM SEWER PIPE SHALL BE REINSPECTED AT THE YEAR END, COST TO BE PAID BY THE OWNER.
2. PIPE MATERIAL SHALL BE AS SHOWN ON THE CONSTRUCTION PLANS UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
3. CONTRACTOR AND OWNER ARE RESPONSIBLE FOR ENSURING THAT ALL CITY, COUNTY, STATE (FDEP, FDOT, SRPMD, ETC.), AND FEDERAL PERMITS HAVE BEEN ISSUED FOR THE PROJECT.
4. ALL STORM SYSTEM MUST BE WATER-TIGHT WITH ALL JOINTS WRAPPED.
5. STORM SYSTEM WILL BE CLEANED PRIOR TO BEING TYP.
6. THE OWNER SHALL KEEP A COPY OF THE WATER MANAGEMENT DISTRICT PERMIT, NPDES, NOI AND SWPP PLAN IN A CONSPICUOUS LOCATION ON THE JOB SITE AT ALL TIMES.
7. ALL STORM SEWER MANHOLES FRAME & COVER SHALL BE ASTM 225.
8. CLEAN SAND SHALL CONSIST OF MATERIAL HAVING LESS THAN 5% PASSING THE #200 SIEVE.
9. ONLY CONCRETE RISER RINGS WILL BE ALLOWED TO BE PLACED FOR STORM MANHOLES. ALL RISER RINGS SHALL BE SEALED TO THE STRUCTURE USING WRAPID SEAL. NO MORE THAN 15" WILL BE ALLOWED.
10. STORM SEWER PIPES SHALL MEET ASTM C76 & ASTM C507.
11. ALL STORM SEWER STRUCTURE SECTIONS SHALL BE SEALED WITH WRAPID SEAL.

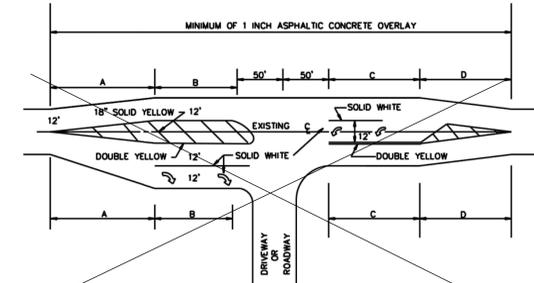


- GENERAL NOTES**
1. For traffic and pedestrian signal installation, refer to Index No. 17721 through 17890.
 2. For public sidewalk curb ramps, refer to Index No. 304.
 3. For pavement marking and sign installation refer to Index No. 95.35 through 17265.
 4. Crosswalk minimum widths: Intersection Crosswalk 6' Mid Block Crosswalk 10'

SPECIAL EMPHASIS CROSSWALK SIGNALIZED OR STOP SIGN CONTROLLED INTERSECTION
N.T.S.



ELIPTICAL PIPE SHOWN ISOMETRIC VIEW
ROUND PIPE PIPE SECTIONS
Cost of filter fabric jacket to be included in cost of pipe culverts.
FOR ALL PIPE TYPES - CONCRETE PIPE SHOWN
FILTER FABRIC JACKET
N.T.S.

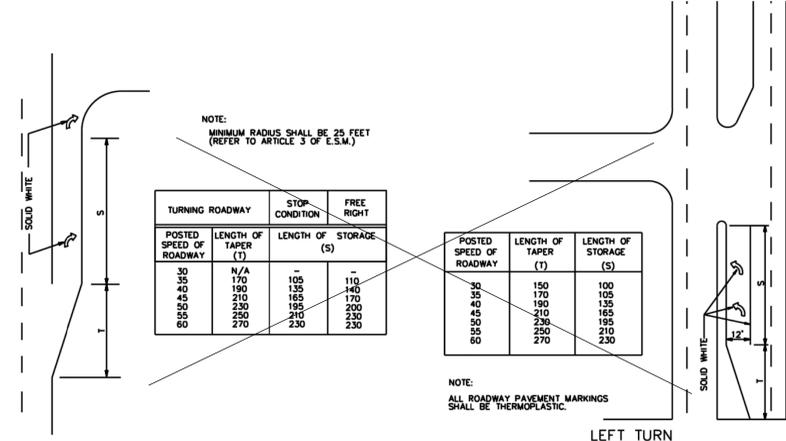


PAVEMENT MARKING LENGTHS

SPEED	A	B	C	D
40 MPH	190'	110'	135'	100'
45 MPH	210'	140'	165'	210'
50 MPH	230'	170'	195'	230'
55 MPH	250'	200'	210'	250'

- NOTES:**
- 1) STRIPING ACCORDING TO F.D.O.T. STANDARD INDEX #17346B.
 - 2) LANE WIDTHS TO MATCH EXISTING LANE WIDTHS.
 - 3) MINIMUM RADIUS SHALL BE 25 FEET (REFER TO ARTICLE 3 OF E.S.M.)
 - 4) ALL ROADWAY PAVEMENT MARKING SHALL BE THERMOPLASTIC.

TYPICAL INTERSECTION
N.T.S.



TURNING ROADWAY

POSTED SPEED OF ROADWAY	LENGTH OF TAPER (T)	LENGTH OF STORAGE (S)	STOP CONDITION	FREE RIGHT
30	N/A	-	-	-
35	170	105	110	100
40	190	135	140	105
45	210	165	170	110
50	230	195	200	115
55	250	210	230	120
60	270	230	230	125

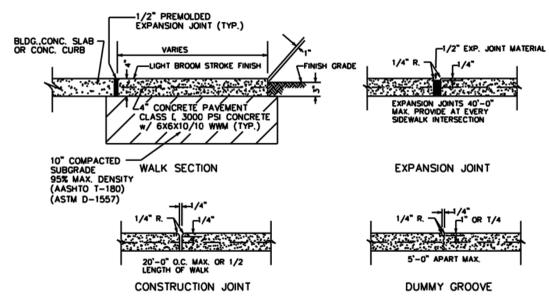
LEFT TURN STORAGE LANE (DIVIDED HIGHWAY)

POSTED SPEED OF ROADWAY	LENGTH OF TAPER (T)	LENGTH OF STORAGE (S)
30	150	100
35	170	105
40	190	110
45	210	115
50	230	120
55	250	125
60	270	130

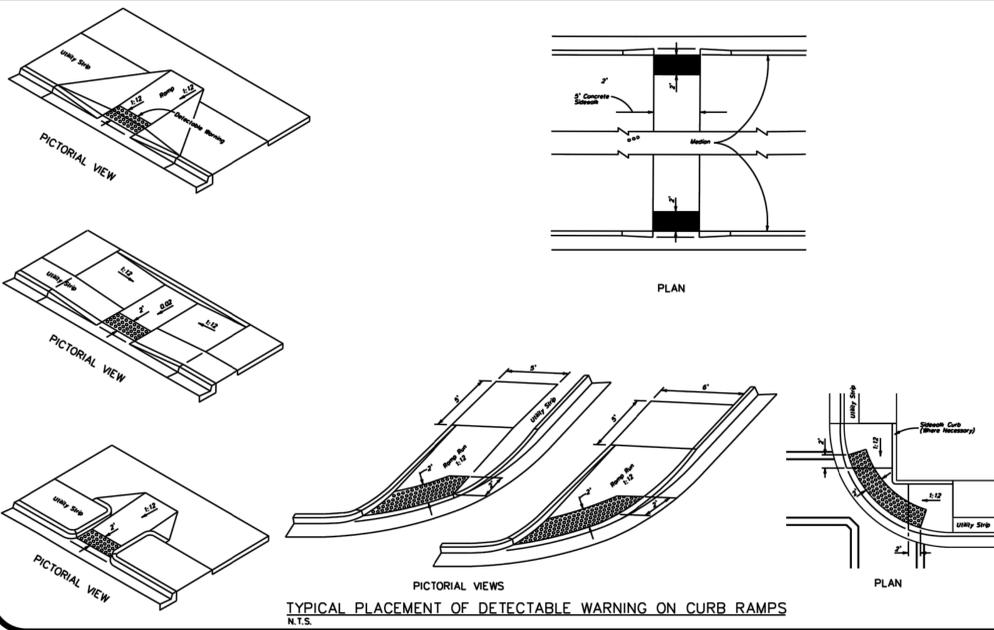
- NOTE:**
ALL ROADWAY PAVEMENT MARKINGS SHALL BE THERMOPLASTIC.

RIGHT TURN DECELERATION LANE
N.T.S.

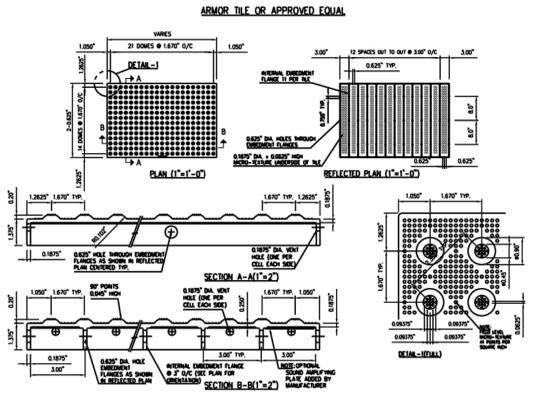
LEFT TURN STORAGE LANE (DIVIDED HIGHWAY)
N.T.S.



SIDEWALK DETAILS
N.T.S.



TYPICAL PLACEMENT OF DETECTABLE WARNING ON CURB RAMP
N.T.S.



CURB RAMP DETECTABLE WARNING DETAIL
N.T.S.

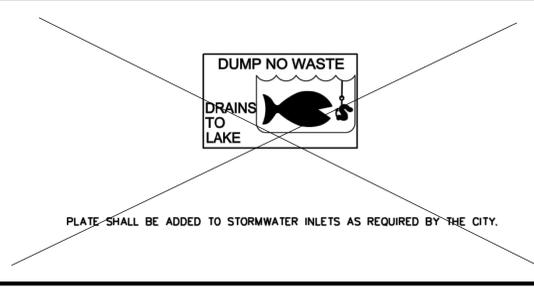


PLATE SHALL BE ADDED TO STORMWATER INLETS AS REQUIRED BY THE CITY.

City of Winter Garden, Florida
STANDARDS AND SPECIFICATIONS
For Roadway & Drainage Construction



GENERAL NOTES FOR PUBLIC SERVICES

DATE
JANUARY 2008

SHEET
8 OF 10

NO.	ITEM	DATE
1	Deleted Underiron Detail	4/4/14
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT NO.	14-127
PHASE	SCHEMATIC DESIGN
SCALE	NOT TO SCALE
DRAWN BY	ML
CHECKED BY	SCD
DATE	01/09/2015

PROJECT ADDRESS
Project Address Orlando, FL

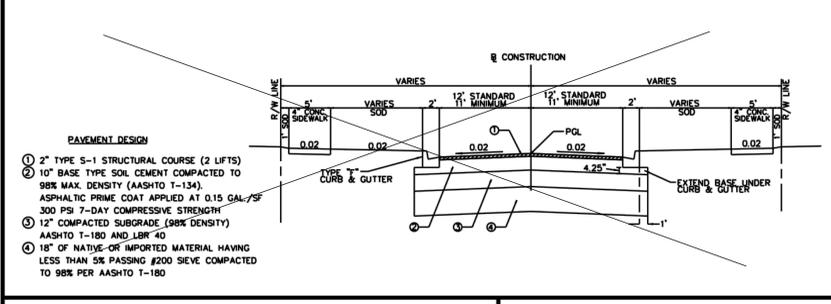
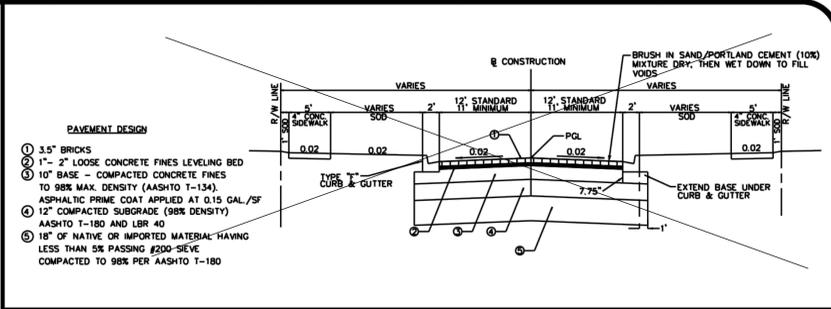
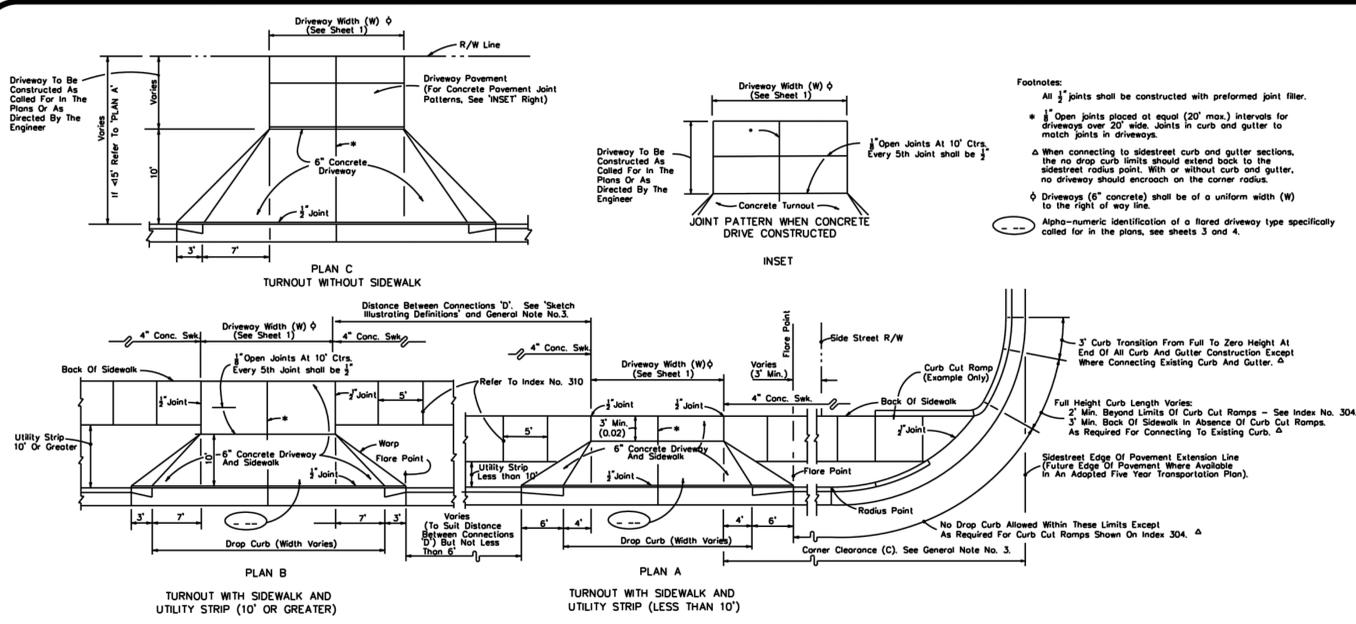
OWNER NAME AND ADDRESS
Client's Name
Owner Address
Orlando, FL

UTILITY DETAILS

CONSULTANTS
DAO CONSULTANTS INC.
CONSULTANTS
CERTIFICATE OF AUTHORIZATION NO. FL #5482
1110 EAST MARKS STREET
ORLANDO, FL 32817
PHONE: (407) 898-0872
FAX: (407) 898-3778

SIGNATURE AND DATED SEAL

720 Vassar Street, Orlando FL 32804
407.418.1338 :: Fax 407.418.1342
CONCRETE AND METAL FABRICATORS
TO ANY OTHER PARTY EXCEPT AS NOTED BY THE ARCHITECT, CONTRACTOR, BORROWER, LENDER, INSURER, ADJUDICATOR, OR OTHER PARTY.
DRAWN BY: JAC COFFIT / JAC 01/08

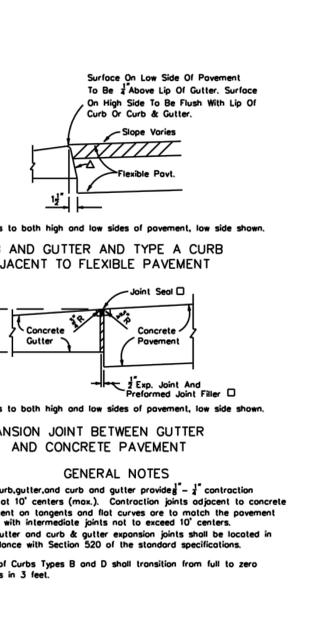
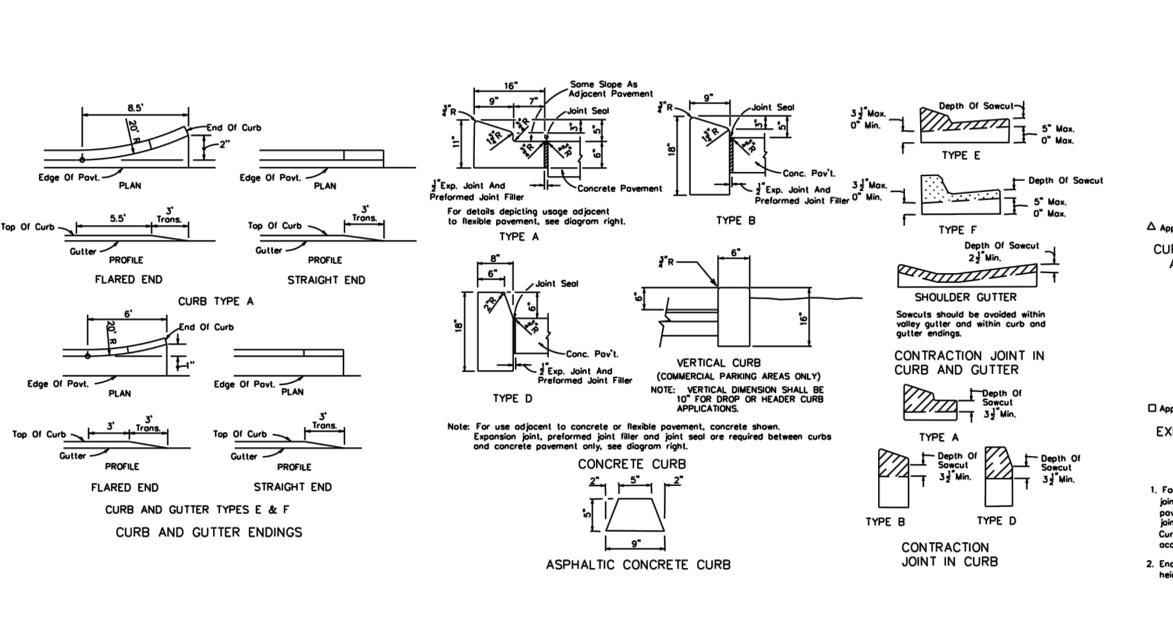
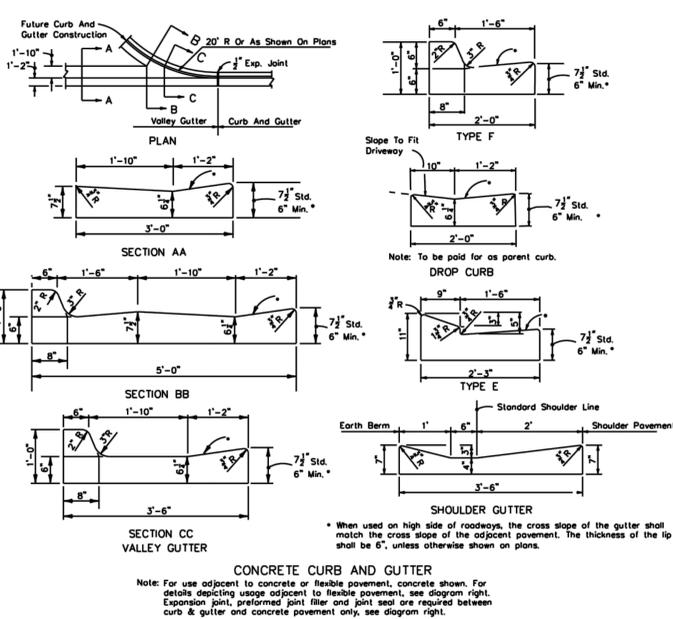
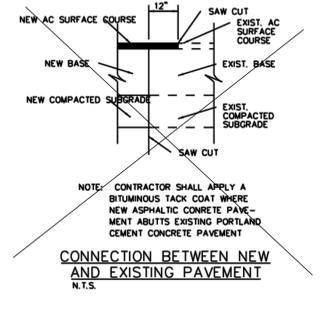
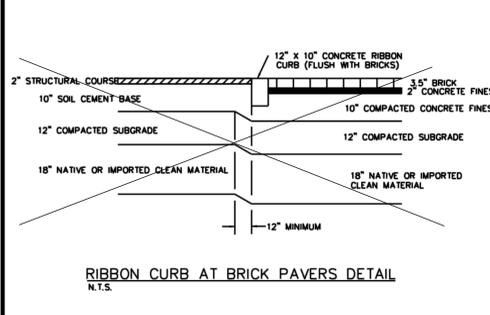


- SPECIAL NOTES FOR URBAN FLARED TURNOUTS**
- Driveway 6" concrete pavement and drop curb shall meet the material and construction requirements of Sections 522 and 520 respectively of the FDOT Standard Specifications. The driveway foundation shall meet the requirement of Subarticle 522-4.
 - For details of drop curb and curb cut ramps refer to indexes Nos. 300 and 304 respectively.
 - Where turnouts are constructed within existing curb and gutter, the existing curb and gutter shall be removed either to the nearest joint beyond the flare point or to the extent that no remaining section is less than 5 feet long and, drop curb constructed in accordance with Notes Nos. 1 and 2.
 - Cost for preformed joint filler shall be included in the cost for the concrete pavement (concrete sidewalk, 6" thick).
 - For turnouts with radial returns see the requirements under the "Summary Of Geometric Requirements For Turnouts", the "General Notes", the details of "Turnout Construction" and the detail of "Limits Of Clearing & Grubbing, Stabilization And Base At Intersections".
 - Department maintenance of pavement shall extend out to the right of way or 2 feet back of sidewalk, whichever distance is less.
 - The maintenance and operation of highway lighting, traffic signals, associated equipment, and other necessary devices shall be the responsibility of a public agency.
 - All pavement markings on the State highways, including acceleration and deceleration lane markings, and signing installed for the operation of the State Highway shall be maintained by the Department.
 - All signing and marking installed for the operation of the connection (such as stop bars and stop signs) shall be the responsibility of the permittee.
 - Turnouts with radial returns see the requirements under the "Summary Of Geometric Requirements For Turnouts", the "General Notes", the details of "Turnout Construction" and the detail of "Limits Of Clearing & Grubbing, Stabilization And Base At Intersections".

- DESIGN NOTES FOR URBAN FLARED TURNOUTS**
- Driveways indicated as 'Adverse Applications' are those with slopes that can cause overhang drop for representative standard passenger vehicles under fully loaded conditions; or, those with slopes that can cause drivers who are leaving the roadway to slow or pause to the extent that traffic demand volumes will be impacted.
 - The standard flared driveways on this index may not accommodate vehicles with low beds, low undercarriage or low appendage features. Where such vehicles are design vehicles driveways are to have site specific flare designs or Category designs.
 - When specific flare type driveways are to be constructed, the type shall be designated in the plans using the assigned alpha-numeric designation.
- Driveways indicated as 'Marginal Applications' are those with slopes that can cause overhang drop for representative standard passenger vehicles under fully loaded conditions when the driveway is located on the low side of fully super-elevated roadways.
- Driveways indicated as 'General Applications' are those with slopes that can readily accommodate representative standard passenger vehicles and those and those that can accommodate representative standard trucks, vans, buses and recreational vehicles operating under normal crown and super-elevation conditions.

URBAN FLARED TURNOUTS
N.T.S.
PER INDEX No. 515 OF THE F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS

Note: See sheet 1 for 'GENERAL NOTES'



NO.	ITEM	SECTION	DATE
1	Brick Typical Section		4/4/14

City of Winter Garden, Florida
STANDARDS AND SPECIFICATIONS
For Roadway & Drainage Construction



STANDARD DETAILS
FOR
PUBLIC SERVICES

PROJECT No.	14-127
PHASE	SCHEMATIC DESIGN
SCALE	NOT TO SCALE
DRAWN BY	ML
CHECKED BY	SCD
DATE	01/09/2015
DATE	JANUARY 2008
SHEET	9
	9 OF 10

CONSULTANTS
DAO CONSULTANTS INC.
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ORLANDO, FLORIDA 32817
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SIGNATURE AND DATED SEAL

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PROJECT TITLE

PROJECT ADDRESS
Project Address
Orlando, FL

OWNER NAME AND ADDRESS
Client's Name
Owner Address
Orlando, FL

DATE
JANUARY 2008

SHEET
9

9 OF 10

C.403

SEC. 118-1524. - LANDSCAPE BUFFERS BETWEEN PARCELS (REAR)

- 10-FOOT WIDE LANDSCAPE BUFFER
- 50% COVERAGE W/SHRUBS AND GROUNDCOVER (70% PROVIDED)
- TREES: 2 CANOPY TREE/100 LF. = 4 REQUIRED (4 PROVIDED)
- UNDERSTORY TREES: 3 TREES/100 LF. = 5 REQUIRED (5 PROVIDED)
- SHRUBS: 33 SHRUBS/100 LF. = 56 REQUIRED (161 PROVIDED)
- GROUNDCOVER: 1 GAL.

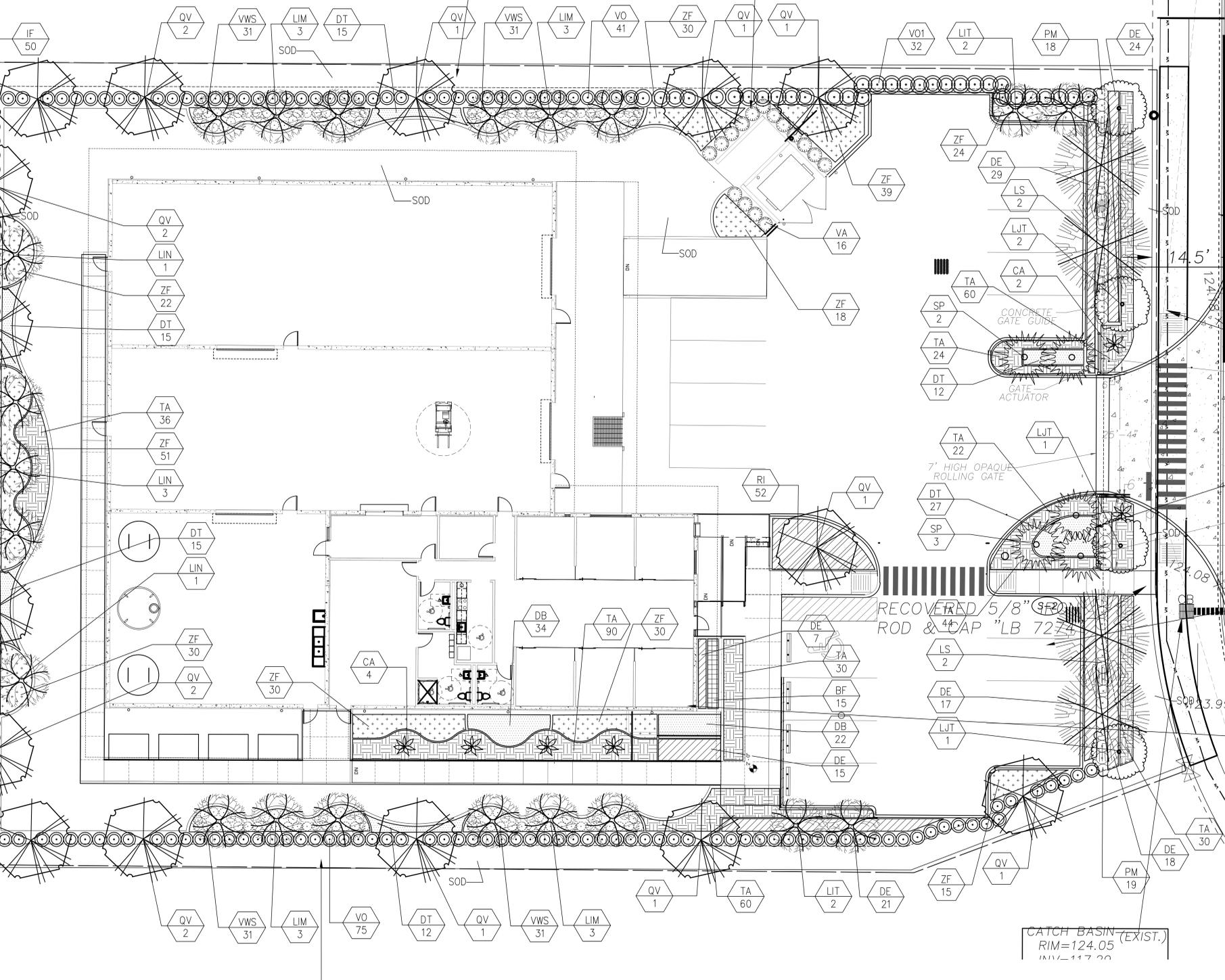
SEC. 118-1524. - LANDSCAPE BUFFERS BETWEEN PARCELS (NORTH SIDE)

- 5-FOOT WIDE LANDSCAPE BUFFER
- 50% COVERAGE W/SHRUBS AND GROUNDCOVER (92% PROVIDED)
- TREES: 2 CANOPY TREE/100 LF. = 5 REQUIRED (5 PROVIDED)
- UNDERSTORY TREES: 3 TREES/100 LF. = 7.5 REQUIRED (8 PROVIDED)
- SHRUBS: 33 SHRUBS/100 LF. = 82.5 REQUIRED (135 PROVIDED)
- GROUNDCOVER: 1 GAL.

SEC. 118-1529. - STORAGE AREAS AND SITE UTILITIES.

- DUMPSTER: 6' H.T. MASONRY WALL W/CAP & CLOSING GATES (SPLIT FACE, NORMAN BRICK OR STANDARD CONCRETE MASONRY CLAD WITH PAINTED STUCCO OR OTHER MASONRY VENEER.)
- 24' H.T. HEDGE(36"-42" H.T., 90% OPAQUE/1-YEAR.)

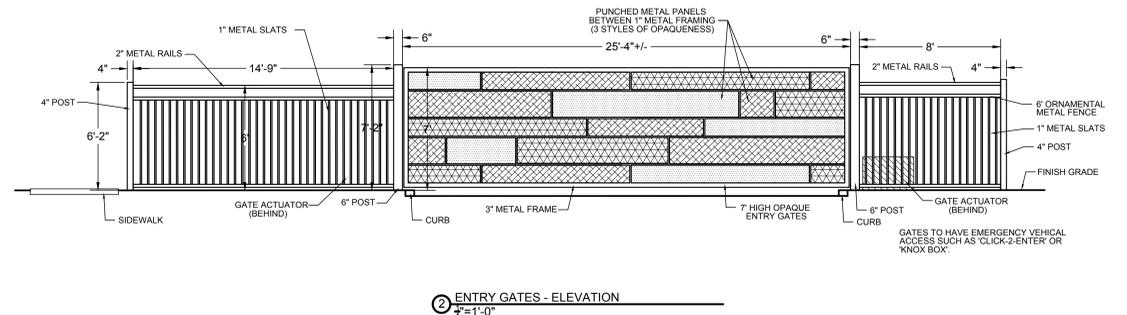
PLANT LIST					
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	DESCRIPTION	REMARKS
TREES					
LIN	5	LAGERSTROEMIA INDICA 'NATCHEZ'	WHITE CRAPE MYRTLE	11' HT, 5" SPR., 2" CAL., STANDARD TRUNK	SPACE AS SHOWN GUY
LIM	12	LAGERSTROEMIA INDICA 'MUSKOGEE'	PINK CRAPE MYRTLE	11' HT, 5" SPR., 2" CAL., MULTI-TRUNK	SPACE AS SHOWN GUY
LIT	4	LAGERSTROEMIA INDICA 'TONTO'	RED CRAPE MYRTLE	11' HT, 5" SPR., 2" CAL., STANDARD TRUNK	SPACE AS SHOWN GUY
LJT	4	LIGUSTRUM JAPONICUM	LIGUSTRUM TREE	11' HT, 11" SPR., 2-1/2" DBH, MULTI-TRUNK	SPACE AS SHOWN GUY
LS	4	LIQUIDAMBAR STYRUCIFLUA	SWEET GUM	14' HT, 4" SPR., 2-1/2" DBH, MULTI-TRUNK, FULL	SPACE AS SHOWN GUY
QV	15	QUERCUS VIRGINIANA 'HIGHRISE'	LIVE OAK	12'-14' HT x 5'-6" SPR. / 3" CAL.	SPACE AS SHOWN GUY
SP	5	SABAL PALMETTO	CABBAGE PALM	20'2", 20'4", 18'6" C.T., STR. TRUNKS 3-5' FRONDS MINIMUM. TIE WITH HEMP.	SPACE AS SHOWN GUY
SHRUBS					
CA	6	CRINUM ASIATICUM	CRINUM LILY	40" HT. x 40" SPRD. / FULL / 150	AS SHOWN
DE	150	DURANTA ERECTA 'GOLDMOUND'	GOLDMOUND DURANTA	18" O.A. / FULL / 30	24" O.C.
IF	50	ILICUM FLORIDANUM	FLORIDA ANISE	24" O.A. / FULL / 3 G	30" O.C.
PM	36	PODOCARPUS MACROPHYLLA	JAPANESE YEW	48" HT. x 30" SPR. / FULL / 15 G	30" O.C.
VA	16	VIURNUM ODORATISSIMUM 'AWABUKI'	MIRROR-LEAF VIBURNUM	36" HT. x 30" SPRD. / FULL / 70	30" O.C.
VO	117	VIURNUM ODORATISSIMUM	SWEET VIBURNUM	30" HT. x 30" SPRD. / FULL / 50	30" O.C.
VO1	32	VIURNUM ODORATISSIMUM	SWEET VIBURNUM	48" HT. x 30" SPRD. / FULL / 100	30" O.C.
VWS	124	VIURNUM OBOVATUM 'MRS. SHILLERS DELIGHT'	DWARF WALTER'S VIBURNUM	24" HT. x 24" SPRD. / FULL / 30	30" O.C.
GROUNDCOVER					
BF	15	BULBINE FRUTESCENS 'HALLMARK'	TANGERINE BULBINE	12" HT. x 12" SPRD. / FULL / 1 G	18" O.C.
DB	56	DIETES BICOLOR	YELLOW AFRICAN IRIS	12" HT. x 15" SPRD. / FULL / 1 G	24" O.C.
DT	129	DIANELLA TASMANICUM	BLUEBERRY FLAX LILY	18" HT. x 24" SPRD. / FULL / 30	24" O.C.
RI	52	RHAPHIOLEPIS INDICA 'ALBA'	WHITE INDIAN HAWTHORN	18" O.A. / FULL / 30	24" O.C.
TA	420	TRACHELOPERMUM ASIATICUM	ASIAN JASMINE	MUL. 12 RUNNERS / FULL / 3 GAL.	24" O.C.
ZF	259	ZAMIA FLORIDANA	COONTIE	15" HT. x 18" SPRD. / FULL / 3 GAL.	24" O.C.
SOD					
SEE PLANS		STENOTAPHRUM SECUNDATUM 'FLORATAM'	ST. AUGUSTINE GRASS	SOLID, FREE OF PESTS AND DISEASES	FIELD VERIFY QTY.
MULCH					
SEE PLANS		MINI PINE BARK NUGGETS	MINI PINE BARK NUGGETS	FREE OF DIRT AND DEBRIS	FIELD VERIFY QTY.



SEC. 118-1524. - LANDSCAPE BUFFERS BETWEEN PARCELS (SOUTH SIDE)

- 5-FOOT WIDE LANDSCAPE BUFFER
- 50% COVERAGE W/SHRUBS AND GROUNDCOVER (90% PROVIDED)
- TREES: 1 CANOPY TREE/50 LF. = 5 REQUIRED (5 PROVIDED)
- UNDERSTORY TREES: 3 TREES/100 LF. = 8 REQUIRED (8 PROVIDED)
- SHRUBS: 33 SHRUBS/100 LF. = 86 REQUIRED (181 PROVIDED)
- GROUNDCOVER: 1 GAL.

LANDSCAPE PLAN
 1" = 10'-0"



ENTRY GATES - ELEVATION
 1/4" = 1'-0"

SEC. 118-1523. - LANDSCAPE BUFFER ALONG PUBLIC STREETS

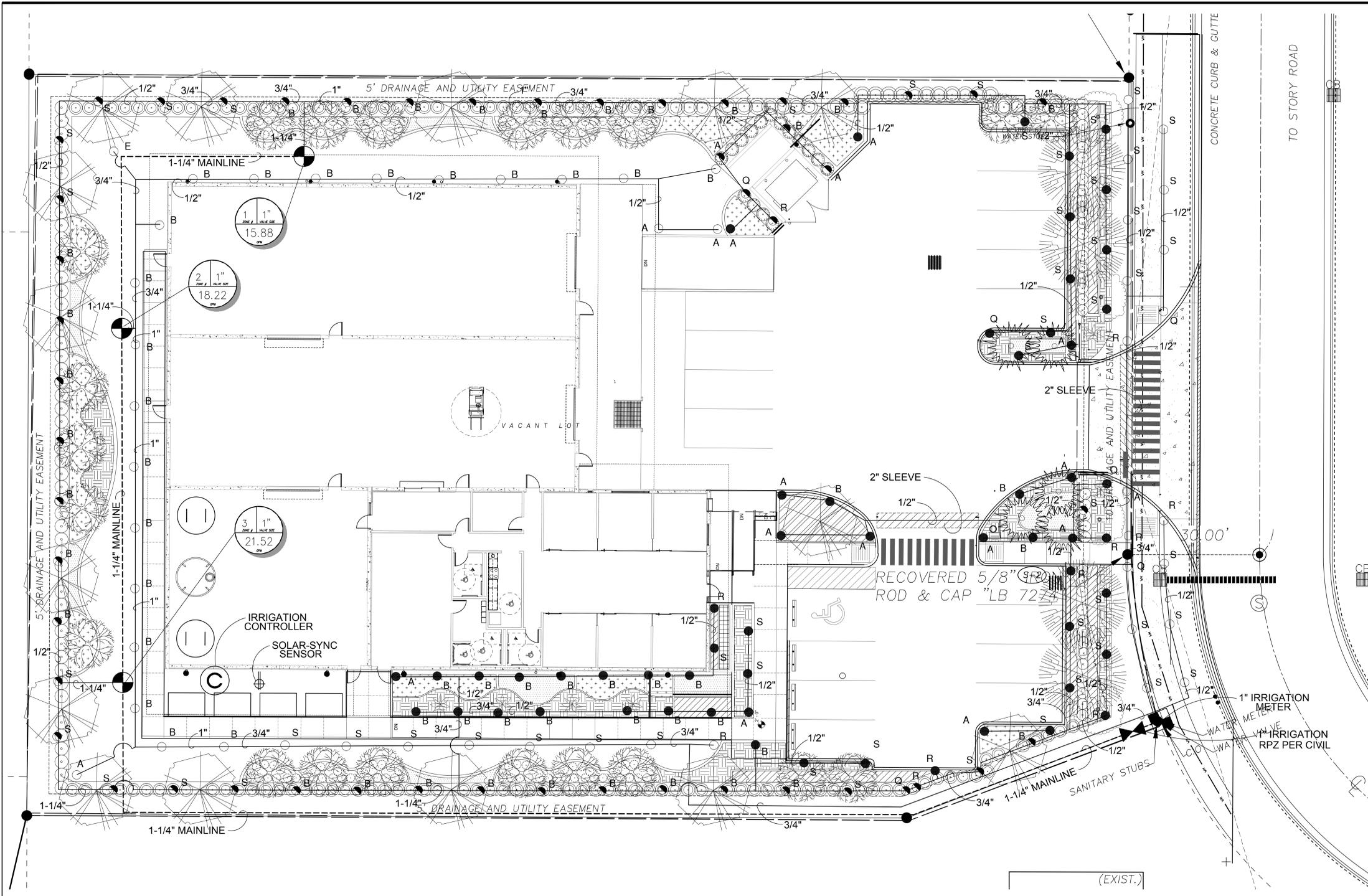
- 15-FOOT WIDE LANDSCAPE BUFFER
- 50% COVERAGE W/ SHRUBS AND GROUNDCOVER (68% PROVIDED)
- TREES: 1 CANOPY TREE/70 LF. = 2 REQUIRED (4 PROVIDED)
- UNDERSTORY TREES: 3 TREES/100 LF. = 5 REQUIRED (4 PROVIDED)
- SHRUBS: 33 SHRUBS/100 LF. = 45 REQUIRED (127 PROVIDED)
- GROUNDCOVER: 1GAL.

SEC. 118-1525. - PARKING LOT LANDSCAPING

- TREES: 1 CANOPY TREE/10 SPACES (30GAL., 2" CAL., 12' O.A.) - 2 C.T. REQ. 2 C.T. PROVIDED
- PLANTING AREA: 100% SITE PAVED AREA
- ISLANDS: 40% SHRUBS & GROUNDCOVERS
- OTHER IMPERVIOUS: 1 CANOPY TREE/50 LF OF PEDESTRIAN WALKWAY NOT ASSOCIATED WITH A REQUIRED BUFFER OR BUILDING FRONTAGE PLANTING.
- 1 CANOPY TREE/EACH 400SF OF ADDITIONAL PLANTING AREA

SEC. 118-1522. - BUILDING OPEN AREAS

- THE GREEN SPACES AROUND BUILDINGS SHALL BE LANDSCAPED COMPLETELY WITH TREES, SHRUBS, GROUNDCOVERS, ANNUALS OR SOD
- A MINIMUM TEN-FOOT WIDE LANDSCAPE AREA SHALL BE LOCATED AROUND ALL BUILDINGS. A FIVE-FOOT SIDEWALK MAY BE INCLUDED IN THIS BUFFER AREA.
- TREES: 1 CANOPY TREE OR UNDERSTORY TREE/EACH 50 LF
- PLANTING AREA: 30% MIN. (SHRUBS AND GROUNDCOVERS)

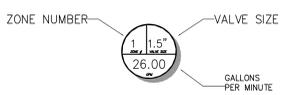


1 IRRIGATION PLAN
1" = 10'-0"



SPRAY NOZZLE CHART

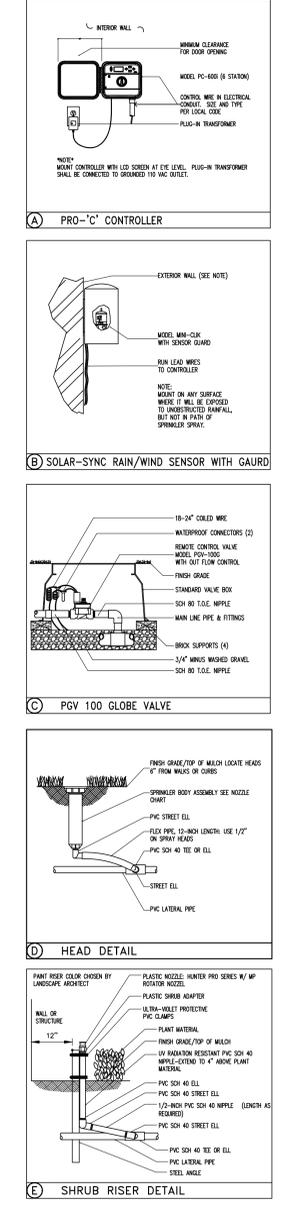
SYM	NOZZLE	NOZZLE PATTERN	GPM
A	MAROON	90° ADJUSTABLE ARC	.19
B	MAROON	180° ADJUSTABLE ARC	.37
C	LT. BLUE	210° ADJUSTABLE ARC	.43
D	LT. BLUE	270° ADJUSTABLE ARC	.57
E	OLIVE	360° ARC	.75
P	TURQUOISE	45°-105° ADJUSTABLE ARC	.45
Q	IVORY	5x15' LEFT STRIP	.22
R	COPPER	5x15' RIGHT STRIP	.22
S	BROWN	5x30' SIDE STRIP	.44
U	2G	90° 2' SHORT RADIUS	.11
V	2H	180° 2' SHORT RADIUS	.16
W	4Q	90° 4' SHORT RADIUS	.22
X	4H	180° 4' SHORT RADIUS	.44



IRRIGATION EQUIPMENT LIST

SYMBOL	DESCRIPTION	QUANTITY
○	6" POP-UP SPRAY - HUNTER INDUSTRIES MPR40 W/MP1000 NOZZLES	50
●	12" POP-UP SPRAY - HUNTER INDUSTRIES MPR40 W/MP1000 NOZZLES	57
○	SPRAY ON RISER - HUNTER INDUSTRIES INST-00-CY-MP1000	50
⊙	HUNTER "90°" SERIES ELECTRIC VALVE WITH 1/2" SET PRESSURE REGULATOR	3
⊙	HUNTER PRO-C "PC-600" CONTROLLER, 6 STATION UNIT WITH PLASTIC CABINET (MOUNT INSIDE GARAGE NEAR OUTLET)	1
⊙	HUNTER "SOLAR-SYNC" SENSOR SYSTEM	1
⊙	1" IRRIGATION METER PROVIDE 24 GPM AT 40 PSI	1 (BY OWNER)
⊙	1" REDUCED PRESSURE ZONE BACKFLOW DEVICE	1
---	LATERAL LINE SIZE PER PLAN	SEE PLAN
---	1-1/4" MAINLINE CLASS 200 P.V.C. SIZE PER PLAN	SEE PLAN
---	SLEEVING - SCH. 40 P.V.C. MIN. DEPTH OF 24"	SEE PLAN

IRRIGATION DETAILS



IRRIGATION DETAILS

- IF IRRIGATION SYSTEM IS TO BE RUN WITH RE-USE WATER, ALL PIPE, VALVES, AND NOZZLES TO HAVE STANDARD PURPLE COLOR AND TAGS PER RE-USE WATER REQUIREMENTS.
- REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREES AND SHRUBS.
- ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
- ALL POP-UP ROTORS AND SPRAY HEADS SHALL BE INSTALLED USING AN 18" P.V.C. FLEX PIPE CONNECTION. DO NOT USE FLUNNY PIPE.
- ADJUST ALL NOZZLES TO REDUCE WATER WASTE ON HARD SURFACES AND BUILDING WALLS.
- THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FLOODING.
- ALL RISERS SHALL BE PAINTED BLACK, DARK GREEN OR DARK BROWN.
- ALL RISERS SHALL BE STAKED WITH A STEEL ANGLE AND SECURED WITH ULTRA-VIOLET LIGHT PROTECTED P.V.C. CLAMPS.
- ALL CONTROL WIRE SPLICES SHALL BE MADE IN VALVE BOXES USING SNAP-TITE CONNECTORS AND SEALANT.
- THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING ON A REPRODUCIBLE PAPER (SEPIA OR MYLAR) SHOWING ALL INSTALLED IRRIGATION. A MYLAR OR SEPIA OF THE ORIGINAL PLAN MAY BE OBTAINED FROM THE LANDSCAPE ARCHITECT FOR A FEE. THE DRAWING SHALL LOCATE ALL MAINLINE AND VALVES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES.
- ALL VALVES, GATE VALVES AND QUICK COUPLERS SHALL BE INSTALLED IN VALVE BOXES.
- ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE A LANDSCAPE AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY AND INSIDE THE LANDSCAPE AREAS.
- ALL RISERS SHALL BE INSTALLED 12" FROM ANY WALL AND A MINIMUM OF 12" FROM ANY SIDEWALK, PATIO OR ROAD.
- THE EXACT HEIGHT OF ANY 12" POP-UP THAT IS SHOWN IN A SHRUB BED SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE ANY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIRS AND COST OF ANY DAMAGE CAUSED BY HIS WORK.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP.
- CONTRACTOR TO USE MIN. OF 12 GAUGE WIRE FOR ALL COMMON WIRES AND 14 GAUGE WIRE FOR ALL CONTROL WIRES. CONTRACTOR ALSO TO PROVIDE 3 SPARE CONTROL WIRES FOR ANY FUTURE USE.
- CONCRETE THRUST BLOCKS ARE TO BE UTILIZED AT ALL MAINLINE DIRECTION CHANGES.
- ALL IRRIGATION SHOWN ON PLANS IS SCHEMATIC AND DOES NOT REFLECT ALL FITTINGS AND APPURTENANCES WHICH SHALL BE NECESSARY TO PROVIDE A FULLY FUNCTIONAL IRRIGATION SYSTEM CAPABLE OF PROVIDING 100 PERCENT COVERAGE WITH A 50 PERCENT OVERLAP.

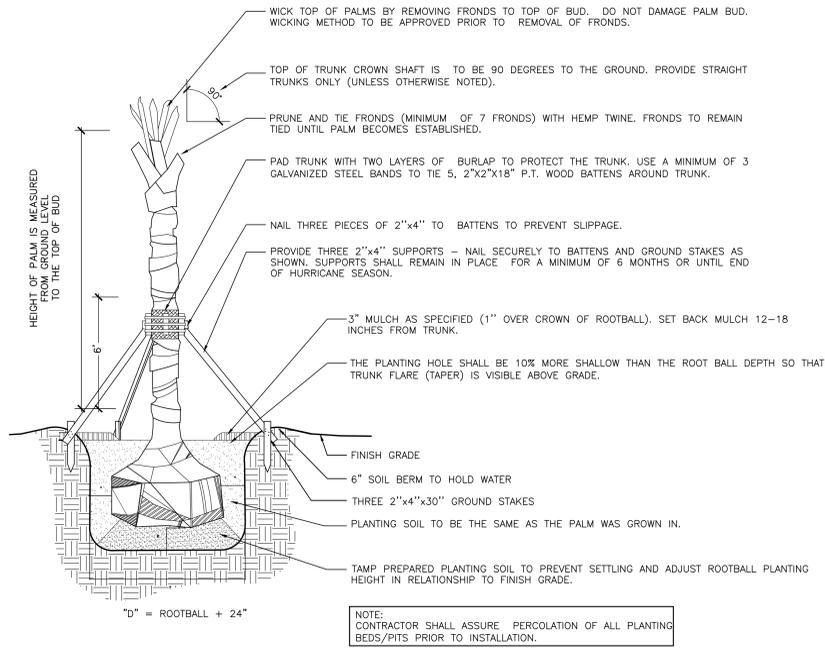
BARRIER ONE

BORRELLI + PARTNERS
ARCHITECTURE PLANNING LANDSCAPE INTERIORS
720 Vassar Street, Orlando, FL 32804
407.418.1338 • Fax 407.418.1342
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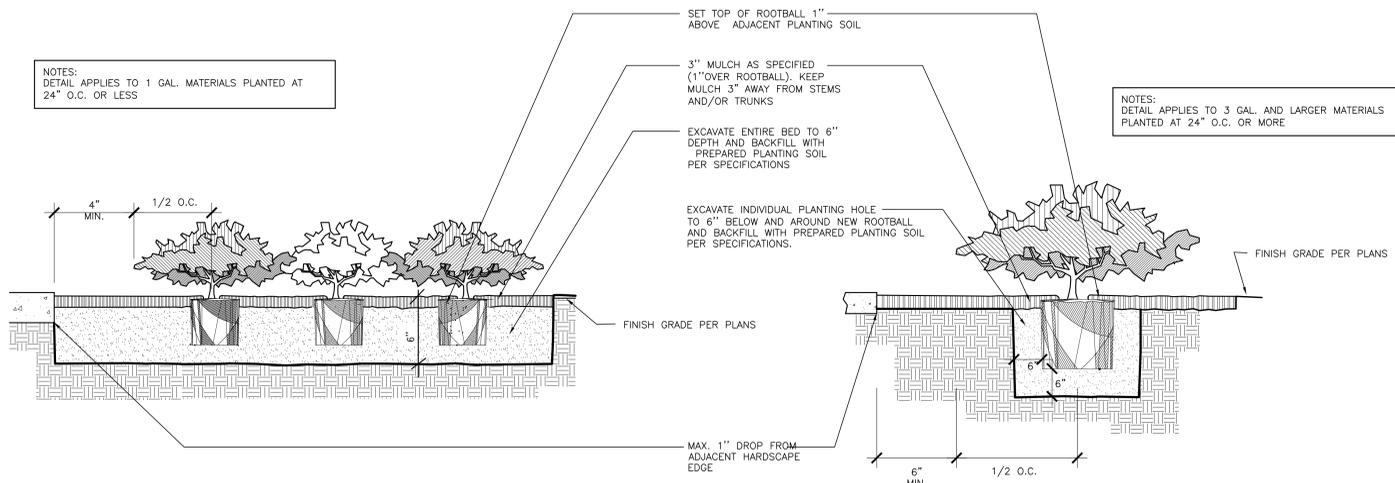
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PROJECT TITLE: _____
OWNER NAME AND ADDRESS: _____
DRAWN BY: _____ C.D.R. _____
CHECKED BY: J.A.B./D.T. _____
DATE: June, 2015

PHASE: _____
SCALE: As indicated
DRAWN BY: _____
CHECKED BY: J.A.B./D.T.
DATE: June, 2015

1201

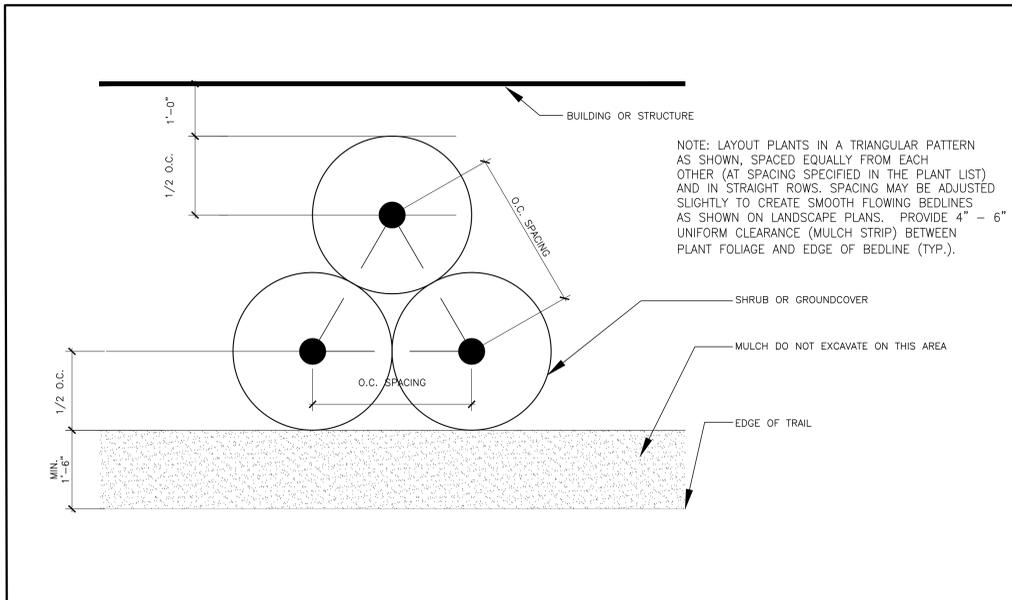


1 PALM PLANTING DETAIL
3/4" = 1'-0"

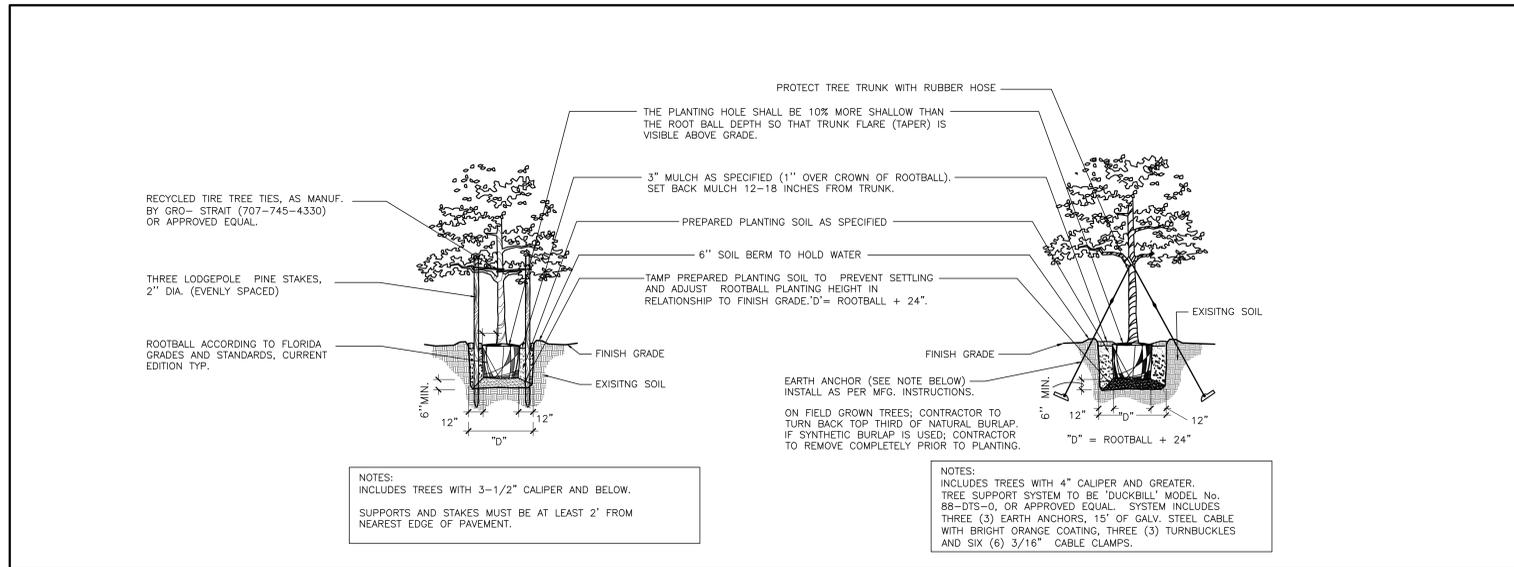


2 GROUNDCOVER PLANTING DETAIL
3/4" = 1'-0"

3 SHRUB PLANTING DETAIL
3/4" = 1'-0"



4 ON CENTER PLANTING DETAIL
3/4" = 1'-0"



5 SMALL TREE PLANTING DETAIL
3/16" = 1'-0"

6 LARGE TREE PLANTING DETAILS
3/16" = 1'-0"

CLEARING AND GRUBBING

A. CLEARING SHALL INCLUDE CUTTING, REMOVAL, AND OFF-SITE DISPOSAL OF NON SPECIFIED TREES, BUSHES, SHRUBS, STUMPS, FALLEN TIMBER, REFUSE, TRASH, FENCING AND OTHER INCIDENTAL MATERIALS NOT REQUIRED FOR REUSE ON THE SITE.

B. THE CONTRACTOR SHALL GRUB THE LANDSCAPE AREA WITHIN THE PROJECT TO COMPLETELY REMOVE STUMPS AND ROOT SYSTEMS.

C. DEPRESSIONS, EXCAVATIONS AND VOIDS RESULTING FROM THE REMOVAL OF STUMPS OR ROOTS SHALL BE FILLED WITH SUITABLE MATERIAL AND COMPACTED AS SPECIFIED UNDER SECTION 02300.

SELECTIVE CLEARING AND THINNING

A. SELECTIVE CLEARING AND THINNING SHALL BE COMPLETED AS NECESSARY FOR INSTALLATION OF PROJECT COMPONENTS.

B. THE WORK SHALL INCLUDE THE REMOVAL OF DEAD AND DISEASED TREE LIMBS AND PLANTS, AND PRUNING AND REMOVAL OF LIVE VEGETATION THAT INTERFERES WITH THE GROWTH OF OTHER TREES AND PLANTS. AREAS OF DENSE GROWTH SHALL BE THINNED TO PROVIDE ROOM FOR HEALTHY GROWTH.

- LANDSCAPE PLANTING AND CONTRACTOR NOTES:**
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL FREE OF PESTS AND DISEASES.
 - ALL PLANTS SHALL BE FLORIDA NO. 1 OR BETTER, AS GRADED IN FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.
 - ALL PLANTS ARE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER BEFORE, DURING, AND AFTER INSTALLATION.
 - ALL SINGLE-TRUNKED TREES SHALL BE STRAIGHT TRUNKED WITH ONE CENTRAL LEADER AND HAVE A FULL, DENSE CROWN.
 - ALL TREES SHALL BE STAKED AND GUYED AS SHOWN IN PLANTING DETAILS.
 - ALL MULCH PLANTING AREAS SHALL BE A MINIMUM OF 3" IN DEPTH.
 - ALL PLANTING AREAS SHALL HAVE A MINIMUM OF 3" TOPSOIL.
 - ALL TREES SHALL BE FREE OF OPEN WOUNDS AND WOUND SCARS IN THE CLEAR TRUNK AREA.
 - ANY SYNTHETIC BURLAP AND/OR WIRE BASKETS MUST BE TOTALLY REMOVED PRIOR TO INSTALLATION OF PLANT MATERIAL. IF NATURAL BURLAP IS USED, IT MAY BE TURNED DOWN 1/3 OF THE ROOTBALL.
 - TREES SHALL NOT BE PLACED WITHIN 7' OF ANY FIRE PROTECTION EQUIPMENT AND NOT WITHIN 5' OF ANY UTILITIES.
 - TREES SHALL NOT BE PLACED WHERE THEY WILL OBSCURE ANY VIEWS TO TRAFFIC, PEDESTRIANS OR SIGNAGE. CONTRACTOR TO FIELD ADJUST TREE LOCATIONS TO AVOID CONFLICTS. IF PLANTING IS QUESTIONABLE, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE TO DISCUSS RELOCATION.
 - CONTRACTOR SHALL TAKE CARE TO PROTECT ALL TREES AND LANDSCAPING MATERIAL WITHIN PROJECT LIMITS AS WELL AS EXISTING TREES IMMEDIATELY ADJACENT TO PROJECT LIMITS. IF THE EXISTING LANDSCAPE, TREES OR OTHER RELATED MATERIALS ARE IMPACTED DURING LANDSCAPE INSTALLATION THEN THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REPLACEMENTS, AS WELL AS, ALL OTHER ASPECTS OF REMEDIATION INCLUDING BUT NOT LIMITED TO: TREES, SHRUBS, GROUNDCOVERS, SOD, AND ANY OTHER MATERIALS IMPACTED BY CONSTRUCTION.
 - SOIL CONDITIONS MAY VARY THROUGHOUT THE SITE AND CONTRACTOR TO SHALL PROVIDE PROPER EQUIPMENT FOR PROPER EXCAVATION.
 - CONTRACTOR SHALL INCLUDE THE COSTS OF EXCAVATION, DISPOSAL OF EXCESS MATERIALS, BACKFILL, SOIL AMENDMENTS, SPECIAL BED PREPARATION, MULCH, TREE STAKING AND GUYING, FERTILIZER, WATERING FOR PLANT ESTABLISHMENT, SITE CLEAN-UP AND MAINTENANCE WITHIN BID NUMBER.
 - CONTRACTOR SHALL SOD ALL DAMAGED GRASS AREAS DISTURBED DURING CONSTRUCTION. SEE LANDSCAPE SPECIFICATIONS FOR SOD INSTALLATION.
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, IN FULL, ALL LANDSCAPE PLANTING AREAS, UNTIL THE JOB IS ACCEPTED IN FULL BY THE OWNER. "IN FULL" MEANS WATERING, PEST CONTROL, MULCHING, MOWING, FERTILIZING AND RESETTING TREES THAT ARE OUT OF PLUMB.
 - THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL INSTALLED PLANT MATERIAL FOR A PERIOD OF ONE CALENDAR YEAR BEGINNING ON THE DATE OF 100% COMPLETION. ANY AND ALL REQUIRED PLANT REPLACEMENTS SHALL BE MADE PROMPTLY AND AT NO ADDITIONAL COST TO THE OWNER.
 - THE LANDSCAPE CONTRACTOR SHALL STAKE THE LOCATIONS OF ALL PLANT MATERIAL AND PLANTING BED LINES FOR REVIEW BY THE LANDSCAPE ARCHITECT AND OWNER.
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL WRITTEN PLANT QUANTITIES PRIOR TO INITIATION OF THE WORK. IN THE EVENT THAT THE PLANS CONTRADICT THE PLANT LIST, THE PLANS SHALL RULE.
 - THE LANDSCAPE CONTRACTOR SHALL BE FAMILIAR WITH AND ACCEPT THE EXISTING SITE CONDITIONS PRIOR TO INITIATION OF THE WORK. ANY VARIATION FROM THE SPECIFIED WORK SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES, DRAINAGE STRUCTURES, CURBS, SIDEWALKS, AND ANY OTHER OBJECTS WHICH MIGHT BE DAMAGED DURING THE WORK.
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ANY AND ALL NECESSARY REPAIRS TO DAMAGE CAUSED BY HIS WORK AT NO ADDITIONAL COST TO THE OWNER OR LANDSCAPE ARCHITECT.
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, AND FOLLOWING ALL APPLICABLE LOCAL CODES PERTAINING TO THE PROJECT DURING THE COURSE OF THEIR WORK.

BORRELLI + PARTNERS
ARCHITECTURE PLANNING LANDSCAPE INTERIORS
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CONSULTANTS: SIGNATURE AND DATED SEAL

CHARTERED PROFESSIONAL ARCHITECT
CHRISTOPHER D. RICE
LA6667122

BARRIER ONE

PLANTING NOTES & DETAILS

SHEET TITLE

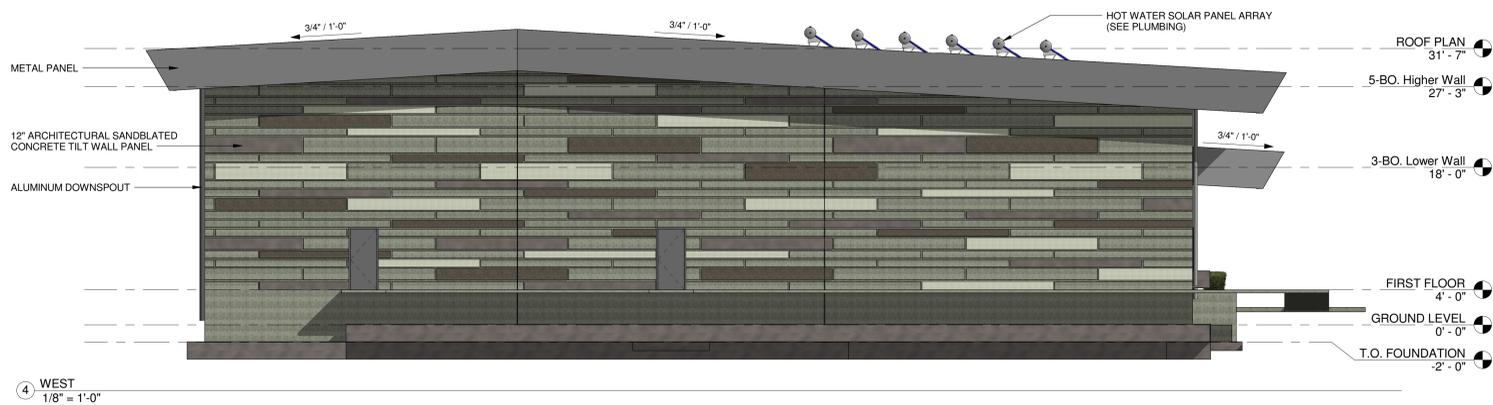
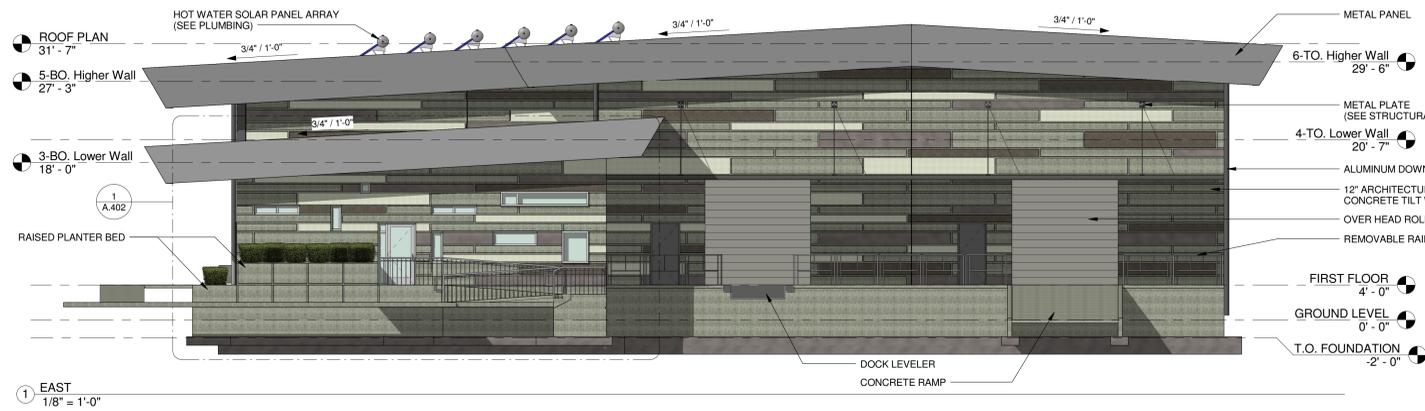
PROJECT ADDRESS

PROJECT No.	DATE	DESCRIPTION	REV.
14-127			

PHASE: DRC REVIEW
SCALE: As indicated
DRAWN BY: C.D.R.
CHECKED BY: J.A.B./D.T.
DATE: June, 2015

OWNER NAME AND ADDRESS

L501



NOTES:

1. SEE TILT-UP PANELS ELEVATIONS FOR SANDBLASTING PATTERNS.

THE TILT-UP WALL ASSEMBLY IS A FULLY INSULATED SANDWICH PANEL SYSTEM, WITH AN EXPOSED ARCHITECTURAL GRADE SMOOTH OVERALL FINISH AND HIGHLIGHTED DETAIL REVEAL SECTIONS THAT HAVE LIGHT, MEDIUM AND HEAVY SANDBLASTING FINISH TO EXPOSE THE NATURAL CONCRETE AGGREGATE.

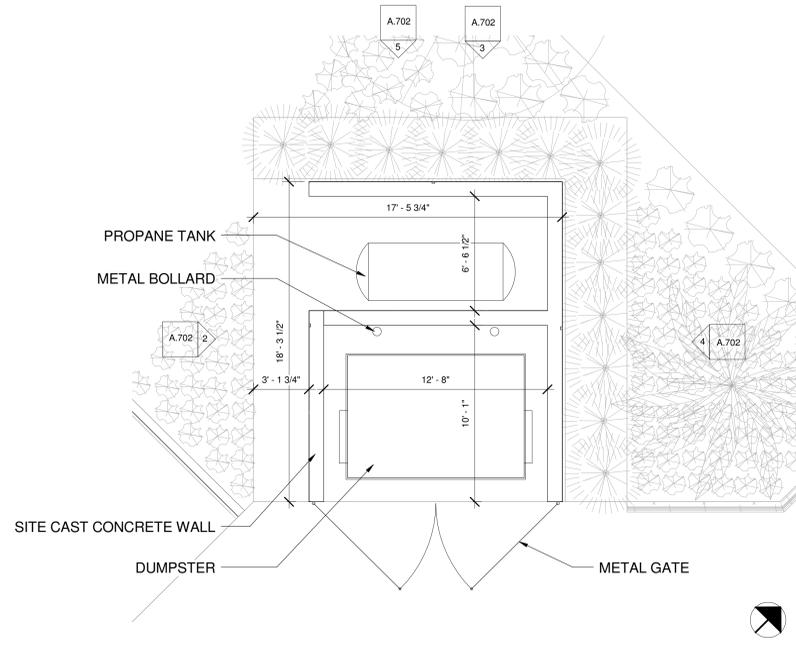
THE EXPOSED CONCRETE FINISH IS DIRECTLY TIED TO THE BARRIER ONE PRODUCT AND COMPANY; THE WINNER OF THE CONSTRUCTION INNOVATION FORUM'S INTERNATIONAL PRESTIGIOUS 2012 NOVA AWARD, FOR THEIR INNOVATION AND CONTRIBUTIONS TO THE CONSTRUCTION INDUSTRY OF THE BARRIER ONE ADMIXTURE PRODUCT. THE REVEAL PATTERNING IS ARCHITECTURALLY SYMBOLIC TO PERSONAL HISTORY AND NARRATIVE OF THE FOUNDING OWNER AND HIS LEGACY.

THE CANTED COMPOSITE METAL PANEL ROOF EAVE IS A NATURAL ANODIZED METAL FINISH, TO CAPTURE THE MOVEMENT AND BLUES OF THE FLORIDA SKY WITHOUT THE REFLECTING GLARE WITH NON-CANTED EAVE PLANES.

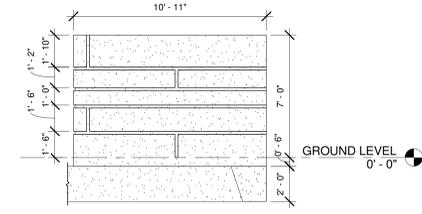
PROJECT ADDRESS	640 WINTER GARDEN COMMERCE CENTER - LOT#18 ORANGE COUNTY, FL 32787
OWNER NAME AND ADDRESS	BARRIER ONE INTERNATIONAL INC. 522 S. HUNT CLUB BLVD. # 303, APOPAHA, FL 32783

REV.	DESCRIPTION	DATE

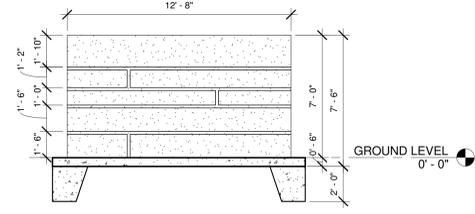
PROJECT No.	CONSTRUCTION DOCUMENTS
SCALE	1/8" = 1'-0"
DRAWN BY	Author
CHECKED BY	Checker
DATE	06/2015



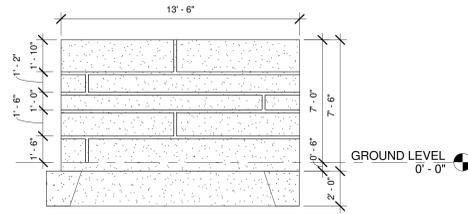
1 DUMPSTER ENCLOSURE
1/4" = 1'-0"



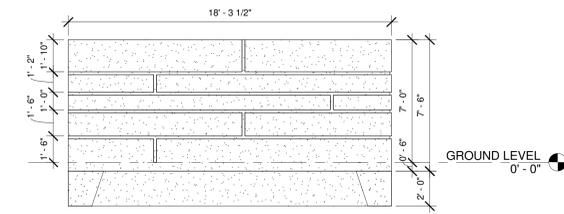
2 DUMPSTER LEFT WALL
1/4" = 1'-0"



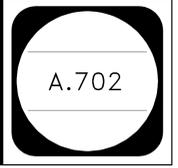
3 DUMPSTER MID WALL
1/4" = 1'-0"



5 DUMPSTER BACK WALL
1/4" = 1'-0"



4 DUMPSTER RIGHT WALL
1/4" = 1'-0"



PROJECT No.	CONSTRUCTION DOCUMENTS
PHASE	1/4" = 1'-0"
SCALE	1/4" = 1'-0"
DRAWN BY	Author
CHECKED BY	Checker
DATE	06/2015

REV.	DESCRIPTION	DATE

PROJECT ADDRESS	640 WINTER GARDEN COMMERCE CENTER - LOT#18 ORANGE COUNTY, FL 34787
OWNER NAME AND ADDRESS	BARRIER ONE INTERNATIONAL INC. 522 S. HUNT CLUB BLVD. # 303. APOPAHA, FL 32703

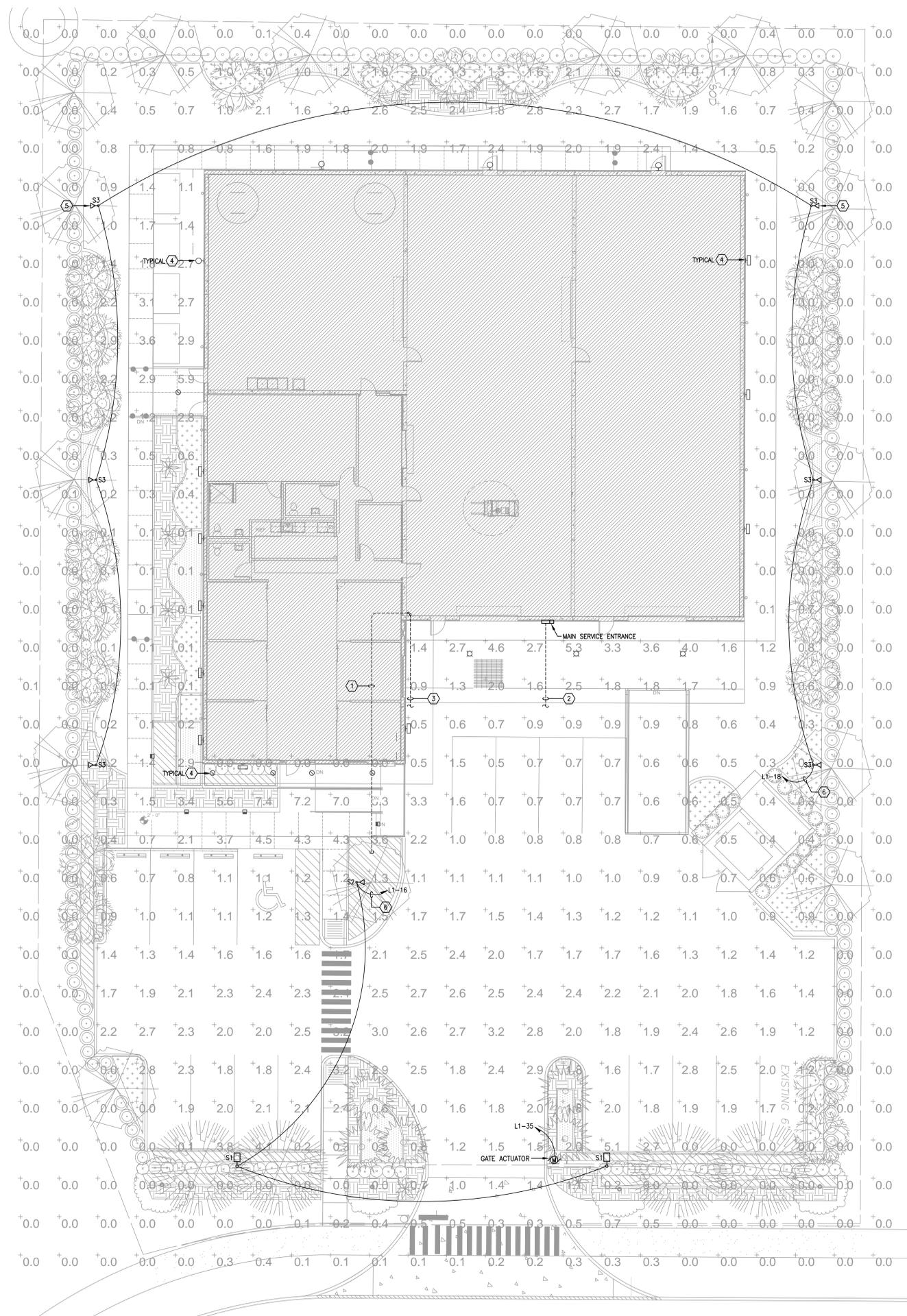
SHEET TITLE
ENLARGED PLANS - DUMPSTER ENCLOSURE

CONSULTANTS

SIGNATURE AND DATED SEAL
100% CDs
DAN-MICHAEL TREVINOCH
AS96020

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BORRELLI + PARTNERS, INC. 06/16/2015 8:06:08 AM

BARRIER ONE



1 Site Plan - Power and Systems
SCALE: 1" = 10'



GENERAL NOTES:

- A. DO NOT SCALE ELECTRICAL DRAWING FOR ANY DIMENSIONS.
- B. ALL WORK SHALL COMPLY WITH THE 2008 NATIONAL ELECTRIC CODE, NATIONAL, STATE AND LOCAL CODES. PROVIDE GROUNDING AND BONDING PER NEC 250.
- C. FIELD VERIFY EXACT LOCATION OF ALL DEVICES AND EQUIPMENT PRIOR TO ROUGH-IN.
- D. SEE SINGLE LINE DIAGRAM FOR FEEDER WIRE AND CONDUIT SIZE. ALL CIRCUITS NOT SIZED ON DRAWING SHALL BE INSTALLED TO MEET MINIMUM SIZE REQUIRED BY NEC. ALL CONDUCTORS SHALL HAVE AN EQUIPMENT GROUND WIRE SIZED PER NEC.
- E. COORDINATE/VERIFY LOCATION OF SITE LIGHTING POLES WITH CIVIL CONTRACTOR PRIOR TO INSTALLATION.
- F. REFER TO SHEET E202 FOR LIGHTING FIXTURE SCHEDULE.

REFERENCE NOTES: (X)

- 1 PROVIDE 1" UNDERGROUND CONDUIT FROM WAREHOUSE 2 AND STUB INTO LANDSCAPED ISLAND AS SHOWN.
- 2 NEW UNDERGROUND SERVICE FEEDERS. REFER TO POWER RISER DIAGRAM FOR ADDITIONAL INFORMATION. REFER TO CIVIL DRAWINGS FOR CONTINUATION.
- 3 PROVIDE (2) 4" CONDUIT FOR NEW INCOMING TELEPHONE/TELEVISION SERVICE. COORDINATE LOCATION OF TERMINATION AND ALL REQUIREMENTS WITH LOCAL SERVICE PROVIDER. REFER TO CIVIL DRAWINGS FOR CONTINUATION.
- 4 FIXTURES SHOWN IN LIGHT LINETYPE ARE BUILDING FIXTURES. REFER TO SHEET E202 FOR COMPLETE BUILDING FIXTURE DESIGN.
- 5 COORDINATE EXACT LOCATION OF FIXTURE WITH TREE LOCATIONS IN FINAL LANDSCAPING PLAN.
- 6 FOR AUTOMATIC CONTROL OF FIXTURES: EXTERIOR FIXTURES SHALL TURN ON AND OFF VIA TIMECLOCK.

BORRELLI + PARTNERS
ARCHITECTURE PLANNING LANDSCAPE INTERIORS
720 Vassar Street, Orlando FL 32804
407.418.1338 :: Fax 407.418.1342
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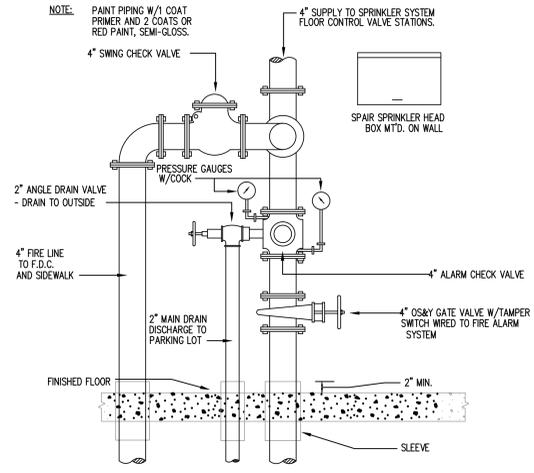
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JLC 14012500

Joseph Lawrence & Co
Consulting Engineers
1180 HAWKWOOD AVE, SUITE 3000
ALTAMONTE SPRINGS, FLORIDA 32714
WWW.JL&CO.COM
CL NO 38573
Blake Lawrence Suddeth
P.E. # 69160

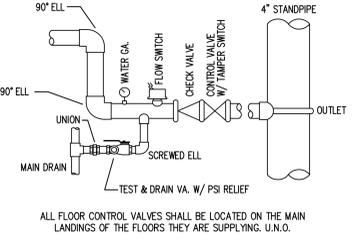
BARRIER ONE
First Floor Plan - Power and Systems

PROJECT No.	14-127	REV.	DESCRIPTION	DATE	PROJECT ADDRESS
PHASE	CONSTRUCTION DOCUMENTS				840 WINTER GARDEN COMMERCE CENTER - LOT # 18 ORANGE COUNTY, FL 32757
SCALE	As Indicated				OWNER NAME AND ADDRESS BARRIER ONE INTERNATIONAL, INC. 522 S. HUNT CLUB BLVD., # 303, APOPKA, FL 32703
DRAWN BY	SMB/MJR				
CHECKED BY	ABJ/BSL				
DATE	JUNE 2015				

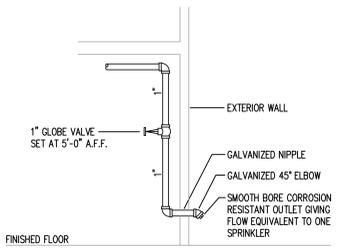
E101



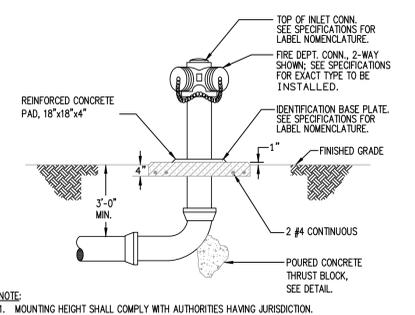
6 SPRINKLER SYSTEM SUPPLY RISER DETAIL
NTS



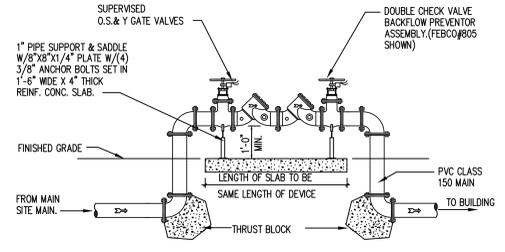
5 SPRINKLER SYSTEM FLOOR CONTROL VALVE DETAIL
NTS



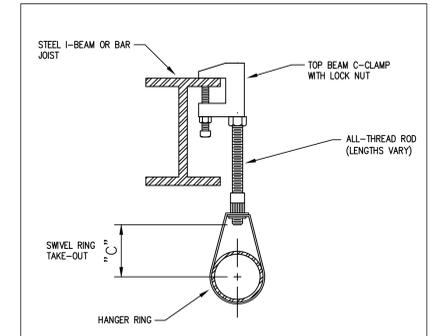
4 REMOTE INSPECTORS TEST CONNECTION DETAIL
NTS



3 FREE STANDING FIRE DEPT CONNECTION DETAIL
NTS



2 BACKFLOW PREVENTOR DETAIL
NTS



Pipe Size	Rod Size	Min. "C" Dim.	Max. "C" Dim.
3/4"	1/2"	1 5/8"	1 5/8"
1"	5/8"	1 3/4"	1 3/4"
1 1/4"	13/16"	1 7/8"	1 7/8"
1 1/2"	15/16"	2"	2"
2"	1 3/16"	2 3/8"	2 3/8"
2 1/2"	1 7/16"	2 3/4"	2 3/4"
3"	1 3/4"	3 1/4"	3 1/4"
3 1/2"	2"	3 5/8"	3 5/8"
4"	2 1/4"	3 7/8"	3 7/8"
5"	2 3/4"	4 3/4"	4 3/4"
6"	3 5/16"	5 1/2"	5 1/2"
8"	4 5/16"	6 3/4"	6 3/4"

1 BACKFLOW PREVENTOR DETAIL
NTS

FIRE PROTECTION GENERAL NOTES

1. WET PIPE SPRINKLER SYSTEM DESIGNED PER NFPA 13, 2012 EDITION. LIGHT HAZARD OCCUPANCY (COMMON AREAS, LOBBIES, OFFICES) USING 100gpm OVER THE MOST REMOTE 1500 sq.ft., 225 sq.ft. MAXIMUM HEAD SPACING & 100gpm HOSE STREAM TO MEET OR EXCEED THE REQUIREMENTS OF NFPA 13, 2012 EDITION AND LOCAL AUTHORITIES.
2. ALL FIRE SPRINKLERS SHALL BE IN ACCORDANCE WITH NFPA 13, 2012 EDITION. ALL SPRINKLERS SHALL BE OF THE QUICK RESPONSE TYPE U.N.O.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH NFPA 13, 2012 EDITION.
4. ALL HANGERS & MATERIALS TO BE IN ACCORDANCE WITH NFPA 13, 2012 EDITION.
5. ALL CROSS MAINS & RISERS TO BE SCHEDULE 40 BLACK PIPE, U.N.O. ALL BRANCHLINE PIPING TO BE SCHEDULE 40 BLACK PIPE, U.N.O.
6. UPRIGHT SPRINKLERS TO BE LOCATED BETWEEN 1" AND 12" BELOW ROOF DECK.
7. SPRINKLER HEAD SPACING IS PER NFPA 13, 2012 EDITION AND MANUFACTURER'S LISTINGS.
8. THE CONSTRUCTION MANAGER SHALL PROVIDE, OR HAVE PROVIDED, A SET OF COORDINATION DRAWINGS FOR ALL SYSTEMS AND FEATURES THAT OCCUR ABOVE THE CEILING PLANE. THE COORDINATION DRAWINGS SHALL INCLUDE, BUT NOT BE LIMITED TO, STRUCTURAL MEMBERS, HVAC DUCTWORK, HYDRONIC PIPING, PLUMBING SUPPLY AND WASTE PIPING, FIRE PROTECTION PIPING, ELECTRICAL POWER CONDUITS AND RACEWAYS, AND ELECTRICAL LOW VOLTAGE CONDUITS AND RACEWAYS. THE COORDINATION DRAWINGS SHALL PROVIDE, APPROPRIATE, AND COORDINATE SPACE FOR ALL SYSTEMS, HORIZONTALLY AND VERTICALLY ABOVE THE CEILING PLANE TO THE STRUCTURAL DECK ABOVE ALLOWING EACH TRADE CONTRACTOR THE SPACE TO PROPERLY EXECUTE HIS PORTION OF THE WORK.
9. ALL GROOVED FITTINGS TO BE "VICTALUC" FITTINGS OR APPROVED EQUAL.
10. ALL PENETRATIONS THRU 1-HOUR RATED WALLS TO BE PATCHED AS NECESSARY.
11. ALL DIMENSIONS TO BE VERIFIED DURING FIELD CHECK OF SPRINKLER SYSTEM.
12. FIRE SPRINKLER CONTRACTOR SHALL COORDINATE WORK WITH OTHER TRADES THAT MAY COME INTO CONFLICT BEFORE ANY INSTALLATION.
13. THE FOLLOWING ARE ACCEPTABLE SPRINKLER HEAD MATERIAL MANUFACTURERS: RELIABLE, TYCO, VICTALUC, VIKING.
14. FLOW SWITCHES, TAMPER SWITCHES AND ALARM BELL SHALL BE PROVIDED AND INSTALLED BY THE FIRE SPRINKLER CONTRACTOR. SPRINKLER SYSTEMS AND ALL ASSOCIATED FIRE PROTECTION SIGNALS SHALL BE SUPERVISED BY AN APPROVED CENTRAL, PROPRIETARY, AUXILIARY, OR REMOTE STATION SYSTEM IN ACCORDANCE WITH NFPA. ALL WIRING TO BE PROVIDED BY ELECTRICAL CONTRACTOR.
15. FIRE PROTECTION SHOP DRAWINGS, HYDRAULIC CALCULATIONS, AND MATERIAL DATA SUBMITTALS ARE TO BE SUBMITTED TO THE ARCHITECT AND ENGINEER OF RECORD FOR REVIEW AND APPROVAL.
16. ALL FIRE SPRINKLER COMPONENTS SHALL BE U.L. APPROVED.
17. CORROSION PROTECTION FOR ALL UNDERGROUND BOLTED JOINT ACCESSORIES SHALL BE CLEANED AND THOROUGHLY COATED WITH ASPHALT OR OTHER CORROSION-RETARDING MATERIAL AFTER INSTALLATION IN ACCORDANCE WITH NFPA 13, 2012 EDITION.
18. THE UNDERGROUND MAIN STARTING AT THE PUBLIC WATER UTILITY POINT OF CONNECTION HAS BEEN DESIGNED TO NFPA 24, 2012 EDITION. INSTALLATION AND TESTING MUST BE IN ACCORDANCE WITH NFPA 24, 2012 EDITION.
19. ALL TEES, PLEGS, CAPS, BENDS, REDUCERS, VALVES, AND HYDRANT BRANCHES SHALL BE RESTRAINED AGAINST MOVEMENT BY USING THRUST BLOCKS OR RESTRAINED JOINT SYSTEMS IN ACCORDANCE WITH NFPA 24, 2010 EDITION.
20. ALL FIRE SPRINKLER COMPONENTS ARE TO BE RATED FOR THE MAXIMUM SYSTEM WORKING PRESSURE TO WHICH THEY ARE EXPOSED IN ACCORDANCE WITH NFPA 13, 2012 EDITION.
21. THE COMPONENTS OF THE FIRE PROTECTION SYSTEM(S) FURNISHED UNDER THIS DIVISION OF THE SPECIFICATIONS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE THEREOF, EITHER FOR BENEFICIAL USE OR FINAL ACCEPTANCE, WHICHEVER IS EARLIER, AGAINST DEFECTIVE MATERIALS, DESIGN, AND WORKMANSHIP. UPON RECEIPT OF NOTICE FROM THE ARCHITECT OF FAILURE OF ANY PART OF THE EQUIPMENT DURING THE GUARANTEE PERIOD, THE AFFECTED PART OR PARTS SHALL BE REPLACED PROMPTLY WHICH INCLUDES REMOVING THE DEFECTIVE PART OR PARTS, REPLACING AND INSTALLING THE NEW PART OR PARTS AND AT THE EXPENSE OF THE CONTRACTOR.
22. OPERATING AND MAINTENANCE INSTRUCTIONS, PRINTED AND BOUND IN HARD COVER THREE-RING LOOSE LEAF NOTEBOOKS, SHALL BE PROVIDED TO THE OWNER.
- 23-28. NOTES NOT USED.
29. THE FIRE SPRINKLER CONTRACTOR SHALL PREPARE DETAILED WORKING PLANS IN ACCORDANCE WITH NFPA 13, 2012 EDITION. THE PROTECTION SYSTEM LAYOUT SHALL FOLLOW THE DESIGN GUIDELINES SET FORTH IN THESE FIRE PROTECTION SYSTEM ENGINEERING DOCUMENTS.
30. THE FIRE SPRINKLER CONTRACTOR SHALL OBTAIN THE ACCEPTANCE TESTS FROM THE LOCAL AUTHORITY. THE ACCEPTANCE TEST FOR THE OVERHEAD SPRINKLER SYSTEM PIPING SHALL BE IN ACCORDANCE WITH NFPA 13, 2012 EDITION CHAPTER 24 USING THE MATERIAL AND TEST CERTIFICATE FOR ABOVEGROUND PIPING (FIGURE 24.1). THE ACCEPTANCE TEST FOR THE UNDERGROUND PIPING SHALL BE IN ACCORDANCE WITH NFPA 13, 2012 EDITION CHAPTER 10, SECTION 10.10 USING THE MATERIAL AND TEST CERTIFICATE FOR UNDERGROUND PIPING IN FIGURE 10.10.1.
31. THE POINT OF SERVICE IS INDICATED AT THE SYSTEM SIDE OF THE BACKFLOW PREVENTER. AT THIS POINT, THE SYSTEM IS DEDICATED SOLELY FOR FIRE PROTECTION PURPOSES. NO DOMESTIC WATER SHALL BE TAKEN FROM THE SYSTEM BEYOND THIS POINT FOR OTHER PURPOSES.
32. CLASSIFICATIONS OF HAZARD OCCUPANCIES FOR THE AREAS OF DESIGN SHALL BE AS FOLLOWS: (COMMON AREAS, LOBBIES, OFFICES) LIGHT HAZARD OCCUPANCY PER NFPA 13, 2012 EDITION, (RETAIL, MECHANICAL, ELECTRICAL, STORAGE ROOMS) ORDINARY HAZARD GROUP 2 PER NFPA 13, 2012 EDITION.
33. LIGHT HAZARD OCCUPANCY SHALL BE 0.10gpm/sq.ft. OVER THE MOST REMOTE 1500sq.ft., 225sq.ft. MAXIMUM HEAD SPACING & 100gpm HOSE STREAM. LIGHT HAZARD OCCUPANCY (ATTIC) SHALL BE 0.10gpm/sq.ft. OVER THE MOST REMOTE 1500sq.ft., 130sq.ft. MAXIMUM HEAD SPACING UNLESS OTHERWISE DICTATED BY NFPA 13 & 100gpm HOSE STREAM. ORDINARY HAZARD GROUP 2 OCCUPANCY SHALL BE 0.20gpm/sq.ft. OVER THE MOST REMOTE 1500SQ.FT., 130SQ.FT. MAXIMUM HEAD SPACING & 250GPM HOSE STREAM.
34. SEE CIVIL UTILITIES PLAN FOR WATER SUPPLY PIPING LOCATIONS.
35. FLOW TEST TBD... IF THE FLOW TEST BECOMES GREATER THAN SIX (6) MONTHS OLD BY THE TIME OF FIRE SPRINKLER PERMIT SUBMITTAL, A NEW TEST SHALL BE OBTAINED BY THE FIRE SPRINKLER CONTRACTOR.
36. VALVE AND ALARM REQUIREMENTS: ALL CONTROL VALVES ON SPRINKLER RISERS AND FIRE PROTECTION BACKFLOW PREVENTERS SHALL HAVE A TAMPER SWITCH. THE FLOW SWITCH SHALL BE SET TO NOT ALARM WITH MINOR CITY WATER PRESSURE FLUCTUATIONS. HOWEVER, THE FLOW OF ONE SPRINKLER HEAD SHALL PRODUCE AN ALARM CONDITION BY TRIPPING THE FLOW SWITCH. ALL FLOW AND TAMPER SWITCHES SHALL BE CONNECTED TO THE BUILDING FIRE ALARM PANEL. FLOW SWITCHES SHALL ALSO SOUND THE ELECTRIC ALARM BELL ON THE OUTSIDE WALL. FIRE SPRINKLER CONTRACTOR SHALL VERIFY AND TEST PER NFPA 13.
37. THE LOCAL WATER PURVEYOR IS REQUESTED TO ADVISE THE ENGINEER OF RECORD IF CONDITIONS EXIST IN THEIR WATER SUPPLY THAT COULD LEAD TO LEAKS SO THAT THE ENGINEER CAN DESIGN CORRECTIVE MEASURES. THERE ARE NO KNOWN MIC CONDITIONS IN THE LOCAL WATER SUPPLY.
38. BACKFLOW PREVENTER AND METERING SPECIFICATIONS SHALL MEET OR EXCEED REQUIREMENTS OF THE LOCAL JURISDICTION.
39. YARD AND INTERIOR FIRE PROTECTION COMPONENTS: PRODUCT DATA SHEETS SHALL BE SUBMITTED BY THE SPRINKLER CONTRACTOR ALONG WITH THEIR SHOP DRAWINGS. ALL FIRE PROTECTION DEVICES AND COMPONENTS SHALL BE U.L. LISTED AND FM APPROVED.
40. THE FOLLOWING ARE APPLICABLE STANDARDS: INTERNATIONAL BUILDING CODE 2012 EDITION & AMENDMENTS INTERNATIONAL FIRE CODE 2012 EDITION & AMENDMENTS NFPA 13, 2012 EDITION, INSTALLATION OF SPRINKLER SYSTEMS NFPA 24, 2010 EDITION, STANDARD FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES: NFPA 25, 2011 EDITION, INSPECTION, TESTING AND MAINTENANCE OF WATER-BASED FIRE PROTECTION SYSTEMS.

FIRE SERVICE PIPE MATERIAL & TESTING NOTES

1. ALL PRIVATE FIRE SERVICE MAINS/LINES LOCATED DOWNSTREAM OF THE POINT OF SERVICE SHALL BE INSTALLED BY A QUALIFIED AND LICENSED CONTRACTOR CLASS I, II, OR V WITH 3" MINIMUM COVER. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE FIRE CODES. CONTRACTOR TO VERIFY REQUIREMENTS BEFORE START OF CONSTRUCTION. COMBINATION MAINS (SHARED DOMESTIC AND FIRE SUPPRESSION SERVICE) UP TO THE DEDICATED FIRE SUPPRESSION SYSTEM POINT OF SERVICE CAN BE INSTALLED BY A LICENSED UNDERGROUND EXCAVATOR OR SITE UTILITY CONTRACTOR.
2. POINT OF SERVICE IS TO BE DESIGNATED FOR ALL BUILDINGS EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEM.
3. THE UNDERGROUND MAIN STARTING AT THE PUBLIC WATER UTILITY POINT OF CONNECTION HAS BEEN DESIGNED TO NFPA 24, 2010 EDITION. MATERIALS, INSTALLATION AND TESTING MUST BE IN ACCORDANCE WITH NFPA 24, 2010 EDITION.
4. ALL NEW PRIVATE FIRE SERVICE MAINS/LINES AND HYDRANTS SHALL BE FLUSHED AND HYDROSTATIC TESTED TO 200 PSI FROM THE POINT OF SERVICE AS PER NFPA 24, 2010 EDITION, CHAPTER 9.
5. THE UNDERGROUND MAIN STARTING AT THE POINT OF SERVICE HAS BEEN DESIGNED TO NFPA 24, 2010 EDITION.
6. FIRE SERVICE MAINS/LINES SHALL BE POLYVINYL CHLORIDE PRESSURE PIPE CONFORMING TO ANMA C900 WITH DIMENSION RATIO (DR) OF EIGHTEEN (18) AND A MINIMUM PRESSURE CLASS OF TWO HUNDRED POUNDS PER SQUARE INCH (200 P.S.I.) UNLESS NOTED OTHERWISE.
7. THE CONTRACTOR'S FIRE PROTECTION ENGINEER, AS THE "DELEGATED ENGINEER" SHALL BE THE "ENGINEER OF RECORD" FOR THE FIRE PROTECTION SYSTEM AND SHALL PREPARE COMPLETE AND FINAL FIRE PROTECTION DESIGN DOCUMENTS WITH THE HYDRAULIC CALCULATIONS, SIGNED AND SEALED, AS DEFINED BY THE F.P.C. 01015 AND SHALL SUBMIT REQUIRED DOCUMENTATION TO THE ARCHITECT FOR REVIEW BY THEIR PRIME PROFESSIONAL ENGINEER CONSULTANT TO REVIEW FOR BASIC DESIGN CRITERIA. UPON APPROVAL, THE CONTRACTOR SHALL SUBMIT SIGNED AND SEALED DOCUMENTS TO THE A/E/J FOR REVIEW AND APPROVAL.

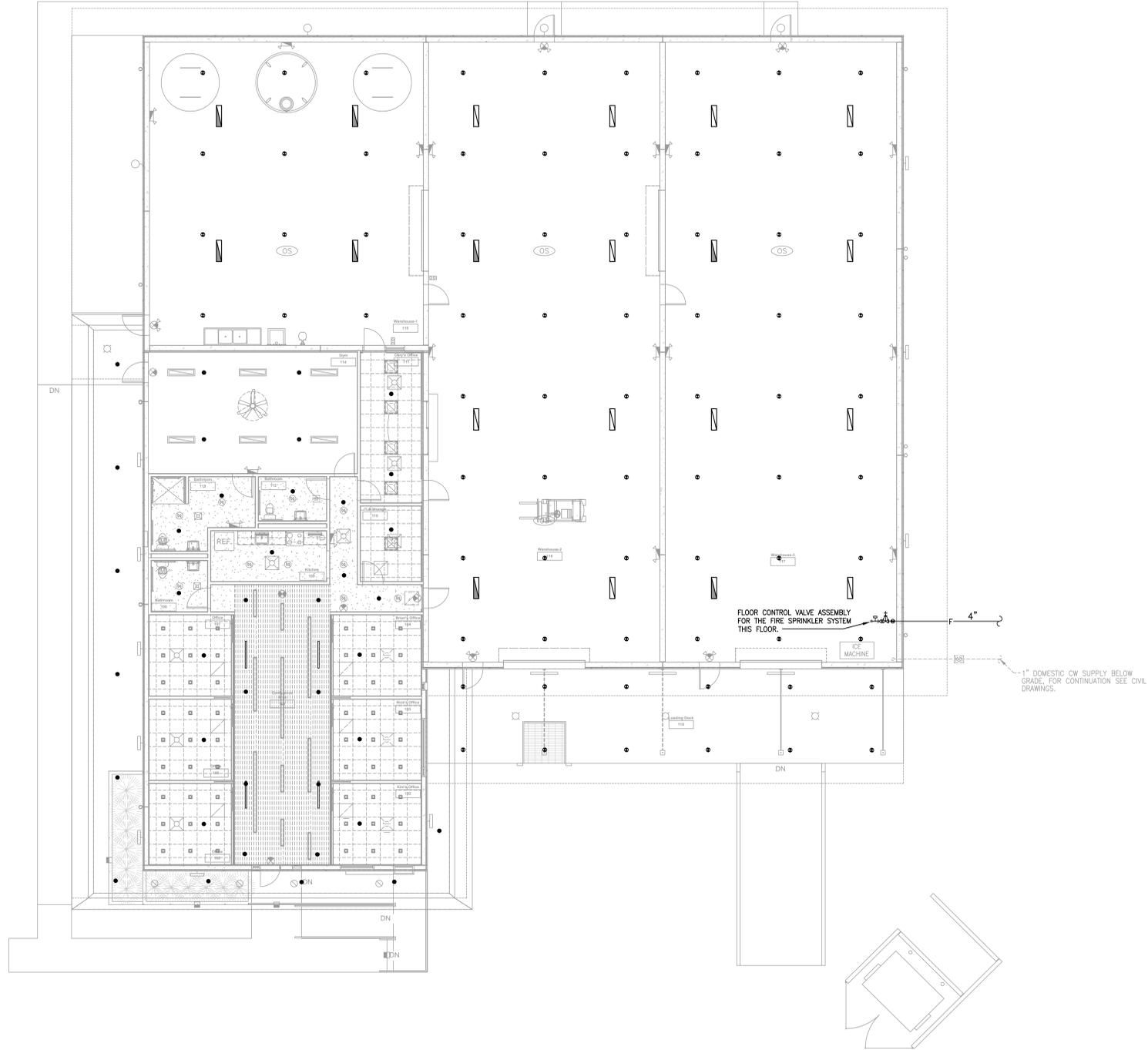
FIRE PROTECTION LEGEND

- F — FIRE PROTECTION PIPING
- DP — DRY PIPE SYSTEM PIPING
- EXISTING PIPE TO REMAIN
- > PIPE TURNING DOWN
- < PIPE TURNING UP
- |— PIPE CAP
- |— CONTROL VALVE
- |— CHECK VALVE
- |— OS&Y GATE VALVE
- |— VALVE WITH TAMPER SWITCH
- NEW SEMI-RECESSED PENDANT SPRINKLER
- NEW CONCEALED PENDANT SPRINKLER
- NEW UPRIGHT SPRINKLER
- NEW UPRIGHT SPRINKLER BELOW DUCTWORK
- > EXISTING SIDEWALL SPRINKLER HEAD
- > NEW SIDEWALL SPRINKLER HEAD
- FHV FIRE HOSE VALVE
- FS FLOW SWITCH
- FVC FIRE VALVE CABINET
- GPM GALLONS PER MINUTE
- ITC INSPECTOR'S TEST CONNECTION
- PS PRESSURE SWITCH
- PSF POUNDS PER SQUARE INCH
- SF SQUARE FOOT
- SP STANDPIPE
- TS TAMPER SWITCH
- WP WET PIPE

REFERENCE NOTES

1. COORDINATE FINAL SPRINKLER HEAD LOCATIONS WITH BEAMS, LIGHTS AND HVAC DUCTWORK/EQUIPMENT AFFECTING SPRINKLER WATER DISTRIBUTION. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE NUMBER OF SPRINKLERS.

PROJECT ADDRESS	840 WINTER GARDEN COMMERCE CENTER - LOT# 18 ORANGE COUNTY, FL 34757
PROJECT DATE	
OWNER NAME AND ADDRESS	BARRIER ONE INTERNATIONAL, INC. 522 S. HUNT CLUB BLVD., # 303, APOPKA, FL 32703
REV.	DESCRIPTION
14-127	CONSTRUCTION DOCUMENTS
SCALE	As Indicated
DRAWN BY	SMR/MJR
CHECKED BY	ALB/RLS
DATE	JUNE 2015



1 First Floor Plan - Fire Protection
SCALE: 1/8" = 1'-0"

BARRIER ONE

First Floor Plan - Fire Protection

PROJECT No.	14-127	REV.	DESCRIPTION	DATE	PROJECT ADDRESS
PHASE	CONSTRUCTION DOCUMENTS				840 WINTER GARDEN COMMERCE CENTER - LOT # 18 ORANGE COUNTY, FL 32757
SCALE	As Indicated				OWNER NAME AND ADDRESS BARRIER ONE INTERNATIONAL, INC. 522 S. HUNT CLUB BLVD. # 303. APOPKA, FL 32703
DRAWN BY	SMR/MJR				
CHECKED BY	AIJ/RLS				
DATE	JUNE 2015				



SIGNATURE AND DATED SEAL
JLC 14.07.25.00

Adam Joseph Barney
P.E. # 69724

CONSULTANTS
Joseph Lawrence & Co
Consulting Engineers
180 MAYWOOD AVE. SUITE 3000
ALTIMONTE SPRINGS, FLORIDA 32714
WWW.JL&CO.COM
CL NO 28530

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ARCHITECTURE PLANNING INTERIORS LANDSCAPE INTERIORS
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BORRELLI + PARTNERS, INC. 00011 / ACC 00182

CITY OF WINTER GARDEN

DEVELOPMENT REVIEW COMMITTEE

300 West Plant Street - Winter Garden, Florida 34787-3011
(407) 656-4111

MEMORANDUM

TO: ED WILLIAMS, COMMUNITY DEVELOPMENT DIRECTOR
FROM: DEVELOPMENT REVIEW COMMITTEE
DATE: JULY 2, 2015
SUBJECT: REVIEW OF PLAN FOR SITE PLAN APPROVAL
BARRIER ONE INTERNATIONAL, INC. – 640 GARDEN COMMERCE PKWY

ENGINEERING COMMENTS / CONDITIONS

1. Plans shall be signed and sealed by the appropriate design professional pursuant to state statute and rules.
2. Sheet C.200:
 - The existing 6” underdrain along the Garden Center Parkway frontage is shown; Contractor shall replace any damaged sections.
 - All public improvements, including adjacent sidewalks, pavement, or curbs, will be checked at final inspection. Any damaged, broken or cracked sections shall be replaced by the developer prior to issuance of certificate of occupancy (as noted).
3. Sheet C.300:
 - The size of this building may require fire sprinklers – coordinate with Building and Fire Departments.
 - Point of Service (POS) for fire line has been shown on the plans, with note stating that any work downstream of the Point of Service shall be performed by a licensed Fire Sprinkler Contractor.
 - All on-site utilities shall be privately owned and maintained (as noted on plans). 100% of all required water and sewer impact fees shall be paid prior to City execution of FDEP permits or issuance of site or building permits. Meter sizes shall be provided for review by the Utilities Department for verification of impact fees at time of Building Permit application. Final plans will not be approved for construction until utility impact fees have been paid and FDEP permits or exemptions have been issued.
4. Landscaping shall not encroach on required sight lines at intersections or driveways. Design Engineer has provided certification that sight distance requirements are being met. All irrigation shall be connected to reclaimed water lines.
5. No trees may be planted over or within 5 feet of any utility lines. Only sod or shrubs may be planted over utility lines.
6. All dumpsters shall be enclosed and shall provide 10’ minimum inside clearance (each way inclusive of bollards).
7. Permit modification from SJRWMD is required as well as permits or exemptions from

FDEP for water, wastewater and NPDES.

8. On-site lighting will be required pursuant to City Code; dark skies lighting is required.
9. If approved, further development of the site for the future building or addition will require separate site plan approval. Approval of the Lot 18 site plan does not constitute approval of future work (Lot 19).

PLANNING

10. The loading dock area *must be screened* from view on Garden Commerce Parkway. Landscaping installed along these view corridors may be used if it is of adequate size and density to serve this purpose.
11. Per code section 118-1536(i), the maximum illuminance permitted at the property line is 1.0 fc.

STANDARD GENERAL CONDITIONS

12. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
13. All work shall conform to City of Winter Garden standards and specifications.
14. Fencing shall meet all City requirements for height, type, etc. Chain link fencing shall be vinyl coated per Code. All construction shall conform to City of Winter Garden Standards, Specifications and Ordinances.
15. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
16. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The applicant should note that if approval is granted, the City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.
17. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
18. Approval by the Planning & Zoning Board (Special Exception) and City Commission (site plan) will be required prior to issuance of site or building permit(s).
19. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of the building permit.

Additional Comments will be generated at subsequent reviews.

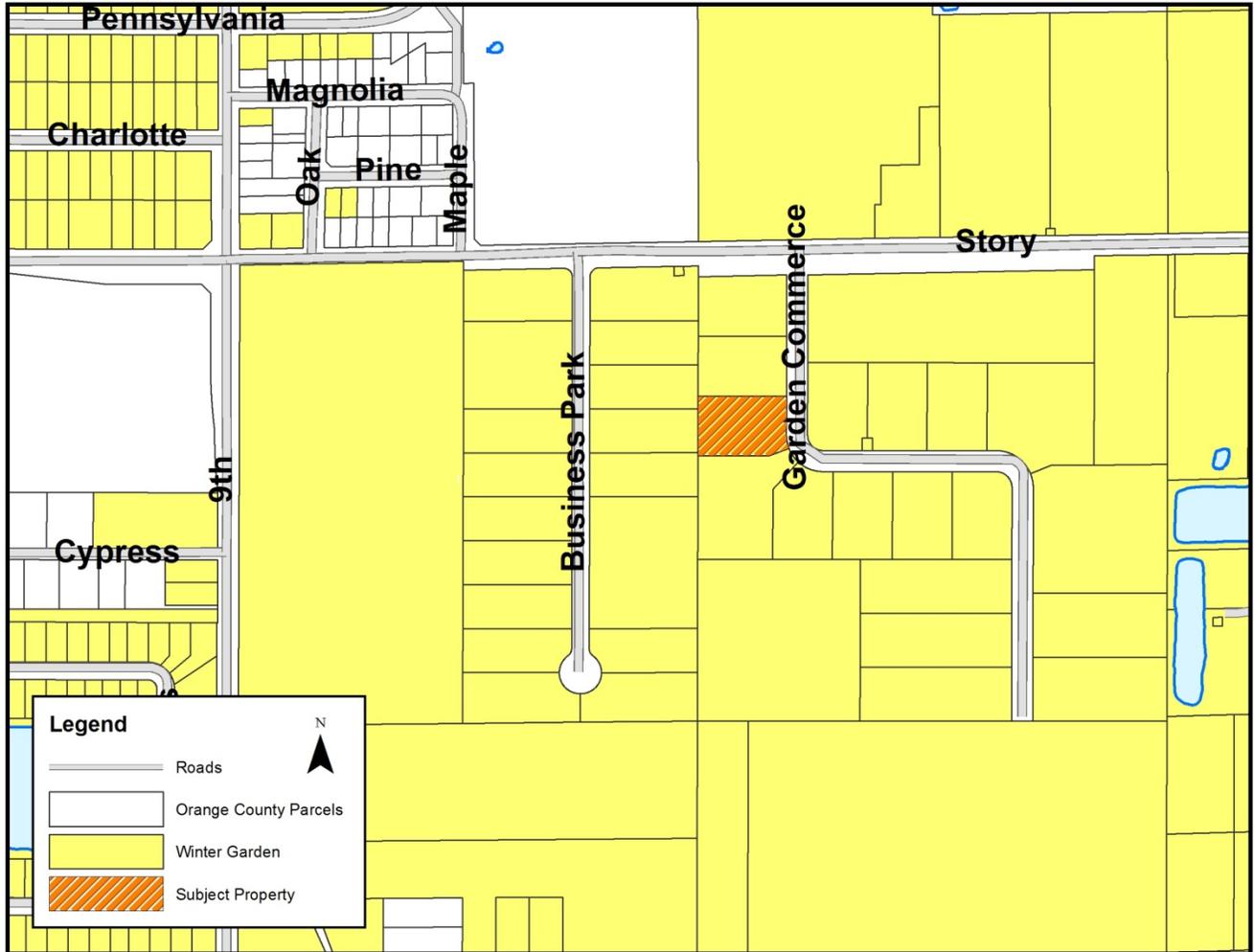
Please review this information and contact our office if you have any questions.

END OF MEMORANDUM

LOCATION MAP

640 Garden Commerce Parkway

SITE PLAN APPROVAL



THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Ed Williams, Community Development Director

Via: Mike Bollhoefer, City Manager

Date: July 2, 2015 **Meeting Date:** July 9, 2015

Subject: Final Plat
Black Lake Preserve
14288 Siplin Road (35.353+/- Acres)

Issue: Applicant is requesting to record the Final Plat of 91 single-family lots in the Black Lake Preserve subdivision.

Discussion:

The applicant is developing the property known as Black Lake Preserve with 91 single-family lots. The plat is consistent with the preliminary plat and the approved PUD.

Recommended action:

Staff recommends approval of the final plat.

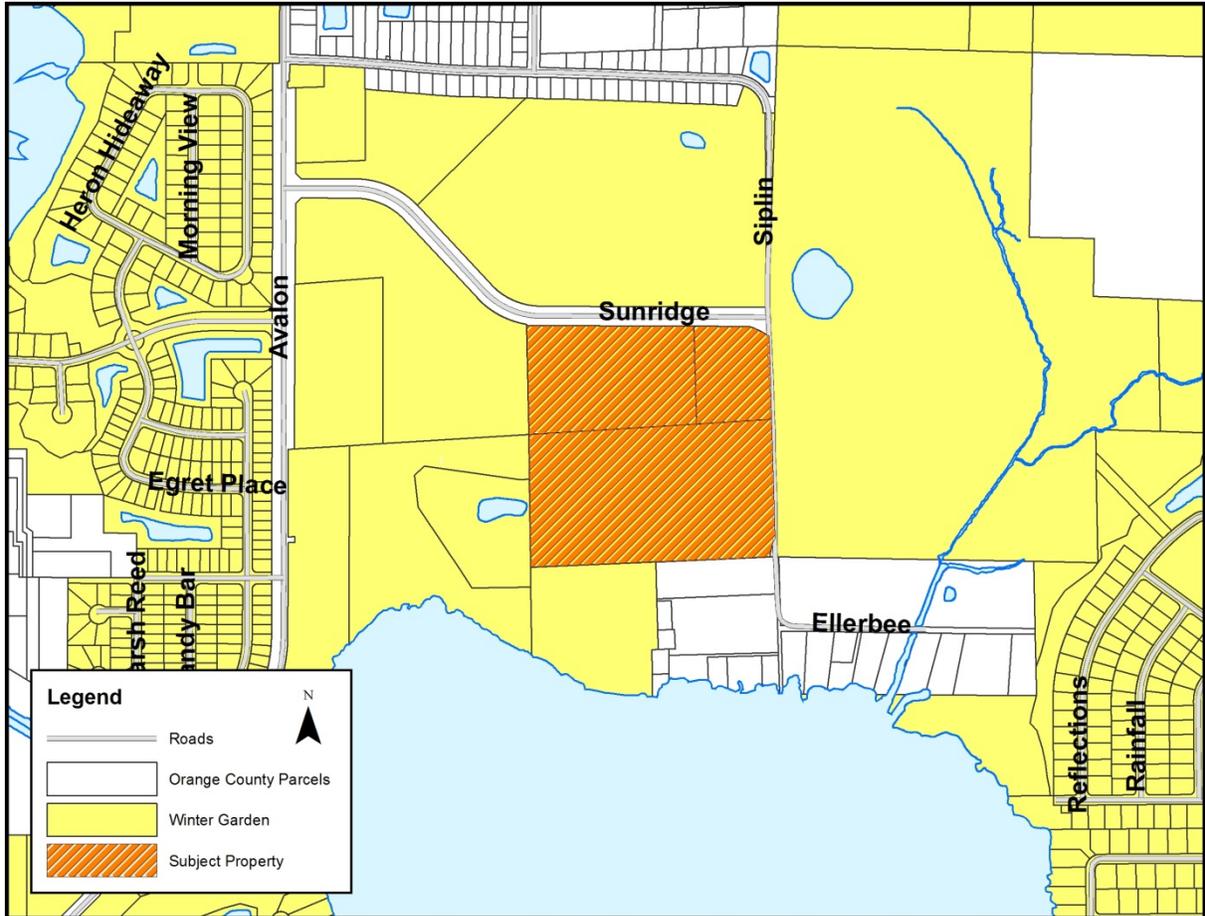
Attachments/References:

Location Map
Final Plat

LOCATION MAP

14288 SIPLIN ROAD

Black Lake Preserve



BLACK LAKE PRESERVE

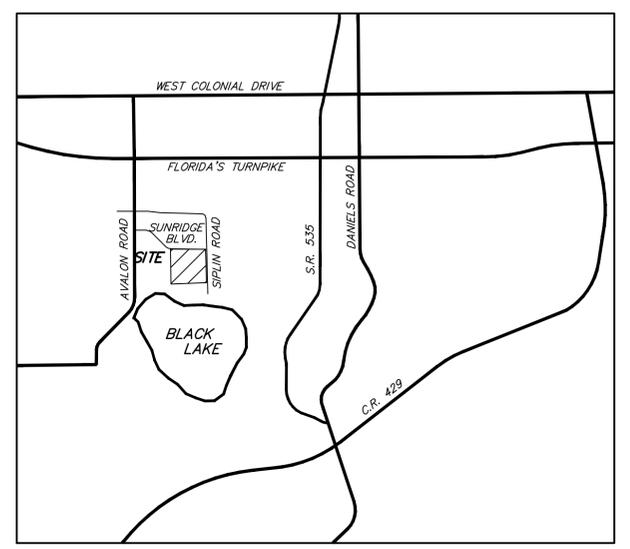
LYING IN SECTION 34, TOWNSHIP 22 SOUTH, RANGE 27 EAST
CITY OF WINTER GARDEN, ORANGE COUNTY, FLORIDA

LEGAL DESCRIPTION:

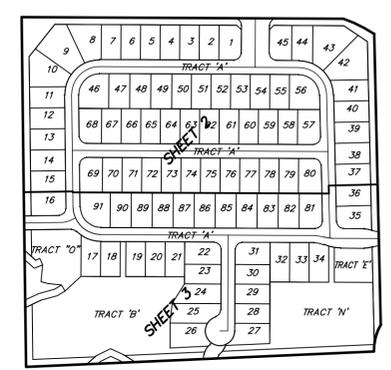
A PARCEL OF LAND BEING A PORTION OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 22 SOUTH, RANGE 27 EAST BEING DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTH QUARTER CORNER OF SAID SECTION 34 FOR A POINT OF REFERENCE; THENCE RUN SOUTH 01°18'35" EAST, ALONG THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 34, A DISTANCE OF 285.28 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 01°18'35" EAST, ALONG SAID EAST LINE, 1038.00 FEET TO A POINT LYING ON A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY; THENCE DEPARTING SAID EAST LINE, RUN SOUTHWESTERLY, ALONG SAID NON-TANGENT CURVE, HAVING A RADIUS OF 180.00 FEET, A CENTRAL ANGLE OF 32°20'30", AN ARC LENGTH OF 101.60 FEET, A CHORD LENGTH OF 100.26 FEET AND A CHORD BEARING OF SOUTH 14°33'54" WEST TO A POINT LYING ON THE SOUTH LINE OF SAID NORTHEAST QUARTER, OF THE NORTHWEST QUARTER OF SECTION 34; THENCE RUN SOUTH 87°28'30" WEST, ALONG SAID SOUTH LINE OF THE NORTHEAST QUARTER, OF THE NORTHWEST QUARTER OF SAID SECTION 34, A DISTANCE OF 1243.36 FEET TO THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 34; THENCE RUN NORTH 00°43'13" WEST, ALONG THE WEST LINE OF SAID NORTHEAST QUARTER OF THE NORTHWEST QUARTER, A DISTANCE OF 1249.27 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF SUNRIDGE BOULEVARD, AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED, AS RECORDED IN OFFICIAL RECORDS BOOK 10117, PAGE 3626, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE DEPARTING SAID WEST LINE, RUN SOUTH 89°42'58" EAST, ALONG SAID SOUTH RIGHT-OF-WAY LINE, 1149.68 FEET TO A POINT LYING ON A NON-TANGENT CURVE CONCAVE SOUTHWESTERLY; THENCE DEPARTING SAID SOUTH RIGHT-OF-WAY LINE, RUN SOUTHEASTERLY, ALONG SAID NON-TANGENT CURVE, HAVING A RADIUS OF 475.00 FEET, A CENTRAL ANGLE OF 14°47'04", AN ARC LENGTH OF 122.57 FEET, A CHORD LENGTH OF 122.23 FEET AND A CHORD BEARING OF SOUTH 63°49'08" EAST TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL OF LAND LIES IN ORANGE COUNTY, FLORIDA AND CONTAINS 35.253 ACRES MORE OR LESS.



LOCATION MAP NOT TO SCALE



KEY MAP NOT TO SCALE

LEGEND

- P.O.C. - POINT OF COMMENCEMENT
- P.O.B. - POINT OF BEGINNING
- C - CENTERLINE
- C.R. - COUNTY ROAD
- S.R. - STATE ROAD
- PG.(S) - PAGE(S)
- P.C.P. - PERMANENT CONTROL POINT
- P.C. - POINT OF CURVATURE
- O.R.B. - OFFICIAL RECORDS BOOK
- (N.R.) - NON-RADIAL
- P.T. - POINT OF TANGENT
- R - RADIUS
- Δ - CENTRAL ANGLE
- L - ARC LENGTH
- C - CHORD LENGTH
- CB - CHORD BEARING
- R/W - RIGHT-OF-WAY
- BLVD - BOULEVARD
- C.C.R. - CERTIFIED CORNER RECORD
- LB. - LICENSED BUSINESS
- I.R.C. - IRON REBAR WITH CAP
- PRM - PERMANENT REFERENCE MONUMENT
- CM - CONCRETE MONUMENT
- FND. - FOUND
- I.P. - IRON PIPE
- DU&PE - DRAINAGE, UTILITY AND PEDESTRIAN EASEMENT
- D&UE - DRAINAGE AND UTILITY EASEMENT
- TYP - TYPICAL
- RP. - RADIUS POINT
- PI. - POINT OF INTERSECTION

SURVEYOR'S NOTES:

- (1) BEARINGS SHOWN HEREON ARE ASSUMED RELATIVE TO THE EAST LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 22 SOUTH, RANGE 27 EAST, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING SOUTH 01°18'35" EAST.
- (2) ○ DENOTES A PERMANENT REFERENCE MONUMENT (P.R.M.) A SET 5/8 IRON BAR WITH A CAP STAMPED LB. # 7808, UNLESS OTHERWISE NOTED.
- (3) ⊙ DENOTES A PERMANENT CONTROL POINT (P.C.P.) A SET NAIL AND DISK STAMPED LB. # 7808.
- (4) ALL PLATTED UTILITY EASEMENTS SHALL PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF ANY ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY; IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR DAMAGES. THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.
- (5) TRACT "A" (PRIVATE ROADWAY TRACT) SHALL BE OWNED AND MAINTAINED BY THE BLACK LAKE PRESERVE HOMEOWNERS ASSOCIATION, WITH UTILITY RIGHTS OVER, UNDER AND THROUGH TRACT "A", IN FAVOR OF DUKE ENERGY. A PERPETUAL NON-EXCLUSIVE ACCESS EASEMENT OVER TRACT "A" IS HEREBY GRANTED IN FAVOR OF THE CITY OF WINTER GARDEN AND OTHER APPLICABLE AUTHORITIES TO PROVIDE LAW ENFORCEMENT, FIRE, AND OTHER EMERGENCY SERVICES.
- (6) TRACT "B" AND TRACT "N" (STORMWATER MANAGEMENT AREAS) SHALL BE OWNED AND MAINTAINED BY THE BLACK LAKE PRESERVE HOMEOWNERS ASSOCIATION, WITH A DRAINAGE EASEMENT DEDICATED TO THE CITY OF WINTER GARDEN OVER THE ENTIRE TRACTS.
- (7) TRACT "K" (FUTURE ACCESS TRACT) SHALL BE OWNED AND MAINTAINED BY THE BLACK LAKE PRESERVE HOMEOWNERS ASSOCIATION, WITH A DRAINAGE EASEMENT DEDICATED TO THE CITY OF WINTER GARDEN OVER THE ENTIRE TRACT.
- (8) TRACTS "F", "G" AND "M" (LANDSCAPE AND WALL TRACTS), ALSO TRACTS "H", "I", "J", AND "L" (LANDSCAPE BUFFER TRACTS), SHALL BE OWNED AND MAINTAINED BY THE BLACK LAKE PRESERVE HOMEOWNERS ASSOCIATION.
- (9) TRACT "O" (RECREATION TRACT) AND TRACT "E", (PASSIVE RECREATION TRACT), SHALL BE OWNED AND MAINTAINED BY THE BLACK LAKE PRESERVE HOMEOWNERS ASSOCIATION.
- (10) UNLESS OTHERWISE INDICATED HEREON THERE IS HEREBY CREATED: (i) A NON-EXCLUSIVE 5.00' DRAINAGE AND UTILITY EASEMENT ON ALL SIDE LOT LINES; (ii) A NON-EXCLUSIVE 10.00' DRAINAGE AND UTILITY EASEMENT ON ALL REAR LOT LINES; AND (iii) A NON-EXCLUSIVE 10.00' DRAINAGE, UTILITY AND PEDESTRIAN EASEMENT ABUTTING INTERNAL ROAD RIGHTS-OF-WAY. THE FOREGOING EASEMENTS ARE HEREBY DEDICATED TO AND SHALL BE MAINTAINED BY THE BLACK LAKE PRESERVE HOMEOWNERS ASSOCIATION, INC. FURTHER, THE CITY OF WINTER GARDEN IS DEDICATED TO A UTILITY EASEMENT OVER, UNDER AND THROUGH EACH OF THE AFORESAID EASEMENT AREAS. NO UTILITIES OR OTHER IMPROVEMENTS SHALL BE PERMITTED TO INTERFERE WITH THE CITY OF WINTER GARDEN'S UTILITY IMPROVEMENTS WITHIN SAID EASEMENT AREAS. THE CITY OF WINTER GARDEN IS RESPONSIBLE ONLY FOR THE MAINTENANCE OF ITS UTILITIES PLACED WITHIN THE AFORESAID EASEMENTS. THE BLACK LAKE PRESERVE HOMEOWNERS ASSOCIATION, INC. SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF ANY AND ALL SIDEWALKS, ACCESS IMPROVEMENTS, DRAINAGE IMPROVEMENTS AND SWALES WITHIN THESE EASEMENT AREAS. THE FOREGOING EASEMENTS SHALL NOT BE TERMINATED OR ALTERED WITHOUT THE PRIOR WRITTEN CONSENT OF THE CITY OF WINTER GARDEN.
- (11) LOT LINES ARE RADIAL, UNLESS OTHERWISE NOTED.
- (12) THE LOTS WITHIN THIS SUBDIVISION ARE GOVERNED BY A MANDATORY HOMEOWNERS ASSOCIATION (I.E. BLACK LAKE PRESERVE HOMEOWNERS ASSOCIATION) REQUIRING THE PAYMENT OF FEES AND WITH THE POWER TO ASSESS THE LOTS. THE HOMEOWNERS ASSOCIATION IS THE OWNER OF AND/OR RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND REPLACEMENT OF ALL PRIVATE AREAS, DRAINAGE SYSTEMS, INCLUDING WITHOUT LIMITATION, THE RETENTION/DETENTION AREAS AND UNDERDRAINS, COMMON PROPERTIES, SCREENING WALLS, AND SUCH OTHER SUBDIVISION INFRASTRUCTURE NOT OTHERWISE DEDICATED TO THE PUBLIC USE OR THE CITY OF WINTER GARDEN, INCLUDING WITHOUT LIMITATION, TRACTS A, B, E, F, G, H, I, J, K, L, M, N, O AND THE IMPROVEMENTS THEREON. EVERY LOT OWNER WITHIN THIS SUBDIVISION IS REQUIRED TO BE A MEMBER OF THE HOMEOWNERS ASSOCIATION, AND IS SUBJECT TO ITS RULES AND REGULATIONS, INCLUDING, BUT NOT LIMITED TO THE CONDITIONS, COVENANTS, AND RESTRICTIONS PROVIDED FOR IN ITS DECLARATION, AND THE DEDICATIONS, RESTRICTIONS, AND RESERVATIONS, AS SET FORTH ON THIS PLAT. FAILURE TO PAY SUCH FEES OR ASSESSMENTS SHALL RESULT IN THE ATTACHMENT OF A LIEN ON THE PROPERTY OF THE OWNER WHICH FAILS TO PAY SUCH FEES OR ASSESSMENTS BY THE HOMEOWNERS ASSOCIATION, WHICH MAY RESULT IN THE FORECLOSURE OF SAID PROPERTY.
- (13) THE CITY OF WINTER GARDEN SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO ACCESS, MAINTAIN, REPAIR, REPLACE AND OTHERWISE CARE FOR OR CAUSE TO BE CARED FOR, ANY AND ALL PORTIONS OF THE PROPERTY, INCLUDING WITHOUT LIMITATION ANY AND ALL PRIVATE AREAS, COMMON AREAS, DRAINAGE SYSTEMS, INCLUDING WITHOUT LIMITATION THE RETENTION/DETENTION AREAS AND UNDERDRAINS, COMMON PROPERTIES, PRIVATE ROADS, SCREENING WALLS, TRACTS B AND N, AND THE IMPROVEMENTS THEREON, AND SUCH OTHER SUBDIVISION INFRASTRUCTURE NOT OTHERWISE DEDICATED TO THE PUBLIC USE OR THE CITY OF WINTER GARDEN (COLLECTIVELY, THE "FACILITIES AND LAND"). FURTHER, THE CITY OF WINTER GARDEN HAS THE RIGHT, BUT NOT THE OBLIGATION, TO CAUSE TO BE PREPARED ANY REPORT, STUDY, OR INSPECTION REQUIRED BY THE CODE OF ORDINANCES OF THE CITY OF WINTER GARDEN (THE "CODE") IF THE BLACK LAKE PRESERVE HOMEOWNERS ASSOCIATION FAILS TO OBTAIN SUCH REPORTS, STUDIES, OR INSPECTIONS REQUIRED BY THE CODE IN THE TIME PROVIDED, IN THE EVENT THE FACILITIES AND LAND (OR ANY PORTION THEREOF) ARE MAINTAINED, REPAIRED, OR REPLACED IN ACCORDANCE WITH THE STANDARDS OF THE CITY OF WINTER GARDEN CODE OF ORDINANCES, GOOD ENGINEERING PRACTICES, OR BECOME A NUISANCE, OR THE REQUIRED REPORTS, STUDIES, OR INSPECTIONS ARE NOT OBTAINED IN THE TIME PROVIDED, OR IN THE EVENT THE CITY OF WINTER GARDEN EXERCISES THE AFORESAID RIGHT, EACH OF THE LOT OWNERS ON A PRO-RATA BASIS (I.E. PER LOT) SHALL BE RESPONSIBLE FOR PAYMENT OF THE COST OF SUCH MAINTENANCE, REPAIR, REPLACEMENT, AND CARE PROVIDED BY THE CITY OF WINTER GARDEN OR THE CONTRACTORS AND AGENTS AND THE COST OF PREPARING SAID REPORTS, STUDIES, OR INSPECTIONS, PLUS ADMINISTRATIVE COSTS AND ATTORNEY'S FEES INCURRED BY OR FOR THE CITY OF WINTER GARDEN. THE CITY OF WINTER GARDEN SHALL HAVE A LIEN UPON EACH LOT TO SECURE THE PERSONAL OBLIGATION OF EACH LOT OWNER THEREOF FOR ANY UNPAID FEES AND COSTS RESULTING FROM THE FOREGOING. SUCH LIEN SHALL ALSO SECURE REASONABLE ATTORNEY'S FEES AND OTHER COSTS INCURRED BY THE CITY OF WINTER GARDEN INCIDENT TO THE COLLECTION OF SUCH FEES AND COSTS OF ENFORCEMENT OF SUCH LIEN. THE LIEN SHALL BE ENDED BY A CLAIM RECORDED AMONG THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, AND SHALL BE EFFECTIVE FROM AND AS OF THE TIME OF SUCH RECORDING. THE CITY OF WINTER GARDEN MAY TAKE SUCH ACTION OR ACTIONS IT DEEMED NECESSARY TO COLLECT SAID FEES, AND COSTS AS MAY BE PERMITTED BY LAW, INCLUDING, BUT NOT LIMITED TO, AN IN PERSONAL ACTION, LIEN, FORECLOSURE, OR SPECIAL ASSESSMENT, NEITHER THE RIGHTS PROVIDED FOR HEREIN NOR THE CITY'S EXERCISE OF SAID RIGHTS, SHALL IMPOSE ANY OBLIGATION ON THE CITY OF WINTER GARDEN TO MAINTAIN, REPAIR, REPLACE OR OTHERWISE CARE FOR THE FACILITIES AND LAND, OR ANY PORTION THEREOF, OR CAUSE TO BE PREPARED ANY REPORTS, STUDIES, OR INSPECTIONS.
- (14) THE HOMEOWNERS' ASSOCIATION, AS OWNER OF THE SUBDIVISION INFRASTRUCTURE NOT OTHERWISE DEDICATED TO THE PUBLIC USE OR THE CITY OF WINTER GARDEN, COMMON PROPERTIES, AND AMENITIES, AND THE INDIVIDUAL LOT OWNERS TO EXTENT OF THEIR INTEREST IN THE FOREGOING, SHALL RELEASE, DEFEND, INDEMNIFY AND HOLD THE CITY OF WINTER GARDEN, OTHER GOVERNMENTAL ENTITIES AND PUBLIC UTILITIES HARMLESS FROM ANY AND ALL COSTS, EXPENSES, SUITS, DEMANDS, LIABILITIES, DAMAGES, INJURIES (INCLUDING DEATH), OR OTHERWISE INCLUDING ATTORNEY'S FEES AND COSTS OF SUITS, IN CONNECTION WITH REASONABLE USE OF SAID SUBDIVISION INFRASTRUCTURE, COMMON AREAS, OR AMENITIES, OR SAID PARTIES' MAINTENANCE THEREOF, OR SAID PARTIES' EXERCISE OF RIGHTS PERMITTED IN THE DECLARATION OF THE HOMEOWNERS' ASSOCIATION, THIS PLAT, OR OTHERWISE PERMITTED BY LAW.
- (15) TRACTS "C" AND "D" (WETLAND CONSERVATION TRACTS) AND TRACTS "C-1", "C-2" AND "D-1" (UPLAND BUFFERS), SHALL BE OWNED AND MAINTAINED BY THE BLACK LAKE PRESERVE HOMEOWNERS ASSOCIATION, WITH A CONSERVATION EASEMENT DEDICATED TO THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT OVER THE ENTIRE TRACTS, WITH DEVELOPMENT RIGHTS DEDICATED TO THE CITY OF WINTER GARDEN, FLORIDA, NO CONSTRUCTION, CLEARING, GRADING OR ALTERATION IS PERMITTED WITHOUT PRIOR APPROVAL OF ORANGE COUNTY, FLORIDA AND/OR ALL OTHER APPLICABLE JURISDICTIONAL AGENCIES.
- (16) BY APPROVAL OF THIS PLAT THE CITY ACKNOWLEDGES THAT THE RIGHT-OF-WAY KNOWN AS SIPLIN ROAD AND LOCATED WITHIN THE EIGHT (8) EASTERNMOST FEET OF THE LANDS LEGALLY DESCRIBED ON SHEET 1 ON THIS PLAT IS HEREBY VACATED AND ABANDONED.

NOTICE:

"THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY."

**CERTIFICATE OF REVIEW
BY CITY SURVEYOR**

I HEREBY CERTIFY, That I have examined the foregoing plat and find it to comply in form with all the requirements of Part 1 of Chapter 177, Florida Statutes.

By: _____ Date: _____
City Surveyor

Surveyor's Registration No. _____

CERTIFICATE OF COUNTY COMPTROLLER

I HEREBY CERTIFY, That the foregoing plat was recorded in the Orange County Official Records on _____ as File No. _____.

County Comptroller
in and for Orange County, Florida.

By: _____

**CERTIFICATE OF APPROVAL
BY MUNICIPALITY**

THIS IS TO CERTIFY, That on _____ the City Commission of Winter Garden, Florida approved the foregoing Plat.

John Rees, Mayor

ATTEST: _____
City Clerk

PEC SURVEYING AND MAPPING, LLC
 CERTIFICATE OF AUTHORIZATION NUMBER LB 7808
 2100 Alafaya Trail, Suite 203 • Oviedo, Florida 32765 • 407-542-4967

KNOW ALL MEN BY THESE PRESENTS, That ROYAL OAK HOMES, LLC, a Florida limited liability company ("Owner"), Being the lawful owner in fee simple of the land described in the foregoing caption to this plat, hereby dedicates said lands and plat for the easements, rights, uses and purposes therein expressed, including as set forth in the plat notes. Except as noted on this plat, no part of said lands is dedicated to the City of Winter Garden, Florida, or to the public.

None of the property designated Common Area is required for public use and such Common Area is not and will not be part of the City system of public roads. Said Common Area shall remain private and the sole and exclusive property of Owner, its successors and assigns. Owner does hereby grant to the present and future property owners of Black Lake Preserve and their guests, invitees, domestic help, and to delivery, pick-up and fire protection services, police and other authorities of law, code enforcement, emergency medical transport, solid waste collection and other public and emergency services, United States mail carriers, representatives of utilities, City of Winter Garden, holders of mortgage liens on such lands, and such other persons as Owner, its successor and assigns, may from time to time designate the non-exclusive and perpetual right of ingress and egress over and across the roads and sidewalks as they may from time to time be constructed on Tract "A" of the Common Area.

NOTWITHSTANDING the foregoing, Owner hereby dedicates an emergency access easement over Tract "A" for access to the private stormwater management areas over Tracts "N" and "B" and over all drainage easements shown on this plat to the City of Winter Garden, Florida, for emergency maintenance purposes in the event inadequate maintenance of the storm drainage system creates a hazard to the public health, safety and general welfare. The emergency access easement granted above does not impose any obligation, burden, responsibility or liability upon City of Winter Garden, Florida, to enter upon the subject property and take any action to repair or maintain the private stormwater management areas. A non-exclusive easement through, over, under and across Tract "A" and all utility easements shown hereon is hereby dedicated for use by all public utilities for the purpose of constructing, maintaining and replacing their respective facilities servicing the lands encompassed by this plat.

IN WITNESS WHEREOF, ROYAL OAK HOMES, LLC, a Florida Limited Liability Company, has caused this Dedication to be executed in its name by the below-named officer thereto duly authorized this _____ day of _____, 2015.

Signed, sealed and delivered in the presence of the following two witnesses: ROYAL OAK HOMES, LLC a Florida limited liability company
By: AVATAR PROPERTIES, INC. a Florida Corporation, its sole member

Print Name: _____ Stephen W. Orosz
(Witness) _____ Co-Division President - ROH,
Print Name: _____ ROYAL OAK HOMES
(Witness) _____

STATE OF FLORIDA
COUNTY OF ORANGE
THIS IS TO CERTIFY that the foregoing Dedication was acknowledged before me this _____ day of _____, 2015, by Stephen W. Orosz as Co-Division President - ROH, of ROYAL OAK HOMES, LLC, a Florida limited liability company, on behalf of said limited liability company. Said person did not take an oath and is personally known to me or has produced the following identification _____

Print Name: _____
Notary Public - State of Florida
Commission No.: _____
My Commission Expires: _____

QUALIFICATION STATEMENT OF SURVEYOR AND MAPPER

KNOWN ALL MEN BY THESE PRESENTS, that the undersigned, being a licensed and registered surveyor and mapper, does hereby certify that on _____

a survey of the lands shown in the foregoing plat was completed; that said plat is a true and correct representation of the lands surveyed, that the plat was prepared under my responsible direction and supervision, and that this plat complies with all the survey requirements of Chapter 177, Florida Statutes, and that said plat or plot otherwise complies with the survey requirements of Part 1 of Chapter 177, Florida Statutes, and Chapter 110 of the Winter Garden Code of Ordinance and that said land is located in Winter Garden, Orange County, Florida.

Surveyor's Signature _____ Date _____
David A. White _____ LS 4044
Surveyor's Name (printed) _____ Surveyor's Registration Number
LB 7808
PEC - Surveying and Mapping, LLC _____ Certificate of Authorization Number
2100 Alafaya Boulevard, Suite 203, Oviedo, Florida, 32765

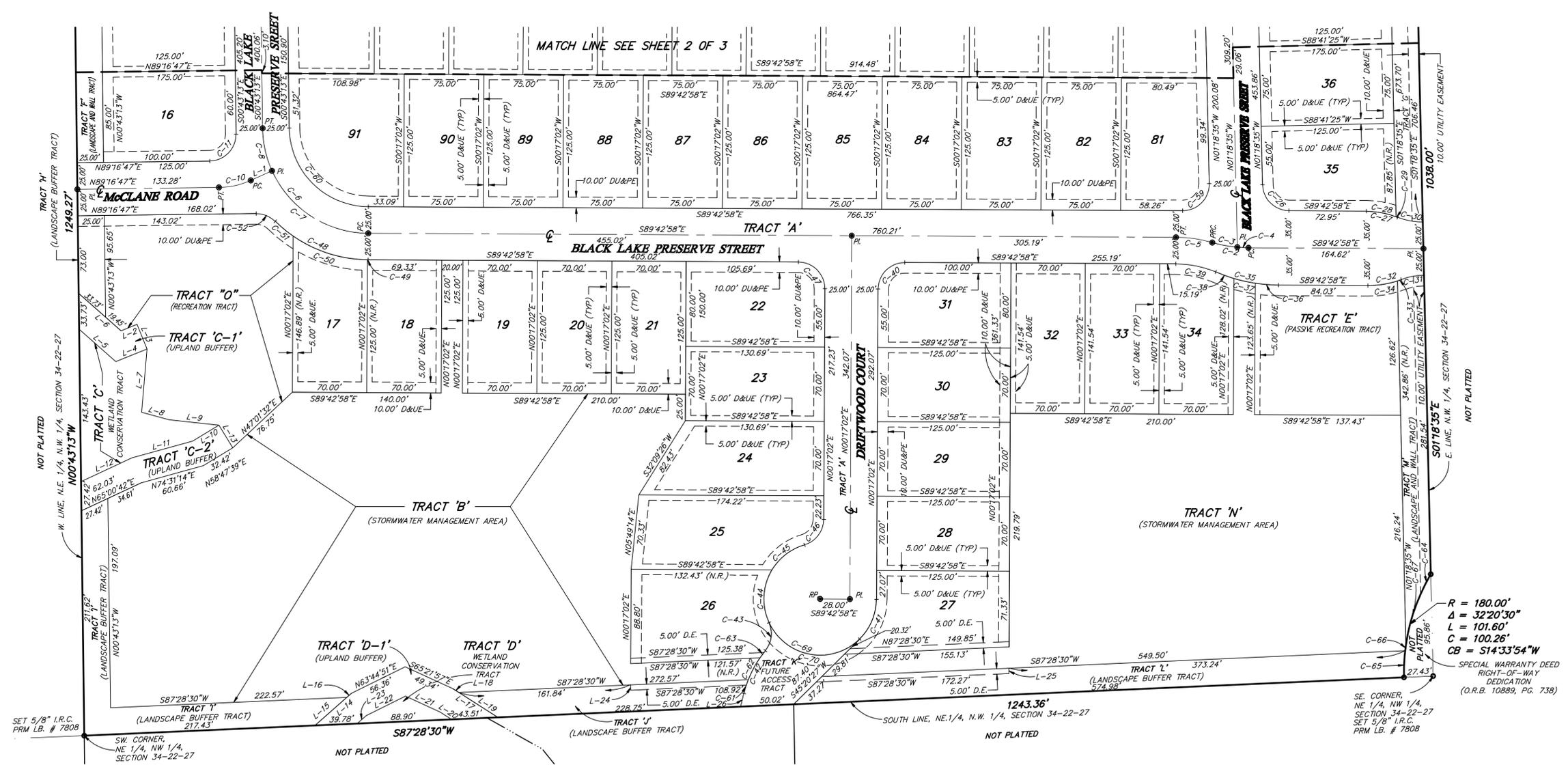
BLACK LAKE PRESERVE

LYING IN SECTION 34, TOWNSHIP 22 SOUTH, RANGE 27 EAST
CITY OF WINTER GARDEN, ORANGE COUNTY, FLORIDA

CURVE	RADIUS	DELTA	LENGTH	CHORD	CHORD BRG.
C-2	125.00'	15°50'51"	34.52'	34.46'	S81°47'32"E
C-3	125.00'	11°02'43"	24.10'	24.06'	S79°23'28"E
C-4	125.00'	04°48'08"	10.48'	10.47'	S87°18'54"E
C-5	125.00'	15°50'51"	34.52'	34.46'	N81°47'32"W
C-6	100.00'	88°59'44"	155.33'	140.18'	S45°13'06"E
C-7	100.00'	65°21'54"	114.08'	108.00'	S57°02'00"E
C-8	100.00'	23°37'50"	41.24'	40.95'	S12°32'08"E
C-10	75.00'	23°37'50"	30.93'	30.71'	N77°22'52"W
C-11	25.00'	90°00'00"	39.27'	35.36'	S44°16'47"W
C-26	25.00'	88°24'23"	38.57'	34.86'	N45°30'46"W
C-27	79.75'	21°41'55"	30.20'	30.02'	N78°52'00"W
C-28	79.75'	20°29'38"	28.53'	28.37'	N79°28'09"W
C-29	79.75'	01°12'17"	1.68'	1.68'	N68°37'11"W
C-30	62.00'	22°18'35"	24.14'	23.99'	N79°10'21"W
C-31	62.00'	20°06'56"	21.77'	21.66'	N79°18'47"E
C-32	87.75'	21°01'43"	32.21'	32.03'	N79°46'11"E
C-33	87.75'	02°29'51"	3.83'	3.82'	N70°30'15"E
C-34	87.75'	18°31'52"	28.38'	28.26'	N81°01'06"E
C-35	150.00'	23°14'22"	60.84'	60.42'	S78°05'47"E
C-36	150.00'	08°25'53"	22.07'	22.05'	S85°30'01"E
C-37	150.00'	07°49'35"	20.49'	20.47'	S77°22'17"E
C-38	150.00'	06°58'54"	18.28'	18.27'	S69°58'03"E
C-39	100.00'	22°05'43"	38.96'	38.33'	S78°40'06"E
C-40	25.00'	90°00'00"	39.27'	35.36'	N45°17'02"E
C-41	53.00'	45°03'25"	41.68'	40.61'	N22°48'45"E
C-42	100.00'	26°00'21"	45.39'	45.00'	N26°41'32"E
C-43	25.00'	64°25'07"	28.11'	26.65'	S07°29'09"W
C-44	53.00'	55°43'09"	51.54'	49.53'	S03°08'10"W
C-45	53.00'	42°54'20"	39.69'	38.77'	S52°26'55"W
C-46	25.00'	73°37'02"	32.12'	29.96'	S37°05'34"W
C-47	25.00'	90°00'00"	39.27'	35.36'	S44°42'58"E
C-48	125.00'	44°29'33"	97.07'	94.65'	S67°28'11"E
C-49	125.00'	00°18'25"	0.67'	0.67'	S89°33'45"E
C-50	125.00'	34°07'13"	74.44'	73.34'	S72°20'57"E
C-51	125.00'	10°03'55"	21.96'	21.93'	S50°15'23"E
C-52	25.00'	45°29'48"	19.85'	19.33'	S67°58'19"E

CURVE	RADIUS	DELTA	LENGTH	CHORD	CHORD BRG.
C-59	25.00'	91°35'37"	39.97'	35.84'	S44°29'14"W
C-60	75.00'	88°59'44"	116.49'	105.13'	N45°13'06"W
C-61	100.00'	07°41'46"	13.43'	13.42'	S17°32'15"W
C-62	100.00'	13°20'26"	23.28'	23.23'	S28°03'21"W
C-63	100.00'	04°58'09"	8.67'	8.67'	S37°12'38"W
C-64	180.00'	06°37'30"	20.81'	20.80'	S27°25'24"W
C-65	180.00'	07°59'37"	25.11'	25.09'	S02°32'27"W
C-66	180.00'	01°43'21"	5.41'	5.41'	S07°14'56"W
C-67	180.00'	16°00'02"	50.27'	50.10'	S16°06'38"W
C-69	53.00'	25°33'02"	234.60'	84.87'	S52°54'26"E
C-70	53.00'	109°56'07"	101.69'	86.80'	S79°41'28"E

LINE	BEARING	LENGTH
L-1	N65°38'57"E	21.88'
L-2	S67°59'32"W	16.23'
L-3	N22°00'28"W	25.00'
L-4	N67°59'32"E	31.68'
L-5	S48°33'17"E	46.00'
L-6	N48°33'17"W	53.18'
L-7	N04°52'57"E	59.80'
L-8	N74°43'46"W	26.77'
L-9	N83°51'45"W	47.30'
L-10	N58°47'39"E	28.92'
L-11	N74°31'14"E	59.29'
L-12	N65°00'42"E	52.84'
L-13	N31°12'21"W	25.00'
L-14	N48°31'59"E	45.71'
L-15	S48°31'59"W	39.78'
L-16	S48°31'59"W	5.93'
L-17	S57°27'18"E	50.26'
L-18	N57°27'18"W	6.75'
L-19	N57°27'18"W	43.51'
L-20	N57°27'18"W	12.92'
L-21	N65°21'57"W	35.72'
L-22	S63°44'51"W	41.12'
L-23	S48°31'59"W	11.43'
L-24	N00°17'06"E	5.01'
L-25	S00°17'06"W	5.01'
L-26	N13°41'22"E	12.91'



R = 180.00'
Δ = 32°20'30"
L = 101.60'
C = 100.26'
CB = S14°33'54"W

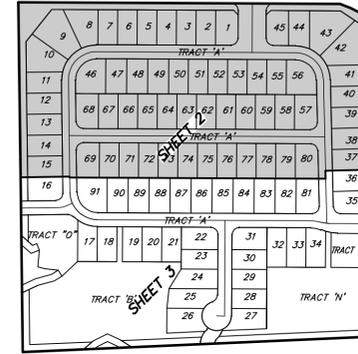
SPECIAL WARRANTY DEED
RIGHT-OF-WAY
DEDICATION
(O.R.B. 10889, PG. 738)

NOTICE:
"THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY."

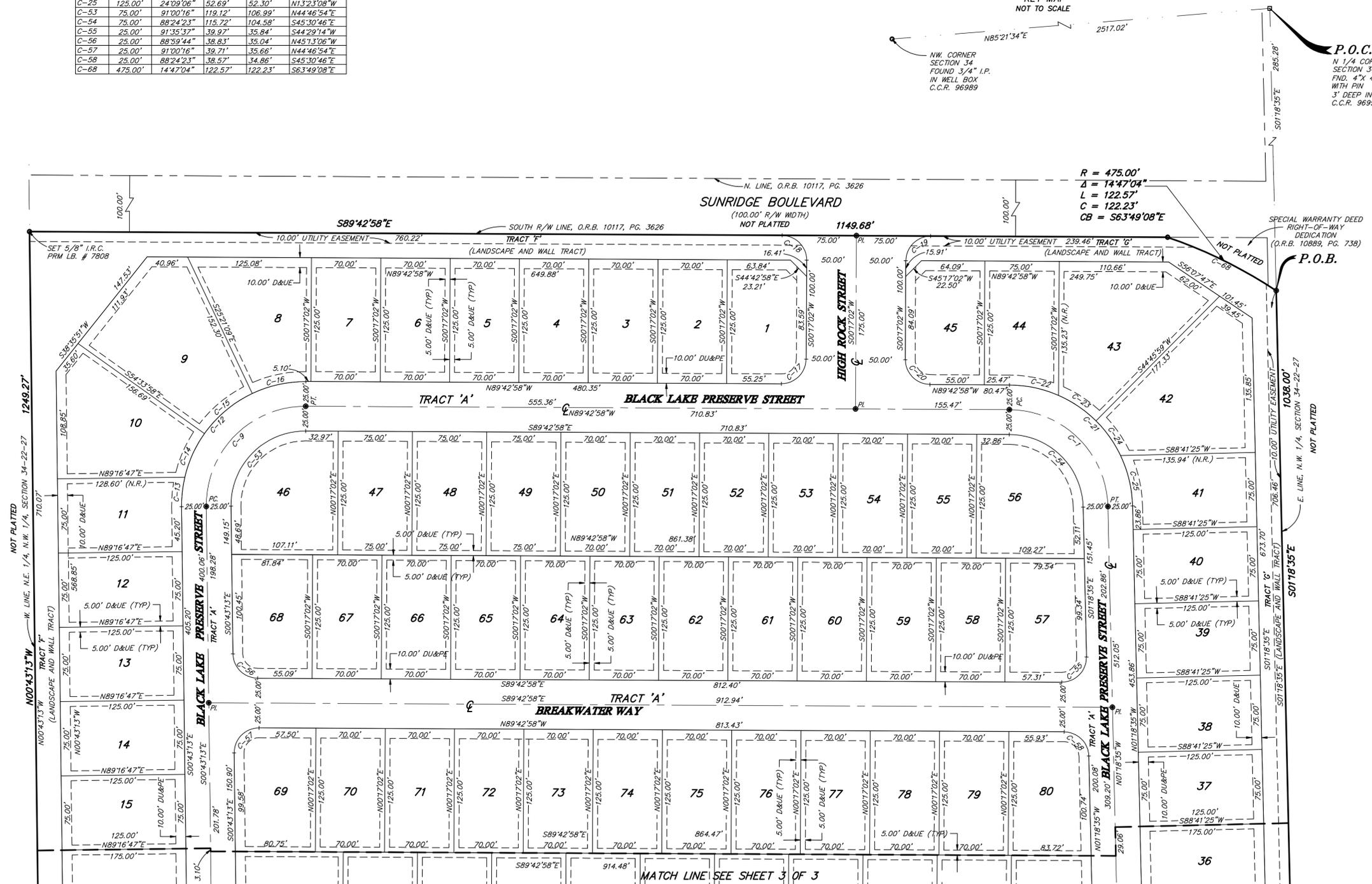
BLACK LAKE PRESERVE

LYING IN SECTION 34, TOWNSHIP 22 SOUTH, RANGE 27 EAST
CITY OF WINTER GARDEN, ORANGE COUNTY, FLORIDA

CURVE	RADIUS	DELTA	LENGTH	CHORD	CHORD BRG.
C-1	100.00'	88°24'23"	154.30'	139.44'	N45°30'46"W
C-9	100.00'	91°00'16"	158.83'	142.66'	S44°46'54"W
C-12	125.00'	91°00'16"	198.54'	178.32'	S44°46'54"W
C-13	125.00'	13°47'25"	30.09'	30.01'	S06°10'29"W
C-14	125.00'	22°21'50"	48.79'	48.48'	S24°15'07"W
C-15	125.00'	29°12'49"	63.73'	63.05'	S50°02'26"W
C-16	125.00'	25°38'11"	55.93'	55.46'	S77°27'57"W
C-17	25.00'	90°00'00"	39.27'	35.36'	S45°17'02"W
C-18	25.00'	90°00'00"	39.27'	35.36'	S44°42'58"E
C-19	25.00'	90°00'00"	39.27'	35.36'	N45°17'02"E
C-20	25.00'	90°00'00"	39.27'	35.36'	N44°42'58"W
C-21	125.00'	88°24'23"	192.87'	174.30'	N45°30'46"W
C-22	125.00'	23°20'33"	50.93'	50.57'	N78°02'41"W
C-23	125.00'	21°08'24"	46.12'	45.86'	N55°48'13"W
C-24	125.00'	19°46'20"	43.14'	42.92'	N35°20'51"W
C-25	125.00'	24°09'06"	52.69'	52.30'	N13°23'08"W
C-53	75.00'	91°00'16"	119.12'	106.99'	N44°46'54"E
C-54	75.00'	88°24'23"	115.72'	104.58'	S45°30'46"E
C-55	25.00'	91°35'37"	39.97'	35.84'	S44°29'14"W
C-56	25.00'	88°59'44"	38.83'	35.04'	N45°13'06"W
C-57	25.00'	91°00'16"	39.71'	35.66'	N44°46'54"E
C-58	25.00'	88°24'23"	38.57'	34.86'	S45°30'46"E
C-68	475.00'	14°47'04"	122.57'	122.23'	S63°49'08"E



P.O.C.
N 1/4 CORNER
SECTION 34-22-27
FIND 4" X 4" CM.
WITH PIN
3" DEEP IN ASPHALT
C.C.R. 96989



R = 475.00'
Δ = 14°47'04"
L = 122.57'
C = 122.23'
CB = S63°49'08"E

SPECIAL WARRANTY DEED
RIGHT-OF-WAY
DEDICATION
(O.R.B. 10889, PG. 738)

NOT PLATTED
N00°43'13"W
1/4, N.W. 1/4, SECTION 34-22-27
1249.27'

NOT PLATTED
E. LINE, N.W. 1/4, SECTION 34-22-27
1038.00'

MATCH LINE SEE SHEET 3 OF 3

NOTICE:
"THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL
DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL
IN NO CIRCUMSTANCES BE SUPERSEDED IN AUTHORITY BY ANY OTHER
GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL
RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE
FOUND IN THE PUBLIC RECORDS OF THIS COUNTY."

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Ed Williams, Community Development Director

Via: Mike Bollhoefer, City Manager

Date: July 2, 2015 **Meeting Date:** July 9, 2015

Subject: Final Plat
Hickory Hammock Phase 1C
1000 Avalon Road (7.159+/- Acres)

Issue: Applicant is requesting to record the Final Plat of 50 townhome lots in the Hickory Hammock Phase 1C subdivision.

Discussion:

The applicant is proposing to develop a new phase in the Hickory Hammock Subdivision known as 1C with 50 townhome lots. The plat is consistent with the preliminary plat and the approved PUD.

Recommended action:

Staff recommends approval of the final plat.

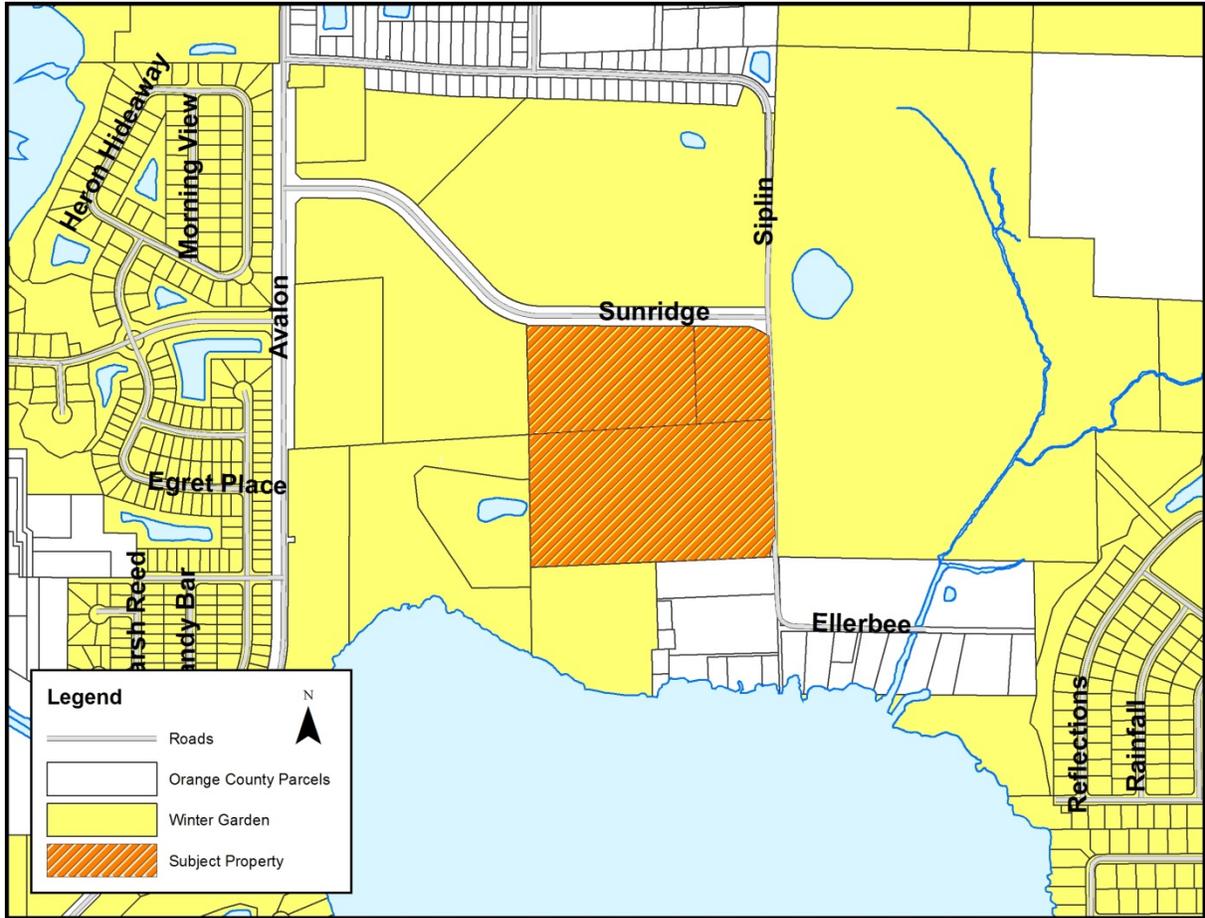
Attachments/References:

Location Map
Final Plat

LOCATION MAP

1000 Avalon Road

Hickory Hammock Phase 1C



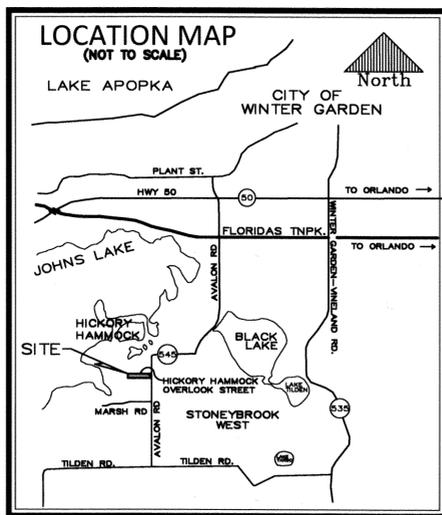
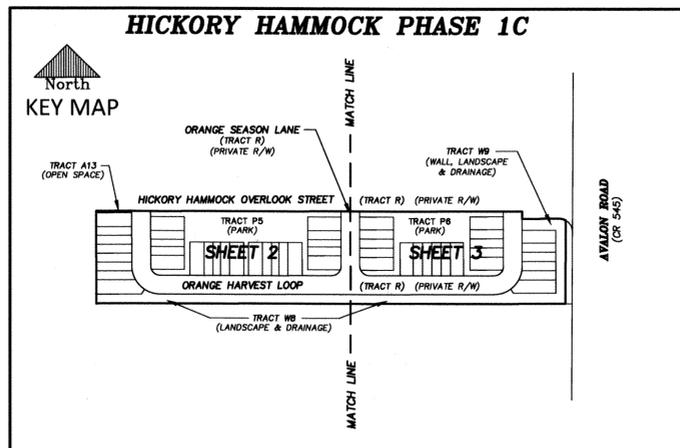
HICKORY HAMMOCK PHASE 1C

SHEET 1 OF 3

PLAT BOOK

PAGE

Replating of a portion of Tract W1, Hickory Hammock Phase 1A, Plat Book 81, Pages 7 & 8 lying in Section 32, Township 22 South, Range 27 East and a portion of unplatted Section 33, Township 22 South, Range 27 East, City of Winter Garden, Orange County, Florida.



LEGEND (FOR ALL SHEETS)

C53	CURVE NUMBER (SEE TABLE)
L10	LINE NUMBER (SEE TABLE)
Δ	CENTRAL ANGLE
R	RADIUS
L	ARC LENGTH
CB	CHORD BEARING
⊕	CENTERLINE
OCR	CERTIFIED CORNER RECORD
CM	CONCRETE MONUMENT
DU&SE	DRAINAGE, UTILITY AND SIDEWALK EASEMENT
FD	FOUND
LB	LICENSED BUSINESS
LS	LICENSED SURVEYOR
N&D	NAIL AND DISK
NT	NON-TANGENT
ORB	OFFICIAL RECORD BOOK
PB	PLAT BOOK
PC	POINT OF CURVATURE
PG	PAGE
PI	POINT OF INTERSECTION
PT	POINT OF TANGENCY
(R)	RADIAL
R/W	RIGHT-OF-WAY
SEC 33-22-27	SECTION, TOWNSHIP, RANGE
—	DENOTES PERMANENT REFERENCE MONUMENT
—	FND OR SET 4"X4" CONCRETE MONUMENT #L888 PER CHAPTER 177, FLORIDA STATUTES. (UNLESS OTHERWISE NOTED)
—	DENOTES PERMANENT CONTROL POINT
—	FND OR SET NAIL AND DISK #L888 PCP PER CHAPTER 177, FLORIDA STATUTES.

NOTICE: This plat, as recorded in its graphic form, is the official depiction of the subdivided lands described herein and will in no circumstances be supplanted in authority by any other graphic or digital form of the plat. There may be additional restrictions that are not recorded on this plat that may be found in the public records of this county.

PREPARED BY: **DONALD W. MCINTOSH ASSOCIATES, INC.**
ENGINEERS PLANNERS SURVEYORS
2200 PARK AVENUE NORTH, WINTER PARK, FLORIDA 32789 (407) 644-4088
CERTIFICATE OF AUTHORIZATION NUMBER LB68

Description:

That part of Tract W1, HICKORY HAMMOCK PHASE 1A, according to the plat thereof, as recorded in Plat Book 81, Pages 7 and 8, of the Public Records of Orange County, Florida, lying within Section 32, Township 22 South, Range 27 East, Orange County, Florida, and that part of Section 33, Township 22 South, Range 27 East, Orange County, Florida, described as follows:

BEGIN at the Southeast corner of said Section 32, Township 22 South, Range 27 East and run S89°48'00"W along the South line of the Southeast 1/4 of said Section 32, a distance of 5.36 feet; thence departing said South line run N00°06'05"W a distance of 250.01 feet to the South line of Tract R (Hickory Hammock Overlook Street), said HICKORY HAMMOCK PHASE 1A; thence N89°53'55"E along said South line of said Tract R and the South line of Tract R (Hickory Hammock Overlook Street), HICKORY HAMMOCK PHASE 1B, according to the plat thereof, as recorded in Plat Book 82, Pages 28 through 30, of said Public Records, 1140.57 feet; thence run the following courses along said South line of Tract R, HICKORY HAMMOCK PHASE 1B: S00°06'05"E, 20.00 feet; thence N89°53'55"E, 99.64 feet to the point of curvature of a curve concave Southerly having a radius of 35.00 feet and a chord bearing of S75°23'23"E; thence Easterly along the arc of said curve through a central angle of 29°25'25" for a distance of 17.97 feet to a point on a non-tangent line; thence departing said South line of Tract R, run S00°15'46"W along the West line of Tract W6, said HICKORY HAMMOCK PHASE 1B, a distance of 225.49 feet to the South line of the Southwest 1/4 of said Section 33, Township 22 South, Range 27 East; thence run S89°53'55"W along said South line, 1250.61 feet to the POINT OF BEGINNING.

Containing 7.159 acres more or less.

NOTES:

- Bearings based on the South line of the Southeast 1/4 of Section 32, Township 22 South, Range 27 East, Orange County, Florida, as being S89°48'00"W, an assumed meridian.
- All lines intersecting curves are non-radial unless noted as (R) - Radial.
- Tract R is a Private Roadway to be owned and maintained by Hickory Hammock at Johns Lake Community Association, Inc.
- There is hereby granted and dedicated for the benefit of the City of Winter Garden and other public service and emergency service providers, a non-exclusive easement over and through Tract R (Private Roadway) and any other privately owned internal roads, alleys, paved areas and sidewalks for vehicular and pedestrian ingress and egress access for the purpose of providing public services and emergency services to the Subdivision, including but not limited to, postal, fire protection, police protection, emergency medical transportation, code enforcement, garbage, utilities and other public and emergency services. The City of Winter Garden is hereby granted and dedicated a non-exclusive drainage and utilities easement over, under, across and through Tract R. The City of Winter Garden shall only be responsible for the maintenance of utility improvements it accepts and/or installs within the aforesaid Easement Area and Hickory Hammock at Johns Lake Community Association, Inc. shall be responsible for the maintenance of all drainage improvements within Tract R.
- Tract A13 is an Open Space Tract to be owned and maintained by Hickory Hammock at Johns Lake Community Association, Inc.
- Tracts P5 and P6 are Park Tracts to be owned and maintained by Hickory Hammock at Johns Lake Community Association, Inc.
- Tract W8 is a Landscape and Drainage Tract to be owned and maintained by Hickory Hammock at Johns Lake Community Association, Inc.
- Tract W9 is a Wall, Landscape and Drainage Tract to be owned and maintained by Hickory Hammock at Johns Lake Community Association, Inc.
- Each of the owners of lots as shown on this plat is a member of Hickory Hammock at Johns Lake Community Association, Inc. (the "Association"). The Association is required to maintain Tracts A13, P5, P6, R, W8 and W9. The members of the Association are ultimately responsible for payment of the cost to maintain Tracts A13, P5, P6, R, W8 and W9 and all lots are subject to assessments, liens and foreclosures for non-payment.
- The lots within this subdivision are governed by Hickory Hammock at Johns Lake Community Association, Inc. (the "Association") requiring the payment of fees and with the power to assess the lots. The Association is the owner of and/or responsible for the maintenance, repair, and replacement of all private areas, drainage systems, including without limitation, the retention/detention areas and underdrains, common properties, private roads, screening walls, and such other subdivision infrastructure not otherwise dedicated to the public use or the City of Winter Garden, including, without limitation, Tracts A13, P5, P6, R, W8 and W9, and the improvements thereon. Every lot owner within this subdivision is required to be a member of the Association, and is subject to its rules and regulations, including, but not limited to the conditions, covenants, and restrictions provided for in its Declaration, and the dedications, restrictions, and reservations, as set forth on this Plat. Failure to pay such fees or assessments shall result in the attachment of a lien on the property of the owner which fails to pay such fees or assessments by the Association, which may result in the foreclosure of said property.
- The City of Winter Garden shall have the right, but not the obligation, to access, maintain, repair, replace and otherwise care for or cause to be cared for, any and all private areas, drainage systems, including without limitation, the retention/detention areas and underdrains, common properties, private roads, screening walls, and such other subdivision infrastructure not otherwise dedicated to the public use or the City of Winter Garden, including, without limitation, Tracts A13, P5, P6, R, W8 and W9 and the improvements thereon. In the event any or all of the said areas, systems, improvements, properties or areas are not maintained, repaired, or replaced in accordance with the standards of the City of Winter Garden Code of Ordinances, good engineering practices, or become a nuisance or in the event the City of Winter Garden exercises its aforementioned right, each of the lot owners of the subdivision are hereby ultimately responsible for payment of the cost of maintenance, repair, replacement and care provided by the City of Winter Garden or its contractors and agents, plus administrative costs and attorneys' fees and costs incurred by the City of Winter Garden. If said costs are not paid within 15 days of invoicing, then said costs shall constitute a lien on the property of the owners which fail to pay such costs and may be enforced, without limitation, by foreclosure, special assessments, or as may otherwise be permitted by law. This right, and the City of Winter Garden's exercise of said right, shall not impose any obligation on the City of Winter Garden to maintain, repair, replace, or otherwise care for said private areas, drainage systems, including without limitation, the retention/detention areas and underdrains, common properties, private roads, screening walls, and such other subdivision infrastructure not otherwise dedicated to the public use or the City of Winter Garden, including, without limitation, Tracts A13, P5, P6, R, W8 and W9 and the improvements thereon.
- The Association, as owner of the subdivision infrastructure not otherwise dedicated to the public use or the City of Winter Garden, common properties, and amenities, and the individual lot owners to extent of their interest in the foregoing, shall release, defend, indemnify and hold the City of Winter Garden, other governmental entities and public utilities harmless from any and all costs, expenses, suits, demands, liabilities, damages, injuries (including death), or otherwise including attorney's fees and costs of suit, in connection with the reasonable use of said subdivision infrastructure, common areas, or amenities, or said parties' maintenance thereof, or said parties' exercise of rights permitted in the declaration of the homeowners association, this plat, or as otherwise permitted by law.
- Easements within all lots and Tracts A13, P5, P6, W8 and W9 are hereby dedicated and established as follows:
10.00 foot wide drainage easement (in favor of the Association), utility easement (in favor of the City of Winter Garden) and sidewalk easement (in favor of the Association) as shown.
- The City of Winter Garden shall only be responsible for the maintenance of utility improvements it accepts and/or installs within the aforesaid Easement Areas. Except for authorized sidewalks, no utility structures or other improvements shall be permitted to conflict or interfere with the City of Winter Garden's utility improvements within said Easement Areas; the City's easement rights shall be superior to all others.
- Drainage Easements are reserved for the Association, its successors and assigns. Any and all drainage facilities within the area of the Drainage Easement shall be maintained in accordance with the Community Declaration for Hickory Hammock at Johns Lake recorded in Official Records Book 10592, Page 8632, Public Records of Orange County, Florida; as amended by that certain First Amendment to Community Declaration for Hickory Hammock at Johns Lake recorded in Official Records Book 10884, Page 1395, Public Records of Orange County, Florida. There shall be no modifications to swales within said Drainage Easements without the prior consent of City of Winter Garden and the Association.

- Per Chapter 177.091 (28) Florida Statutes: All platted utility easements shall provide that such easements shall also be easements for the construction, installation, maintenance, and operation of cable television services; provided however, no such construction, installation, maintenance, and operation of cable television services shall interfere with the facilities and services of an electric, telephone, gas, or other public utility. In the event a cable television company damages the facilities of a public utility, it shall be solely responsible for the damages. Such construction, installation, maintenance, and operation shall comply with the National Electrical Safety Code as adopted by the Florida Public Service Commission.
- The Community Declaration for Hickory Hammock at Johns Lake encumbering the lands shown on this plat as recorded in Official Records Book 10592, Page 8632; as amended by that certain First Amendment to Community Declaration for Hickory Hammock at Johns Lake recorded in Official Records Book 10684, Page 1395, Public Records of Orange County, Florida; and all subsequent amendments and supplements thereto independently establishes easements over portions of the lands being platted hereunder.
- All development shall be in accordance with and subject to the City of Winter Garden Land Development Code, as amended from time to time, and all federal, state, county and city rules, regulations, ordinances, provisions and approvals. Nothing therein shall be construed to waive any provision of the Winter Garden Land Development Code.
- Due to ground water elevations, priorities established by governmental authorities, and other causes outside of the control of SURMAD, City of Winter Garden, property owner and the Association, water levels may fluctuate at certain times during the year and such fluctuations may be material. None of the entities mentioned in the preceding sentence shall have any liability for aesthetic conditions, objectionable odors, damage to plantings or direct or consequential damages of any nature caused by the fluctuation of water levels or water quality.
- No portion of this Dedication shall endorse, allow or sanction the violation of any code or ordinance of the City of Winter Garden or any statute or law.
- Note: Lot numbers 1 through 441 have been intentionally omitted and appear in other phases of Hickory Hammock. There are 50 lots within this plat.
- The Landscape and Drainage Easement along the West line of Lots 442 through 448, Tract A13 and Tract W8 is dedicated to and maintained by the Association. The Utility Easement along the West line of Lots 442 through 448, Tract A13 and Tract W8 is dedicated to the City of Winter Garden.
- No easement dedicated by this plat, including without limitation, to the City of Winter Garden, the public or to any homeowners' association, shall be terminated or modified without the prior written approval of the City of Winter Garden.

QUALIFICATION STATEMENT OF SURVEYOR AND MAPPER

KNOW ALL MEN BY THESE PRESENTS, This plat was prepared under the direction and supervision of the undersigned, a professional surveyor and mapper, and complies with all of the survey requirements of Chapter 177, Florida Statutes. The lands depicted herein are located in the City of Winter Garden, Orange County, Florida.

DONALD W. MCINTOSH ASSOCIATES, INC.
Certificate of Authorization Number LB68
2200 Park Avenue North, Winter Park, FL 32789

Date: 6/16/2015 BY: Keith Ruddick
Keith Ruddick
Florida Registered Surveyor and Mapper
Certificate No. 2617

CERTIFICATE OF REVIEW BY CITY SURVEYOR

This plat has been reviewed for conformity with Chapter 177, Florida Statutes.

City Surveyor PSM# _____ Date: _____
Printed Name: _____

CERTIFICATE OF APPROVAL BY MUNICIPALITY

THIS IS TO CERTIFY, that on _____ the foregoing plat was approved by the City Commission of Winter Garden, Florida

Mayor _____
Attest: _____
City Clerk

HICKORY HAMMOCK PHASE 1C DEDICATION

KNOW ALL BY THESE PRESENTS, that The Ryland Group, Inc., a Maryland corporation; M/A Homes of Orlando, LLC, a Florida limited liability company and Hickory Hammock at Johns Lake Community Association, Inc., a Florida not-for-profit corporation, being the owners in fee simple of the lands described in the foregoing caption to this plat, hereby dedicates said lands and plat for the easements, rights, uses and purposes therein expressed including as set forth in the plat notes.

IN WITNESS WHEREOF, the Owner has caused these presents to be signed and attested to by its Authorized Agents named below on _____

Signed, sealed and delivered in the presence of:
Signature: *[Signature]*
Print Name: *[Name]*
Signature: *[Signature]*
Print Name: *[Name]*

STATE OF FLORIDA
COUNTY OF ORANGE
The foregoing instrument was acknowledged before me this 22nd day of June, 2015, by DAVID BASELICE, its Operational Vice President, on behalf of the Corporation.

He is personally known to me or...
 has produced _____ as identification, and DID or DID NOT take an oath.

Notary Stamp:



IN WITNESS WHEREOF, I have hereto set my hand and seal on the above date.
Signature of Person Taking Acknowledgment: *[Signature]*
Print Name: *[Name]*
Notary Public
Serial No. (if any): EE232250
My Commission Expires: 5/19/19

Signed, sealed and delivered in the presence of:
Signature: *[Signature]*
Print Name: *[Name]*
Signature: *[Signature]*
Print Name: *[Name]*

STATE OF FLORIDA
COUNTY OF SEMINOLE
The foregoing instrument was acknowledged before me this 17th day of June, 2015, by DAVID BYRNES its Vice President, on behalf of the Limited Liability Company.

He is personally known to me or...
 has produced _____ as identification, and DID or DID NOT take an oath.

Notary Stamp:



IN WITNESS WHEREOF, I have hereto set my hand and seal on the above date.
Signature of Person Taking Acknowledgment: *[Signature]*
Print Name: *[Name]*
Notary Public
Serial No. (if any): EE219042
My Commission Expires: 9/2/16

Signed, sealed and delivered in the presence of:
Signature: *[Signature]*
Print Name: *[Name]*
Signature: *[Signature]*
Print Name: *[Name]*

STATE OF FLORIDA
COUNTY OF SEMINOLE
The foregoing instrument was acknowledged before me this 17th day of June, 2015, by DIANA CABRERA, its President, on behalf of the Corporation.

She is personally known to me or...
 has produced _____ as identification, and DID or DID NOT take an oath.

Notary Stamp:



IN WITNESS WHEREOF, I have hereto set my hand and seal on the above date.
Signature of Person Taking Acknowledgment: *[Signature]*
Print Name: *[Name]*
Notary Public
Serial No. (if any): EE219042
My Commission Expires: 9/2/16

CERTIFICATE OF COUNTY COMPTROLLER

I HEREBY CERTIFY that the foregoing plat was recorded in the Orange County Official Records on _____ as File No. _____

County Comptroller In and for Orange County, Florida
BY: _____

HICKORY HAMMOCK PHASE 1C

Replatting of a portion of Tract W1, Hickory Hammock Phase 1A, Plat Book 81, Pages 7 & 8 lying in Section 32, Township 22 South, Range 27 East and a portion of unplatted Section 33, Township 22 South, Range 27 East, City of Winter Garden, Orange County, Florida.

PLAT BOOK

PAGE

SHEET 2 OF 3
(SEE SHEET 1 FOR LEGEND & NOTES)

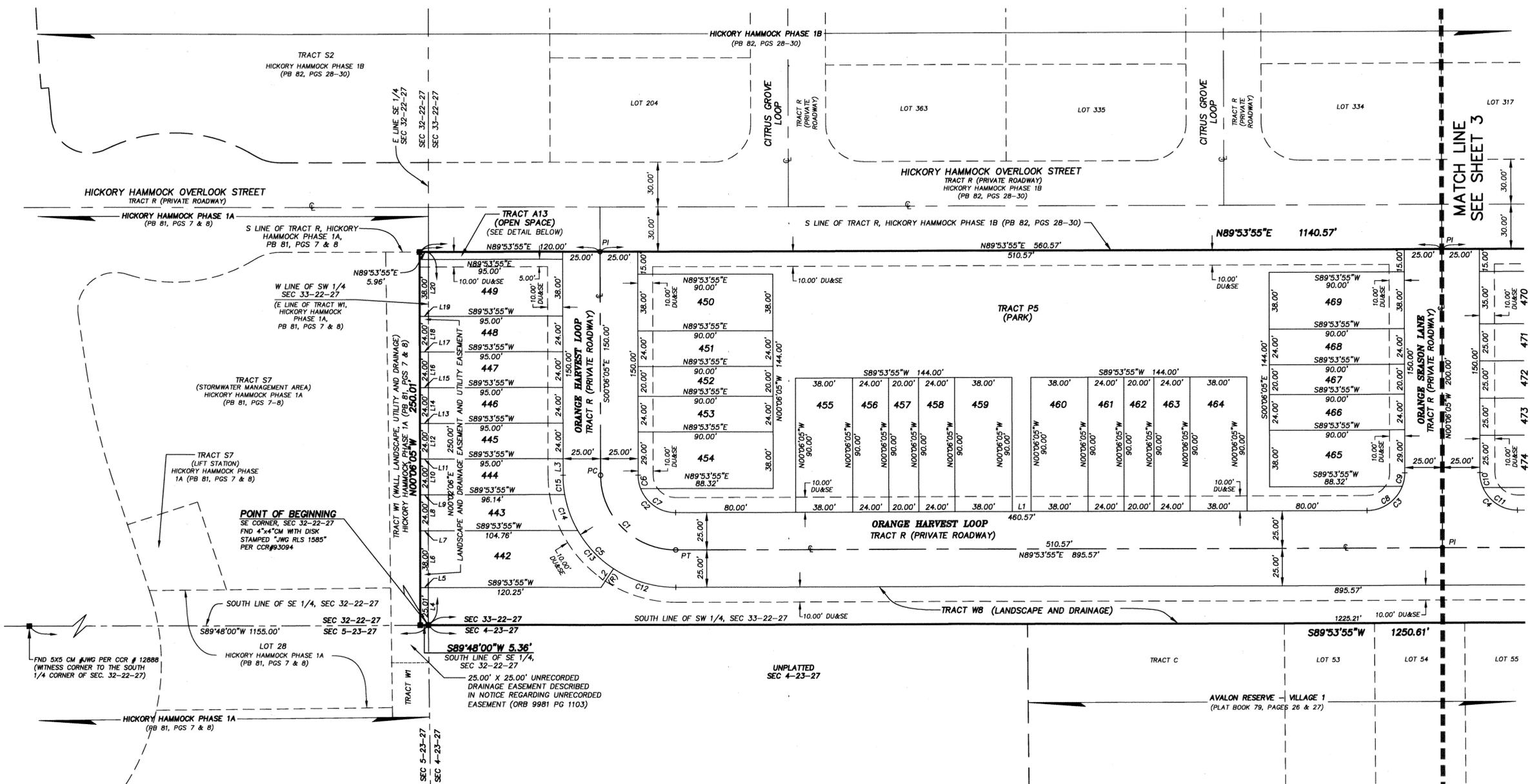
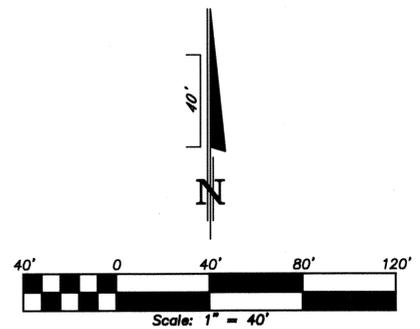
CURVE TABLE					
NUMBER	RADIUS	DELTA	LENGTH	CHORD	CHORD BEARING
C1	50.00'	90°00'00"	78.54'	70.71'	S45°06'05"E
C2	25.00'	90°00'00"	39.27'	35.36'	S45°06'05"E
C3	25.00'	90°00'00"	39.27'	35.36'	N44°53'55"E
C4	25.00'	90°00'00"	39.27'	35.36'	S45°06'05"E
C5	75.00'	90°00'00"	117.81'	106.07'	S45°06'05"E
C6	25.00'	21°06'01"	9.21'	9.15'	S10°39'05"E
C7	25.00'	68°54'00"	30.06'	28.28'	N55°39'05"W
C8	25.00'	68°53'59"	30.06'	28.28'	S55°26'55"W

CURVE TABLE					
NUMBER	RADIUS	DELTA	LENGTH	CHORD	CHORD BEARING
C9	25.00'	21°06'01"	9.21'	9.15'	N10°26'55"E
C10	25.00'	23°34'41"	10.29'	10.22'	S11°53'26"E
C11	25.00'	66°25'19"	28.98'	27.39'	N56°53'26"W
C12	75.00'	33°33'26"	43.93'	43.30'	S73°19'22"E
C13	75.00'	26°52'58"	35.19'	34.87'	S43°06'10"E
C14	75.00'	19°34'42"	25.63'	25.50'	S19°52'20"E
C15	75.00'	9°58'54"	13.07'	13.05'	S05°05'32"E

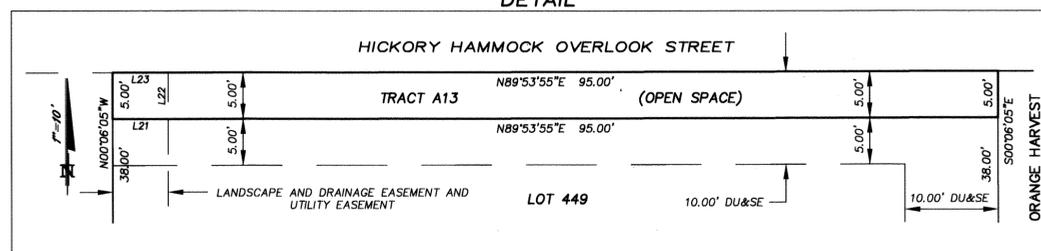
LINE TABLE		
NUMBER	BEARING	DISTANCE
L1	S89°53'55"W	12.57'
L2	N33°27'21"E	15.00'
L3	N00°06'05"W	11.00'
L4	N00°02'06"E	25.00'
L5	S89°53'55"W	5.42'
L6	N00°02'06"E	38.00'
L7	S89°53'55"W	5.51'
L8	N00°02'06"E	24.00'

LINE TABLE		
NUMBER	BEARING	DISTANCE
L9	S89°53'55"W	5.57'
L10	N00°02'06"E	24.00'
L11	S89°53'55"W	5.63'
L12	N00°02'06"E	24.00'
L13	S89°53'55"W	5.69'
L14	N00°02'06"E	24.00'
L15	S89°53'55"W	5.74'
L16	N00°02'06"E	24.00'

LINE TABLE		
NUMBER	BEARING	DISTANCE
L17	S89°53'55"W	5.80'
L18	N00°02'06"E	24.00'
L19	S89°53'55"W	5.86'
L20	N00°02'06"E	38.00'
L21	S89°53'55"W	5.95'
L22	N00°02'06"E	5.00'
L23	S89°53'55"W	5.96'



DETAIL



NOTICE: This plat, as recorded in its graphic form, is the official depiction of the subdivided lands described herein and will in no circumstances be supplanted in authority by any other graphic or digital form of the plat. There may be additional restrictions that are not recorded on this plat that may be found in the public records of this county.

PREPARED BY:
DONALD W. McINTOSH ASSOCIATES, INC.
ENGINEERS PLANNERS SURVEYORS
2200 PARK AVENUE NORTH, WINTER PARK, FLORIDA 32789 (407) 844-4068
CERTIFICATE OF AUTHORIZATION NUMBER LB88

HICKORY HAMMOCK PHASE 1C

Replatting of a portion of Tract W1, Hickory Hammock Phase 1A, Plat Book 81, Pages 7 & 8 lying in Section 32, Township 22 South, Range 27 East and a portion of unplatted Section 33, Township 22 South, Range 27 East, City of Winter Garden, Orange County, Florida.

PLAT BOOK

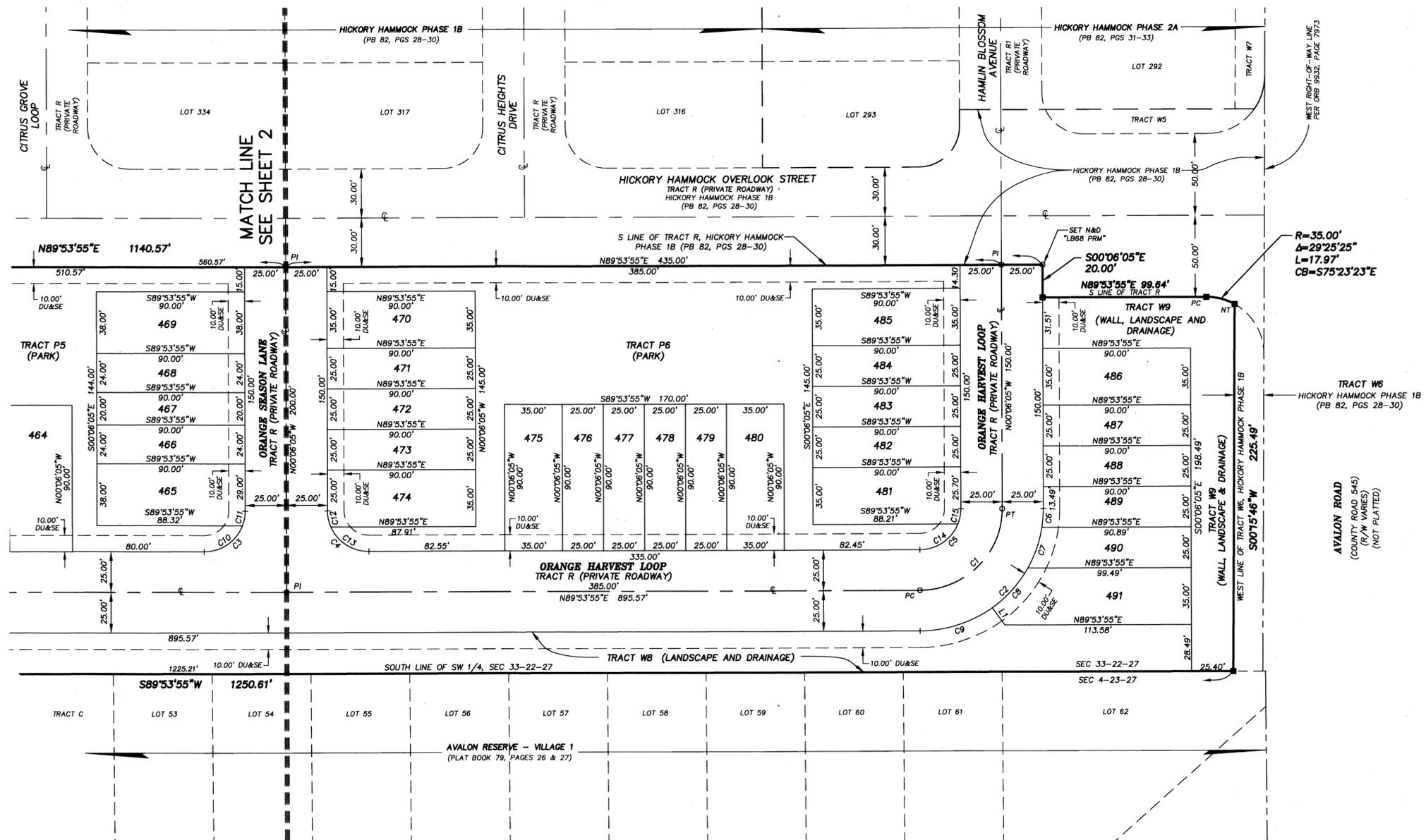
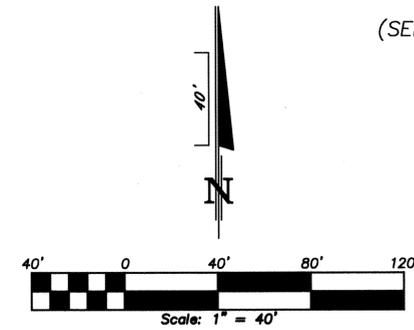
PAGE

SHEET 3 OF 3
(SEE SHEET 1 FOR LEGEND & NOTES)

CURVE TABLE					
NUMBER	RADIUS	DELTA	LENGTH	CHORD	CHORD BEARING
C1	50.00'	90°00'00"	78.54'	70.71'	N44°53'55"E
C2	75.00'	90°00'00"	117.81'	106.07'	N44°53'55"E
C3	25.00'	90°00'00"	39.27'	35.36'	N44°53'55"E
C4	25.00'	90°00'00"	39.27'	35.36'	S45°06'05"E
C5	25.00'	90°00'00"	39.27'	35.36'	N44°53'55"E
C6	75.00'	8°49'52"	11.56'	11.55'	N04°18'51"E
C7	75.00'	20°18'11"	26.58'	26.44'	N18°52'52"E
C8	75.00'	25°08'57"	32.92'	32.66'	N41°36'26"E

CURVE TABLE					
NUMBER	RADIUS	DELTA	LENGTH	CHORD	CHORD BEARING
C9	75.00'	35°43'01"	46.75'	46.00'	N72°02'24"E
C10	25.00'	68°53'59"	30.06'	28.28'	S55°26'55"W
C11	25.00'	21°06'01"	9.21'	9.15'	N10°26'55"E
C12	25.00'	23°34'41"	10.29'	10.22'	S11°53'26"E
C13	25.00'	66°25'19"	28.98'	27.39'	N56°53'26"W
C14	25.00'	68°09'49"	29.74'	28.02'	S55°49'01"W
C15	25.00'	21°50'11"	9.53'	9.47'	N10°49'01"E

LINE TABLE		
NUMBER	BEARING	DISTANCE
L1	S35°49'06"E	13.08'



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PREPARED BY:

DONALD W. MCINTOSH ASSOCIATES, INC.
 ENGINEERS PLANNERS SURVEYORS
 2200 PARK AVENUE NORTH, WINTER PARK, FLORIDA 32789 (407) 644-4068
 CERTIFICATE OF AUTHORIZATION NUMBER LB88

THE CITY OF WINTER GARDEN

AGENDA ITEM

From: Tanja Gerhartz, Economic Development Director
Via: Mike Bollhoefer, City Manager
Date: July 1, 2015 **Meeting Date:** July 9, 2015
Subject: CDBG Housing Grant #14DB-OI-06-58-02-H14 - Bid Package #2

Discussion:

The City's CDBG Housing Rehabilitation Grant Administrator (Fred Fox Enterprises, Inc) in conjunction with City Staff have received bids on the rehabilitation of four (4) and the replacement of two (2) of the required minimum twelve (12) total homes to be addressed under the City's CDBG Housing Rehabilitation Grant. David Fox, Project Manager with Fred Fox Enterprises previously recommended the award of two (2) of the rehabilitation bids and is currently recommending the CDBG bid award of the following two (2) replacement home bids to the low qualified bidder Central Florida Renovations contingent upon receiving Site Specific Release from the Department of Economic Opportunity (DEO). Both applicants have been prequalified and meet the CDBG Program requirements. Central Florida Renovations has been prequalified and has been determined to be licensed and is not on the excluded parties list for government projects:

Owner	Contractor	Bid Amount
Annie Mullins 770 Klondike Street	Central Florida Renovations	\$ 101,141.79
Annie Noble 754 Klondike Street	Central Florida Renovations	\$ 101,141.79

Recommended Action:

REQUESTED MOTION #1:

The CDBG Housing Rehabilitation Program bid award of the replacement home for Annie Mullins (770 Klondike Street) to the low qualified bidder Central Florida Renovations in the amount of \$ 101,141.79 noting that the bid amount exceeds the proposed City of Winter Garden CDBG Housing Assistance Plan amount of \$ 67,000.00 for a 2 bedroom home and the approval is contingent upon receiving Site Specific Release from the Department of Economic Opportunity.

CITY OF WINTER GARDEN -CDBG HOUSING GRANT PROGRAM REPLACEMENT HOMES BID PACKAGE #1 BID TAB

Date: May 14, 2015 Time: 4:15 P.M.

Company	REPLACEMENT HOMES	Annie Mullins 770 Klondike Street Base Bid	Annie Mullins 770 Klondike Street Alternate #1 Front Porch	Annie Mullins 770 Klondike Street Demolition	Annie Mullins 770 Klondike Street TOTAL	Annie Noble 754 Klondike Street Base Bid	Annie Noble 754 Klondike Street Alternate #1 Front Porch	Annie Noble 754 Klondike Street Demolition	Annie Noble 754 Klondike Street TOTAL
CDS Contractors		No Bid	No Bid	No Bid	No Bid	No Bid	No Bid	No Bid	No Bid
Central Florida Renovations		\$ 89,452.79	\$ 6,039.00	\$ 5,650.00	\$ 101,141.79	\$ 89,452.79	\$ 6,039.00	\$ 5,650.00	\$ 101,141.79
Construction 360		\$123,722.00	\$ 8,832.68	\$ 9,200.00	\$ 141,754.68	\$123,722.00	\$ 8,832.68	\$ 9,200.00	\$ 141,754.68
Davis Builders, Inc.		\$ 109,250.00	included	\$ 4,000.00	\$ 113,250.00	\$ 109,250.00	included	\$ 4,000.00	\$ 113,250.00
Granger & Associates		No Bid	No Bid	No Bid	No Bid	No Bid	No Bid	No Bid	No Bid
JG Parker Enterprises		\$ 94,288.00	\$ 18,788.00	\$ 4,500.00	\$ 117,576.00	\$ 94,288.00	\$ 18,788.00	\$ 4,500.00	\$ 117,576.00
JMD Global Developers		No Bid	No Bid	No Bid	No Bid	No Bid	No Bid	No Bid	No Bid
Jerry Walters Construction		No Bid	No Bid	No Bid	No Bid	No Bid	No Bid	No Bid	No Bid
Pat Lynch Construction		\$ 94,399.00	\$ 7,830.00	\$ 4,200.00	\$ 106,429.00	\$ 94,399.00	\$ 7,830.00	\$ 4,200.00	\$ 106,429.00
Votum LLC		No Bid	No Bid	No Bid	No Bid	No Bid	No Bid	No Bid	No Bid
FFE COST ESTIMATE		\$84,240.00	\$8,700.00	\$ 5,000.00	\$95,940.00	\$84,240.00	\$8,700.00	\$ 5,000.00	\$95,940.00

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: City Clerk Golden

Date: June 26, 2015

Meeting Date: July 9, 2015

Subject: Appointment to fill resignation of seat held by Harold Petch (Dist 4) on the Code Enforcement/Nuisance Abatement Board (*postponed June 25, 2015*)

Issue: The following District 4 residents have submitted their interest form and are attached for your reference.

Name
Matthew Matin
Marvin Vasquez

For informational purposes only, the current composition of the board by district.

Dist 1 – 3 members

Dist 2 – 2 members

Dist 3 – 1 member

Dist 4 – 0 members

Attachments: Interest forms



CITY OF WINTER GARDEN
CITY CLERK'S OFFICE
 300 WEST PLANT STREET
 WINTER GARDEN, FL 34787
 P: 407.656.4111
 WWW.WINTERGARDEN-FL.GOV

BOARD APPOINTMENT INTEREST FORM

THANK YOU FOR YOUR INTEREST IN SERVING ON ONE OF THE CITY'S BOARDS/COMMITTEES. VOLUNTEERS LIKE YOU ARE ESSENTIAL TO ENSURING THAT YOUR CITY GOVERNMENT IS RESPONSIVE TO THE NEEDS OF THE COMMUNITY. PLEASE HELP US PLACE YOU ON THE MOST APPROPRIATE COMMITTEE BY COMPLETING THIS QUESTIONNAIRE. FEEL FREE TO ATTACH A RESUME.

DATE: 5/20/15 VERIFIED INTEREST ON: _____

LAST NAME: Matin FIRST: Matthew MIDDLE: James

HOME ADDRESS: 2143 Oakington Street, Winter Garden, FL 34787

OFFICE ADDRESS: 527 Main Street, Windermere, FL 34786

HOME PHONE: _____ CELL PHONE: 321-948-5857 WORK PHONE: _____

EMAIL: matt.matin@gmail.com FAX #: _____

CURRENT EMPLOYER: Suzi Karr Realty LENGTH: 8 months

POSITION: Realtor

EDUCATION: HIGH SCHOOL GRADUATE Yes No UNDERGRADUATE COLLEGE DEGREE IN: Urban Studies (Urban Planning)

ADVANCED COLLEGE DEGREE IN: _____ OTHER: _____

PLEASE STATE YOUR EXPERIENCE, INTERESTS OR ELEMENTS OF YOUR HISTORY THAT YOU THINK QUALIFY YOU FOR APPOINTMENT:
 I have a background in urban planning, and hold an AICP (American Institute of Certified Planners) license. I spent 12 years working in the planning/engineering industry. For the past 2 years I have been a Realtor, specializing in Winter Garden/Windermere market. I was elected in 2012, and serve as the Vice-Chairman of the Stoneybrook West CDD.

COMMUNITY INVOLVEMENT: Executive Board Member - Florida Planning & Zoning Association, Vice-President of West Orange CC

INTERESTS/ACTIVITIES: Architecture, Urban Planning, New Urbanism, Historic Preservation, Golf, Photography, Travel

WHY DO YOU DESIRE TO SERVE ON THIS/THESE BOARDS? To use my talents/experience to serve the residents of the City of Winter Garden.

NAME ANY BUSINESS, PROFESSIONAL, CIVIC OR FRATERNAL ORGANIZATIONS OF WHICH YOU ARE A MEMBER AND THE DATES OF MEMBERSHIP.
American Planning Association, Florida Planning & Zoning Association, Stoneybrook West Community Development District

ARE YOU A RESIDENT OF WINTER GARDEN? Yes No IF YES, CONTINUOUS RESIDENT SINCE? 2002

ARE YOU A REGISTERED VOTER OF ORANGE COUNTY? Yes No WHICH CITY DISTRICT? 4

ARE YOU CURRENTLY SERVING ON ANY OTHER BOARDS? Yes No IF YES, PLEASE STATE NAME OF BOARD:

Stoneybrook West CDD, Florida Planning & Zoning Association, West Orange Country Club (Winter Garden)

HAVE YOU EVER SERVED ON A GOVERNMENT BOARD? Yes No IF YES, PLEASE STATE NAME OF BOARD:
Stoneybrook West CDD

REFERENCES:
Bob Hennen - 407-765-5300, Ward Britt - 407-491-4783, Jim Karr - 407-257-6866

WHICH BOARD(S) ARE YOU INTERESTED?

- *CODE ENFORCEMENT BOARD
- *PLANNING & ZONING BOARD
- *COMMUNITY REDEVELOPMENT AGENCY
- *COMMUNITY REDEVELOPMENT ADVISORY BOARD - CIRCLE ALL THAT APPLY TO YOU WITHIN THE CRA: RESIDE / OWN / OPERATE A BUSINESS / OTHER
- *GENERAL EMPLOYEES PENSION BOARD
- *FIRE/POLICE PENSION BOARD
- *ARCHITECTURAL REVIEW AND HISTORIC PRESERVATION BOARD
 CIRCLE ALL THAT APPLY TO YOU: ARCHITECT / LICENSED GENERAL CONTRACTOR / WG HERITAGE FOUNDATION BOARD MEMBER / OWN COMMERCIAL PROPERTY
 IN THE HISTORIC DISTRICT / OWN COMMERCIAL PROPERTY IN THE HISTORIC DISTRICT & RESIDE IN THE CITY / RESIDE IN THE CITY
- ELECTION CANVASSING BOARD

PLEASE NOTE: MEMBERS SERVING ON BOARDS WITH AN ASTERISK (*) ARE REQUIRED TO FILE AN ANNUAL FINANCIAL DISCLOSURE FORM WITH THE ORANGE COUNTY SUPERVISOR OF ELECTIONS OFFICE ON OR BEFORE JULY 1ST OF EACH YEAR. APPLICANTS FOR BOARD APPOINTMENT ARE REMINDED OF THE PROVISIONS OF THE FLORIDA STATUTES AS APPLICABLE TO CONFLICTS OF INTEREST. ALL BOARD APPLICATIONS ARE KEPT ON FILE FOR ONE YEAR AND ARE SUBMITTED TO THE CITY COMMISSION WHENEVER A VACANCY OCCURS. UPDATED INFORMATION SHOULD BE SUBMITTED AND MAY BE REQUESTED AT ANY TIME.

DIRECT INTEREST FORM AND QUESTIONS TO THE CITY CLERK'S OFFICE AT 407-656-4111 EXT. 2254

THANK YOU FOR YOUR INTEREST IN SERVING YOUR COMMUNITY.

MATTHEW J. MATIN, AICP

EDUCATION

5/2002 University of Tennessee Knoxville, TN

- B.A., Urban Studies

WORK EXPERIENCE

8/2013 – Current Suzi Karr Realty Windermere, FL

Realtor

1/2013- 8/2013 Renaissance Planning Group Orlando, FL

Senior Transportation Planner

- Go Enhance RTS (Gainesville BRT Alternatives Analysis) – City of Gainesville, Florida
Responsibilities included the analysis of existing conditions, which formed the baseline for the evaluation of the major alternatives that were developed as part of the study.
- State of the System Report – Manatee County, FL
Responsible for the development of the State of the System Report that provided key transportation statistics, identified needs, and recommended solutions for congestion by analyzing numerous performance measures. This report was completed in order to track transportation trends in the County, which included a complete review of each road segment on the Congestion Management System (CMS).

4/2006 – 12/2012 HNTB Corporation Lake Mary, FL

Senior Transportation Planner/Senior Travel Demand Modeler

- Districtwide Modeling and Limited Access Analysis Support, FDOT District 5
Responsible for the development and support of the CFRPM model, which serves as the adopted travel demand model for the Space Coast TPO, Lake-Sumter MPO, Ocala/Marion TPO and the Volusia TPO. Responsible for coordinating with these respective planning organizations and developing all future models, which serve as the basis for their LRTPs.
- General Traffic and Earnings Consultant, Orlando-Orange County Expressway Authority (OOCEA)
Responsible for multiple tasks related to providing traffic and revenue analysis support to OOCEA. The primary task of this project entailed providing annual updates and validations to the OOCEA revenue models. These revenue models were utilized to develop future year traffic and revenue forecasts on existing and future OOCEA system facilities. Numerous traffic and revenue studies were performed analyzing user benefits and revenue impact of several projects on the existing and future OOCEA system. Evaluated potential modifications to OOCEA toll policies, toll structures and the associated impacts to the OOCEA system traffic and revenue.
- Wekiva Parkway PD&E Study Design Traffic, OOCEA
Responsibilities included the development of the project travel demand models which were used to develop design traffic for several alignment alternatives and the preferred alternative for the Wekiva Parkway PD&E Study. The SR 429/Wekiva Parkway project is the northwest portion of the Orlando beltway. The Wekiva Parkway alignment alternatives consisted of varying interchange locations, frontage road configurations, as well as several possible connections to Interstate 4. Traffic analysis included base year land use development, TAZ splits and a sub-area validation. Development of future year land use along with build and no-build networks were also completed as part of this project. Traffic volumes were developed for study area roadways for three future years: 2012, 2022 and 2032. Assisted with the LOS analysis for study area roadways under existing, future year build and no-build conditions.
- SR 836 Express Bus Ridership Study, Miami-Dade Expressway Authority (MDX)
Responsible for the development of multiple alternative models utilizing the SERPM 6.5 TOD model to test ridership of a proposed BRT system which would operate on a fixed-route utilizing the shoulder of SR 836 to

bypass traffic queues during congested conditions. Project entailed the development and analysis of ridership estimates along multiple routes using numerous fare schedules and headways. The proposed BRT line connects Florida International University, UM Medical Center, Miami Intermodal Center (MIC) and Downtown Miami. In addition, multiple park-and-ride locations were tested and local bus routes were modified to connect with the proposed system.

- MyRegion.org Model, How Shall We Grow (HSWG), FDOT District 5

Developed the travel demand model that was used to test multiple land use and transportation network alternatives. The model was a unique, hybrid model that was developed by merging the existing Central Florida Regional Planning Model (CFRPM) and the existing Polk County TPO model. The combination of two separately validated models posed multiple challenges such as the modification of existing model scripts, node and zone renumbering, the distribution of external trips, cross-county interaction and the combination of transit networks. The resulting MyRegion.org model was an integral part of the HSWG decision-making process.

5/2002 – 4/2006

HDR, Inc.

Orlando, FL

Transportation Planner I/Transportation Planner II

- Florida-Alabama TPO 2025 LRTP, West Florida Regional Planning Council, Pensacola, FL

Responsible for validating 2002 base year model and development of input data files. Developed the E+C model which was then used to develop three 2025 Needs Plan alternatives, including individual project costs. Developed the 2025 Cost Feasible model which was adopted by the TPO in December 2005.

- Bay County TPO 2030 LRTP, WFRPC, Bay County, FL

Responsible for two-digit conversion of the previously validated travel demand model as part of the regional validation, expansion and validation of 2003 base year model, development of input data files. Developed E+C model which was then used to develop the 2030 Needs Plan.

- Okaloosa-Walton TPO 2030 LRTP, WFRPC, Okaloosa/Walton County, FL

Responsible for the coding of the E+C model, development of input data files, development of the 2030 needs plan model.

5/2000 – 8/2001

HDR, Inc.

Orlando, FL

Planning Intern

TECHNICAL SKILLS

- Transportation Modeling Software: Tranplan, CUBE/Voyager, SYNCHRO, SimTraffic
- Esri ArcGIS 10
- Microsoft Office: Word, Excel, PowerPoint, Access

PROFESSIONAL AFFILIATIONS

- American Institute of Certified Planners – AICP #022695
- Stonebrook West Community Development District (CDD) – Vice-Chairman (2012 – Current)
- Florida Planning and Zoning Association (FPZA) – Executive Board Member (2011 – Current)



CITY OF WINTER GARDEN
CITY CLERK'S OFFICE
300 WEST PLANT STREET
WINTER GARDEN, FL 34787

P: 407.656.4111

Rec'd 6-13-2013

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BOARD APPOINTMENT INTEREST FORM

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FEEL FREE TO ATTACH A RESUME.

5-20-2014 2015

DATE: 06/11/2013 VERIFIED INTEREST ON: _____

LAST NAME: VASQUEZ FIRST: MARVIN MIDDLE: ERLYN

HOME ADDRESS: 13513 TENBURY WELLS LANE WINTER GARDEN, FL 34787

OFFICE ADDRESS: 1201 BLACK LAKE BLVD, WINTER GARDEN, FL 34787

HOME PHONE: 407-347-5415 CELL PHONE: 407-340-2204 WORK PHONE: 407-656-1501

EMAIL: Esperes39@aol.com FAX #: 407-656-1300

CURRENT EMPLOYER: PREMIER SECURITY SERVICES WORLDWIDE LENGTH: 6 1/2 yrs

POSITION: PRESIDENT

EDUCATION: HIGH SCHOOL GRADUATE YES NO UNDERGRADUATE COLLEGE DEGREE IN: SECURITY MANAGEMENT

ADVANCED COLLEGE DEGREE IN: _____ OTHER: _____

PLEASE STATE YOUR EXPERIENCE, INTERESTS OR ELEMENTS OF YOUR HISTORY THAT YOU THINK QUALIFY YOU FOR APPOINTMENT.
21 yrs AS A MEMBER OF THE NYE POLICE DEPT. SECURITY CONSULTANT, CHIEF EXECUTIVE OFFICER FOR SECURITY TEAM.

COMMUNITY INVOLVEMENT: Toys for Tots
INTERESTS/ACTIVITIES: Baseball, Reading, Bowling, Music

WHY DO YOU DESIRE TO SERVE ON THIS/ THESE BOARDS? considered a very important board, enjoy serving

NAME ANY BUSINESS, PROFESSIONAL, CIVIC OR FRATERNAL ORGANIZATIONS OF WHICH YOU ARE A MEMBER AND THE DATES OF MEMBERSHIP.
NYS Fraternal Order of Police since 1993, ACSI - since 2008

ARE YOU A RESIDENT OF WINTER GARDEN? YES NO IF YES, CONTINUOUS RESIDENT SINCE? 7/2007

ARE YOU A REGISTERED VOTER OF ORANGE COUNTY? YES NO WHICH CITY DISTRICT? 4 - Winter Garden

ARE YOU CURRENTLY SERVING ON ANY OTHER BOARDS? YES NO IF YES, PLEASE STATE NAME OF BOARD: _____

HAVE YOU EVER SERVED ON A GOVERNMENT BOARD? YES NO IF YES, PLEASE STATE NAME OF BOARD: _____

REFERENCES:
NORMAN REID - 407-804-5300 Randy Miller - 407-473-0092
Doug VAUGHN - 407-701-5404 Carlos BORDERS - 407-405-4481

WHICH BOARD(S) ARE YOU INTERESTED?

*CODE ENFORCEMENT BOARD

*PLANNING & ZONING BOARD

*COMMUNITY REDEVELOPMENT AGENCY

*COMMUNITY REDEVELOPMENT ADVISORY BOARD - CIRCLE ALL THAT APPLY TO YOU WITHIN THE CRA: RESIDE / OWN / OPERATE A BUSINESS / OTHER

*GENERAL EMPLOYEES PENSION BOARD

*FIRE/POLICE PENSION BOARD

*ARCHITECTURAL REVIEW AND HISTORIC PRESERVATION BOARD

*CIRCLE ALL THAT APPLY TO YOU: ARCHITECT / LICENSED GENERAL CONTRACTOR / WG HERITAGE FOUNDATION BOARD MEMBER / OWN COMMERCIAL PROPERTY IN THE HISTORIC DISTRICT / OWN COMMERCIAL PROPERTY IN THE HISTORIC DISTRICT & RESIDE IN THE CITY / RESIDE IN THE CITY

ELECTION CANVASSING BOARD

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DIRECT INTEREST FORM AND QUESTIONS TO THE CITY CLERK'S OFFICE AT 407-656-4111 EXT. 2254

THANK YOU FOR YOUR INTEREST IN SERVING YOUR COMMUNITY.

THE CITY OF WINTER GARDEN
City Commission AGENDA ITEM

From: Mike Bollhoefer, City Manager

Date: 07/02/15

Meeting Date: 07/09/15

Subject: Resolution on moratorium on Plant Street

Issue: Attached is a resolution regarding a moratorium on development on East Plant Street. Since the City is currently master planning East Plant Street and contemplating creating design standards for the area, staff recommends considering a moratorium on development until said design standards are implemented. This Resolution is being distributed for discussion only and consideration at a subsequent meeting.

Recommendation: Discussion.

RESOLUTION NO. _____

A RESOLUTION OF THE CITY OF WINTER GARDEN, FLORIDA, DECLARING AND IMPLEMENTING THE ZONING IN PROGRESS DOCTRINE; DECLARING THAT THE CITY IS CONSIDERING AMENDMENTS TO ITS COMPREHENSIVE PLAN AND ZONING AND LAND DEVELOPMENT REGULATIONS GOVERNING ALL PROPERTIES ADJACENT TO EAST PLANT STREET BETWEEN DILLARD STREET AND STATE ROAD 429 (WESTERN BELTWAY); DECLARING AND IMPLEMENTING A TEMPORARY MORATORIUM ON THE ACCEPTANCE, PROCESSING AND CONSIDERATION OF APPLICATIONS FOR DEVELOPMENT ORDERS AND BUILDING PERMITS FOR SUCH PROPERTIES UNTIL JANUARY 14, 2016, OR UNTIL SUCH TIME AS THE TEMPORARY MORATORIUM CREATED BY THIS RESOLUTION IS TERMINATED; PROVIDING FOR PUBLIC NOTICE OF ADOPTION; PROVIDING FOR NON-CODIFICATION, SEVERABILITY, AND AN EFFECTIVE DATE.

WHEREAS, as provided in section 2(b), Article VIII of the Constitution of the State of Florida and chapters 163 and 166, Florida Statutes, the City of Winter Garden (the “City”) enjoys all home rule authority, police power, land development and zoning authority, governmental and proprietary powers necessary to conduct municipal government and perform municipal functions, and the City may exercise any power for municipal purposes, except as expressly prohibited by law; and

WHEREAS, the City has retained Real Estate Research Consultants, Inc. to perform a master planning study for the SR 429 corridor and such study should be completed shortly; and

WHEREAS, there is a need to create a global vision for the development and redevelopment of properties located adjacent to East Plant Street between Dillard Street and SR 429 (Western Beltway) and depicted in the map attached hereto as **Exhibit “A”** (the “Study Area”) and incorporated herein; and

WHEREAS, the City staff is in the process of evaluating the Study Area to create a global vision for development and redevelopment, and shortly thereafter will prepare and process a proposed ordinance(s) amending the Comprehensive Plan and City zoning and land development regulations affecting the permitted uses, conditional uses, prohibited uses, supplemental standards, design standards and other development regulations governing properties within the Study Area; and

WHEREAS, the City wishes to place the public and all parties on notice that it is considering such land development regulation amendments and creating a temporary moratorium on the acceptance, processing and consideration of applications for development orders and building permits concerning properties located within the Study Area; and

WHEREAS, the City Commission in good faith determines that this Resolution is in the best interest of the City and its residents and promotes the health, safety and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF WINTER GARDEN, FLORIDA AS FOLLOWS:

Section 1. Intent. The above recitals are hereby adopted as the legislative purpose of this Resolution and as the City Commission's legislative findings.

Section 2. Zoning in Progress. The City declares that the City staff will be preparing and processing a proposed ordinance(s) amending the Comprehensive Plan and zoning districts and land development regulations set forth in the City of Winter Garden Code of Ordinances affecting the permitted uses, conditional uses, prohibited uses, supplemental standards, design standards and other development regulations governing properties located within the Study Area as described by this Resolution. That pursuant to the pending legislation doctrine set forth in *Smith v. City of Clearwater*, 383 So. 2d 681 (Fla. 2d DCA 1980), the City declares and implements the pending ordinance doctrine concerning the zoning and land development regulations governing properties located within the Study Area.

Section 3. Moratorium. The City hereby places a temporary moratorium (suspension) on the acceptance, processing and consideration of all applications for development orders and building permits for all properties within the Study Area until January 14, 2016, unless terminated earlier by the City Commission. Provided however, building permit applications for the interior modification of existing structures that do not affect or alter the current use, intensity or density of property or change the total square footage of the structures on such property are excepted from such temporary moratorium.

Section 4. Public Notice of Adoption. After the adoption of this Resolution, the City Clerk shall cause the advertisement of the title of this Resolution along with a map of the Study Area in a newspaper of general circulation within the City and indicate in such advertisement that this Resolution has been adopted by the City.

Section 5. Non-Codification. Given the temporary nature and effect of this Resolution, it is the intent of the City Commission that this Resolution will not be codified.

Section 6. Severability. If any portion of this Resolution is determined to void, unconstitutional, or invalid by a court of competent jurisdiction, the remainder of this Resolution shall remain in full force and effect.

Section 7. Effective Date. This Resolution shall take effect immediately upon adoption.

ADOPTED this 9th day of July, 2015.

**City Commission
City of Winter Garden, Florida**

John Rees, Mayor

ATTEST:

Kathy Golden, City Clerk

s:\aka\clients\winter garden\general w500-20501\pending ordinance\pending ordinance doctrine resolution 07-02-2015.docx

DRAFT

Exhibit "A"

Study Area

DRAFT

Exhibit A E Plant St

 Roads

 Properties on E Plant St

 Waterbodies

0 0.125 0.25
Miles

