



For More Information, Contact:

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PLANNING & ZONING BOARD AGENDA

To: Eric Weiss – Chairman
Will Hawthorne – Vice Chairman
Mark DeFuso
Heather Gantt
Gerald Jowers
David Kassander
Mark Maciel

Copy to: Mike Bollhoefer
Dan Langley
Kurt Ardaman
Ed Williams
Stephen Pash
Kelly Carson
Nadine Avola
Jessica Frye

RE: Agenda – **June 1, 2015 at 6:30 PM**
Commission Chambers, City Hall
300 West Plant Street, Winter Garden

1. **CALL TO ORDER**
2. **ROLL CALL AND DETERMINATION OF QUORUM**
3. **APPROVAL OF MINUTES FROM THE MAY 4, 2015 MEETING**

ANNEXATION / FUTURE LAND USE MAP AMENDMENT / REZONING (PUBLIC HEARING)

4. 360 W. Story Road (Jesus Manuel Sanchez & Yoselina Aguirre Palacios) **AZFA**
Parcel ID #22-22-27-1084-02-040 **TABLED TO JULY 6, 2015 P&Z MEETING**
5. 161 S. Boyd Street (Kelso Investments LLC) **REZONING**
Parcel ID #23-22-27-2888-08-070

PRELIMINARY PLAT / FINAL PLAT / LOT SPLIT

6. 505 & 807 Avalon Road, 14966 Siplin Road (Mattamy Orlando, LLC) **PRELIMINARY PLAT**
Parcel ID #27-22-27-0000-00-068, 27-22-27-0000-00-069 & 34-22-27-0000-00-003

SPECIAL EXCEPTION PERMIT (PUBLIC HEARING)

7. 3107 Daniels Road, Suite 102 (DDR Winter Garden LLC/Verizon Wireless)
Parcel ID #35-22-27-9398-03-010
8. 1450 Daniels Road (Harvest of Hope Garden Greenhouse)
Parcel ID #26-22-27-0000-00-014
9. 12801 W. Colonial Drive (Sigma Delta Investments / Wild Hogs Scooters)
Parcel ID #12-22-27-6496-32-016 **TABLED TO JULY 6, 2015 P&Z MEETING**

VARIANCE (PUBLIC HEARING)

10. 15344 Johns Lake Pointe Blvd (Charles & Pamela Wraith 2004 Trust)
Parcel ID #28-22-27-4025-02-880
11. 628 Dharma Circle (David Nguyen)
Parcel ID #26-22-27-1988-00-100

ADJOURN to the next regular Planning and Zoning Board meeting on Monday, **July 6, 2015 at 6:30 p.m.** in City Hall Commission Chambers, 300 W. Plant Street, 1st floor.



**PLANNING AND ZONING BOARD
REGULAR MEETING MINUTES
MAY 4, 2015**

1. CALL TO ORDER / PLEDGE OF ALLEGIANCE / INVOCATION

Chairman Eric Weiss called the meeting of the City of Winter Garden Planning and Zoning Board to order at 6:33 p.m. in the City Hall Commission Chambers. A moment of silence was followed by the Pledge of Allegiance.

2. ROLL CALL AND DETERMINATION OF QUORUM

The roll was called and a quorum was declared present.

MEMBERS PRESENT:

Chairman Eric Weiss, Vice-Chairman Will Hawthorne, and Board Members: Mark DeFuso (arrived at 6:39 pm), David Kassander, and Mark Maciel

MEMBERS ABSENT:

Heather Gantt (excused) and Gerald Jowers (unexcused)

STAFF PRESENT:

City Attorney Kurt Ardaman, Community Development Director Ed Williams, Community Development Manager Steve Pash, Planner II Kelly Carson, Planner I Jessica Frye, and recording secretary Kathleen Rathel

3. APPROVAL OF MINUTES

Motion by David Kassander to approve the regular meeting minutes of April 6, 2015 and seconded by Mark Maciel. Motion carried unanimously 4 - 0.

ANNEXATION / FUTURE LAND USE MAP AMENDMENT / REZONING (PUBLIC HEARING)

4. 50 E. Palmetto Street – Rafael Garcia (ANNEXATION, FLU and ZONING)

Community Development Manager Steve Pash presented a voluntary request for Annexation, Future Land Use designation and Zoning for the 0.23+/- acre property located at 50 E. Palmetto Street. The applicant has requested Annexation into the City, Amendment to the Future Land Use Map of the City's Comprehensive Plan to designate the property as Low Density Residential, and Zoning of R-2. Staff has reviewed the application and recommends approval of Ordinances 15-37, 15-38 and 15-39.

Motion by Mark Maciel to recommend approval of Ordinances 15-37, 15-38, and 15-39 with Staff Recommendations (as provided in the agenda packet) and seconded by Will Hawthorne. Motion carried unanimously 4 - 0.

5. 1050 Vineland Road – Jose M. Rodriguez (ANNEXATION, FLU and ZONING)

Community Development Manager Pash presented a voluntary request for Annexation, Future Land Use designation and Zoning for the 0.23+/- acre property located at 1050 Vineland Road. The applicant has requested Annexation into the City, Amendment to the Future Land Use Map of the City's Comprehensive Plan to designate the property as Residential Neighborhood Commercial, and Zoning of R-NC. Staff has reviewed the application and recommends approval of Ordinances 15-34, 15-35 and 15-36.

Board Member Kassander asked what the most intense use in the R-NC zone would be and the limitations. Mr. Pash answered with small office use for Attorney's or Insurance for example as the site is limited for parking and landscaping and would have to have a Special Exception for office use.

Board Member Weiss asked if anything was proposed for the outskirts of the Traditional Downtown area just for offices. Mr. Pash replied yes, down the main street.

Motion by David Kassander to recommend approval of Ordinances 15-34, 15-35, & 15-36 with Staff Recommendations (as provided in the agenda packet) and seconded by Mark Maciel. Motion carried unanimously 4 - 0.

6. 360 W. Story Road – Jesus Manuel Sanchez and Yoselina Aguirre Palacios (ANNEXATION, FLU and ZONING)

This project was tabled to the June 1, 2015 Planning & Zoning meeting.

(Board Member Mark DeFuso arrived at 6:39 p.m.)

7. 698 Tildenville School Road – Mahindranauth Seearam (ANNEXATION, FLU and ZONING)

Planner II Kelly Carson presented a voluntary request for Annexation, Future Land Use designation and Zoning for the 0.979+/- acre vacant property located at 698 Tildenville School Road. The applicant has requested Annexation into the City, Amendment to the Future Land Use Map of the City's Comprehensive Plan to designate the property as Low Density Residential, and Zoning of R-1. Staff has reviewed the application and recommends approval of Ordinances 15-46, 15-47 and 15-48.

Board Member Weiss asked if all the surrounding properties of an intersection are either County or City, does it deem the intersection/roadway County or City jurisdiction. Attorney Ardaman replied there is an agreement between the City and the County in respect to what controls the jurisdiction of the right-of-way. Community Development Director Williams explained that, generally speaking, if the City has 50% of the land on either side of the road between two main intersections then it becomes a City road. Exceptions are certain main roads, because of geometry or need for repair, when it does not apply.

Motion by Will Hawthorne to recommend approval of Ordinances 15-46, 15-47, and 15-48 with Staff Recommendations (as provided in the agenda packet) and seconded by Mark Maciel. Motion carried unanimously 5 - 0.

8. 844 E. Crown Point Road – West Orlando Baptist Church (ANNEXATION, FLU and ZONING)

Planner II Carson presented a voluntary request for Annexation, Future Land Use designation and Zoning for the 0.868+/- property located at 844 E. Crown Point Road. The property was recently purchased by West Orlando Baptist Church and contains a single family residence. The applicant has requested Annexation into the City, Amendment to the Future Land Use Map of the City's Comprehensive Plan to designate the property as Low Density Residential, and Zoning of R-1. The Church has no immediate plans to develop the property but if they do in the future they will be required to go through the Site Plan Approval process requiring them to adhere to certain development restrictions. Staff has reviewed the application and recommends approval of Ordinances 15-43, 15-44 and 15-45.

Motion by Mark DeFuso to recommend approval of Ordinances 15-43, 15-44, and 15-45 with Staff Recommendations (as provided in the agenda packet) and seconded by Eric Weiss. Motion carried unanimously 5 - 0.

9. 423 Daniels Road – Daniels Professional Park, LLC (REZONING)

Community Development Manager Pash presented a request for Rezoning of the property located at 423 Daniels Road. The subject property consists of a 1.93+/- acre lot located at the northeast corner of Daniels Road and Roper Road. The R-1 zoned property is currently vacant and the applicant is requesting to rezone the property to PCD Planned Commercial Development to develop a 17,250 square foot professional office complex, which is consistent with the existing Residential Neighborhood Commercial Future Land Use designation. A community meeting regarding the rezoning was held April 16, 2015. The main concerns were drainage, uses and lighting. Staff explained the drainage issue would be addressed through Site Plan review and the lighting was a City Code requirement to have 'dark skies'. The only objection to a use was that there would not be an MRI Center. The applicant agreed and is now specified in the PCD Ordinance that no MRI Centers were allowed. Staff has reviewed the application and recommends approval of Ordinance 15-28.

General discussion ensued regarding lighting, hours, signage, outdoor activities, and parking.

Motion by David Kassander to recommend approval of Ordinance 15-28 with Staff Recommendations (as provided in the agenda packet) and seconded by Eric Weiss. Motion carried unanimously 5 - 0.

10. Marsh Road – City of Winter Garden (REZONING)

Community Development Manager Pash presented a request for Rezoning for the property located on the south side of Marsh Road west of Avalon Road. The subject property consists of a 44.83+/- acre lot owned by the City which was included in the original PUD at that intersection. The PUD zoned property is currently vacant. The City is requesting to remove the property from the PUD and rezone to C-2 Arterial Commercial District which is consistent with the existing Commercial Future Land Use designation as well as the character of the surrounding area. Staff has reviewed the application and recommends approval of Ordinance 15-42.

Motion by Eric Weiss to recommend approval of the Rezoning of Marsh Road, Ordinance 15-42, with Staff Recommendations (as provided in the agenda packet) and seconded by Will Hawthorne. Motion carried unanimously 5 - 0.

SPECIAL EXCEPTION (PUBLIC HEARING)

11. 12801 W. Colonial Drive – Sigma Delta Investments/Wild Hogs Scooters

Community Development Manager Pash presented a request for a Special Exception Permit to allow for the property located at 12801 West Colonial Drive to be used for Automobile Sales and Services to operate a business for scooter sales and service. The business currently operates on Dillard Street but is interested in moving for the visibility. The applicant is requesting special exception to allow a portion of the building to be used as a sales facility to sell scooters and the remainder of the building to be used for automobile services to work on scooters. The C-2 Zoning district allows vehicle sales and services through special exception if it meets the special exception requirements. Staff has reviewed the application and recommends approval providing the existing gas station canopy be removed and all other conditions in the Staff Report are met.

Board Member Weiss asked if there had been displays allowed at that location in the past. Mr. Pash explained that the City requires a better site plan showing the number and location for the scooter display.

Board Member Kassander asked if this site was to be for scooters only or would there be automobiles. Mr. Pash stated there would be no automobiles and is limited to scooters only.

Andrew Freedman, owner of Wild Hogs Scooters, was present and addressed the Board. He stated his business consists primarily of scooters from 50cc up to 400cc, dirt bikes, and 4-wheelers but needs more space and a better way to display his items. Board Member DeFuso questioned the larger size of motorcycles to be sold as there could be a noise issue.

(Mark Maciel recused himself from voting on this item)

Andrew Freedman stated his landlord would not pay to remove the existing canopy and he did not have the budget to remove the canopy at this time. A discussion ensued regarding removing the canopy, which the City requires to help with the aesthetics of Highway 50, and if the City would allow the applicant additional time to remove the canopy if it was painted.

Board Member Weiss stated he approves the business at this location but would first like to see a site plan showing landscaping, parking spaces, the scooter display, and a time frame for the canopy removal.

Motion by Will Hawthorne to table the Special Exception for 12801 W. Colonial Drive until the June 1, 2015 Planning & Zoning meeting at 6:30 pm and seconded by David Kassander. Motion carried 4 – 0 with Mark Maciel abstaining.

12. 1030 Vineland Road – Graham Family Law Firm, PA

Planner II Carson presented a request for a Special Exception Permit for the property located at 1030 Vineland Road to be used as a professional office for a law firm. The property is zoned R-NC which allows professional office uses through special exception if they meet the special exception requirements. Staff has reviewed the application and recommends approval subject to the conditions listed in the Staff Report.

Motion by David Kassander to recommend approval of the Special Exception for 1030 Vineland Road with Staff Recommendations (as provided in the agenda packet) and seconded by Will Hawthorne. Motion carried unanimously 5 – 0.

13. 1309 Winter Garden Vineland Road – West Orange Outparcels/Bright Start Pediatrics

Planner II Carson presented a request for a Special Exception Permit to allow for the property located at 1309 Winter Garden Vineland Road to be used as a daycare for medically fragile children who receive special permission from a doctor to attend. The vacant property's PCD Zoning allows a daycare use through special exception if the applicant meets the special exception requirements. A Fair Share Agreement was a condition of approval to develop the property when purchased. Staff has reviewed the application and recommends approval subject to the conditions listed in the Staff Report.

Board Member DeFuso inquired how many kids would be there, transportation for the kids, traffic issues and traffic impact. Ms. Carson stated because these are medically fragile children a special transport van would be used for the majority of them, approximately 80%, being dropped off and picked up which helps with the parking and traffic issues and the vans used would be parked offsite. The maximum number of children would be 36. Board Member Kassander asked if the applicant would be able to change to a regular daycare. Ms. Carson stated any change would have to be brought back before the Board.

Linda Brown, owner of BrightStart Pediatrics, addressed the Board stating she currently owns two BrightStart Pediatrics, one in south Orlando and one in Sanford, and has been in business for 12 years. She chose the Winter Garden area as it was centralized between the other two locations, had access to major roads, and was in close proximity to medical facilities. The hours of operation would be from 7:00 am to 8:00 or 9:00 pm to accommodate the families working schedules but children could not stay more than 12 hours per day.

Motion by Eric Weiss to recommend approval of the Special Exception for 1309 Winter Garden Vineland Road for Bright Start Pediatrics with Staff Recommendations (as provided in the agenda packet) and seconded by Mark Maciel. Motion carried unanimously 5 – 0.

14. 1450 Daniels Road – Church of Christ of West Orange/Creative Signs

Planner II Carson presented a request for a Special Exception Permit to allow a sign that exceeds the allowable size and copy area for the property located at 1450 Daniels Road. The applicant is requesting a Special Exception Permit to allow an electronic message center to be installed within the structural frame of an existing changeable letter sign which exceeds the allowable size and copy area permitted within an R-2 Residential Zoning District. The R-2 Zoning district allows electronic message centers through Special Exception if the applicant meets the Special Exception requirements. Staff has reviewed the application and recommends approval subject to the conditions listed in the Staff Report.

Richard Farnsworth, resident, wanted to know if the new sign would impede views of traffic on Daniels Road when exiting the church. Ms. Carson stated the sign would be the same size as it is now which does not block views of oncoming traffic.

Matt DeSalvatore, with Creative Signs, explained that the applicant wanted to keep the same sign cabinet as it was more cost effective to reuse the existing sign rather than building a new one. The electronic sign will dim at night per code; the white light of the sign is actually amber so it is not as bright, and the transition messages use a 10 second rotation.

Motion by Mark DeFuso to recommend approval of the Special Exception for 1450 Daniels Road with Staff Recommendations (as provided in the agenda packet) and seconded by David Kassander. Motion carried unanimously 5 – 0.

VARIANCE (PUBLIC HEARING)

15. 229 N. Woodland Street – Arielle Pandolph-Schmidt & Stephan Schmidt

Planner II Carson presented a request for a Variance to the minimum rear yard setback for the property located at 229 N. Woodland Street. The applicant is requesting a Variance to allow a 15' rear yard setback in lieu of the minimum required 28' rear yard setback allowed in the R-2 zoning district. If approved, this variance will allow the construction of a single-family residence with a detached garage to be built on the property while protecting the site's existing 3 large oak trees but the construction could not alter the existing drainage flow pattern. Staff has reviewed the application and variance criteria and recommends approval.

Motion by Will Hawthorne to recommend approval of the Variance for 229 N. Woodland Street with Staff Recommendations (as provided in the agenda packet) and seconded by Mark Maciel. Motion carried unanimously 5 – 0.

SITE PLAN

16. 13838 Tilden Road – Windward Cay East, Inc.

Planner II Carson presented a request for a Site Plan approval to construct a medical office building on a parcel within the Windward Cay East commercial center located at 13838 Tilden Road. The applicant is seeking approval of the Site Plan proposed which includes a new 5,794 sq. ft. single-story brick medical office building, as well as associated landscaping and other site improvements. The proposed development is required to adhere to the site design and architectural standards of the property's PCD zoning.

Typically, site plans are not required to obtain approval from the Planning & Zoning Board prior to being placed on the City Commission agenda for approval. However, the property's PCD zoning ordinance (Ord. 00-36) Section II (13) states in part: *Any new development on the subject property must submit detailed site plans for both Staff and the P&Z Board approval.* Staff has reviewed the application and recommends approval subject to the conditions referenced in the Staff Report.

Motion by Mark Maciel to recommend approval of the Site Plan for Windward Cay Phase 3 at 13838 Tilden Road with Staff Recommendations (as provided in the agenda packet) and seconded by Eric Weiss. Motion carried unanimously 5 – 0.

CITY OF WINTER GARDEN CODE UPDATES (PUBLIC HEARING)

17. Ordinance 15-41 – Accessory Structures

Community Development Manager Pash presented a code amendment to Ordinance 15-41, Chapter 118 of the City Code, amending accessory buildings and accessory structures to create a definition that all greenhouses be reviewed and approved by Special Exception which includes the requirements for construction, material used, where they can be located on the property, and must be consistent with the principal building. Staff recommends approval of Ordinance 15-41.

Motion by David Kassander to recommend approval of Ordinance 15-41 with Staff Recommendations and seconded by Eric Weiss. Motion carried unanimously 5 – 0.

18. Ordinance 15-49 - Billboards

Community Development Director Ed Williams presented an amendment to Ordinance 15-49 – Billboards. One change was to page 6 - 3B which states that each message on digital billboards must be displayed for a minimum of 12 seconds is changed to 8 seconds. Currently the City does not allow new billboards but one can be replaced if under a certain value if it is destroyed in a storm. A billboard can be relocated if one is removed. The City is proposing the change to the City's ordinance to recognize digital billboards and set up a procedure for removal of other regular billboards in exchange for a digital billboard.

Mr. Williams had two key points in the proposed changes; 1) Recognize digital billboards and setting up criteria, and 2) Set up a procedure for billboard exchange subject to a negotiated agreement with the City. When a company proposes installing a new digital billboard there will be a negotiated agreement with the City that the company remove a minimum of two regular billboards. An exception would be if the sign has a public purpose then the City Council could approve removal of only one billboard.

General discussion ensued regarding the definition of billboards, message centers, and signs, as well as the location, brightness and size depending on the road and speed of traffic.

Craig Swygert, President of Clear Channel Outdoor, has been working on the negotiations and supports the change to the 8 second display time. He encourages limiting the size of the copy area to 378 square feet which is an industry standard for a billboard 10 ½ feet tall by 36 feet wide but to exclude the cabinet from the copy area. Mr. Williams stated this would be addressed in the negotiated agreement on a case-by-case basis.

Motion by Mark DeFuso to recommend approval of Ordinance 15-49 and seconded by Will Hawthorne. Motion carried unanimously 5 – 0.

ADJOURNMENT

There being no further business, the meeting was adjourned at 8:12 pm.

ATTEST:

APPROVED:

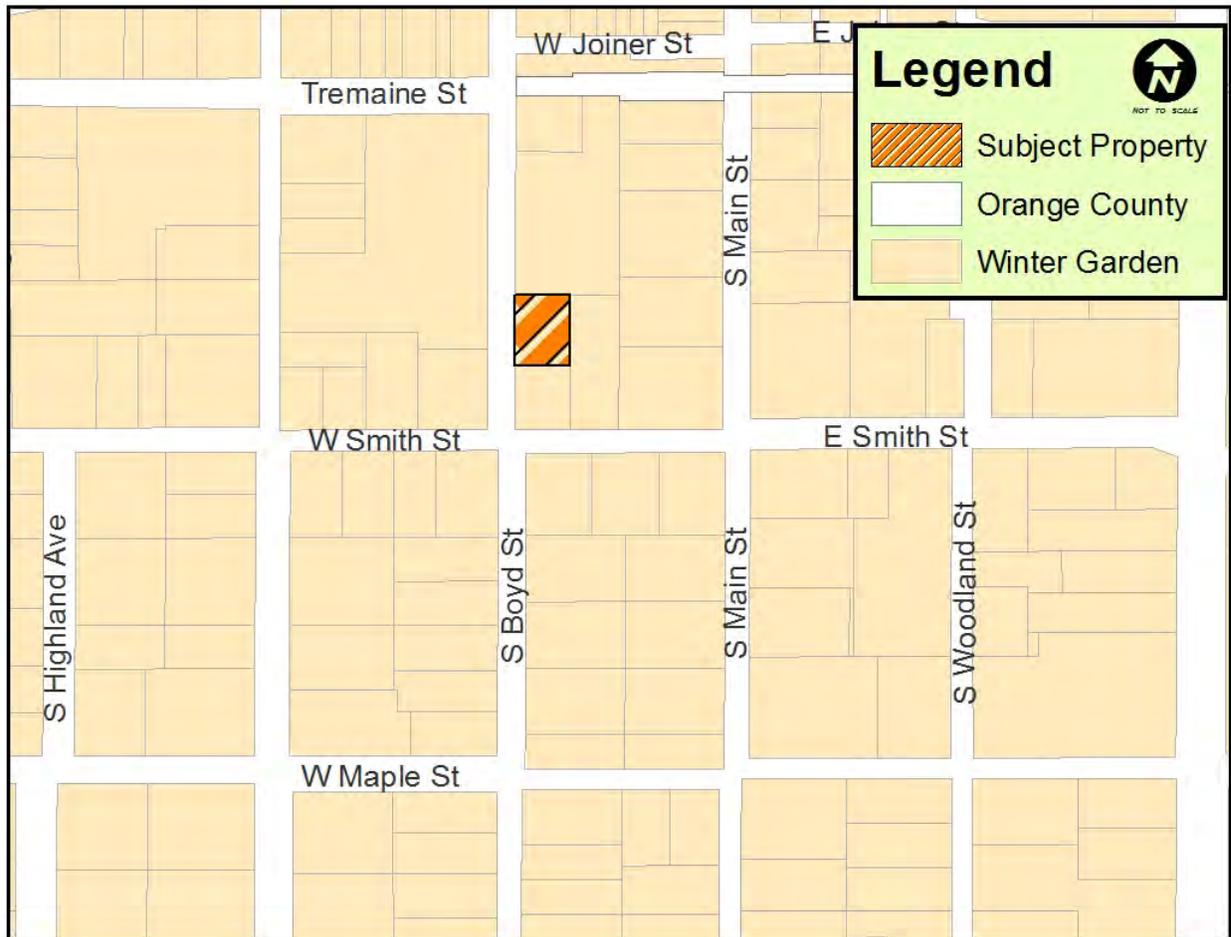
Customer Service Rep. Kathleen Rathel

Chairman Eric Weiss

LOCATION MAP

161 S. Boyd Street

REZONING



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

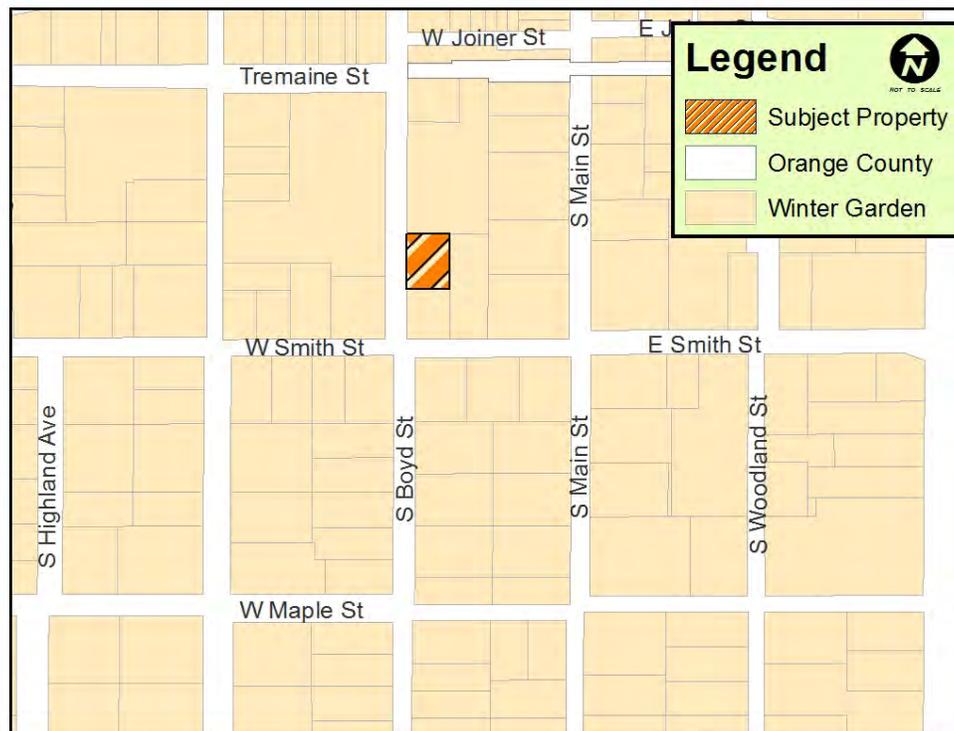
TO: PLANNING AND ZONING COMMITTEE
PREPARED BY: STEVE PASH, COMMUNITY DEVELOPMENT MANAGER
DATE: MAY 27, 2015
SUBJECT: REZONING TO C-1
161 South Boyd Street (0.19 +/- ACRES)
PARCEL ID # 23-22-27-2888-08-070

APPLICANT: KELSO INVESTMENTS, LLC

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property, located at 161 South Boyd Street on the east side of South Boyd Street, north of West Smith Street and south of Tremaine Street, is approximately 0.19 ± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting to rezone 0.19 ± acres of land. The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation R-2 (Residential District). The subject property is designated DT (Downtown Transitional) on the Future Land Use Map of the Comprehensive Plan.

EXISTING USE

The subject property is currently developed with a duplex and the owner intends to convert it into office space.

ADJACENT LAND USE AND ZONING

The property located to the north is developed with the City's old fire station, which is now used as an art gallery, zoned C-1, and located in the City. The property to the south is developed with a duplex, zoned R-2, and located in the City. The properties to the west are developed with an office and a City parking lot, zoned C-1, and located in the City. The property to the east is developed with a duplex, zoned R-2, and located in the City.

PROPOSED USE

The applicant is requesting to rezone the property to C-1 for future development. In order to rezone and develop this property, the owner will need to follow all of the requirements and permitted uses within the C-1 Zoning District, which only allows residential as an upper story use with office or commercial on the first floor. Redevelopment of this property may also require the assembly of more land to provide the minimum lot requirements and to provide parking for the proposed use. If the minimum number of spaces cannot be provided, the Code allows the properties in the downtown core to purchase parking spaces for \$5,000.00 per parking space.

SUMMARY

Staff recommends approval of Ordinance 15-52 to rezone the property to C-1, subject to the following conditions:

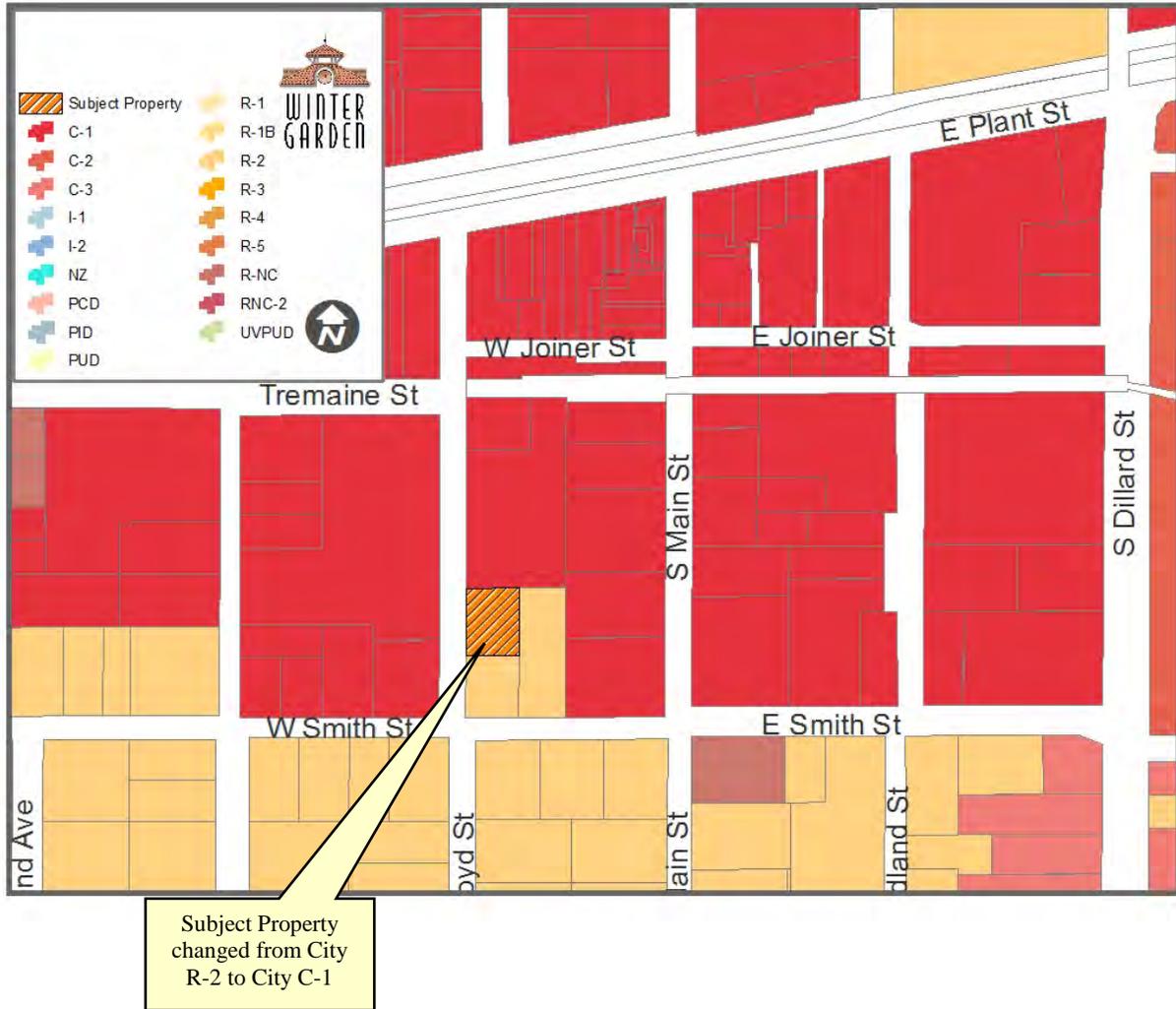
1. All non-conforming uses shall stop prior to the adoption of Ordinance 15-52.
2. Residential uses on this property shall only be allowed on upper floors.
3. Any proposed redevelopment shall be reviewed through Site Plan Review and may require the assembly of multiple lots to meet development requirements.

MAPS

**AERIAL PHOTO
161 South Boyd Street**



ZONING MAP
161 South Boyd Street



FUTURE LAND USE MAP 161 South Boyd Street



PHOTOGRAPH
161 South Boyd Street



END OF STAFF REPORT

ORDINANCE 15-52

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 0.19 +/- ACRES OF LAND LOCATED AT 161 SOUTH BOYD STREET ON THE EAST SIDE OF SOUTH BOYD STREET NORTH OF WEST SMITH STREET AND SOUTH OF TREMAINE STREET, FROM R-2 (RESIDENTIAL DISTRICT) TO C-1 (CENTRAL COMMERCIAL DISTRICT); PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner(s) of real property generally described as approximately 0.19 ± acres of certain real property generally located at 161 South Boyd Street on the east side of South Boyd Street, north of West Smith Street and south of Tremaine Street in Winter Garden, Florida, being more particularly described on Exhibit “A” attached hereto and incorporated herein by this reference (the “Property”), desire to rezone their property from City R-2 to City C-1, and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the rezoning approved by this Ordinance is consistent with the City of Winter Garden Comprehensive Plan; and

WHEREAS, further, the City Commission finds that based on competent, substantial evidence in the record, the rezoning approved by this Ordinance meets all applicable criteria for rezoning the Property to C-1 Central Commercial District contained within the City of Winter Garden Comprehensive Plan and the Code of Ordinances.

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: Rezoning. The above “Whereas” clauses constitute findings by the City Commission. After due notice and public hearing, the zoning classification of real property legally described on ATTACHMENT “A,” is hereby rezoned from R-2 Residential District to C-1 Central Commercial District in the City of Winter Garden, Florida.

SECTION 2: Zoning Map. The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION 3: Non-Severability. Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 4: Effective Date. This Ordinance shall become effective upon adoption at its second reading.

SECTION 5: *Effective Date.* This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2015.

SECOND READING AND PUBLIC HEARING: _____, 2015.

ADOPTED this _____ day of _____, 2015, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

KATHY GOLDEN, City Clerk

Exhibit "A"

DESCRIPTION: LOT 7 LESS THE SOUTH 93 FEET, BLOCK H, FRIES PLAT OF WINTER GARDEN, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK E, PAGE 16, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

THE CITY OF WINTER GARDEN
PLANNING AND ZONING BOARD AGENDA ITEM

ITEM # 6

DATE: May 29, 2015 **MEETING DATE:** June 1, 2015

SUBJECT: 14966 Siplin Road, 505 & 807 Avalon Road (PRELIMINARY PLAT)
PROJECT NAME Oxford Chase Subdivision
PARCEL ID# 27-22-27-0000-00-068, 34-22-27-0000-00-003,
27-22-27-0000-00-069

ISSUE: The applicant is requesting a Preliminary Plat for 103 single family residential units in the Oxford Chase Subdivision.

SUPPLEMENTAL MATERIAL/ANALYSIS:

OWNER/APPLICANT: Mattamy Orlando, LLC

CURRENT ZONING: PUD (Planned Unit Development)

PROPOSED ZONING: N/A

CURRENT FLU: SUB (Suburban Residential)

PROPOSED FLU: N/A

SUMMARY:

Applicant proposes a Preliminary Plat for 103 single family residential units within the 67.37 +/- acre subject property. The proposed Preliminary Plat is consistent with the City's Comprehensive Plan and the City of Winter Garden Code of Ordinances. The proposed Preliminary Plat is consistent with the Planned Unit Development (PUD) Zoning of the property.

STAFF RECOMMENDATION(S):

City staff recommends conditional approval of the Preliminary Plat of 103 single family residential units in the Oxford Chase Subdivision. Conditional approval will allow the owner to proceed with development plans as well as the final plat. Conditional approval of the proposed Preliminary Plat is subject to conditions of all prior development approvals including PUD Rezoning Ordinance 14-33 and the SunRidge Boulevard Proportionate Fair Share Agreement.

NEXT STEP(S):

Submit Subdivision Construction Plans and Final Plat.

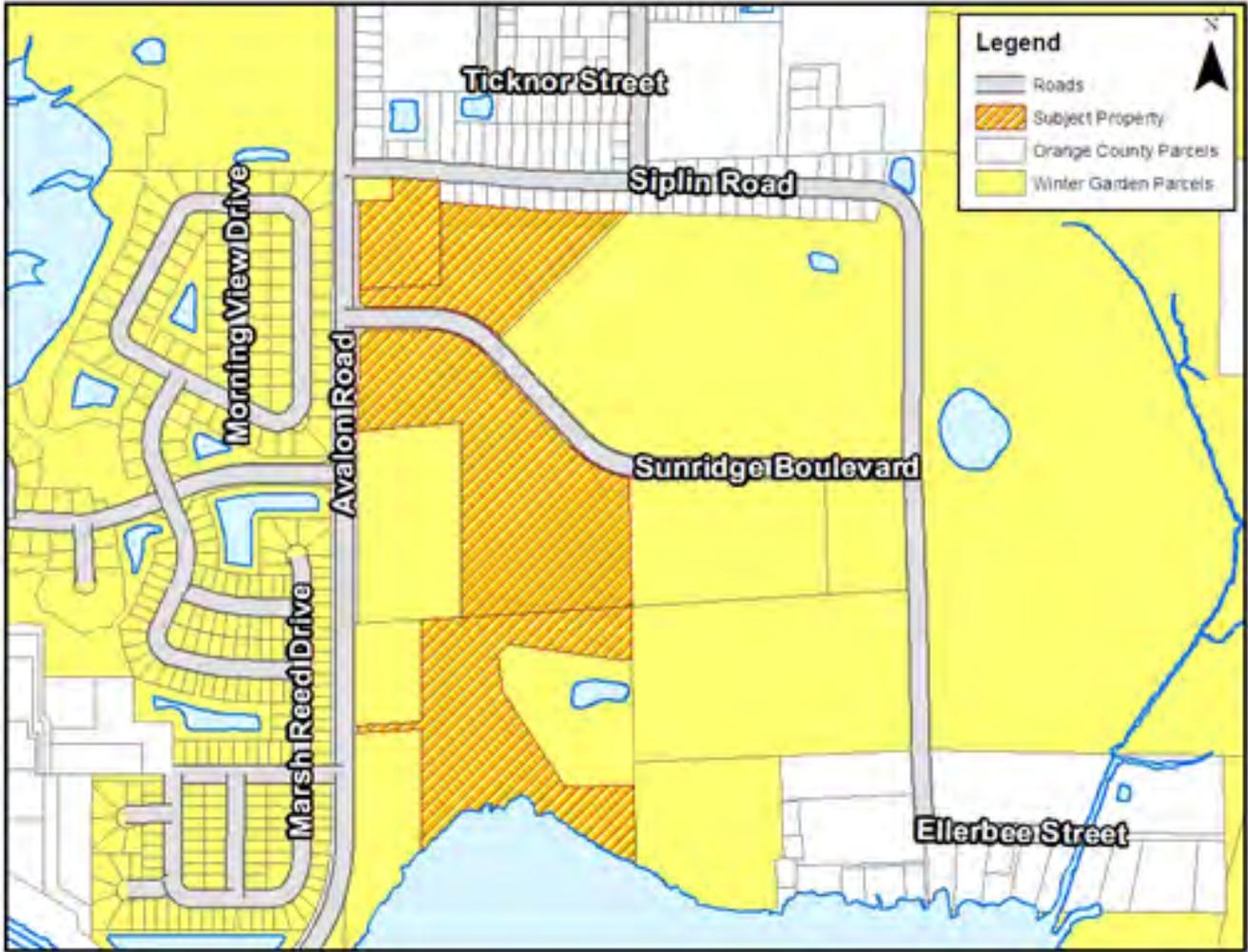
ATTACHMENT(S):

Location Map
Staff Report
Preliminary Plat

LOCATION MAP

14966 SIPLIN ROAD, 505 & 807 AVALON ROAD

PRELIMINARY PLAT



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

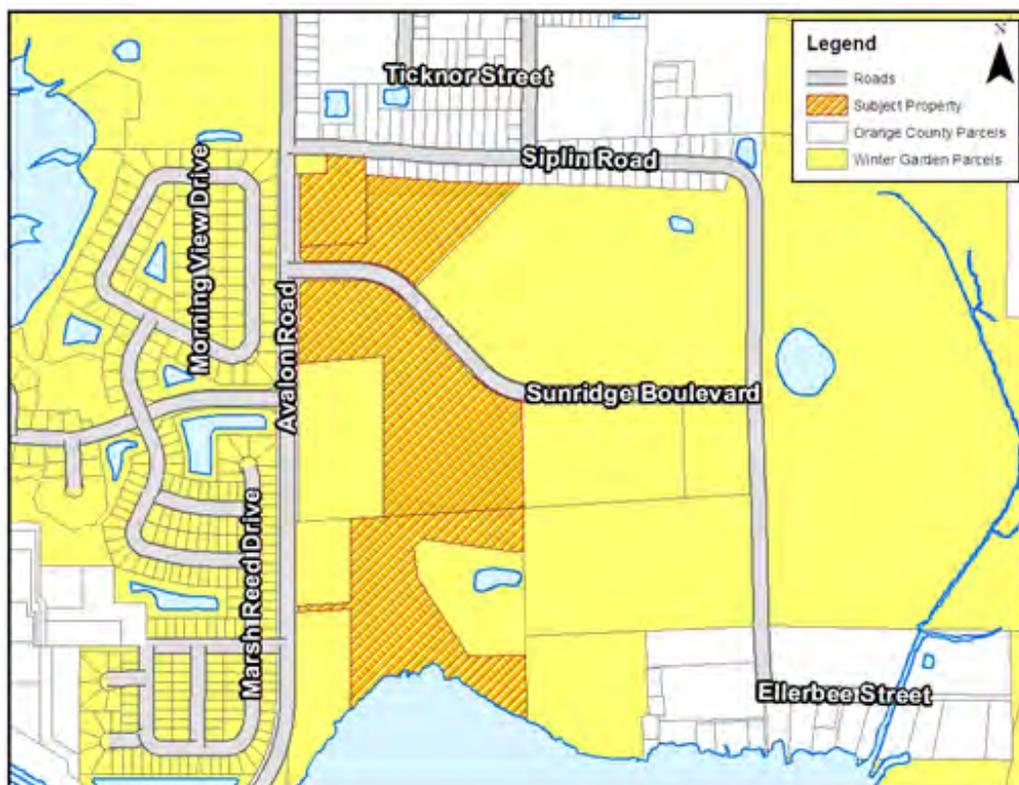
TO: PLANNING AND ZONING COMMITTEE
PREPARED BY: KELLY CARSON, PLANNER II
DATE: MAY 28, 2015
SUBJECT: PRELIMINARY PLAT
OXFORD CHASE PROPERTY
14966 SIPLIN ROAD, 505 & 807 AVALON ROAD (67.37 +/- ACRES)
PARCEL ID # 27-22-27-0000-00-068, 34-22-27-0000-00-003,
27-22-27-0000-00-069

APPLICANT: MATTAMY ORLANDO, LLC

INTRODUCTION

The purpose of this report is to evaluate the proposed preliminary plat for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located at 14966 Siplin Road, and 505 & 807 Avalon Road and is approximately 67.37± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits.



EXISTING USE

The subject property consists of vacant unimproved upland, a wetland/karst feature, and a portion of Black Lake. The property was rezoned to PUD (Planned Unit Development) in 2014, and the property's future land use designation in the City's Comprehensive Plan was amended to Suburban Residential.

ADJACENT LAND USE AND ZONING

The properties located to the north of the subject property are single family residences located within Unincorporated Orange County. The properties located to the west include vacant land that is located within the City of Winter Garden, single family residences within the Johns Lake Pointe Planned Unit Development subdivision located within the City of Winter Garden, and the Oasis Community Church located within the City of Winter Garden. The subject property is bordered on the south by Black Lake. The property to the east is the recently approved Black Lake Preserve Planned Unit Development subdivision which is within the City of Winter Garden and is actively under construction.

PROPOSED USE

The applicant is requesting preliminary plat approval to move forward with development plans and the final plat. The property has been rezoned to PUD to develop the 67.37 ± acre site into a residential subdivision containing 103 single-family dwelling units. The subdivision will have a gross density of 2.53 dwelling units per acre, the SUB- Suburban Residential Future Land Use Designation allows up to 4 dwelling units per acre. The subdivision will contain 2.21 acres of combined recreation areas including a dog walk, tot lot, recreation trails, and open spaces.

The project contains a mixture of 70'x120' lots and 65'x120' lots, with a total of 40 lots at 65' wide and 63 lots at 70' or wider.

SUMMARY

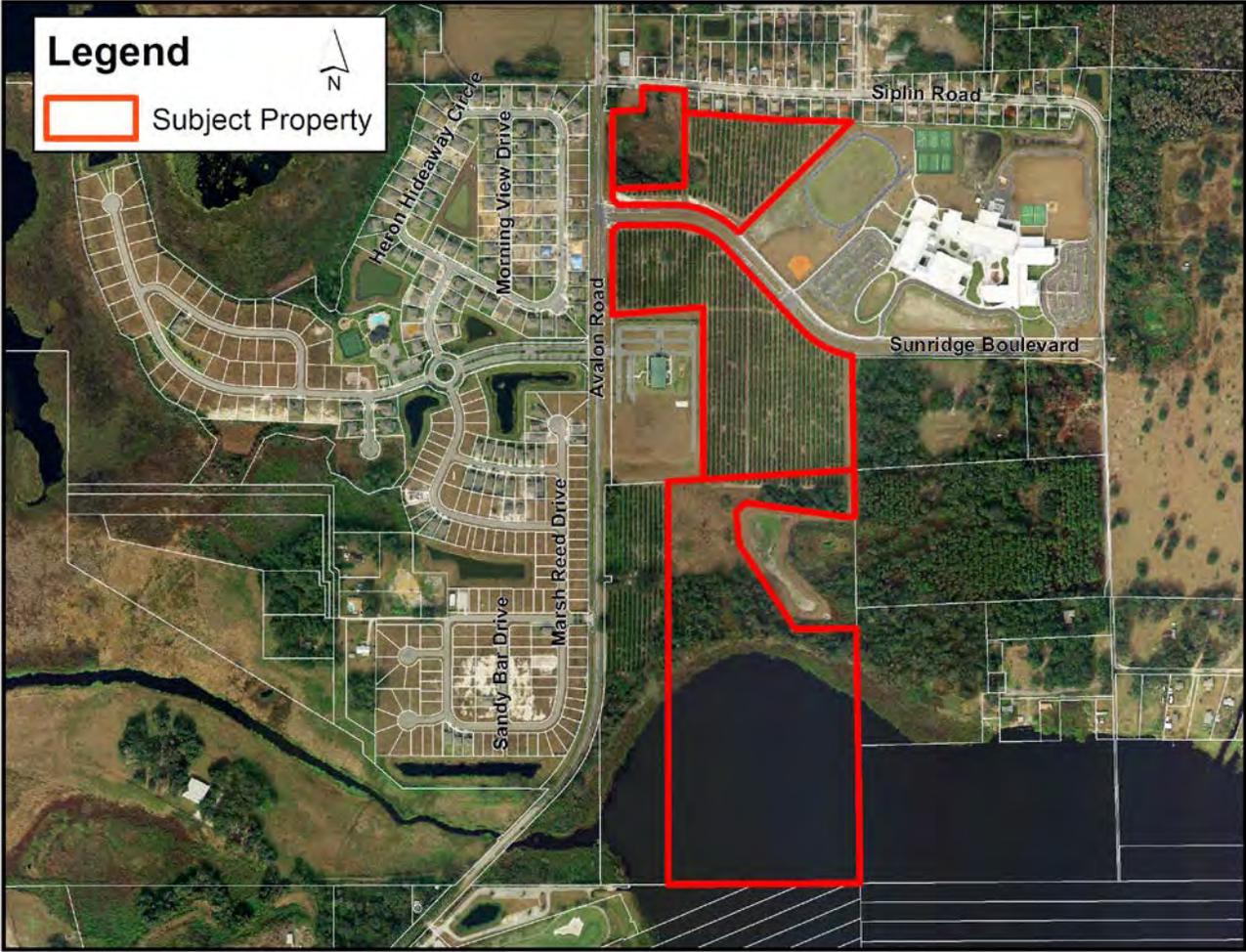
City Staff recommends conditional approval of the Preliminary Plat subject to the following condition(s):

- SunRidge Boulevard has been constructed with two lanes, and has recently been expanded to four lanes. This project, along with others along this corridor have agreed to participate in the funding of the widening to four lanes.
- As discussed with the Developer and Design Engineer, SunRidge Blvd. is currently under construction to accommodate the 4-lane widening as well as the turn lanes and median opening shown on this pre-plat. Change order #1 reflects the additional cost for the turn lanes and median opening and shall be paid for by the Developer prior to start of construction.
- The joint City/HOA Stormwater area shown can accommodate up to 4.84 acres per the attached Exhibit 5 of the SJRWMD permit application and is proposed to be expanded.
- Typical Section: Right-of-way width shall be a minimum of 50 feet with minimum roadway pavement width of 24' as required by City Code (12' minimum each lane); 16' minimum lane width for any divided portion (additional width may be required if parking is allowed); 18" of clean fill with no more than 5% passing a #200 sieve required under the

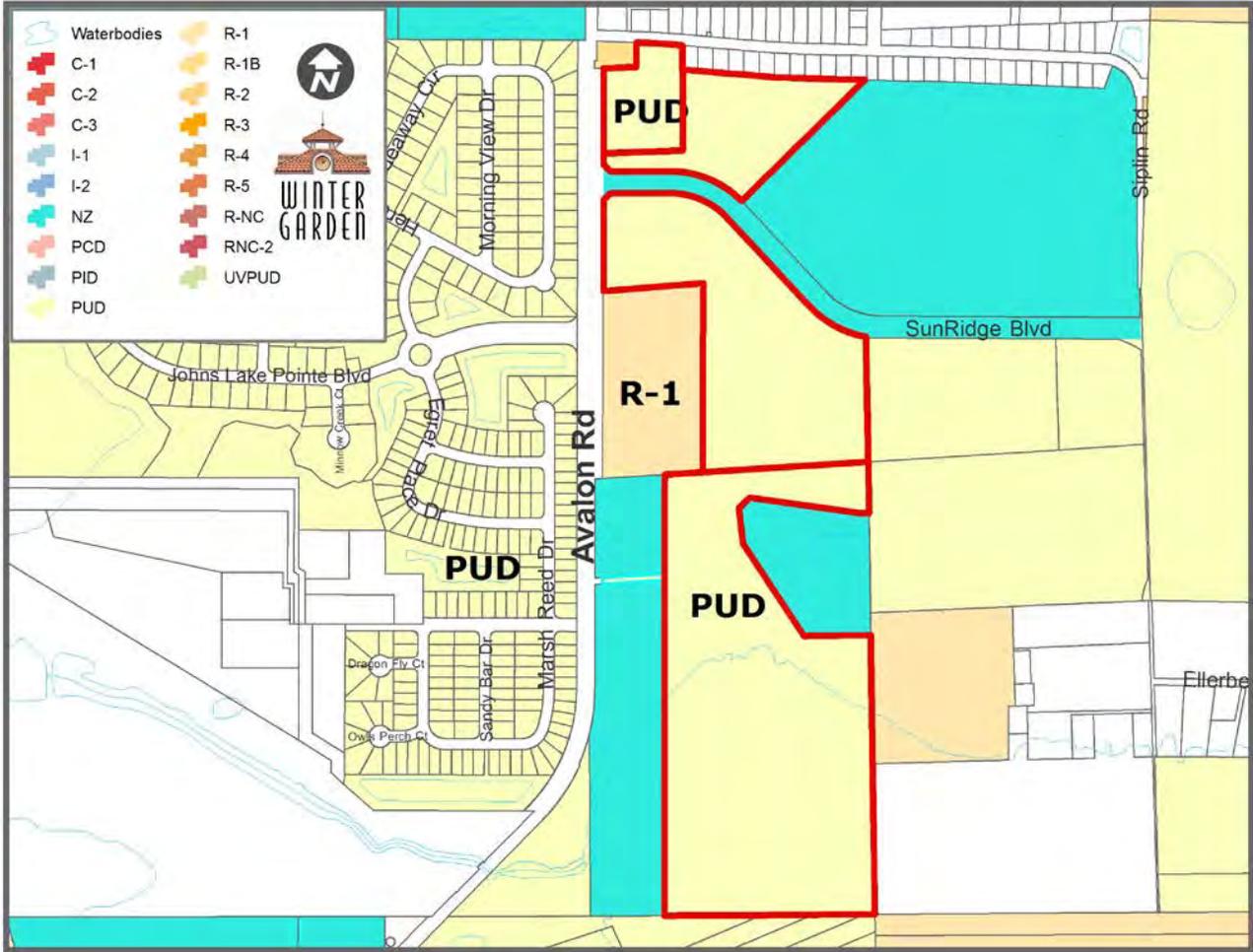
subbase; 98% density required on all compaction; 2” minimum asphalt thickness; 10” minimum soil cement base thickness; minimum 24” wide concrete curb and gutter required (or Miami curb); 5’ wide concrete sidewalks required on both sides of street; minimum 10’ wide drainage, utility and sidewalk easements required adjacent to all rights-of-way. All construction shall meet City of Winter Garden requirements for drainage, roadways and utilities(see City Standard Details available on-line at cwgd.com). As requested by the Developer, 1” of asphalt can be installed prior to C of C, and the second lift of 1” can be installed after home construction, if covered by a bond or letter of credit.

- A Karst Feature Evaluation report by Universal Engineering was submitted dated 4/08/15 and is acceptable. Provide further geotechnical reporting with construction plan submittal addressing groundwater table, presence of organic soils, need for underdrains, etc.
- The environmental report states that gopher tortoises may be active on site and that it is unlikely habitat for sand skinks. Provide approvals from FFWCC prior to construction that these species have been addressed.
- Walls and landscaping shall be located within a landscape and wall tract, to be maintained by the HOA.
- It appears the project will be gated. While portions of the right-of-way may be dedicated to the City, maintenance of special pavements, landscaping, hardscaping, etc. shall be performed by the HOA under a R/W maintenance agreement.
- All proposed easements shall be 30’ minimum width for sanitary, water and storm; improvements shall be centered within the easement. Common areas not abutting right-of-way shall include a tract (not easement) for access and maintenance.
- Utilities: Minimum 8” potable water (internal), 8” reuse water, and minimum 6” sanitary force main are required.
- Minimum 5 ft. wide utility and drainage easements shall be provided on each side lot line; 10’ drainage, utility and sidewalk easements required adjacent to R/W.
- Some of this property appears to be “A” type soils and may require adherence to the City’s Wekiva protection regulations. Wekiva Protection requirements as outlined in the Comprehensive Plan shall be met, especially for drainage and Karst protection. Although the geotechnical reports have stated that the “A” type soils are not “most effective recharge” soils, final determination shall be made by the SJRWMD concerning drainage design. Soil borings for Karst features was acknowledged and accepted with the rezoning review and with the recent Karst Evaluation report.
- All irrigation on the site shall be designed to be supplied by reclaimed water (minimum 8” internal main size).
- The wetland impacts shown on the pre-plat will require some form of mitigation by the Saint Johns River Water Management District (SJRWMD). Mitigation may include wetland creation, enhancement, or restoration; wetland preservation; and/or the purchase of mitigation credits from a mitigation bank. Issuance of the SJRWMD permit, which will include required mitigation, is a City requirement during the Construction Plans Review.
- Per Ordinance 14-33, nothing may constructed within the 5’ side yard easements including pools, A/C pads & units, BBQ equipment, etc. Fences and landscaping installed within the side yard easements shall be designed to not interfere with any easement functions and requires permitting by the City.

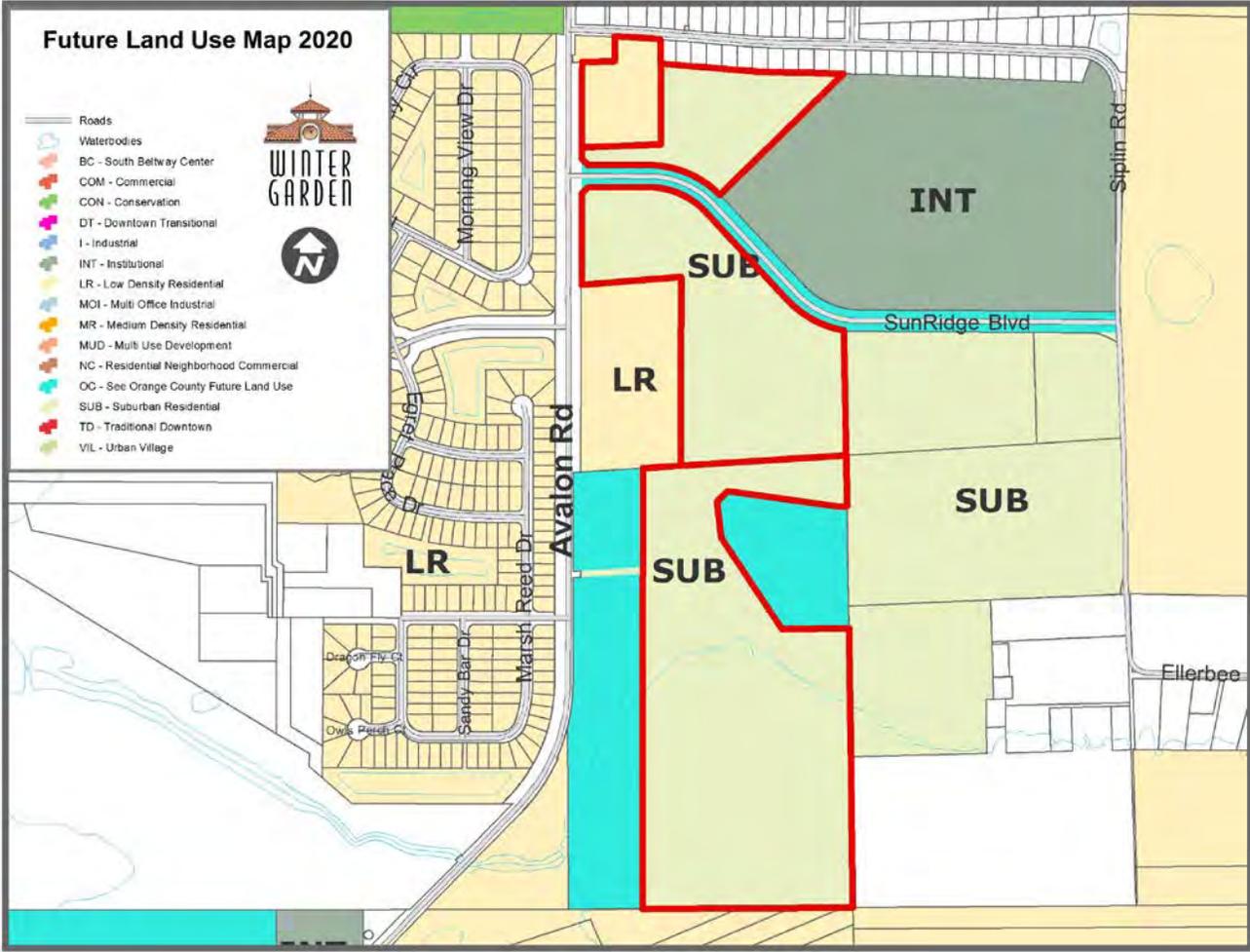
AERIAL PHOTO
OXFORD CHASE



ZONING MAP
OXFORD CHASE



FUTURE LAND USE MAP
OXFORD CHASE



END OF STAFF REPORT

PRELIMINARY PLAT

CITY OF WINTER GARDEN, FLORIDA

OXFORD CHASE

NOT FOR
CONSTRUCTION

DONALD W. McINTOSH
ASSOCIATES, INC.
CERTIFICATE OF
AUTHORIZATION NO. 68

JOHN T. TOWNSEND
FLORIDA P.E. NO. 35217
DATE:

LEGAL DESCRIPTION

DESCRIPTION (Prepared by Donald W. McIntosh Associates, Inc.)

PARCEL "A":

That part of Sections 27 and 34, Township 22 South, Range 27 East, Orange County, Florida, described as follows:

Commence at the Southwest corner of Section 27, Township 22 South, Range 27 East and run N00°07'58"E, along the West line of the Southwest 1/4 of said Section 27 a distance of 185.64 feet; thence departing said line run N89°21'34"E along the North line of the South 185.00 feet of said Southwest 1/4 a distance of 62.89 feet to the POINT OF BEGINNING, said point being on the East right-of-way line of Avalon Road as described in Official Records Book 10115, Page 702, of the Public Records of Orange County, Florida; thence N00°03'54"E along said East right-of-way line 415.58 feet to the Southerly right-of-way line of Sunridge Boulevard, as described in said Official Records Book 10115, Page 702; thence run the following courses along said Southerly right-of-way line: N45°05'56"E, 42.40 feet; thence S89°52'02"E, 277.90 feet to the point of curvature of a curve concave Southwesterly having a radius of 350.00 feet and a chord bearing of S66°25'11"E; thence Southeasterly along the arc of said curve through a central angle of 40°53'42" for a distance of 286.47 feet to the point of tangency; thence S42°58'20"E, 550.59 feet to the point of curvature of a curve concave Northeasterly having a radius of 450.00 feet and a chord bearing of S61°39'33"E; thence Southeasterly along the arc of said curve through a central angle of 37°22'27" for a distance of 293.53 feet to a non-tangent point on the East line of the West 1/2 of the Northwest 1/4 of Section 34, Township 22 South, Range 27 East; thence S00°43'04"E along said East line 801.84 feet to the Northeast corner of lands described in said Official Records Book 10115, Page 702; thence run the following courses along the boundary of said lands: S89°21'42"W, 49.99 feet; thence N81°42'06"W, 498.85 feet; S45°11'24"W, 68.77 feet; thence S08°14'42"E, 165.43 feet; S33°25'37"E, 501.98 feet; thence N89°16'56"E, 303.73 feet; thence departing said boundary, run S00°43'04"E along the aforesaid East line of the West 1/2 of the Northwest 1/4 of Section 34 for a distance of 1271.84 feet; thence S89°35'22"W along the South line of the Northwest 1/4 of said Section 34 for a distance of 342.77 feet; thence N00°05'12"W along the East line of the West 342.00 feet of said Northwest 1/4 of Section 34 for a distance of 2009.78 feet; thence N89°25'13"E along the North line of the South 1/2 of the Northwest 1/4 of the Northwest 1/4 of said Section 34 for a distance of 173.48 feet; thence N00°05'12"W along the East line of the West 515.00 feet of the Northwest 1/4 of said Section 34 for a distance of 673.00 feet to the South line of the Southwest 1/4 of said Section 27, Township 22 South, Range 27 East; thence N00°07'58"E along the East line of the West 515.00 feet of said Southwest 1/4 of Section 27 for a distance of 185.64 feet; thence S89°21'34"W along the aforesaid North line of the South 185.00 feet of the Southwest 1/4 of Section 27 for a distance of 453.99 feet to the POINT OF BEGINNING.

Containing 56.185 acres more or less including that part lying in Black Lake.

PARCEL B:

That part of Section 27, Township 22 South, Range 34 East, Orange County, Florida, described as follows:

Commence at the Southwest corner of Section 27, Township 22 South, Range 34 East and run N00°07'58"E along the West line of the Southwest 1/4 of said Section 27 for a distance of 1203.28 feet; thence departing said West line run N87°56'36"E along the South line of the North 130.00 feet of the Southwest 1/4 of said Section 27 for a distance of 61.42 feet to the East right-of-way line of Avalon Road, as described in Official Records Book 10115, Page 702, of the Public Records of Orange County, Florida, and to the POINT OF BEGINNING; thence continue N87°56'36"E along said South line, 148.16 feet; thence N00°07'58"E along the East line of the West 209.43 feet of said Southwest 1/4 of the Southwest 1/4 for a distance of 111.33 feet to a point of the South right-of-way line of Sipin Road, as described in Official Records Book 3886, Page 3445, of said Public Records, said point being on a non-tangent curve concave Southerly having a radius of 4247.81 feet and a chord bearing of S86°36'17"E; thence Easterly along the arc of said curve and said right-of-way line through a central angle of 02°34'54" a distance of 191.40 feet to the point of tangency; thence S85°18'50"E along said right-of-way line 20.23 feet to the West line of Siplin Heights, as recorded in Plat Book 21, Pages 49 and 50, of said Public Records; thence S00°07'50"W along said West line 110.39 feet to the Southwest corner of said Siplin Heights; thence S89°18'29"E along the South line of said Siplin Heights, 457.01 feet; thence S88°35'49"E along said South line 375.54 feet; thence S45°13'44"W along the Northwesterly line of lands described in Official Records Book 7901, Page 3020, of said Public Records, 787.72 feet to a point on a non-tangent curve concave Southwesterly having a radius of 450.00 feet and a chord bearing of N67°09'10"W, said point also being on the Northerly right-of-way line of Sunridge Boulevard, as described in Official Records Book 10115, Page 702, of said Public Records; thence Northwesterly along the arc of said curve and said right-of-way line through a central angle of 45°25'44" a distance of 356.80 feet to the point of tangency; thence N89°52'02"W along said right-of-way line 278.02 feet; thence N44°54'04"W along said right-of-way line 42.45 feet; thence N00°03'54"E along the aforesaid East right-of-way line of Avalon Road, 439.17 feet to the POINT OF BEGINNING.

Containing 11.181 acres more or less.

Together containing 67.366 acres more or less and being subject to any rights-of-way, restrictions and easements of record.

PROJECT DESCRIPTION

A 103 UNIT SINGLE FAMILY PLANNED UNIT DEVELOPMENT

SHEET INDEX

1	COVER SHEET
2	NOTES & TYPICAL SECTIONS
3-6	BOUNDARY & EXISTING CONDITIONS
7	AERIAL
8	OVERALL SITE PLAN
9	SITE PLAN (NORTH)
10	SITE PLAN (SOUTH)
10A	PASSIVE RECREATION PLAN
	LANDSCAPE PLANS
L100	OVERALL KEY SHEET
L401-L407	LANDSCAPE PLANS
L408	LANDSCAPE DETAILS & NOTES
L409	PARK AMENITY DETAILS

NOTE: THE SCALE OF THESE PLANS MAY
HAVE CHANGED DUE TO REPRODUCTION.

PREPARED FOR

MATTAMY HOMES

1900 SUMMIT TOWER BLVD., SUITE 500

ORLANDO, FL 32810

PHONE (407) 599-2228

CONTACT: KEITH TRACE P.E.

PARCEL ID. NUMBER:

27-22-27-0000-00-068

27-22-27-0000-00-069

34-22-27-0000-00-003

JANUARY 22, 2015
REVISED MAY 7, 2015



DONALD W. McINTOSH ASSOCIATES, INC.
ENGINEERS PLANNERS SURVEYORS
2200 PARK AVENUE NORTH, WINTER PARK, FLORIDA 32789 (407) 644-4068

OWNER/ DEVELOPER

MATTAMY HOMES
KEITH TRACE P.E.
1900 SUMMIT TOWER BLVD., SUITE 500
ORLANDO, FL 32810
PH. (407) 599-2228
FAX. (321) 444-6565

ENGINEERING/ SURVEY

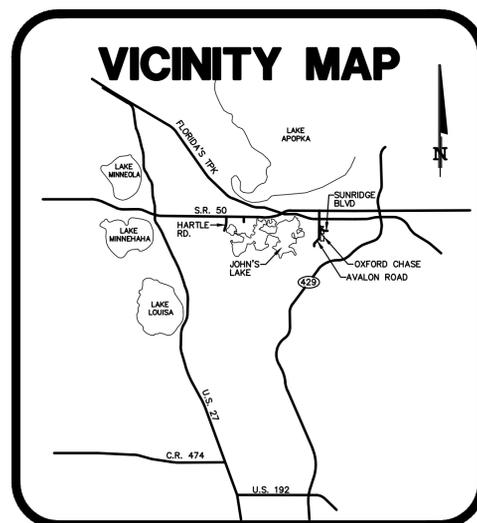
DONALD W. McINTOSH ASSOCIATES, INC.
JOHN T. TOWNSEND, P.E.
2200 PARK AVE. NORTH
WINTER PARK, FLORIDA 32789
PH. (407) 644-4068
FAX. (407) 644-8318

ENVIRONMENTAL

BREEDLOVE, DENNIS & ASSOCIATES, INC.
330 W. CANTON AVENUE
WINTER PARK, FL 32789
PH. (407) 677-1882
FAX. (407) 657-7008

GEOTECHNICAL

UNIVERSAL ENGINEERING SCIENCES, INC.
3532 MAGGIE BOULEVARD
ORLANDO, FL 32811
PH. (407) 423-0504
FAX. (407) 423-3106



OXFORD CHASE PRELIMINARY PLAT - 13019 - 1/22/15, REVISED 5/7/15

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SITE DATA

- Project Area Calculations:
 Gross Area = 67.37 acres
 Area Below Normal High Water Line = 24.47 acres
 Preserved Wetland Area = 2.18 acres
 Gross Developable Area = 40.72 acres
 Road Right-of-Way = 6.63 acres
 Stormwater Area = 5.12 acres

- Project Density Calculations:
 Total Single Family Units = 103
 70' Units = 63 (61%)
 65' Units = 40 (39%)

Residential Density = 2.53 du/ac
 Minimum Living Area = 1,400 sq.ft.
 Maximum Building Height = 40 feet / 2-stories
 Minimum Lot Width at Building Setback = 65 feet
 Minimum Lot Width at Lake Edge = 80 feet
 Maximum Impervious Area = 65%

- Support Services:
 Potable Water - City of Winter Garden
 Reclaimed Water - City of Winter Garden
 Sanitary Sewer - City of Winter Garden
 Stormwater Management - Homeowners' Association (Stormwater management facilities shall meet the criteria of the St. Johns River Water Management District and the City of Winter Garden)
- Schools - Orange County Public Schools (CEA 06-11-13)
 Traffic - See traffic impact analysis by others

- Future Land Use and Zoning:
 Existing Future Land Use - Suburban Residential (up to 4 du/ac)
 Existing Zoning - Planned Unit Development (PUD)
 Requested Uses - Single Family Detached Housing

5. Building Setbacks:

Front Yard	65'/70' X 120' Lots 25 feet to front load garage 20 feet to main house façade 15 feet to front porch 15 feet to side load garage
Rear Yard	20 feet to nearest structure wall 5 feet to pool enclosure
Side Yard	5 feet
Corner Side Yard	20 feet
PD Boundary	25 feet to nearest structure wall 15 feet to pool enclosure
Karst Feature	100 feet

6. Open Space Calculations:

Gross Developable Area (GDA)	40.72 ac.
Required WSA Open Space	10.18 ac.
Required Wekiva Study Area (WSA) Open Space = 25% of GDA (25% X 40.72 ac. = 10.18 ac.)	
Open Space/PUD Buffers	2.25 ac.
Wetland Buffers	0.54 ac.
Pervious Park Area	1.77 ac.*
Stormwater Areas/Passive Rec.	4.15 ac.**
Preserved Wetland Area	2.18 ac.
Landscape/Wall Tracts	0.08 ac.
Total WSA Open Space	10.97 ac.

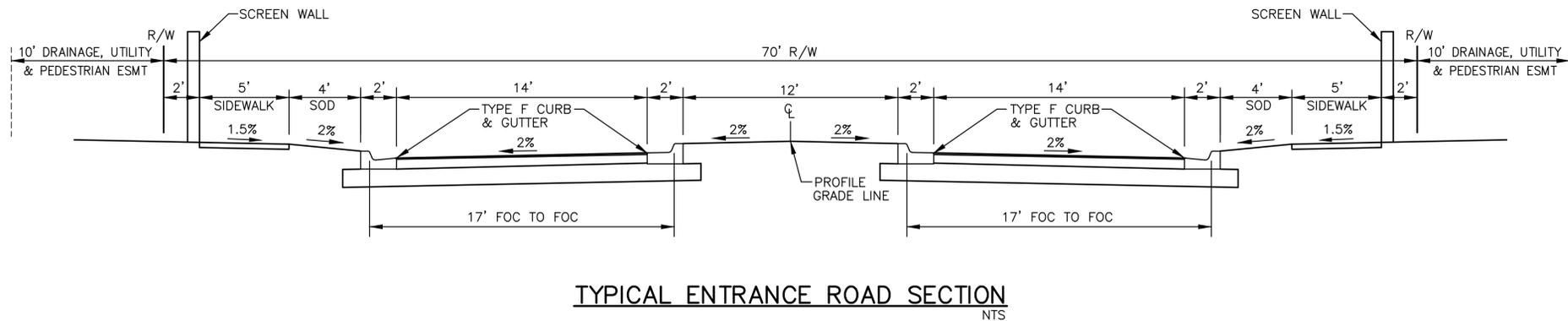
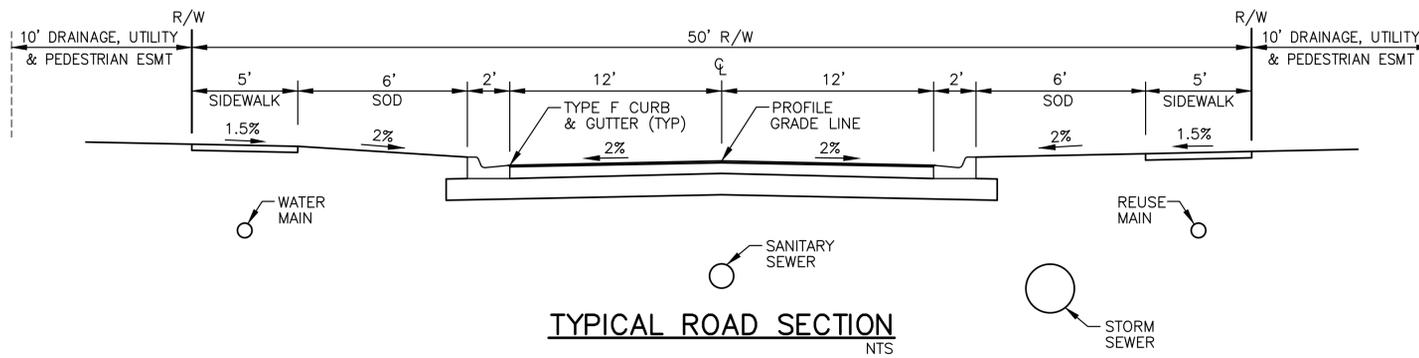
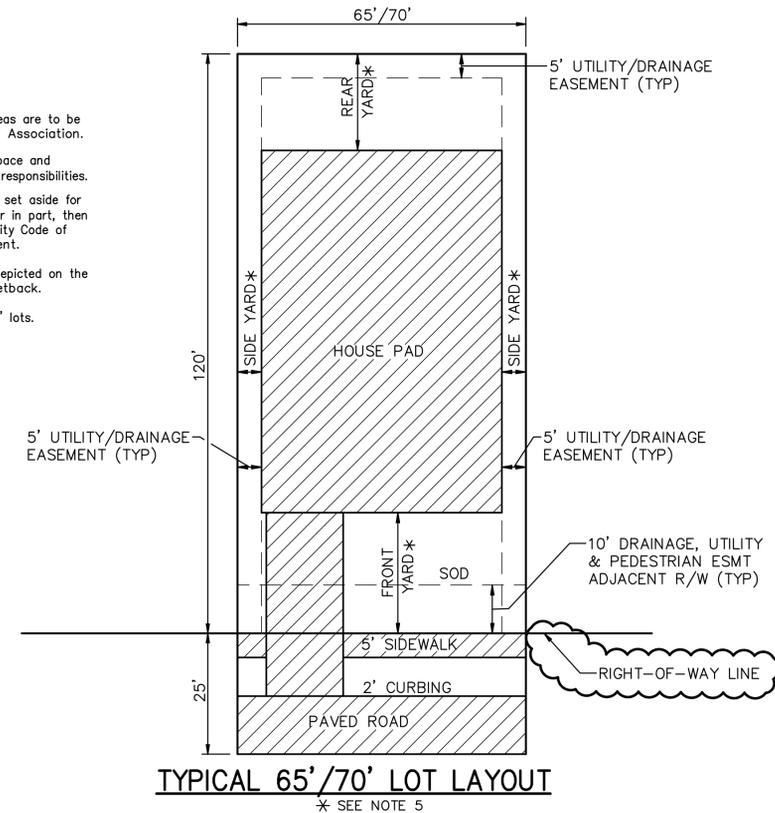
* 80% of park area
 ** Up to 50% of required WSA Open Space

7. Recreation Area Calculations: See sheet 10A.

8. Notes:

- Private Roads, Recreation Areas, Open Space tracts, PUD buffers and Stormwater Areas are to be platted as separate tracts to be owned and maintained by the Homeowners' Association.
- The Joint City/HOA Retention Area may be used to meet the minimum WSA Open Space and Recreation Area requirements for the PUD regardless of ownership and maintenance responsibilities.
- To the greatest extent possible, 5% of the developable area of the Property shall be set aside for dry-land recreational use. In the event that this requirement cannot be met wholly or in part, then a financial contribution in accordance with Chapter 110, Article V, Division 2 of the City Code of Ordinances shall be made to the City Recreation Fund to fulfill the requirement.
- Based on a determination by Universal Engineering Sciences, Inc., the karst feature depicted on the plan has a confining layer and is therefore subject to a 100 foot building setback.
- A waiver was granted to Section 118-924(c)(1) to allow 5' side yard setbacks on 70' lots.

9. The project will be constructed in one phase.



NOT FOR CONSTRUCTION

DONALD W. MCINTOSH ASSOCIATES, INC. CERTIFICATE OF AUTHORIZATION NO. 68

JOHN T. TOWNSEND FLORIDA P.E. NO. 52127

DONALD W. MCINTOSH ASSOCIATES, INC. ENGINEERS PLANNERS SURVEYORS 2200 PARK AVENUE NORTH, WINTER PARK, FLORIDA 32789 (407) 644-4068



OXFORD CHASE PRELIMINARY PLAT CITY OF WINTER GARDEN, FLORIDA NOTES & TYPICAL SECTIONS

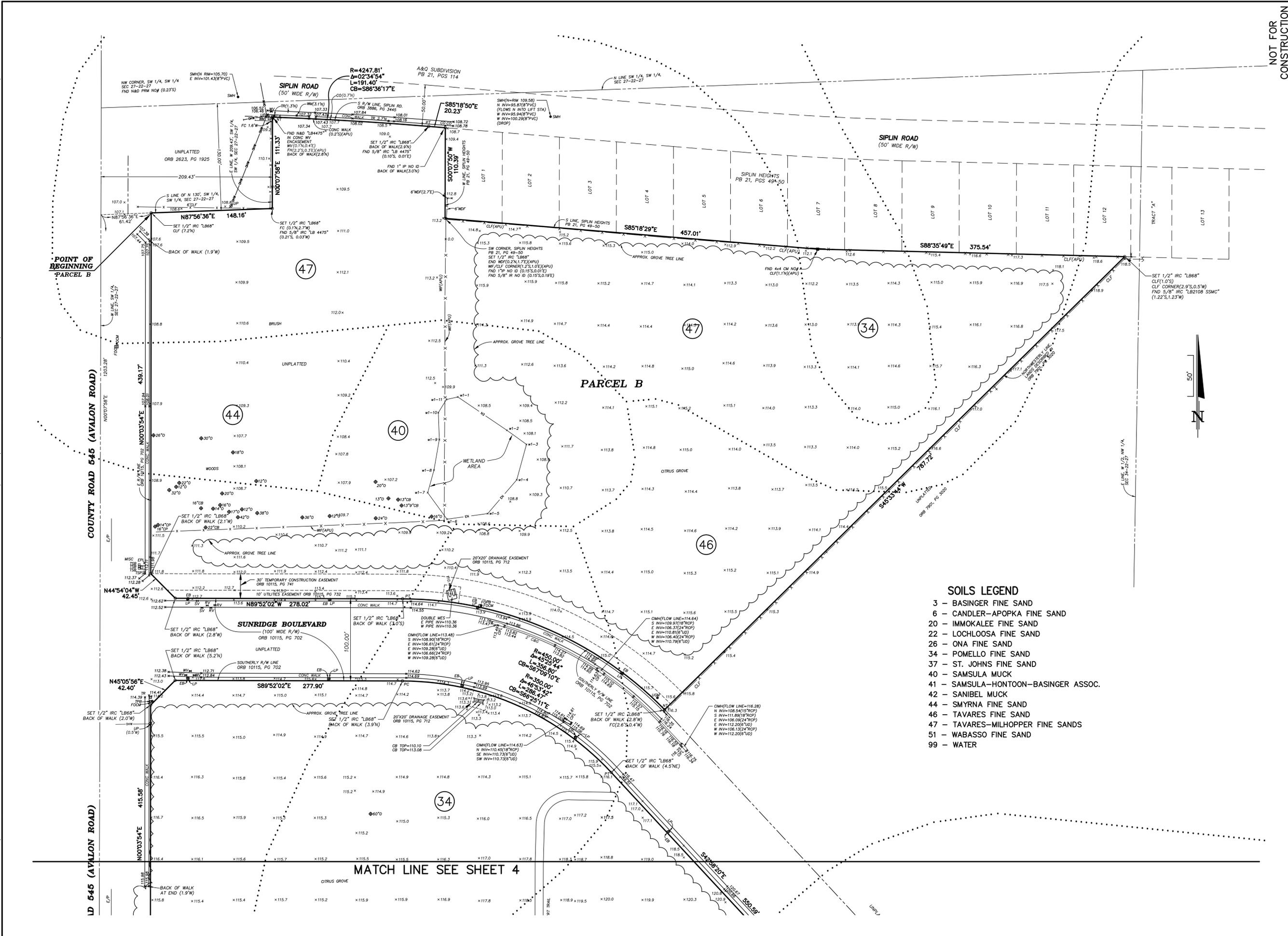
DRAWING 13019-Notes.dwg SHEET 2 OF 10

NO.	DATE	DESCRIPTION	CHK.
1	3/31/15	PER CITY COMMENTS OF 2/26/15	JTT
2	5/7/15	PER CITY COMMENTS OF 4/27/15	JTT

CHECKED BY	JTT	SCALE	N/A
DESIGNED BY	DWMA	DATE	1/22/15
DRAWN BY	CWS/EJT	JOB NUMBER	13019

PROJECT: OXFORD CHASE PRELIM. PLAT
 SHEET TITLE: BOUNDARY & EXIST. COND.
 DWG. FILE NAME: F:\Proj\2013\13019\EDWG\NAVD088\13019-Boundary.dwg
 XREF FILE NAME: 101A_SESSIONS_B&I.DWG

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- SOILS LEGEND**
- 3 - BASINGER FINE SAND
 - 6 - CANDLER-APOPKA FINE SAND
 - 20 - IMMOKALEE FINE SAND
 - 22 - LOCHLOOSA FINE SAND
 - 26 - ONA FINE SAND
 - 34 - POMELLO FINE SAND
 - 37 - ST. JOHNS FINE SAND
 - 40 - SAMSULA MUCK
 - 41 - SAMSULA-HONTON-BASINGER ASSOC.
 - 42 - SANIBEL MUCK
 - 44 - SMYRNA FINE SAND
 - 46 - TAVARES FINE SAND
 - 47 - TAVARES-MILHOPPER FINE SANDS
 - 51 - WABASSO FINE SAND
 - 99 - WATER

NOT FOR CONSTRUCTION

DONALD W. MCINTOSH ASSOCIATES, INC.
 CERTIFICATE OF AUTHORIZATION NO. 68
 JOHN T. TOWNSEND
 FLORIDA P.E. NO. 59227
 DATE:

NO.	DATE	DESCRIPTION	CHK.

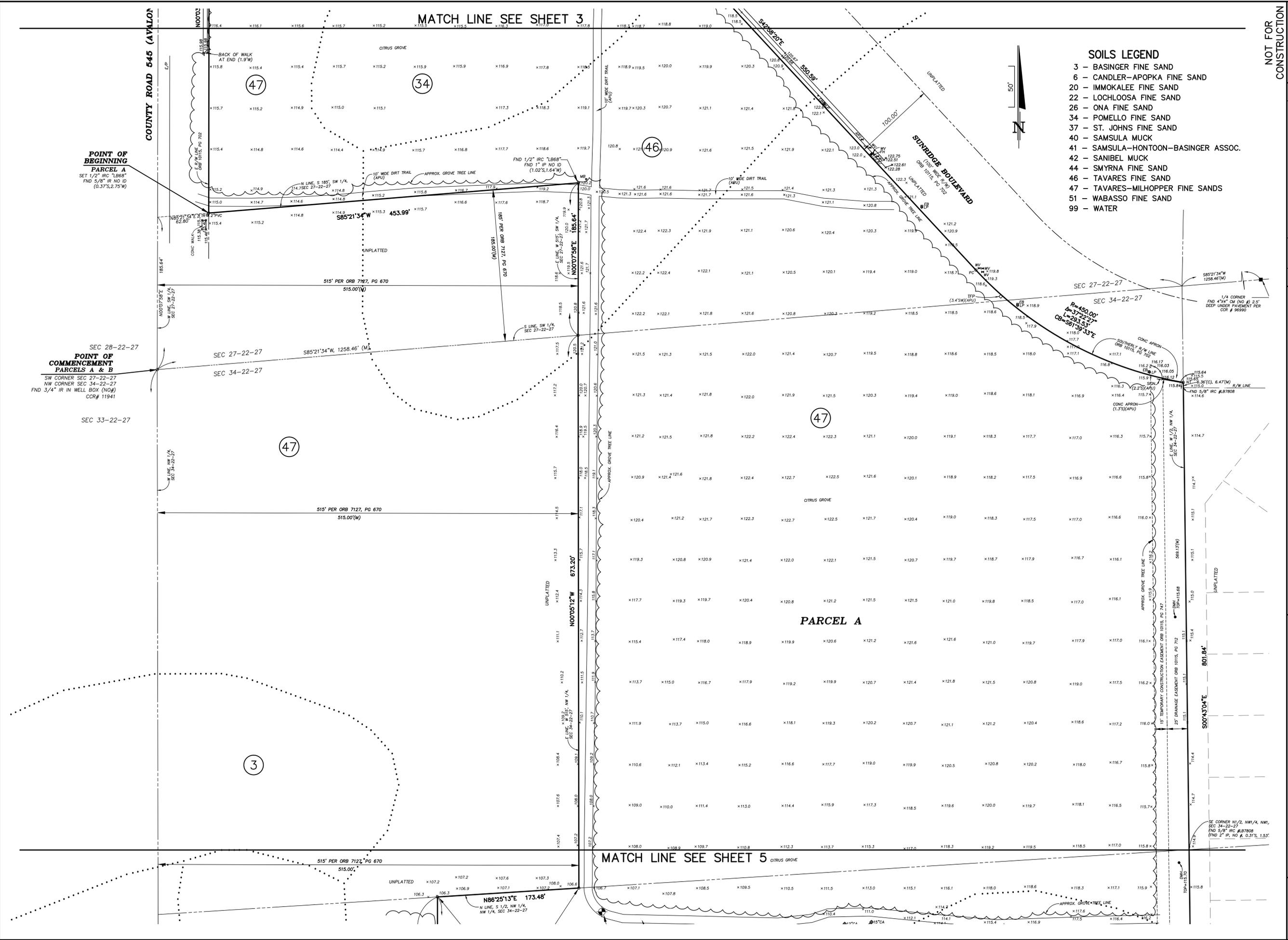
DONALD W. MCINTOSH ASSOCIATES, INC.
 ENGINEERS PLANNERS SURVEYORS
 2200 PARK AVENUE NORTH, WINTER PARK, FLORIDA 32789 (407) 644-4068

DRAWN BY: CWG
 DESIGNED BY: DWMA
 CHECKED BY: DWMA
 DATE: 1/22/15
 SCALE: 1"=50'
 JOB NUMBER: 13019

OXFORD CHASE
PRELIMINARY PLAT
 CITY OF WINTER GARDEN, FLORIDA
 BOUNDARY & EXISTING CONDITIONS

DRAWING: 13019-Boundary.dwg
 SHEET: 3 OF 10

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NOT FOR CONSTRUCTION

DONALD W. MCINTOSH ASSOCIATES, INC.
 CERTIFICATE OF AUTHORIZATION NO. 68
 JOHN T. TOWNSEND
 FLORIDA P.E. NO. 59227
 DATE:

NO.	DATE	DESCRIPTION	CHK.

DONALD W. MCINTOSH ASSOCIATES, INC.
 ENGINEERS PLANNERS SURVEYORS
 2200 PARK AVENUE NORTH, WINTER PARK, FLORIDA 32789 (407) 644-4068

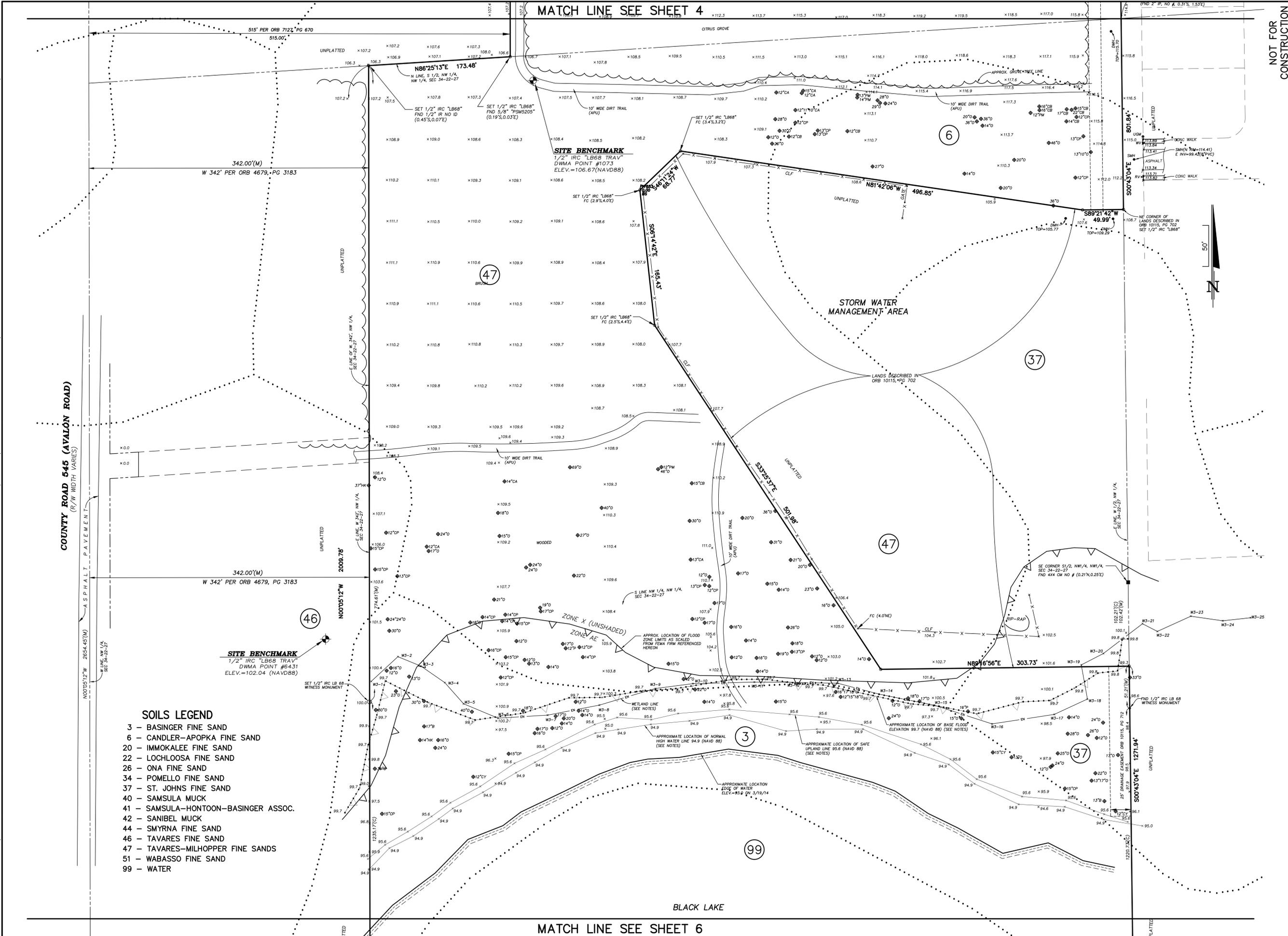
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 DESIGNED BY: DWMA
 CHECKED BY: DWMA
 DATE: 1/22/15
 SCALE: 1"=50'
 JOB NUMBER: 13019

OXFORD CHASE PRELIMINARY PLAT
 CITY OF WINTER GARDEN, FLORIDA
 BOUNDARY & EXISTING CONDITIONS

DRAWING: 13019-Boundary.dwg
 SHEET: 4 OF 10

PROJECT: OXFORD CHASE PRELIM. PLAT
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 DWG. FILE NAME: F:\Proj\2013\13019\EDWG\NAVD88\13019-Boundary.dwg
 XREF FILE NAME: 101A_SESSIONS_B&I.DWG

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DRAWING
13019-Boundary.dwg

SHEET
5 of 10

OXFORD CHASE PRELIMINARY PLAT
CITY OF WINTER GARDEN, FLORIDA
BOUNDARY & EXISTING CONDITIONS

DONALD W. MCINTOSH ASSOCIATES, INC.
ENGINEERS
2200 PARK AVENUE NORTH, WINTER PARK, FLORIDA 32789 (407) 644-4068

PLANNERS SURVEYORS

DRAWN BY: CWG
DESIGNED BY: DWMA
CHECKED BY: DWMA
DATE: 1/22/15
SCALE: 1"=50'
JOB NUMBER: 13019
NO.:
DATE:
DESCRIPTION:
REVISIONS:

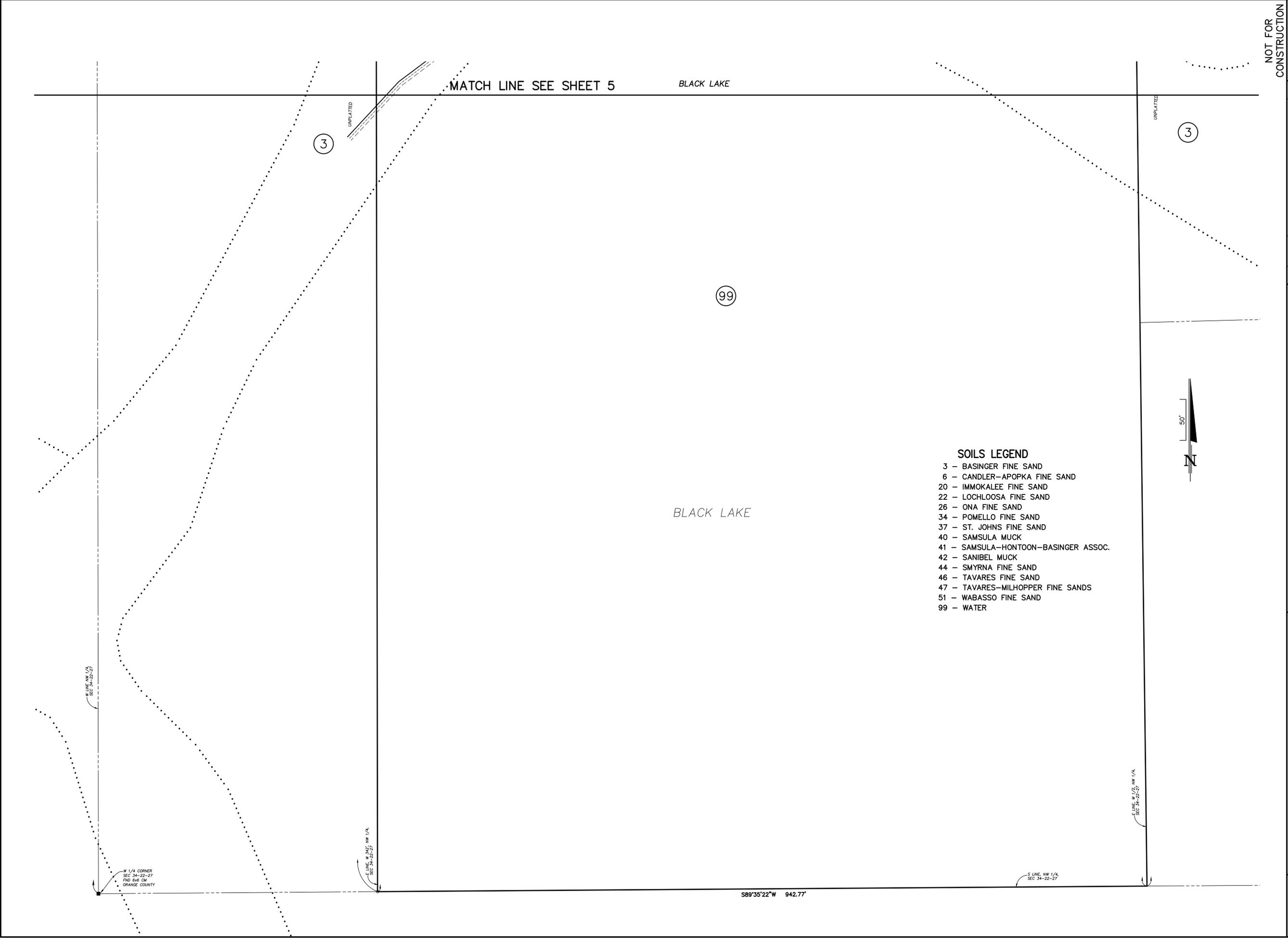
NOT FOR CONSTRUCTION

DONALD W. MCINTOSH ASSOCIATES, INC.
CERTIFICATE OF AUTHORIZATION NO. 68

JOHN T. TOWNSEND
FLORIDA P.E. NO. 5927

DATE:

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- 34 - POMELLO FINE SAND
- 37 - ST. JOHNS FINE SAND
- 40 - SAMSULA MUCK
- 41 - SAMSULA-HONTOON-BASINGER ASSOC.
- 42 - SANIBEL MUCK
- 44 - SMYRNA FINE SAND
- 46 - TAVARES FINE SAND
- 47 - TAVARES-MILHOPPER FINE SANDS
- 51 - WABASSO FINE SAND
- 99 - WATER

DRAWING
 13019-Boundary.dwg

SHEET

6 OF 10

OXFORD CHASE
PRELIMINARY PLAT
 CITY OF WINTER GARDEN, FLORIDA
 BOUNDARY & EXISTING CONDITIONS



DONALD W. MCINTOSH ASSOCIATES, INC.
 ENGINEERS
 2200 PARK AVENUE NORTH, WINTER PARK, FLORIDA 32789 (407) 644-4068

PLANNERS
 SURVEYORS
 CERTIFICATE OF AUTHORIZATION NO. 68

DRAWN BY CWG	DESIGNED BY D/WMA	CHECKED BY D/WMA	DATE 1/22/15	SCALE 1"=50'	JOB NUMBER 13019
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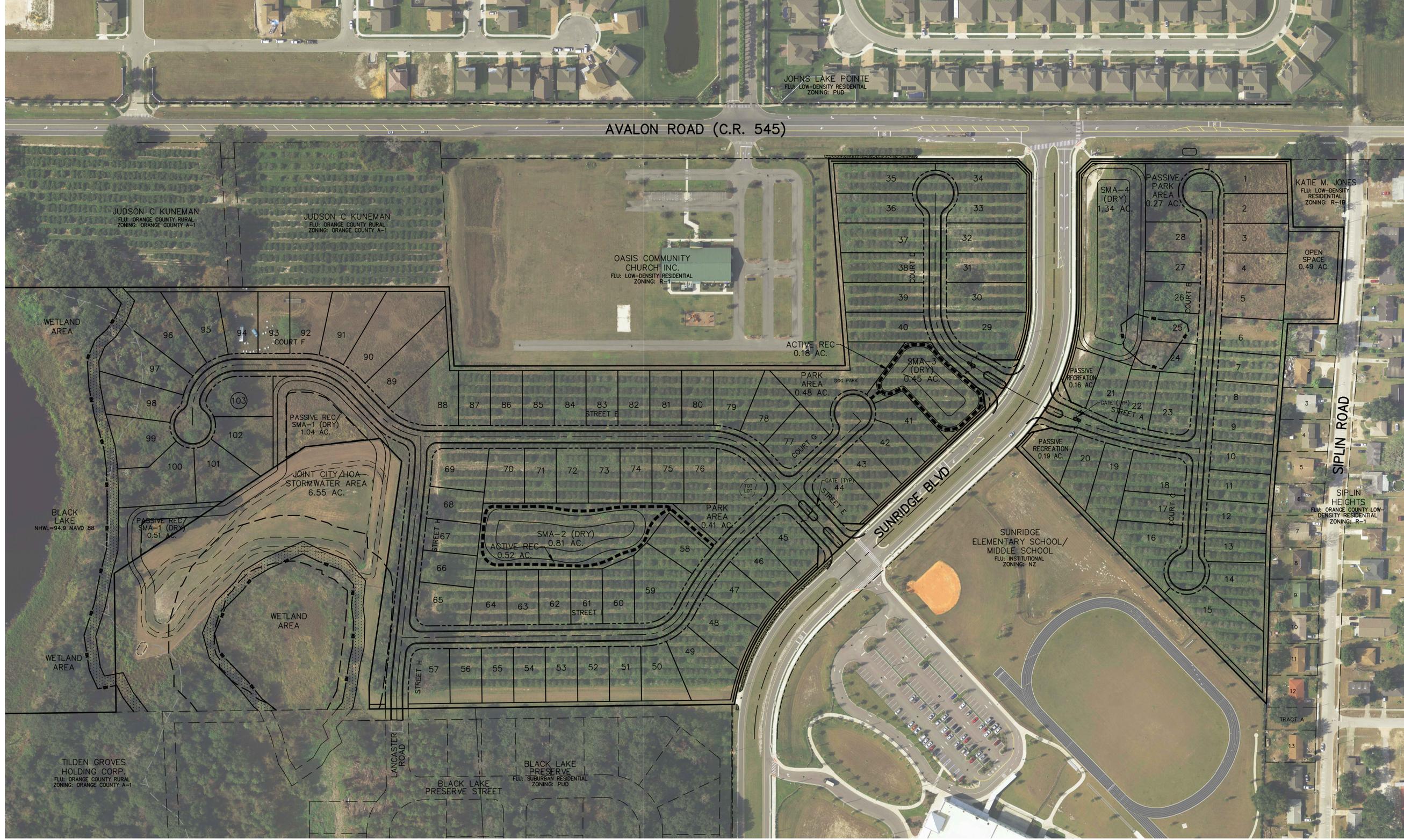
NO.	DATE	DESCRIPTION	CHK.

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DONALD W. MCINTOSH ASSOCIATES, INC.
 CERTIFICATE OF AUTHORIZATION NO. 68

JOHN T. TOWNSEND
 FLORIDA P.E. NO. 52127
 DATE: _____

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 FLORIDA P.E. NO. 52127
 DATE:

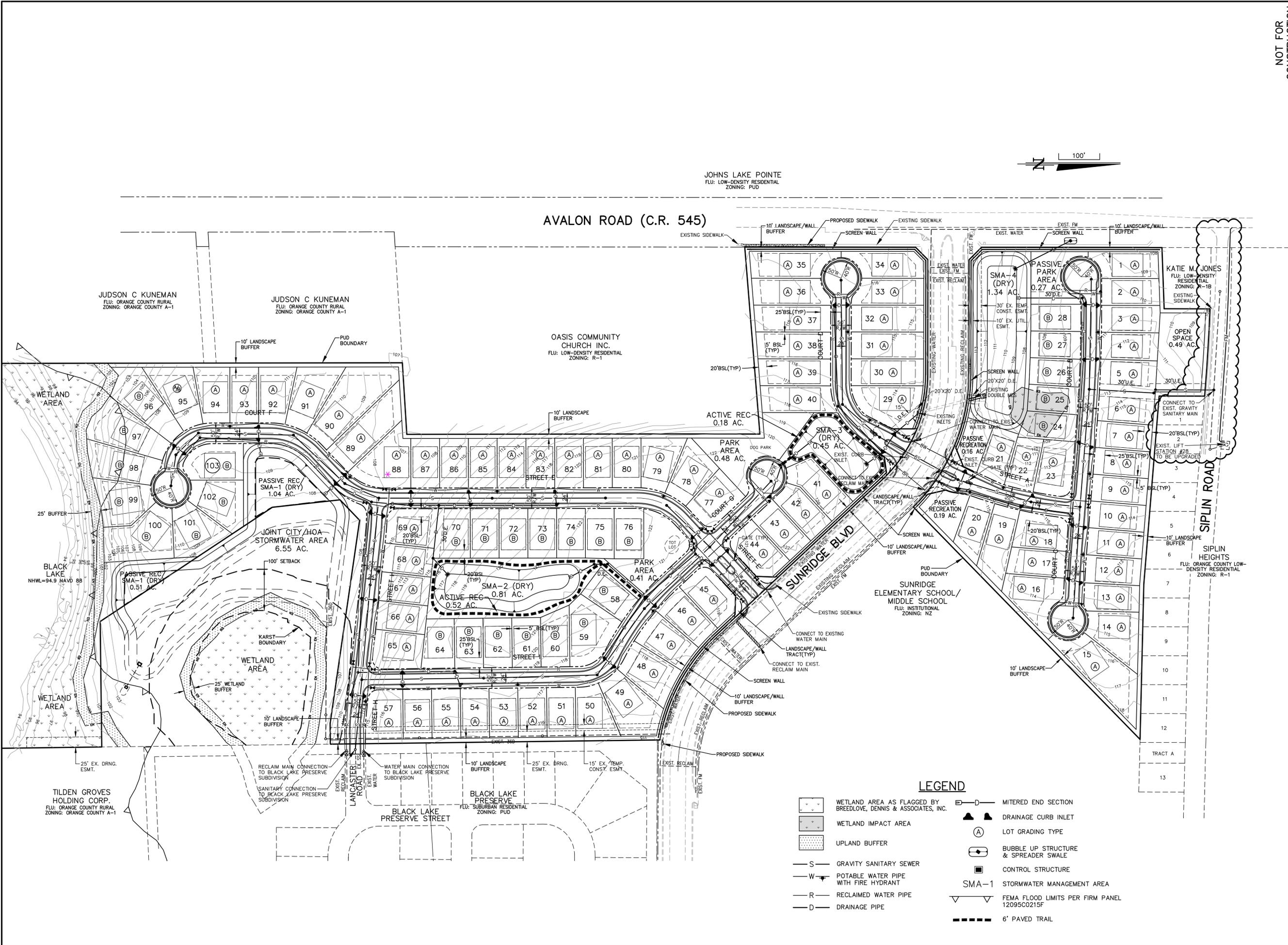
NO.	DATE	PER CITY COMMENTS OF	DESCRIPTION	CHK.
1	3/31/15	2/26/15		JTT

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 DATE: 1/22/15
 SCALE: 1"=100'
 JOB NUMBER: 13019

PROJECT: OXFORD CHASE PREL. PLAT
 SHEET TITLE: OVERALL SITE PLAN
 DWG. FILE NAME: F:\Proj\2013\13019\EDWG\NAV088\Preliminary Plat\13019-0all.dwg
 XREF FILE NAME: preplattbase.dwg

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 FLORIDA P.E. NO. 52127
 DATE:

NO.	DATE	DESCRIPTION	CHK.
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2	5/7/15	PER CITY COMMENTS OF 4/27/15	JTT

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 JOB NUMBER: 13019

OXFORD CHASE
PRELIMINARY PLAT
 CITY OF WINTER GARDEN, FLORIDA
OVERALL SITE PLAN

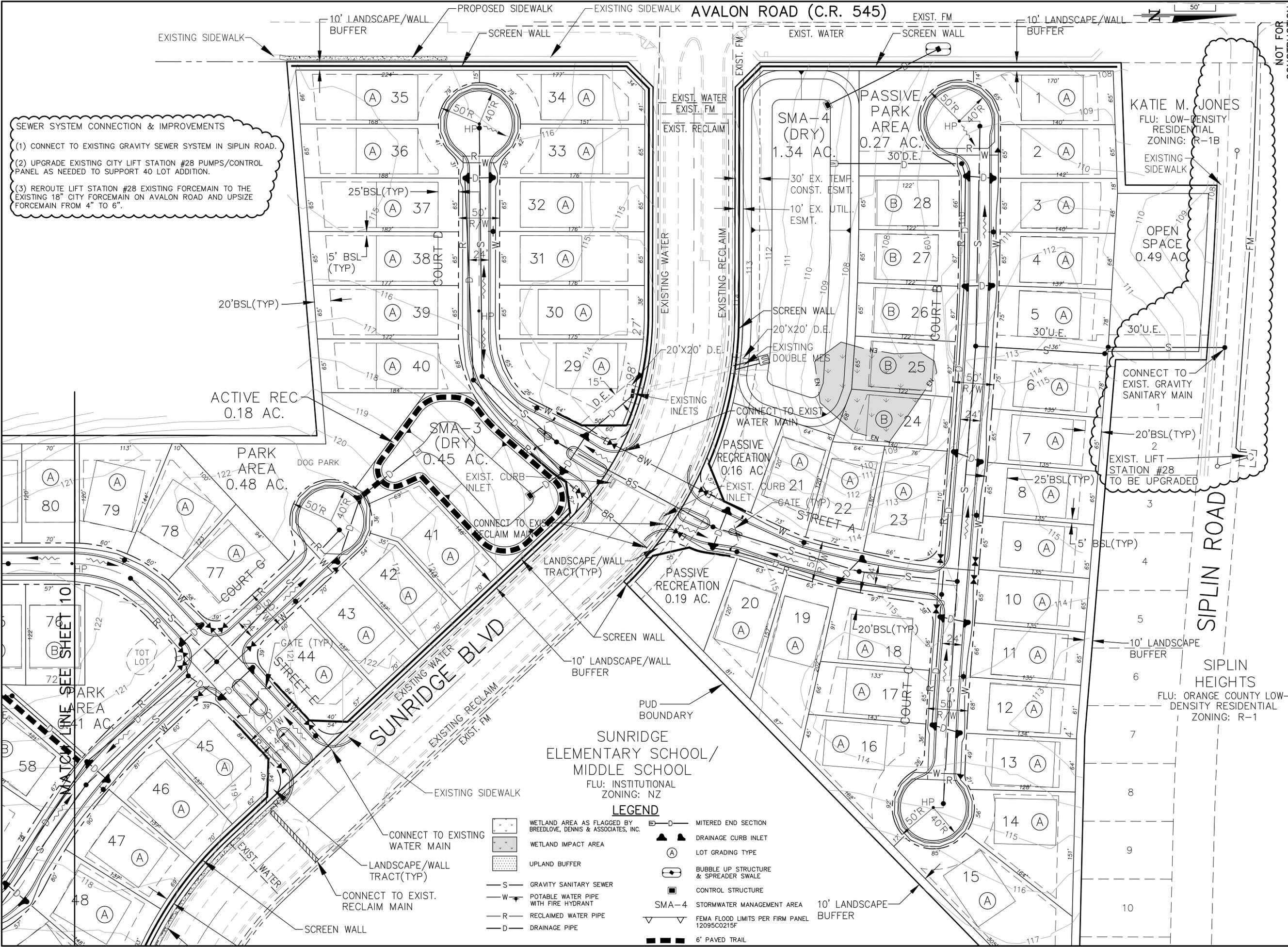
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 SHEET: 8 OF 10

PROJECT: OXFORD CHASE PREL. PLAT
 SHEET TITLE: SITE PLAN (NORTH)
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SEWER SYSTEM CONNECTION & IMPROVEMENTS

- (1) CONNECT TO EXISTING GRAVITY SEWER SYSTEM IN SIPLIN ROAD.
- (2) UPGRADE EXISTING CITY LIFT STATION #28 PUMPS/CONTROL PANEL AS NEEDED TO SUPPORT 40 LOT ADDITION.
- (3) REROUTE LIFT STATION #28 EXISTING FORCEMAIN TO THE EXISTING 18" CITY FORCEMAIN ON AVALON ROAD AND UPSIZE FORCEMAIN FROM 4" TO 6".



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 FLORIDA P.E. NO. 59127
 DATE:

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2	5/7/15	PER CITY COMMENTS OF 4/27/15	JTT

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 DRAWN BY: EJT/CWG
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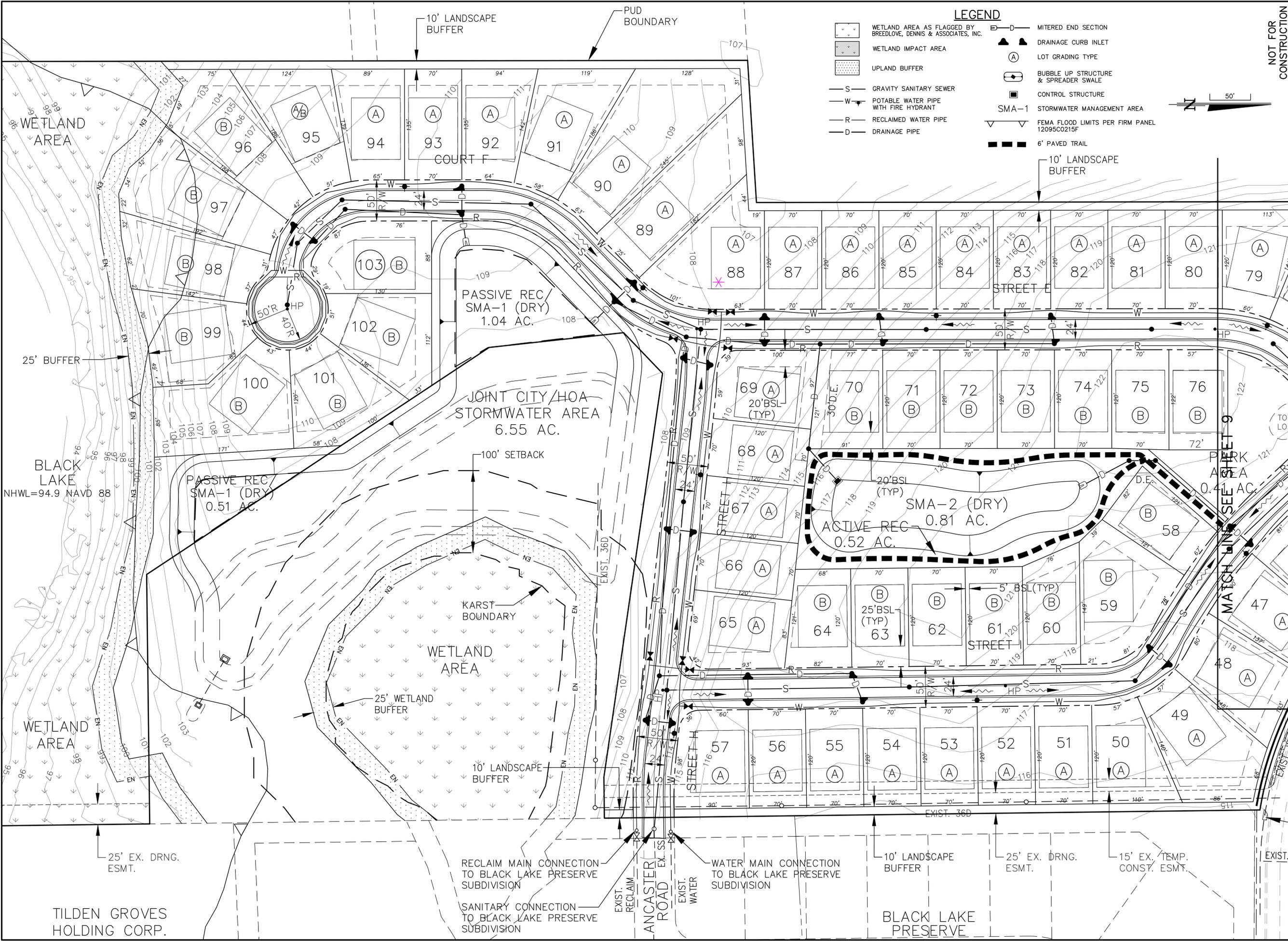
OXFORD CHASE PRELIMINARY PLAT
 CITY OF WINTER GARDEN, FLORIDA
 SITE PLAN (NORTH)

DRAWING: 13019-Siteplan.dwg
 SHEET: 9 OF 10

LEGEND

	WETLAND AREA AS FLAGGED BY BREEDLOVE, DENNIS & ASSOCIATES, INC.		MITERED END SECTION
	WETLAND IMPACT AREA		DRAINAGE CURB INLET
	UPLAND BUFFER		LOT GRADING TYPE
	GRAVITY SANITARY SEWER		BUBBLE UP STRUCTURE & SPREADER SWALE
	POTABLE WATER PIPE WITH FIRE HYDRANT		CONTROL STRUCTURE
	RECLAIMED WATER PIPE		STORMWATER MANAGEMENT AREA
	DRAINAGE PIPE		FEMA FLOOD LIMITS PER FIRM PANEL 12095C0215F
			6' PAVED TRAIL

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OXFORD CHASE PRELIMINARY PLAT SITE PLAN (SOUTH)

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PLANNERS SURVEYORS

CITY OF WINTER GARDEN, FLORIDA

DRAWING 13019-Siteplan.dwg SHEET 10 OF 10

NO.	DATE	DESCRIPTION	CHK.
1	3/31/15	PER CITY COMMENTS OF 2/26/15	JTT

DESIGNED BY: DWMA
 CHECKED BY: JTT
 DATE: 1/22/15
 SCALE: 1"=50'
 JOB NUMBER: 13019

PROJECT: OXFORD CHASE PREL. PLAT
 SHEET TITLE: PASSIVE RECREATION PLAN
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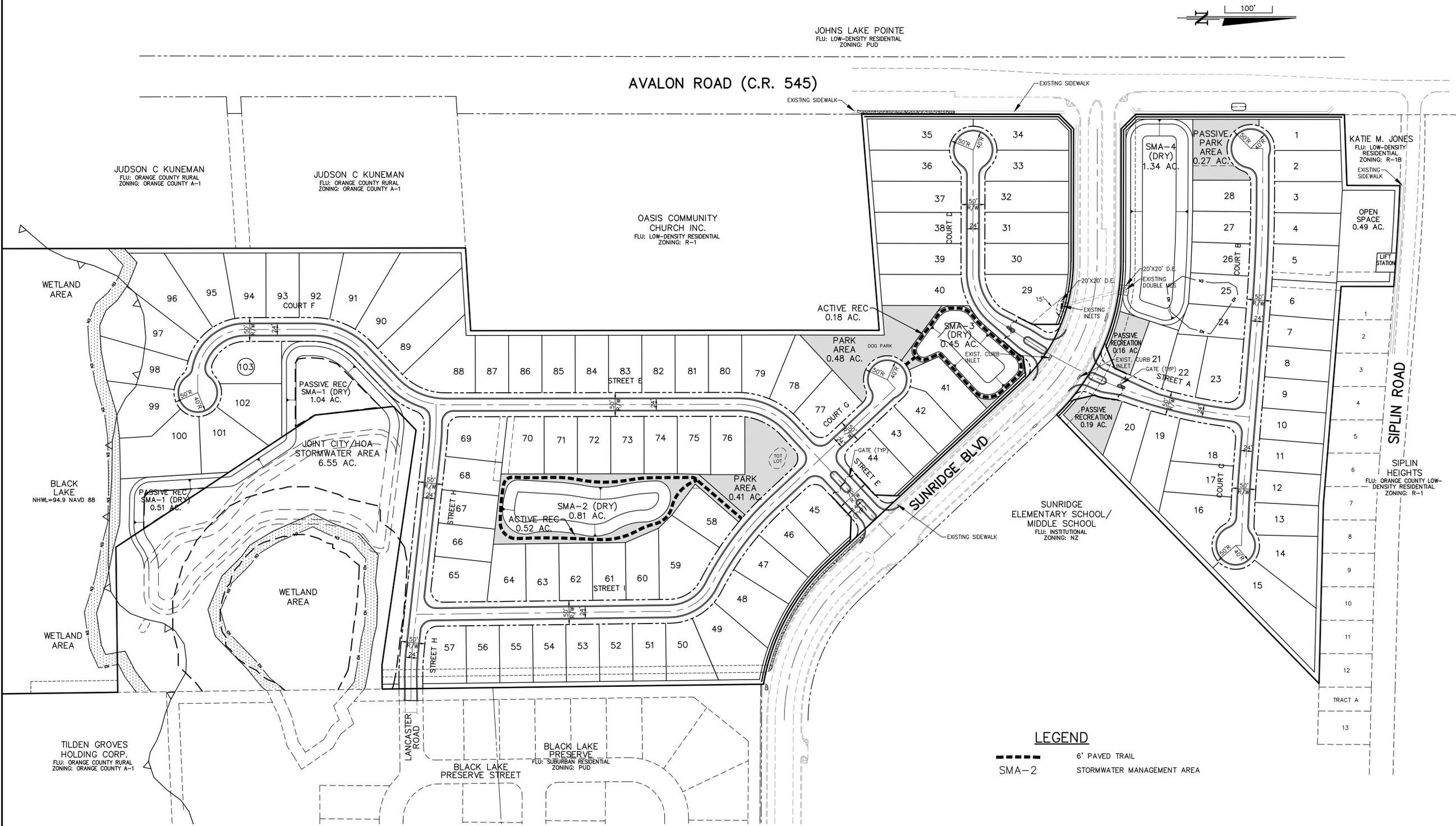
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OPEN SPACE PASSIVE RECREATION
 REQUIRED: 5% OF GROSS DEVELOPABLE AREA
 GROSS DEVELOPABLE AREA = 40.72 AC.
 PASSIVE RECREATION REQUIRED = 0.05 X 40.72 AC. = 2.04 AC.
 PASSIVE REC PROVIDED ABOVE STORMWATER AREAS = 2.21 AC.

TOTAL REC: 0.48 + 0.41 + 0.52 + 0.18 + 0.27 + 0.19 + 0.16 = 2.21 AC.

PARK AREA (DOG WALK): 0.48 AC.
 PARK AREA (TOT LOT): 0.41 AC.
 ACTIVE REC (TRAILS ABOVE STORMWATER AREA): 0.52 AC. + 0.18 AC.
 PASSIVE REC: 0.27 AC. + 0.19 AC. + 0.16 AC.
 (NOTE: SMA-1 AREAS NOT INCLUDED IN PASSIVE REC CALC.)

TOTAL PASSIVE RECREATION PROVIDED (INCLUSIVE OF ACTIVE REC) = 2.21 AC.



LEGEND
 - - - - - SMA-2
 - - - - - 6' PAVED TRAIL
 - - - - - STORMWATER MANAGEMENT AREA



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 JOHN T. TOWNSEND
 FLORIDA P.E. NO. 52127
 DATE:

NO.	DATE	PER CITY COMMENTS, ADDED THIS SHEET	JTT	CHK.
1	3/31/15			

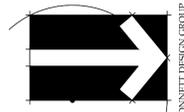
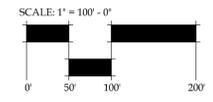
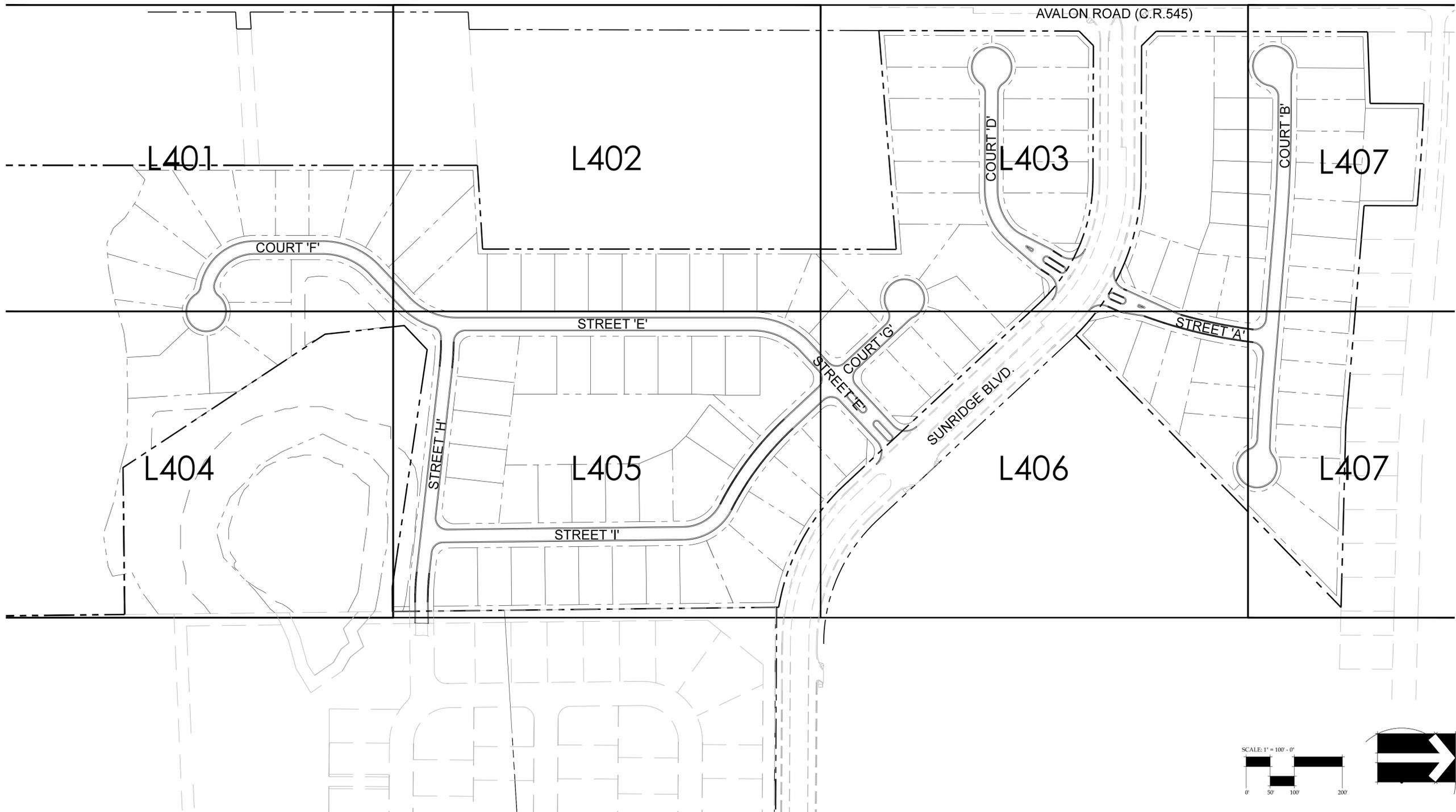
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DESIGNED BY: DWMA
 CHECKED BY: JTT
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 SCALE: 1"=100'
 JOB NUMBER: 13019

OXFORD CHASE PRELIMINARY PLAT
 CITY OF WINTER GARDEN, FLORIDA
 PASSIVE RECREATION PLAN

DRAWING: 13019-Recplan.dwg
 SHEET: 10A OF 10

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Mattamy (Jacksonville) Partnership
WINTER GARDEN, FLORIDA
OVERALL KEY SHEET

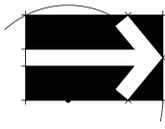
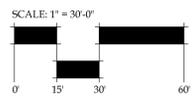
DATE: May 6, 2015
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JOB NUMBER: 2015.115
FILE NAME:
2015.115.MATTAMY OXFORD CHASE LA-BASE

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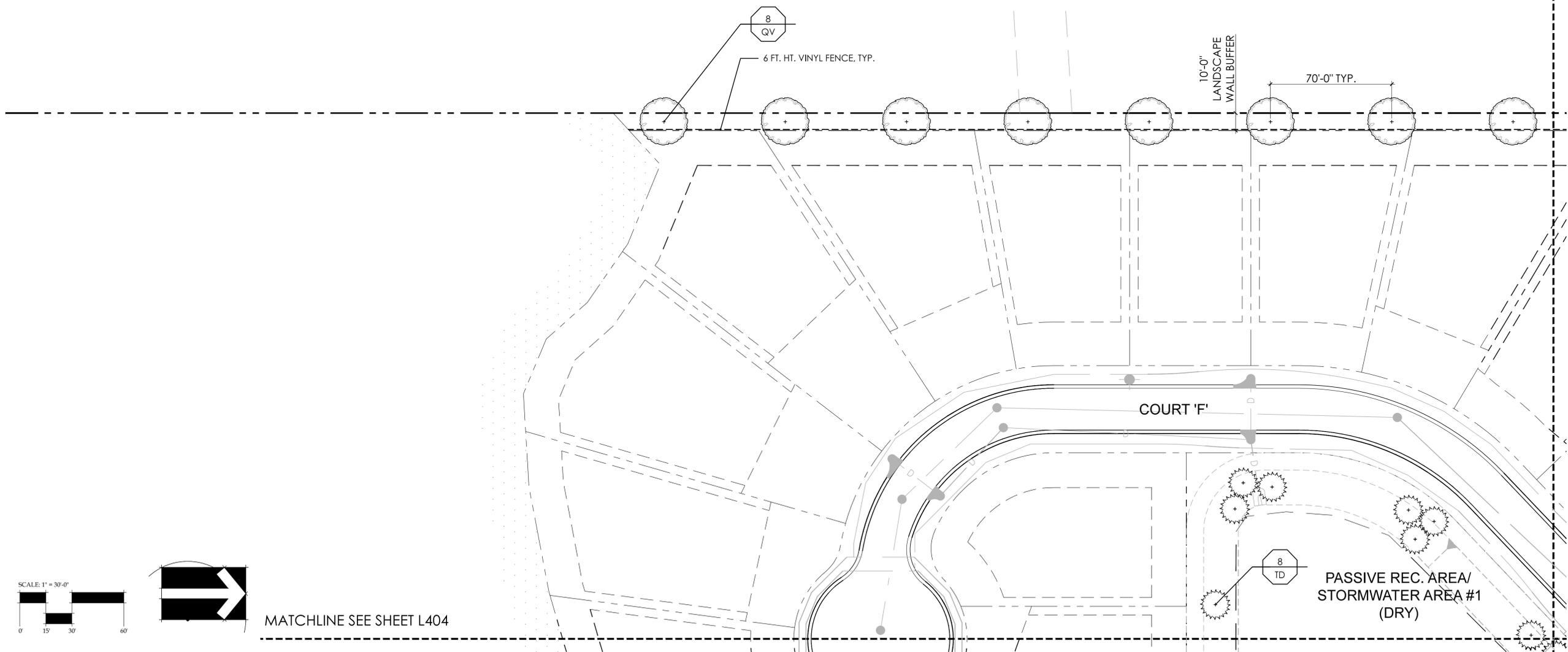
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L100

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MATCHLINE SEE SHEET L404



MATCHLINE SEE SHEET L402

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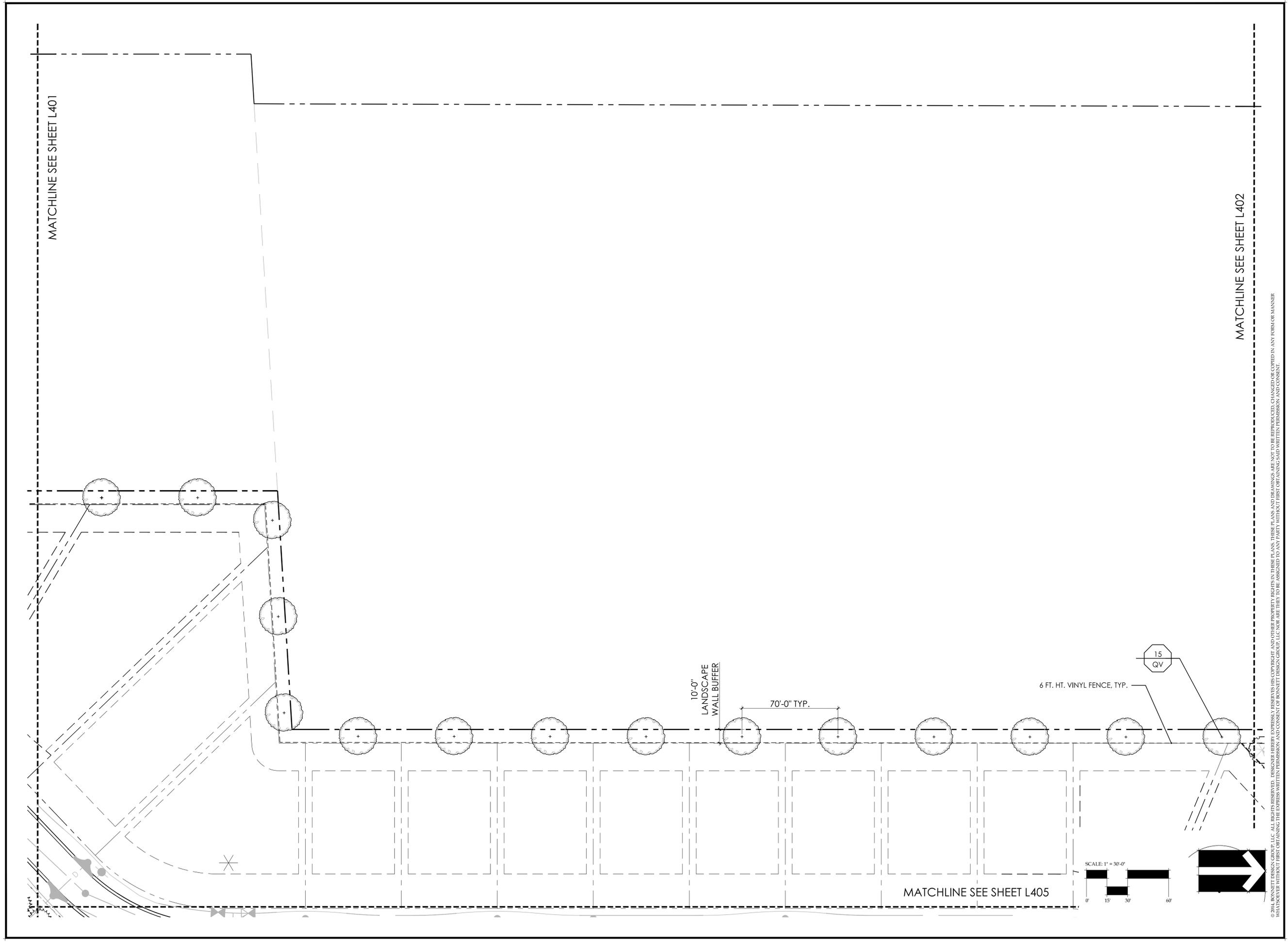
WINTER GARDEN, FLORIDA

LANDSCAPE PLAN

Field W. Bonnett, R.L.A. # FL000728

L401

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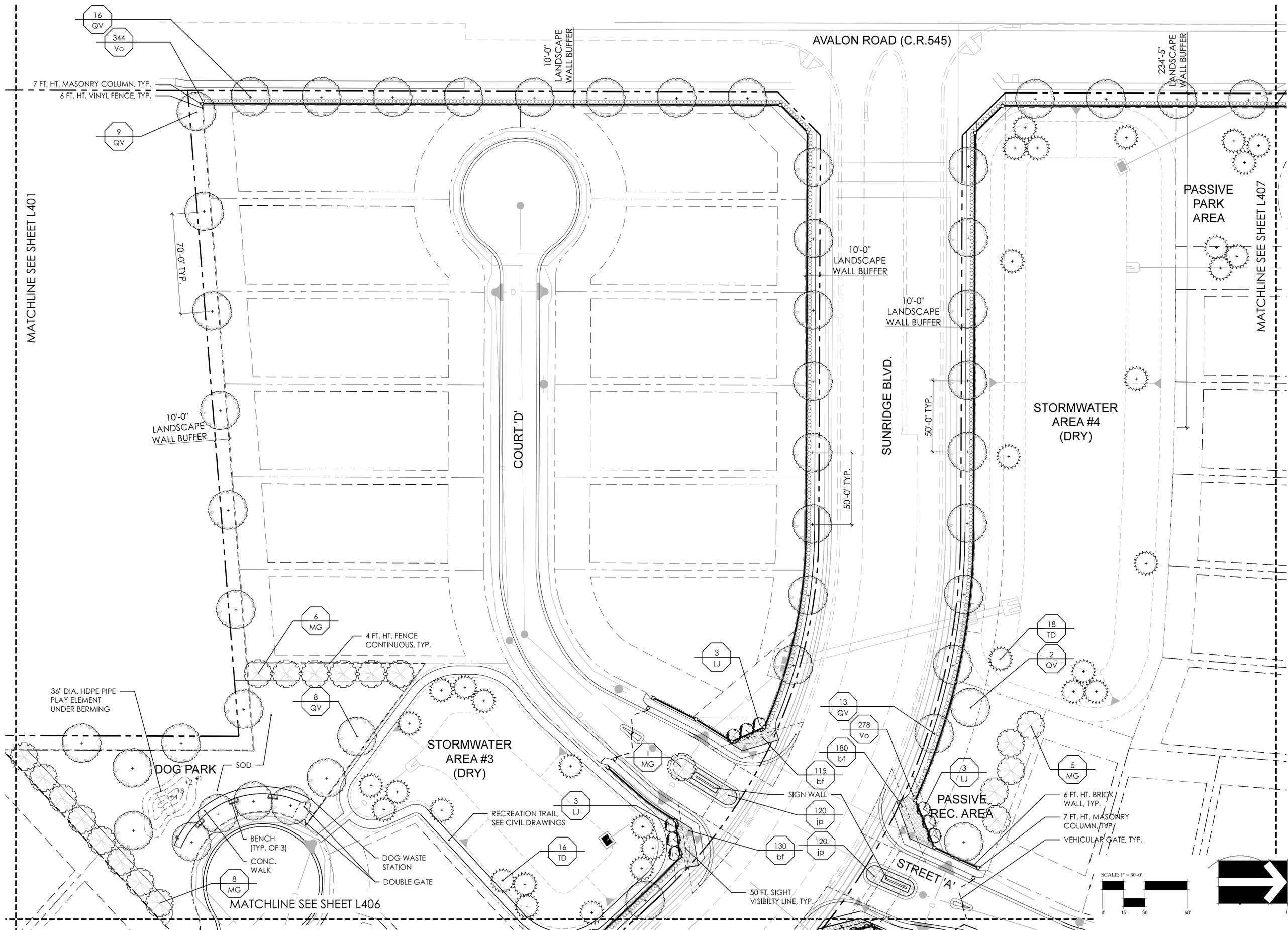
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MATCHLINE SEE SHEET L401

10'-0" LANDSCAPE WALL BUFFER

10'-0" LANDSCAPE WALL BUFFER

AVALON ROAD (C.R.545)

234'-5" LANDSCAPE WALL BUFFER

10'-0" LANDSCAPE WALL BUFFER

10'-0" LANDSCAPE WALL BUFFER

SUNRIDGE BLVD.

50'-0" TYP.

STORMWATER AREA #4 (DRY)

MATCHLINE SEE SHEET L407

PASSIVE PARK AREA

COURT 'D'

4 FT. HT. FENCE CONTINUOUS, TYP.

36" DIA. HDPE PIPE PLAY ELEMENT UNDER BERMING

DOG PARK

STORMWATER AREA #3 (DRY)

RECREATION TRAIL, SEE CIVIL DRAWINGS

BENCH (TYP. OF 3)

CONC. WALK

DOG WASTE STATION

DOUBLE GATE

MATCHLINE SEE SHEET L406

50 FT. SIGHT VISIBILITY LINE, TYP.

STREET 'A'

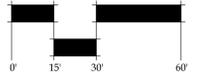
PASSIVE REC. AREA

6 FT. HT. BRICK WALL, TYP.

7 FT. HT. MASONRY COLUMN, TYP.

VEHICULAR GATE, TYP.

SCALE: 1" = 30'-0"



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 LANDSCAPE PLAN

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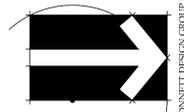
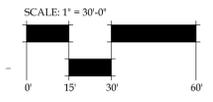
PASSIVE REC. AREA/
STORMWATER AREA #1
(DRY)

PASSIVE REC. AREA/
STORMWATER AREA #1
(DRY)

9
TD

WETLAND

MATCHLINE SEE SHEET L405



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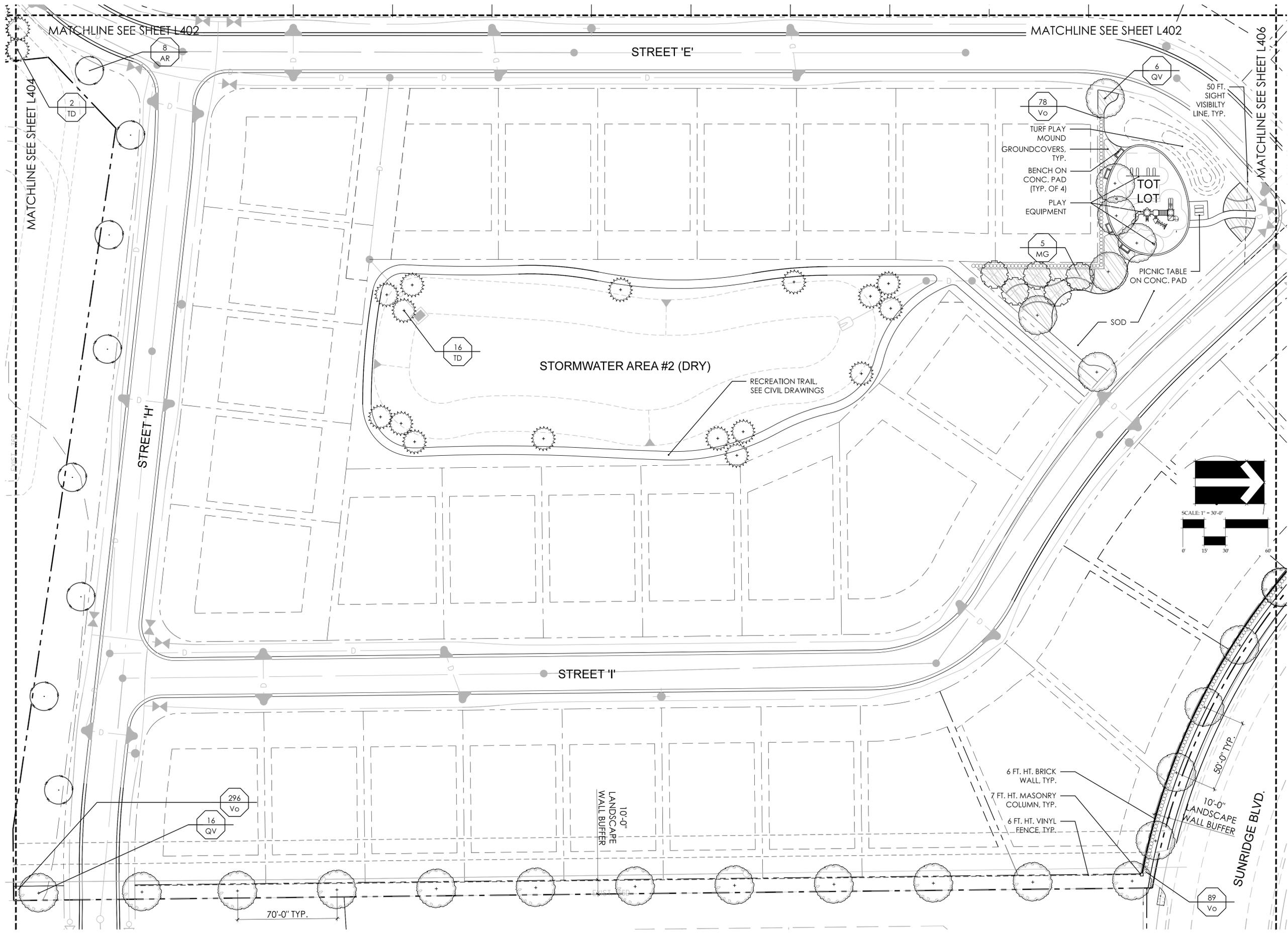
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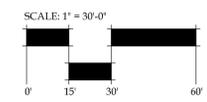
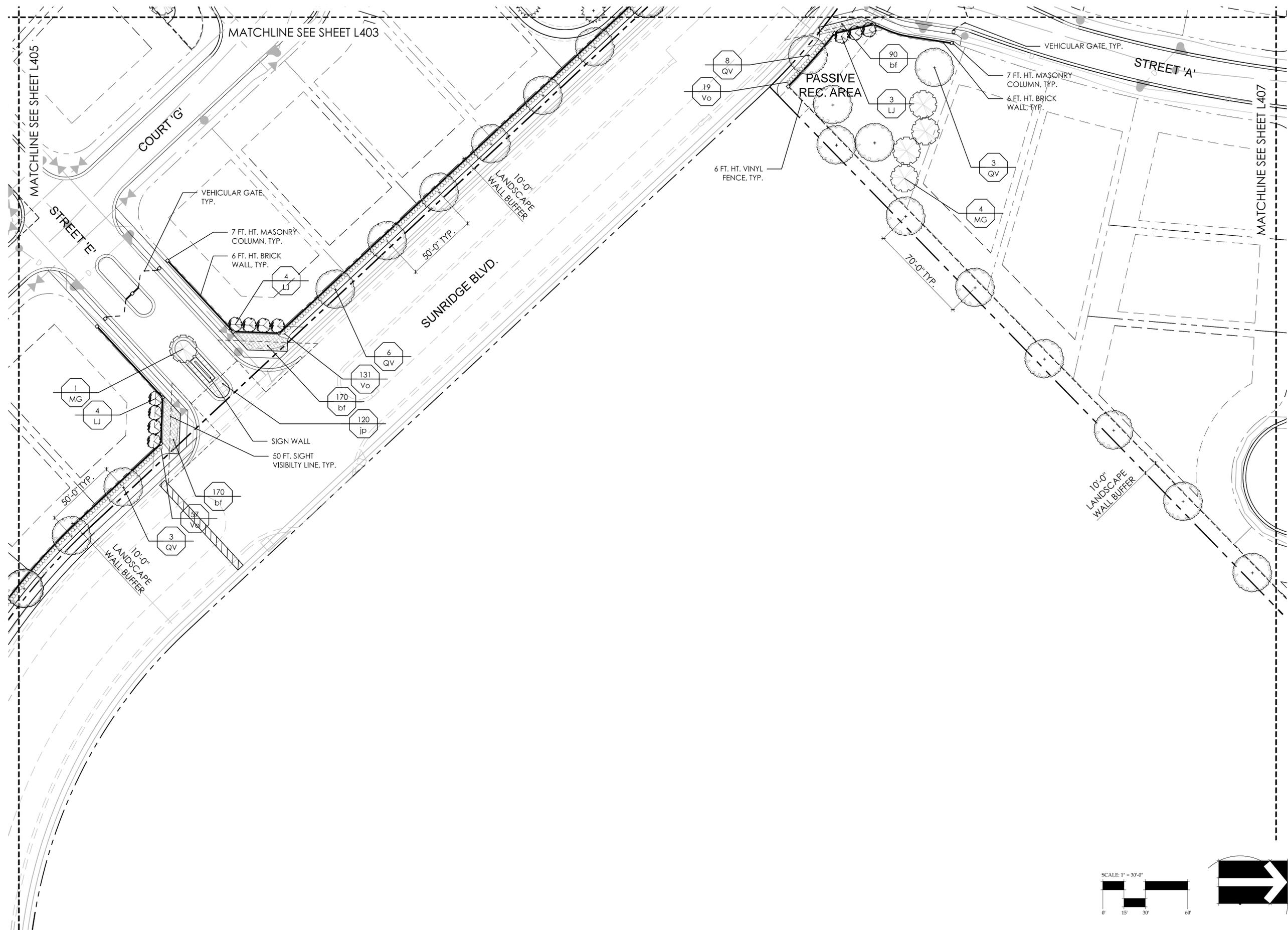
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Plot: W. Bonnett, RLA # FL000724

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WINTER GARDEN, FLORIDA

LANDSCAPE PLAN

DATE: May 6, 2015
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FILE NAME: 2015.115_MATTAMY OXFORD CHASE LA-BASE

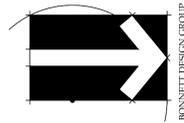
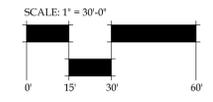
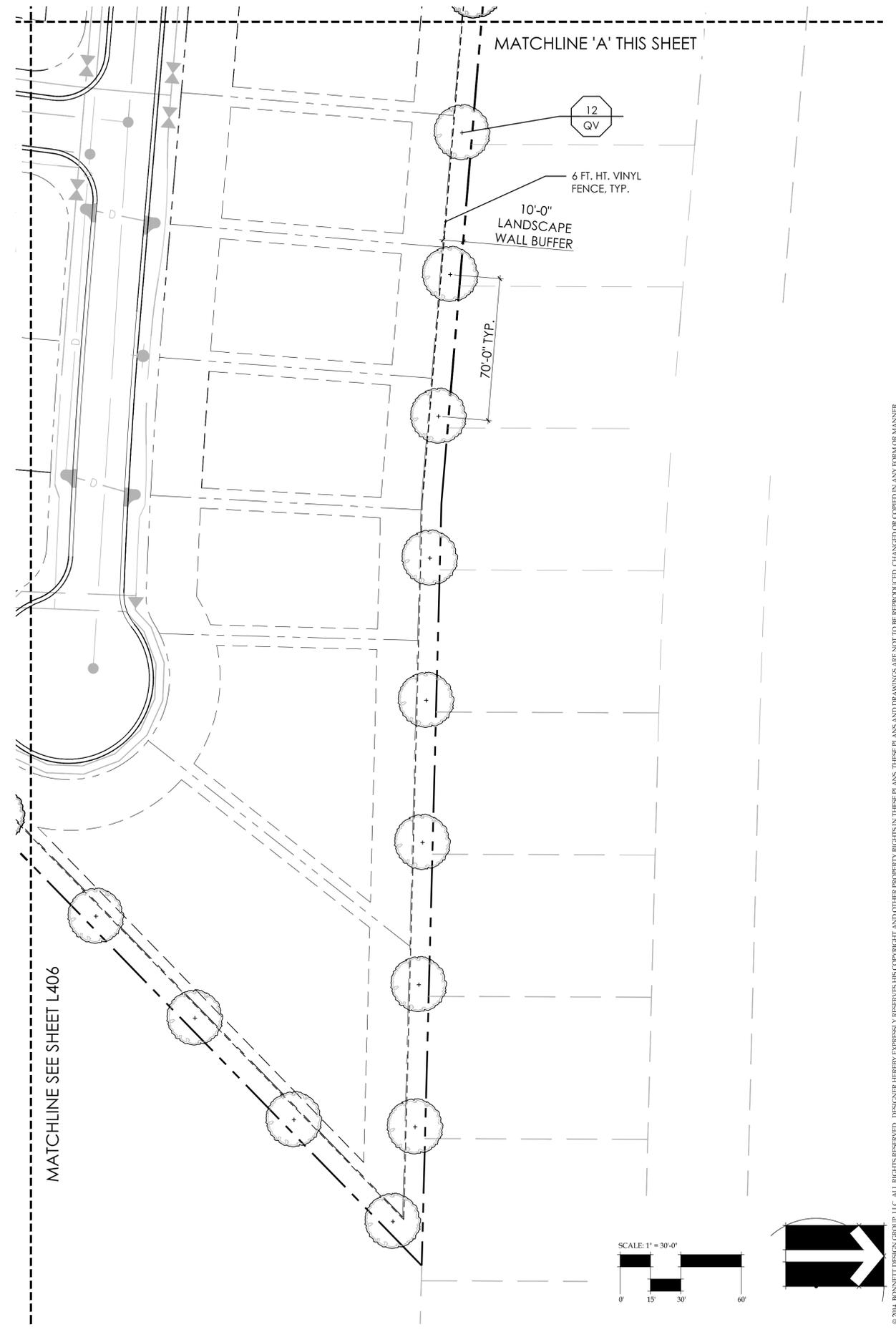
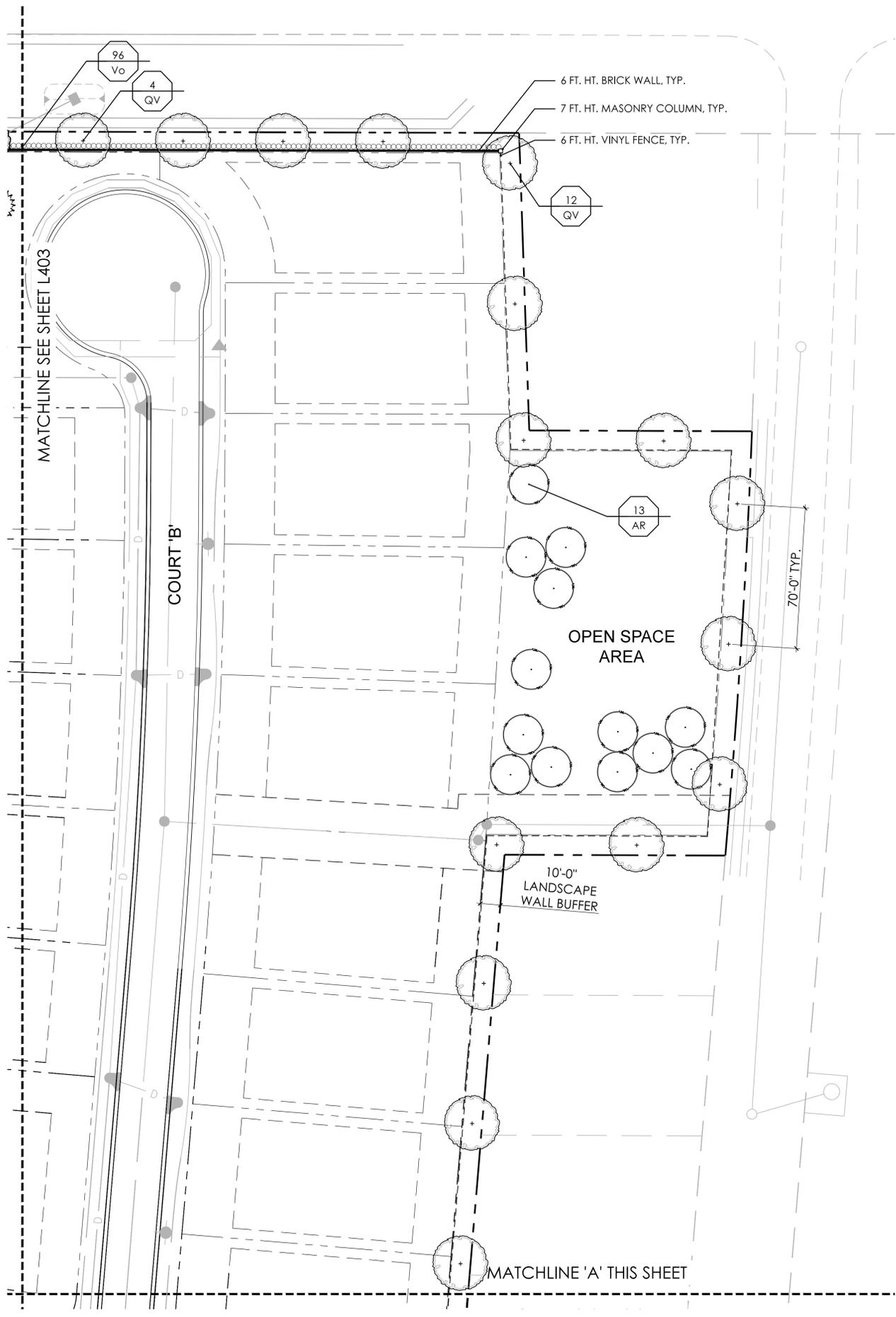
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DATE: May 6, 2015
 DRAWN BY: WCC/TWB
 CHECKED BY: TWB
 JOB NUMBER: 2015.115
 FILE NAME: 2015.115.MATTAMY OXFORD CHASE LA-BASE

REVISIONS:



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Oxford Chase
 Community Landscape Architecture
 Mattamy (Jacksonville) Partnership
 WINTER GARDEN, FLORIDA
 LANDSCAPE PLAN

L407

Field W. Bennett, R.L.A. # FL000754

GENERAL REQUIREMENTS

The Landscape Contractor shall be responsible for all materials and all work as called for on the landscape plans. The list of plant quantities accompanying the plans shall be used as guide only. If a discrepancy occurs between the plans and the plant list, the plans shall control.

The Landscape Contractor shall warranty all trees for a period of one (1) year and shrubs and ground covers for a period of six (6) months from the time of final acceptance by Owner and Landscape Architect.

The Landscape Contractor shall be wholly responsible for the stability and plumb condition of all trees and shall be legally liable for any damage caused by the instability of any plant material. Staking of trees and palms, if required, shall be done utilizing a method agreed upon by the Landscape Architect.

The Landscape Contractor shall research plans and contact appropriate agencies to determine the location of any utilities and obstructions prior to commencing work. Any utilities or unanticipated obstructions shall be reported to Landscape Architect or Owner immediately.

All plant material and sodded areas shall have an automatic underground irrigation system providing 100% coverage.

Positive drainage shall be maintained away from all structures on the site.

PLANT SPECIFICATIONS

All nursery stock plant material shall be Florida #1 or better in accordance with Grades and Standards for Nursery Plants Parts I & II, latest edition as published by the Florida Department of Agriculture and Consumer Services- Division of Plant Industry.

All plant material shall be planted, fertilized and mulched as per the plant details and planting specifications noted on the plans.

All container grown material shall be healthy, vigorous, well rooted plants, and established in the container in which they are delivered to the site. The plants shall have tops which are good quality and in a healthy growing condition. Established container grown plant material shall be grown in that container sufficiently long enough for the new fibrous roots to have developed enabling the root mass to retain its shape when removed the container. Plants which have become root bound in the container are unacceptable.

All plant material that is not container grown shall be freshly dug, sound, healthy, vigorous, well branched, and free of disease and insect eggs and larvae, and shall have adequate root systems. Where any requirements are omitted from the plant list, the plants furnished shall be normal for the variety. Plants may be pruned prior to delivery only upon the approval of the Landscape Architect.

FERTILIZER

Two fertilizers shall be used on all types of plantings, except palms. Granular fertilizer shall be uniform in composition, dry and free flowing. This fertilizer shall be delivered to the site in the original unopened bags bearing the manufacturer's statement of analysis. Granular fertilizer shall be a controlled release variety meeting the following requirements: sixteen percent (16%) nitrogen, four percent (4%) phosphorus, eight percent (8%) potassium, plus iron. Tablet fertilizer ("Agriform" or approved equal) in 21 gram size shall meet the following requirements: twenty percent (20%) nitrogen, ten percent (10%) phosphorus, five percent (5%) potassium.

Application Rates:

Plant size	16-4-8	"Agriform" tablet [21 grams]
1 gallon	1/4 lb.	1 tablet
3 gallon	1/3 lb.	2 tablets
7-15 gallon	1/2 lb.	4 tablets
1" - 6" caliper	2 lbs. per 1" caliper	2 tablets per 1" caliper
6" + caliper	3 lbs. per 1" caliper	2 tablets per 1" caliper

Sodded areas shall receive an application of the granular fertilizer (16-4-8) at a rate of 1/2 lb. of Nitrogen per 1,000 square feet of sod area.

"Palm Special" fertilizer shall be applied to all palms at installation at a rate of 1 1/2 lbs. per 100 square feet of canopy area. Palm fertilizer shall be a controlled release variety containing chelated micro nutrients and a ratio of N-P-K-Mg of 2:1:3:1.

SOIL

Planting soil for use in preparing the backfill material for planting pits shall be added a rate of fifty percent (50%) planting soil to fifty percent (50%) existing soil. This soil mix shall be used in all plant pits except Sabal Palms which shall be backfilled with clean sand. Planting soil shall be a fertile, friable natural topsoil of loamy character. It shall contain forty (40) to fifty (50) percent decomposed organic matter and be free of heavy clay, stones larger than 1" in diameter, noxious weeds and plants, sod, partially disintegrated debris, insects or any other undesirable material, plants or seeds that would be toxic or harmful to plant growth.

MULCH

All plant beds and tree watering basins shall be top dressed with three inches (3") of pine bark mini nuggets.

SOD

Refer to Landscape Plan for limits of sod.

All areas disturbed by construction (including material staging, equipment storage, temporary facilities, site access, construction staff parking, etc.) beyond the minimum limits of sod as shown on the Landscape Plan shall be sodded as needed.

All lawn areas to receive sod shall be disked four (4) to six (6) inches and graded to establish a level finished grade ensuring positive drainage from all structures. All debris shall be removed from the site.

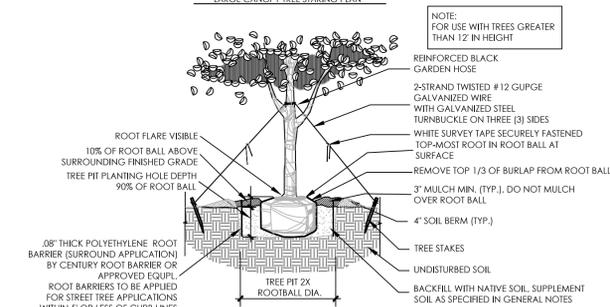
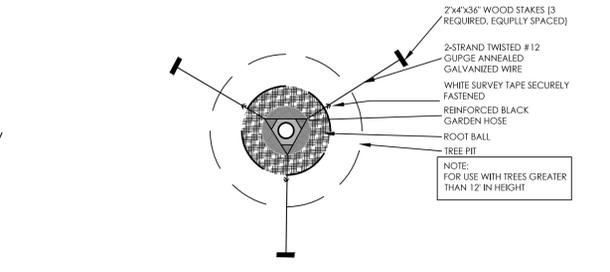
Sod shall be free of weeds and pests. It shall be laid evenly with tight fitting joints and rolled. The sod shall contain moist soil which does not fall apart or tear when lifted.

See plant list for specific sod species and locations.

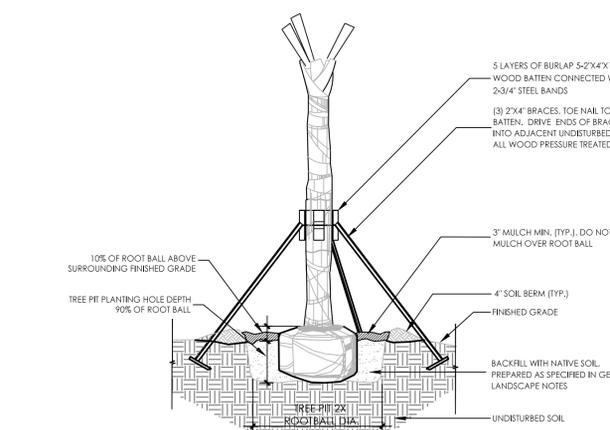
See 'Fertilizer' for requirements of all sodded areas.

MASTER PLANT LIST

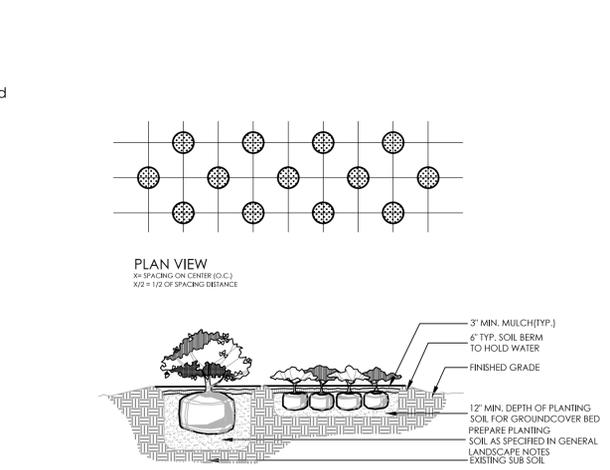
Symbol	Quantity	Botanical Name	Common Name	Specifications	Spacing	Native	Drought Tolerant
Trees							
AR	21	Acer rubrum	12'-14' Red Maple	3.5" cal., 12'-14' ht. x 48" spd.	AS	yes	Medium
LJ	20	Ligustrum japonicum	Ligustrum Tree	9'-10' ht. x 7'-8" spd.; multi-trunk	AS	no	yes
MG	34	Magnolia grandiflora 'D.D. Blanchard'	Southern Magnolia	3" cal., 10'-12' ht. x 4'-5" spd.	AS	yes	res
QV	144	Quercus virginiana	Live Oak	3.5" cal., 12'-14' ht. x 5x6" spd.	AS	yes	High
TD	69	Taxodium distichum	12'-14' Bald Cypress	3" cal., 12'-14' ht. x 48" spd.	AS	yes	yes
Shrubs							
Vo	1435	Viburnum odoratissimum	Sweet Viburnum	7 gal.; 30"-36" ht. x 36" spd.	30" o.c.	no	yes
Groundcovers							
bf	855	Bulbine frutescens	Desert Candle / Bulbine	1 gal., 12"-15" spd., full pot	18" o.c.	no	yes
jp	1290	Juniperus 'Parson'	Parson's Juniper	1 gal; 12"-15" spd.	18" o.c.	no	High
Sod		Paspalum notatum 'Argentine'	Argentine Bahia Sod	sand grown solid sod - weed free	solid	no	High



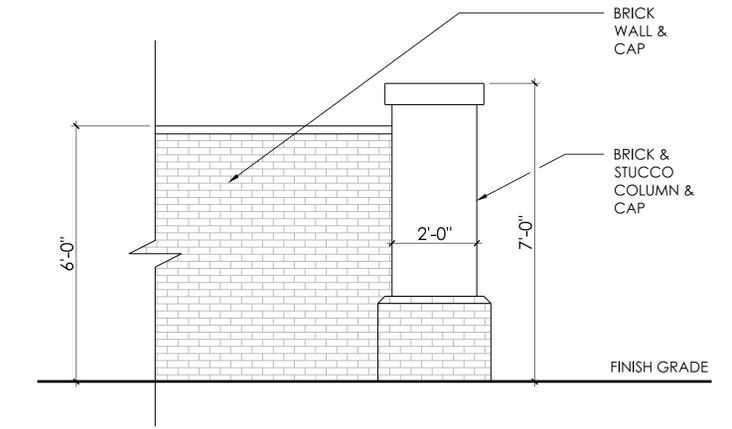
LARGE CANOPY TREE PLANTING DETAIL
N.T.S.



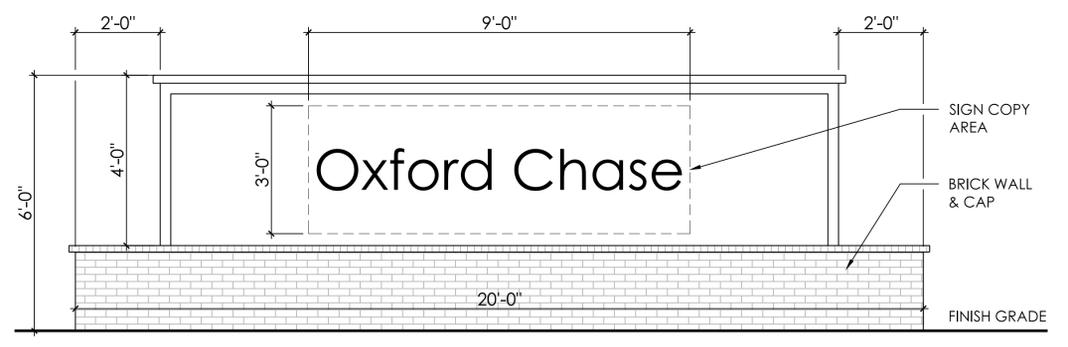
PALM PLANTING DETAIL
N.T.S.



SHRUB AND GROUNDCOVER PLANTING DETAIL
N.T.S.



TYPICAL BRICK WALL IN BUFFER
SCALE: 1/2" = 1' - 0"



TYPICAL SIGN WALL
SCALE: 1/2" = 1' - 0"

DRAWING PLOTTED: 5/6/2015 2:52:02 AM / USER: CHING_SOWHAY / DOCUMENTS / LOCAL CLOUD / SHARED / BONNETT DESIGN GROUP / 2015 / 015_MATTAMY_OXFORD CHASE / DESIGN / 2015 / 015_MATTAMY_OXFORD CHASE_LA-BASE.DWG

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Oxford Chase
Community Landscape Architecture
Mattamy (Jacksonville) Partnership
WINTER GARDEN, FLORIDA
LANDSCAPE DETAILS & NOTES

DATE: May 6, 2015
DRAWN BY: WCC/TWB
CHECKED BY: TWB
JOB NUMBER: 2015.115
FILE NAME: 2015.115_MATTAMY OXFORD CHASE_LA-BASE

REVISIONS:



L408

Tad W. Bennett, R.L.A. # FL000781

THE CITY OF WINTER GARDEN
PLANNING AND ZONING BOARD AGENDA ITEM

ITEM # 7 (Public Hearing)

DATE: May 29, 2015 **MEETING DATE:** June 1, 2015

SUBJECT: 3107 Daniels Road, Suite 102 (Main property address: 3017 Daniels Road) (SPECIAL EXCEPTION PERMIT)
PROJECT NAME Verizon Wireless Antennas
PARCEL ID# 35-22-27-9398-03-010

ISSUE: The applicant is requesting a Special Exception Permit to allow for the installation of two antennas on a building located at 3107 Daniels Road.

SUPPLEMENTAL MATERIAL/ANALYSIS:

OWNER/APPLICANT: Verizon Wireless

CURRENT ZONING: PCD - Planned Commercial Development

PROPOSED ZONING: N/A

CURRENT FLU: BC - South Beltway Center

PROPOSED FLU: N/A

SUMMARY:

The applicant is requesting a special exception permit to allow the installation of two antennas with related telecommunication equipment on the rooftop of a building within the Winter Garden Village at Fowler Groves commercial development. The Winter Garden Village at Fowler Groves PCD ordinance allows the installation of communication towers and antennas through special exception if they meet the special exception requirements.

STAFF RECOMMENDATION(S):

Staff recommends approval of the Special Exception subject to the condition listed in the Staff Report.

NEXT STEP(S):

Apply for building permits.

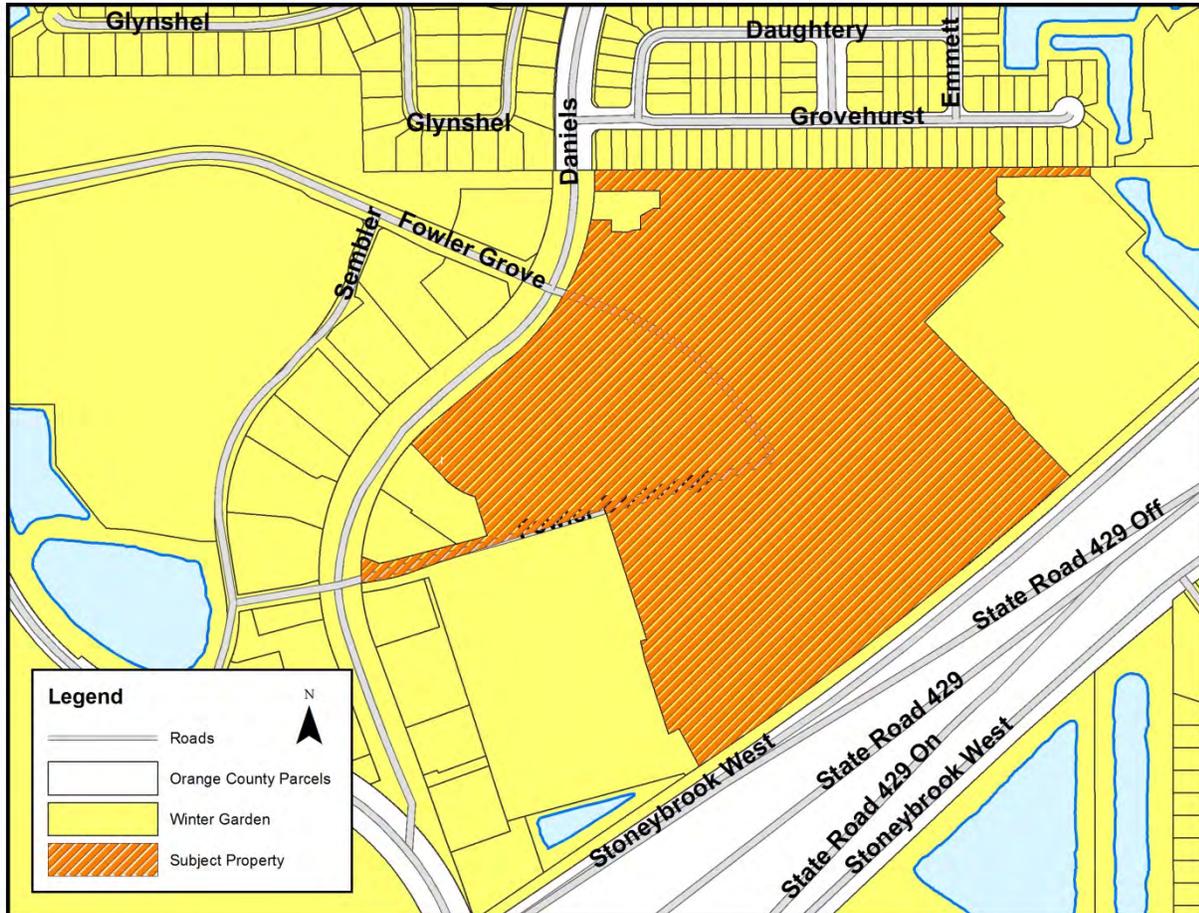
ATTACHMENT(S):

Location Map
Staff Report

LOCATION MAP

3107 Daniels Road, Suite 102
(Main property address: 3017 Daniels Road)

SPECIAL EXCEPTION PERMIT



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

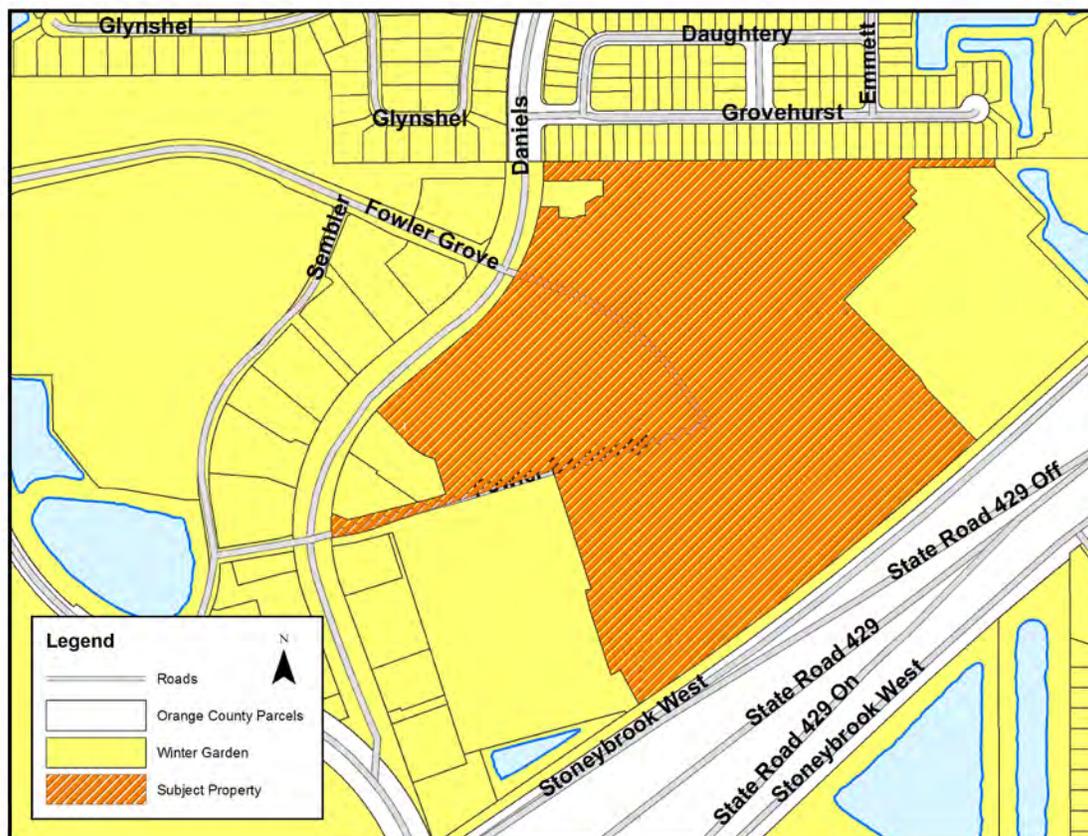
TO: PLANNING AND ZONING BOARD
PREPARED BY: KELLY CARSON, PLANNER II
DATE: MAY 28, 2015
SUBJECT: SPECIAL EXCEPTION PERMIT
3107 Daniels Road, Suite 102 (Main property address: 3017 Daniels Road)
(Antennas)
PARCEL ID # 35-22-27-9398-03-010

APPLICANT: Verizon Wireless

INTRODUCTION

The purpose of this report is to evaluate the proposed special exception permit for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located at 3107 Daniels Road, Suite 102 (Main property address: 3017 Daniels Road). The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The request is for a Special Exception Permit to allow the installation of two antennas with related telecommunication equipment on the rooftop of a building within the Winter Garden Village at Fowler Groves commercial development. The subject property is located within the City of Winter Garden municipal limits, carries the zoning designation PCD (Planned Commercial Development), and is designated South Beltway Center on the Future Land Use Map of the Comprehensive Plan.

EXISTING/PROPOSED USE

The subject property is a suite in a multi-tenant commercial building located in the Winter Garden Village at Fowler Groves commercial development. The subject suite is approximately 3,000 sf and is occupied by Verizon Wireless. The total square footage of the building is approximately 11,090 sf. The other businesses currently operating in the building include South Beach Tanning Company, AT&T, and Five Guys Burger and Fries.

The applicant proposes to add two non-penetrating antennas and related telecommunication equipment on the roof of the Verizon Wireless suite. The two antennas will each be mounted on mast pipes that adjust from 8'-12' in height. The northernmost antenna would replace an existing repeater antenna, which is set lower than the roofline. This proposed antenna will likely not be visible from ground level due to its position on the roof adjacent to an approximately 6' tall parapet wall. Also, there are several dense, mature trees located adjacent to the building face closest to this proposed antenna that would almost completely obscure it from view. The antenna that is located further south will be visible from ground level, especially along the southeast elevation. Here, the closest parapet wall is approximately 3' in height and there is no adjacent vegetation that would obscure the antenna from view. Depending on how high the pole is adjusted, approximately 6'-10' of antenna will be visible.

ADJACENT LAND USE AND ZONING

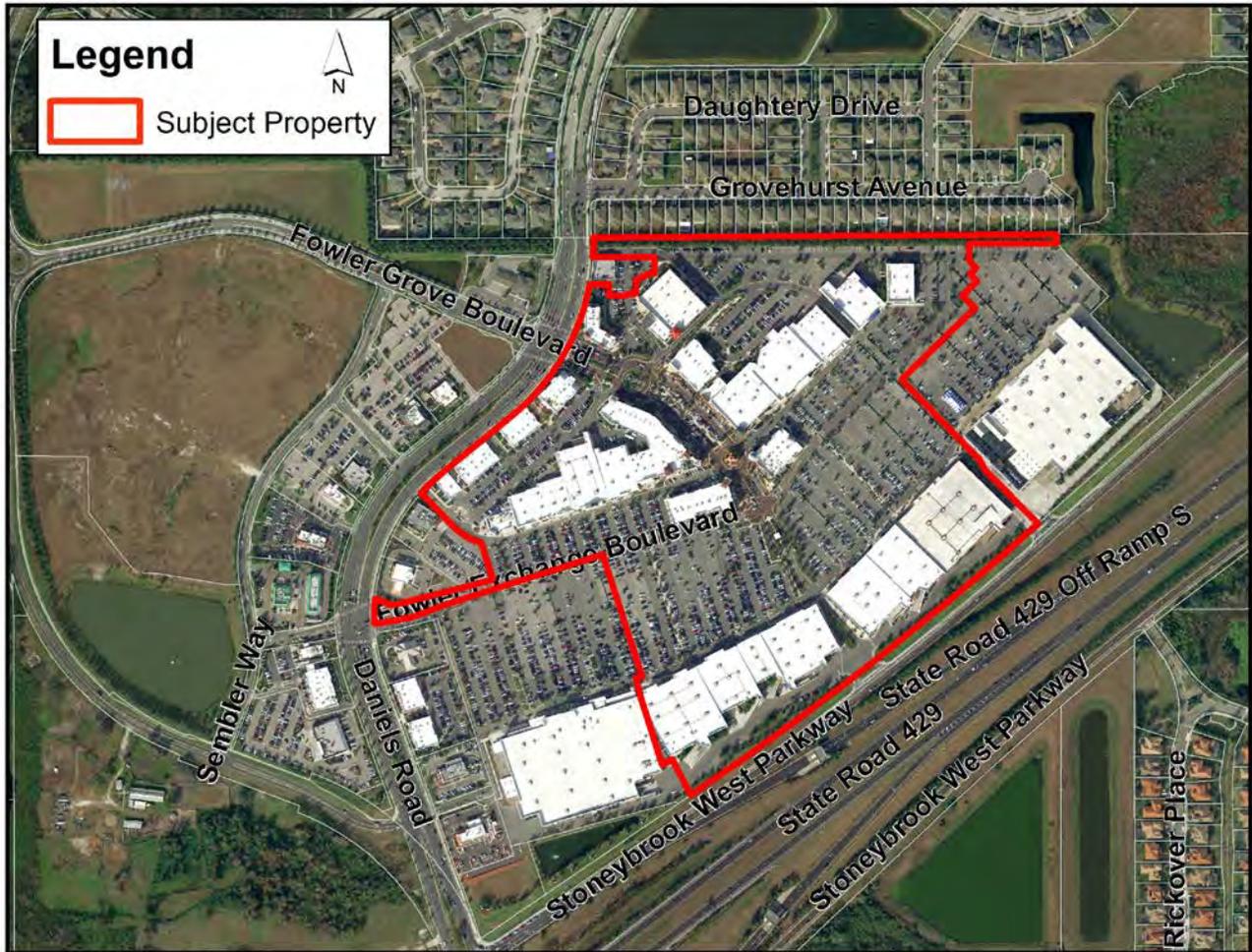
The properties located to the west are, like the subject property, part of the Winter Garden Village at Fowler Groves and feature several commercial buildings. These parcels are zoned PCD (Planned Commercial Development) and are within the City of Winter Garden Municipal Limits. The properties to the south and east of the subject property also include Fowler Groves commercial parcels zoned PCD in the City, as well as a segment of Florida State Road 429. The properties located to the north of the subject property are all part of the Grovehurst Subdivision, which contains single-family houses. These properties are zoned PUD and are within the City of Winter Garden Municipal Limits.

SUMMARY

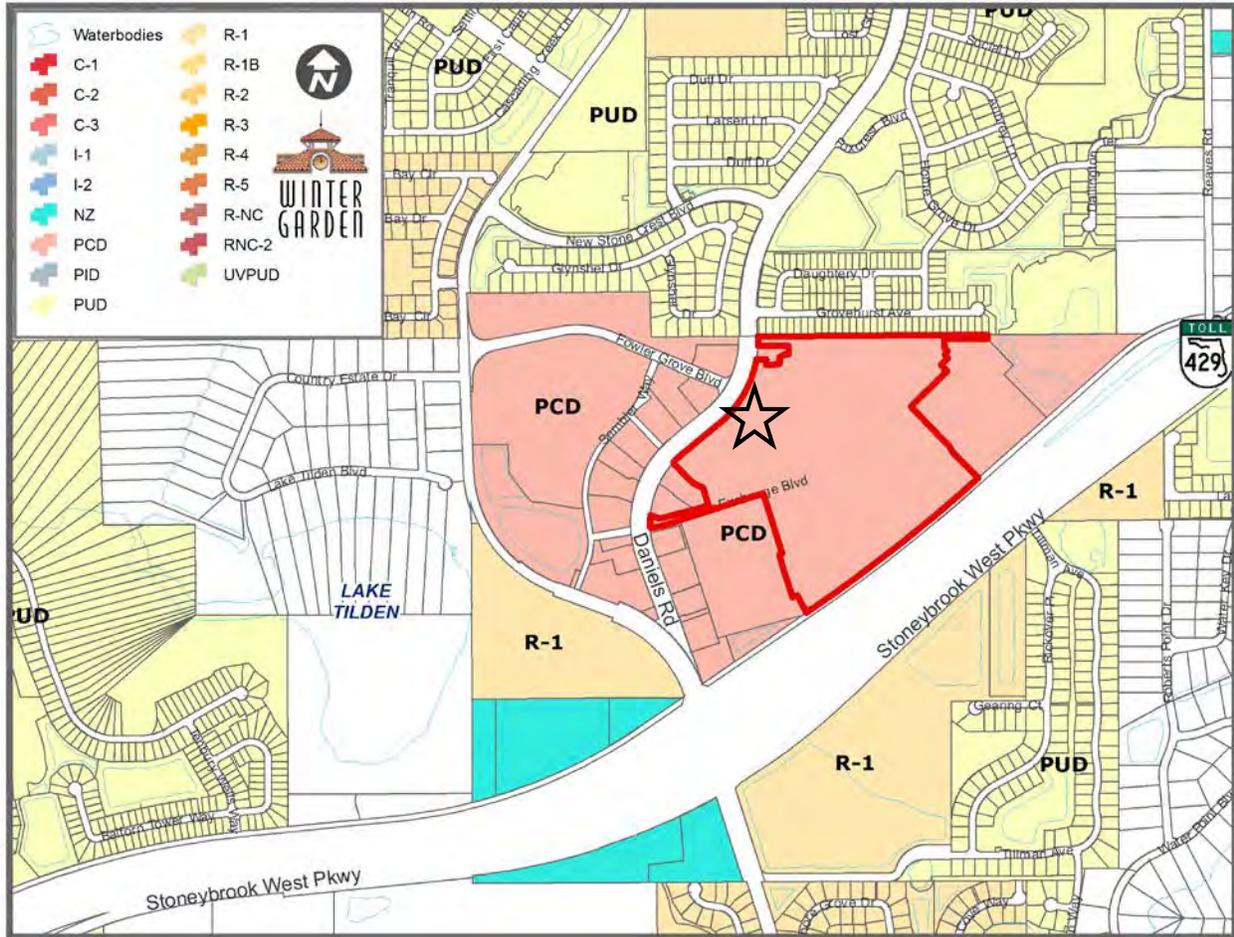
City Staff recommends approval of the proposed special exception permit to allow two antennas with related telecommunication equipment to be installed on the rooftop of a building located at 3107 Daniels Road, Suite 102 subject to the following condition:

- The plans note that the proposed antenna poles are adjustable from 8'-12' in height. However, the permitted height of the antennas from roof level to the top of the structure is limited to what's shown in submitted elevations, which is 10'-8".

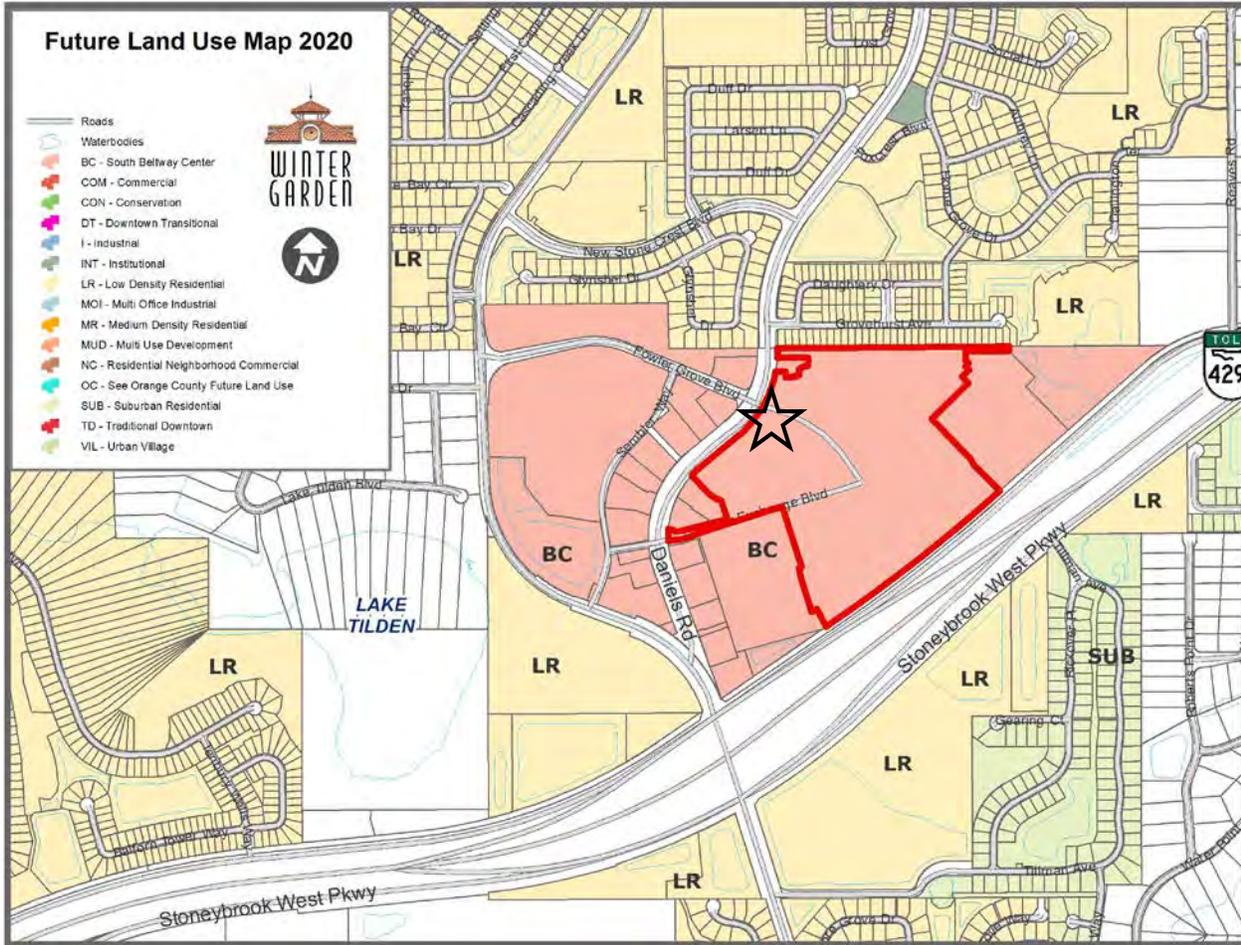
Aerial Map
3107 Daniels Road, Suite 102
(Main property address: 3017 Daniels Road)



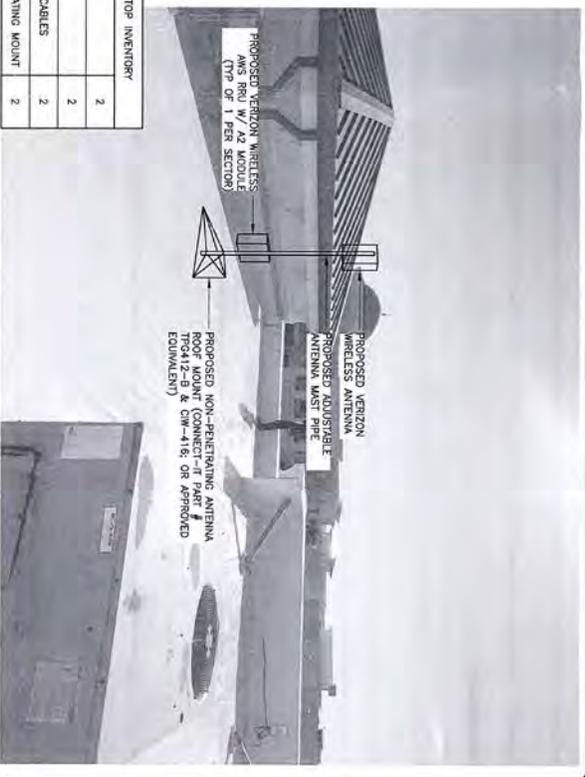
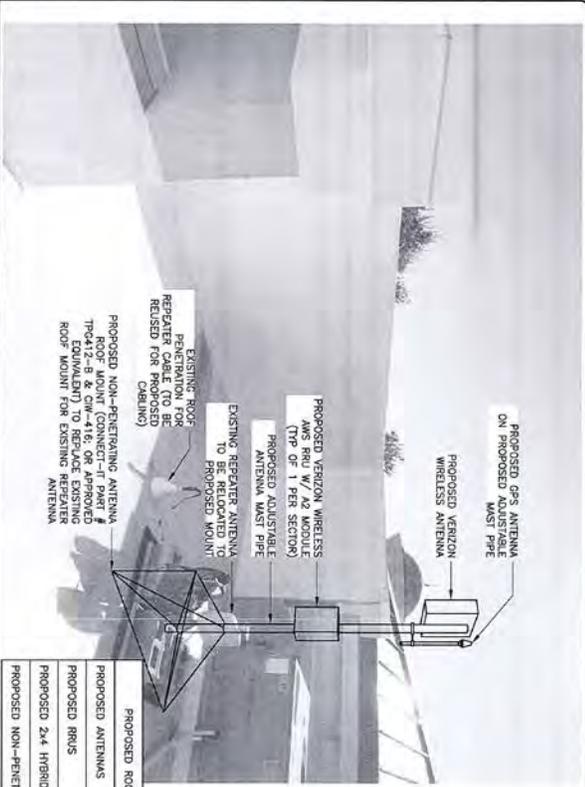
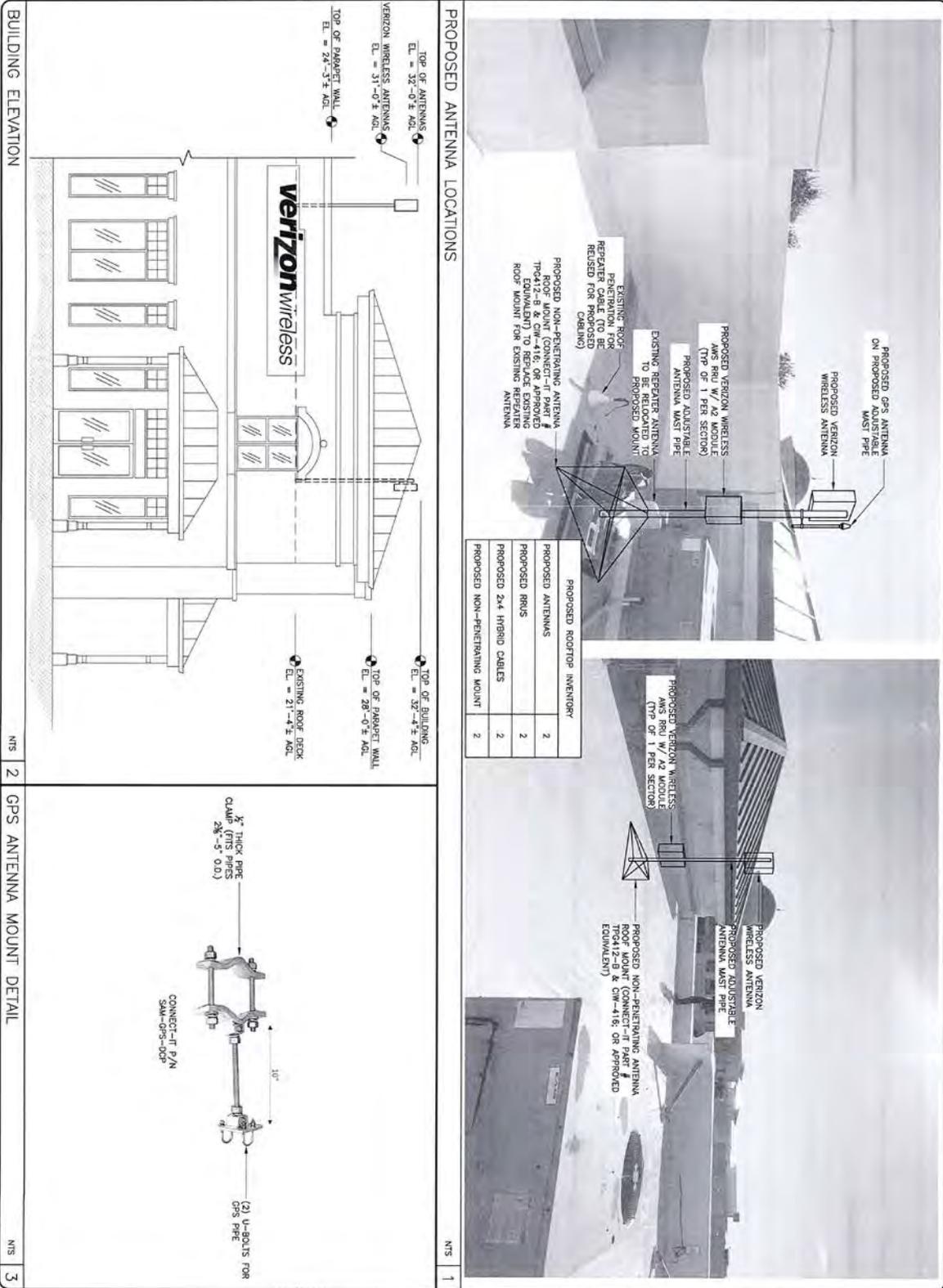
Zoning Map
3107 Daniels Road, Suite 102
(Main property address: 3017 Daniels Road)

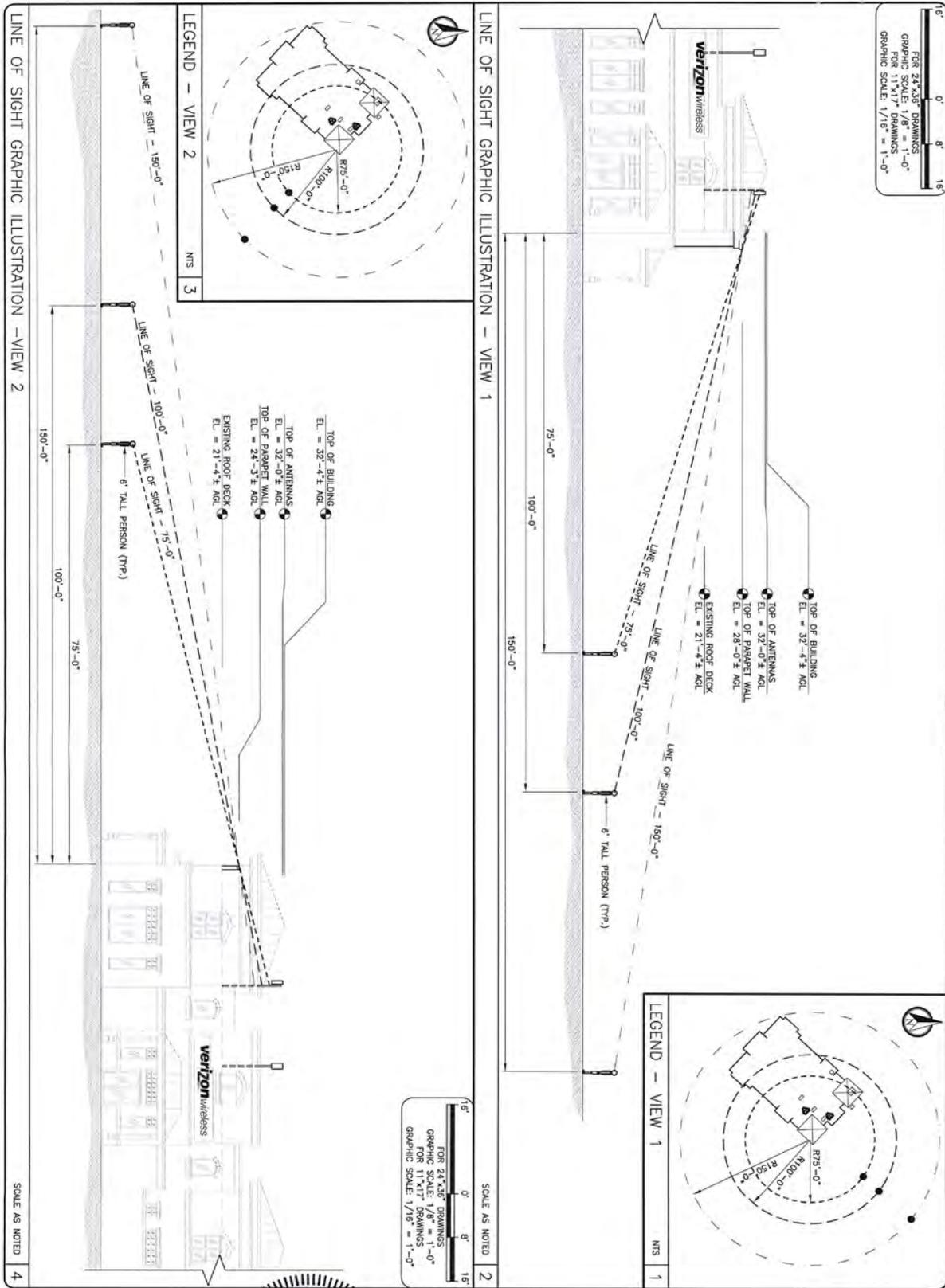


Future Land Use Map
3107 Daniels Road, Suite 102
(Main property address: 3017 Daniels Road)



Proposed Antenna Locations
3107 Daniels Road, Suite 102
 (Main property address: 3017 Daniels Road)





END OF STAFF REPORT

THE CITY OF WINTER GARDEN
PLANNING AND ZONING BOARD AGENDA ITEM

ITEM # 8 (Public Hearing)

DATE: May 29, 2015 **MEETING DATE:** June 1, 2015

SUBJECT: 1450 Daniels Road (SPECIAL EXCEPTION PERMIT)
PROJECT NAME Harvest of Hope Greenhouse
PARCEL ID# 26-22-27-0000-00-014

ISSUE: The applicant is requesting a Special Exception Permit to construction of a greenhouse in an R-2 Zoning District.

SUPPLEMENTAL MATERIAL/ANALYSIS:

OWNER/APPLICANT: 1450 Daniels Road/Mathew's Hope

CURRENT ZONING: R-2 Residential District

PROPOSED ZONING: N/A

CURRENT FLU: Low Density Residential

PROPOSED FLU: N/A

SUMMARY:

The applicant is requesting special exception to allow construction of a greenhouse in an R-2 Zoning District. Ordinance 15-41 was recently adopted, which allows greenhouses through a special exception if it meets the special exception requirements and design criteria.

STAFF RECOMMENDATION(S):

Staff recommends approval of constructing a greenhouse if it is redesigned to meet the requirements of Ordinance 15-41 (subject to the conditions in the staff report).

NEXT STEP(S):

Redesign the greenhouse and then submit for building permits.

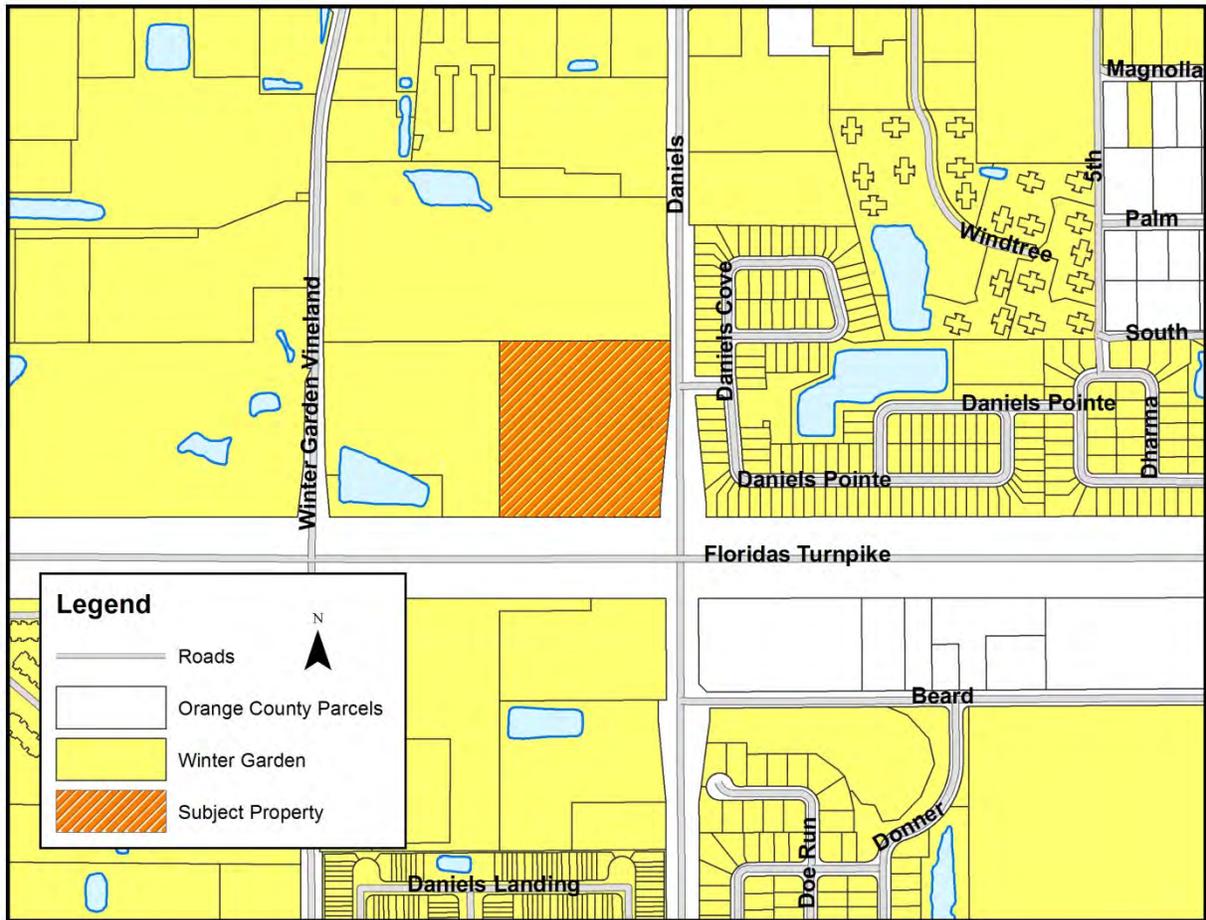
ATTACHMENT(S):

Location Map
Staff Report

LOCATION MAP

1450 Daniels Road

SPECIAL EXCEPTION



The request is for a Special Exception Permit to allow construction of a greenhouse on the church property, which is zoned R-2. The subject property is located within the City of Winter Garden municipal limits, carries the zoning designation R-2, and is designated Low Density Residential on the Future Land Use Map of the Comprehensive Plan.

EXISTING/PROPOSED USE

The property currently contains two large structures: one approx. 13,500 sf building built in 1969 used as office/classroom and one approx. 33,300 sf building constructed in 1998 used for church services and administration offices. The majority of the site is currently being used to support the Church of Christ of West Orange's religious services, administration, classes, events, and other church-related functions. The Applied Behavior Center for Autism was recently granted a Special Exception Permit to utilize approximately 2,000 square feet of space within the existing 13,500 sf building to provide applied behavior analysis therapy to children with autism and related disabilities. Also located on site is a modular office building operated by Matthew's Hope, which is a nonprofit organization that offers financial resources, medical assistance, food, and other support services to members of the community who are homeless or on the cusp of homelessness. They were recently granted a Special Exception Permit to locate two temporary used modular buildings on site to support a preschool, which will largely accommodate children of families served by Matthew's Hope.

The applicant also has a large garden on site that they use to grow vegetables which they sell at the local farmers markets to help employ the homeless and raise money to finance their operations. They are now proposing to build a 30 foot X 48 foot greenhouse to use as part of the garden operations. The greenhouse is proposed to be built using polycarbonate (corrugated plastic) material for the roof and part of the siding. About half of the side is constructed using corrugated metal and the remainder is a roll up curtain over a bug screen (see pictures on pages 8 & 9). Since the City does not have Agricultural Zoning, we recently adopted Ordinance 15-41 to establish requirements for greenhouses in residential districts. The ordinance requires that all greenhouses be considered only by Special Exception, that they meet the same setbacks required for accessory structures (based on size), and that all greenhouses shall be designed to blend aesthetically with the principal building and shall be constructed of permanent building materials such as metal, glass or wood although composite materials may be considered. Greenhouses shall not be constructed of temporary materials such as plastic, visqueen or cloth. Also, fiberglass shall not be used in the construction of greenhouses

ADJACENT LAND USE AND ZONING

The property located to the west is, like the subject property, owned by the Church of Christ of West Orange. It's zoned R-2 and is within the City of Winter Garden Municipal Limits. It contains a road connecting an internal church drive to Winter Garden Vineland Road. This property contains a pond.

The property located to the north of the subject property is also being used by a religious organization: the Resurrection Catholic Church. It contains three church facility buildings and one warehouse/storage building. This property is zoned C-2 and is within the City of Winter Garden Municipal Limits.

The property located to the east of the subject property is the Daniels Crossing Subdivision, which contains single-family houses. This property is zoned PUD and is within the City of

Winter Garden Municipal Limits.

One of the properties located to the south of the subject property, across the Florida Turnpike, is owned and operated by the City of Winter Garden and contains a water processing facility. This property is zoned R-1 and is within the City of Winter Garden Municipal limits. Also located to the south of the subject property is a small segment of a larger commercial property, containing the Winter Garden Professional Center. This property has been developed to support a mix of uses (United Cerebral Palsy School, various office & retail businesses, etc.). It's zoned PCD and is within the City of Winter Garden Municipal Limits.

SUMMARY

Staff does not support the greenhouse as proposed, because the materials do not follow the minimum code requirements outlined in Ordinance 15-41.

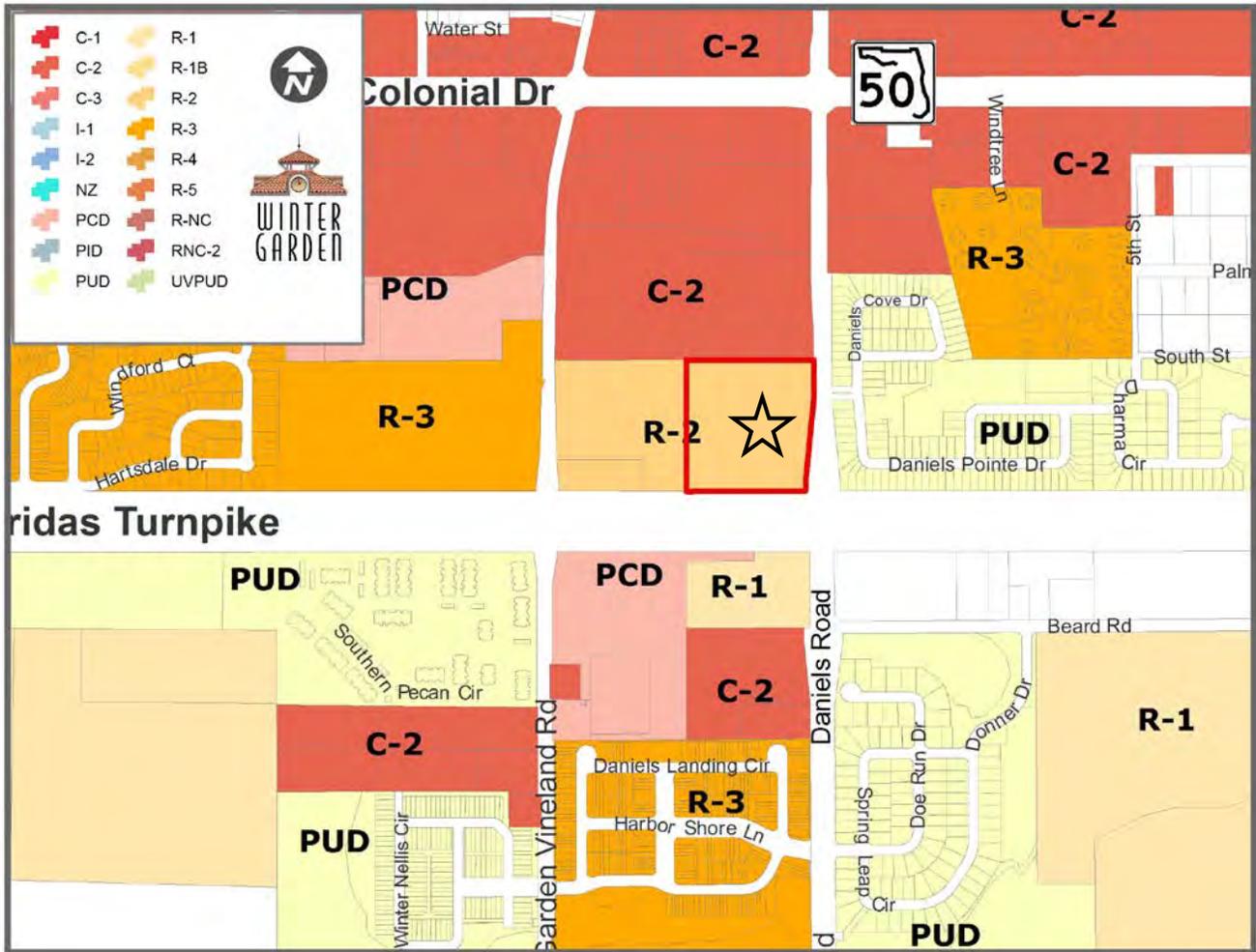
Staff would recommend approval of the proposed special exception permit to allow a greenhouse subject to the following conditions:

1. The greenhouse shall be designed to blend aesthetically with the principal building and shall be constructed of permanent building materials such as metal, glass or wood.
2. The greenhouse shall not be constructed of any temporary materials such as plastic, visqueen, cloth, or any fiberglass.
3. Meet all applicable building code requirements and setbacks.

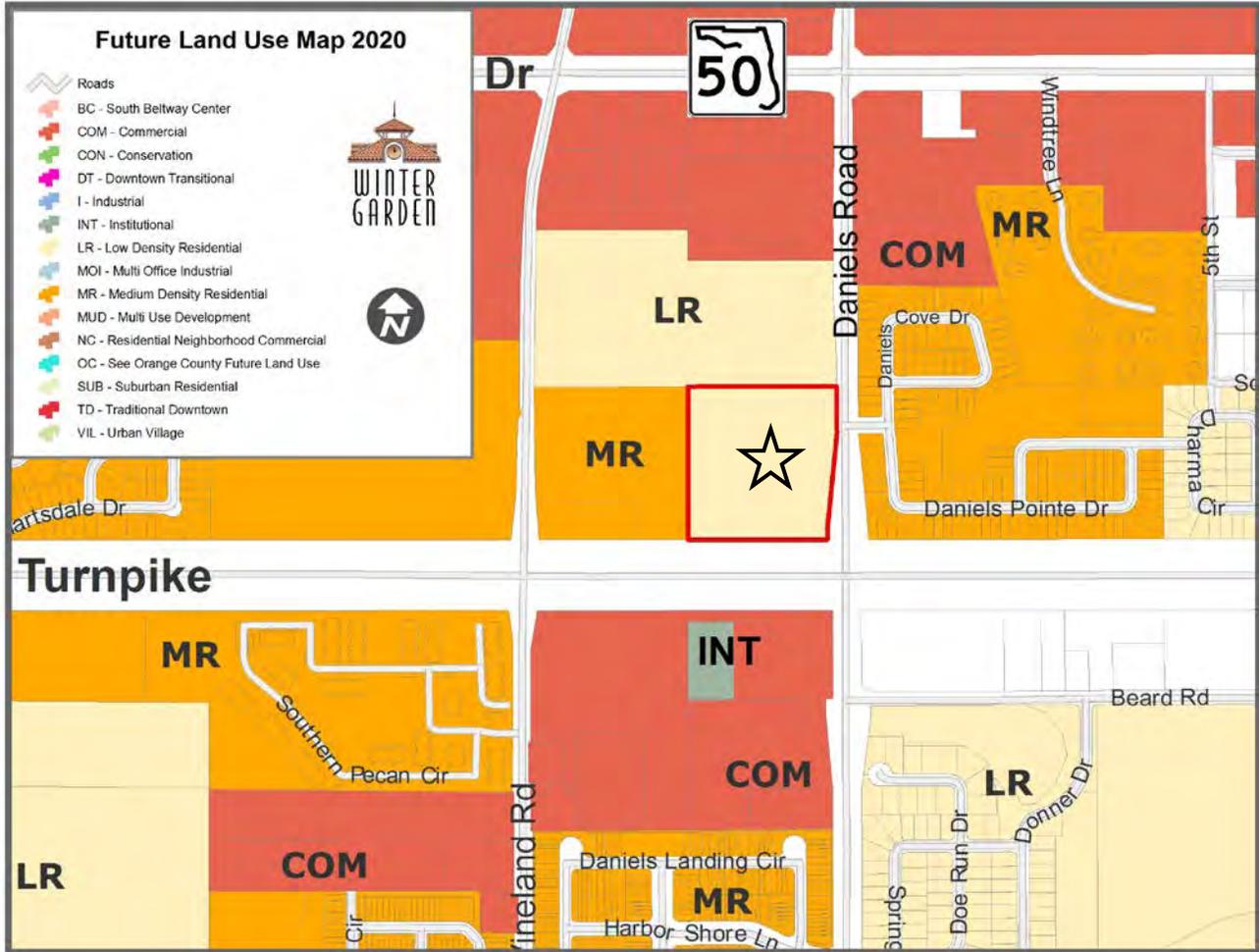
Aerial Map
1450 Daniels Road



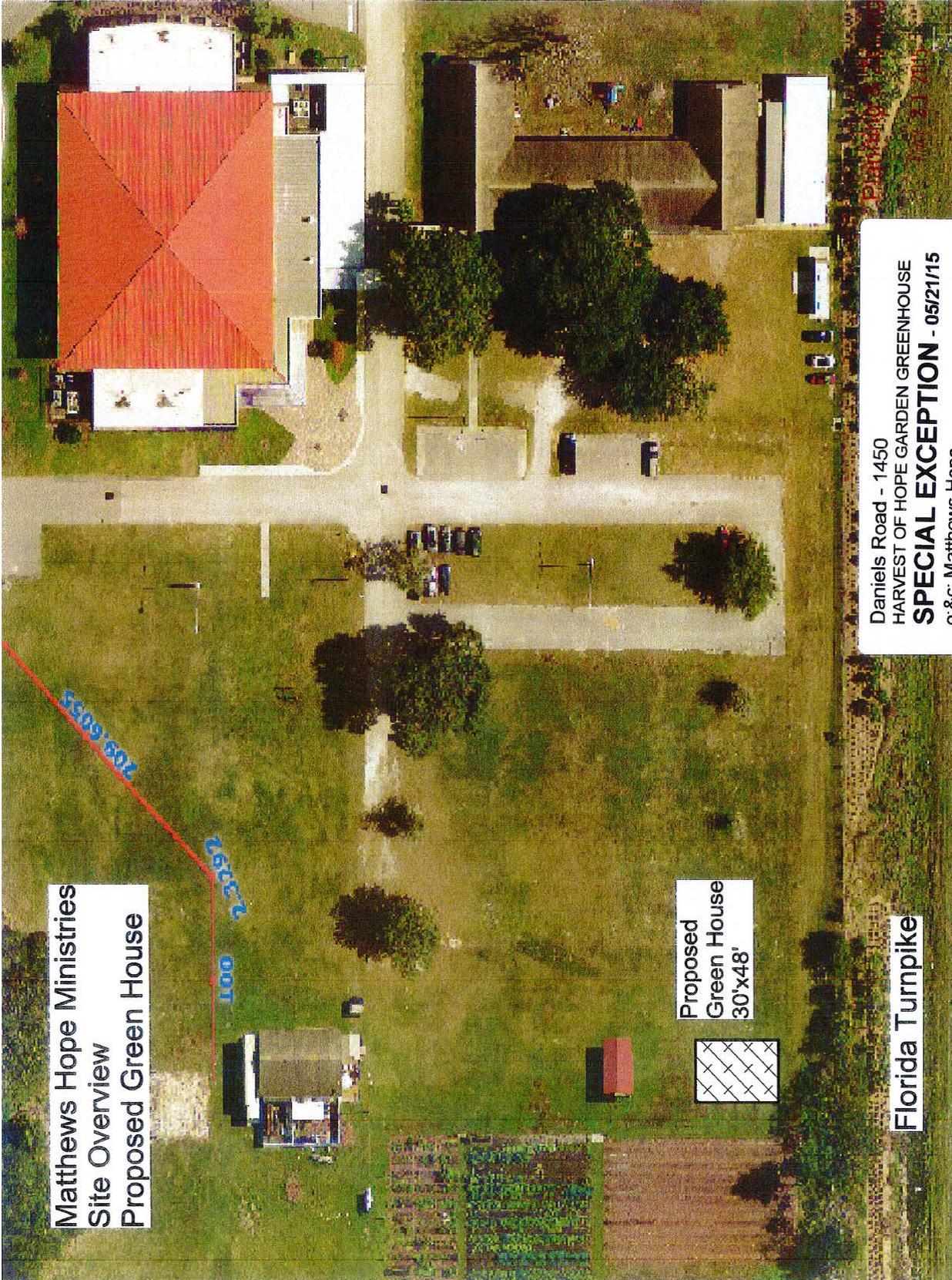
Zoning Map
1450 Daniels Road



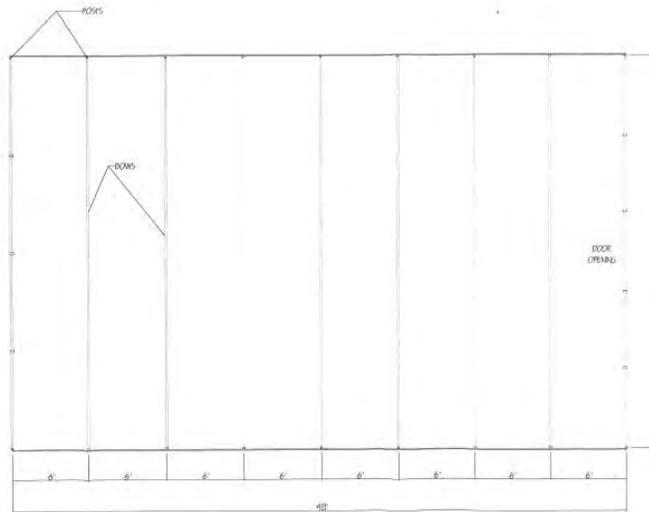
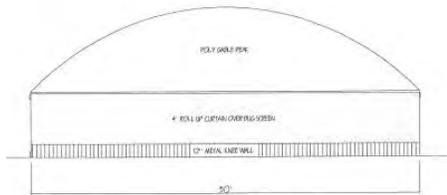
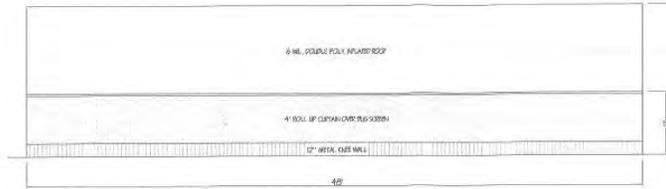
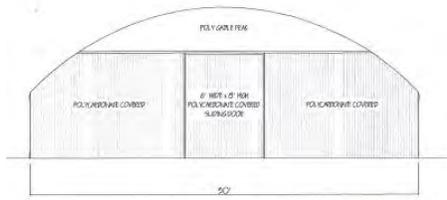
Future Land Use Map
1450 Daniels Road



Aerial Photo Showing Proposed Greenhouse
1450 Daniels Road



Greenhouse Plans
1450 Daniels Road



Pictures of Proposed Greenhouse
1450 Daniels Road





END OF STAFF REPORT

THE CITY OF WINTER GARDEN
PLANNING AND ZONING BOARD AGENDA ITEM

ITEM # 9 (Public Hearing)

DATE: May 29, 2015 **MEETING DATE:** June 1, 2015

SUBJECT: 12801 W. Colonial Drive (SPECIAL EXCEPTION PERMIT)
PROJECT NAME Wild Hogs Scooters
PARCEL ID# 12-22-27-6469-32-016

ISSUE: The applicant is requesting a Special Exception Permit to allow for the property located at 12801 West Colonial Drive to be used for Automobile Sales and Services to operate a scooter shop.

SUPPLEMENTAL MATERIAL/ANALYSIS:

OWNER/APPLICANT: 12801 W. Colonial Drive, Wild Hogs Scooters/Andrew Freedman

CURRENT ZONING: C-2 Arterial Commercial District

PROPOSED ZONING: N/A

CURRENT FLU: Commercial

PROPOSED FLU: N/A

SUMMARY:

The applicant is requesting special exception to allow a portion of the building to be used as an automobile sales facility to sell scooters and the remainder of the building to be used for automobile services to work on scooters. The C-2 Zoning district allows vehicle sales and services through special exception if it meets the special exception requirements.

STAFF RECOMMENDATION(S):

Staff recommends tabling the Special Exception request until the July 6, 2015 meeting.

NEXT STEP(S):

N/A

ATTACHMENT(S):

Location Map
Staff Report

LOCATION MAP

12801 W. Colonial Drive

SPECIAL EXCEPTION



THE CITY OF WINTER GARDEN
PLANNING AND ZONING BOARD AGENDA ITEM

ITEM # 10 (Public Hearing)

DATE: May 28, 2015 **MEETING DATE:** June 1, 2015

SUBJECT: 15344 Johns Lake Pointe Boulevard (VARIANCE)
PROJECT NAME Wraith Variance
PARCEL ID# 28-22-27-4025-02-880

ISSUE: The applicant is requesting a Variance to allow the house to remain 2 feet inside a 10 foot wide drainage and wall easement and to allow the existing brick pavers to remain over the entire 10 foot wide drainage and wall easement.

SUPPLEMENTAL MATERIAL/ANALYSIS:

OWNER/APPLICANT: Charles and Pamela Wraith

CURRENT ZONING: PUD Planned Unit Development District

PROPOSED ZONING: N/A

CURRENT FLU: Low Density Residential

PROPOSED FLU: N/A

SUMMARY:

Applicant is requesting the variance to allow the existing house to remain 2 feet inside the 10 foot wide drainage and wall easement and to allow the existing brick pavers to remain on the entire remaining portion of the 10 foot wide drainage and wall easement.

STAFF RECOMMENDATION(S):

Staff recommends approval of the variance request.

NEXT STEP(S):

Apply for and get a building permit for the brick pavers.

ATTACHMENT(S):

Location Map
Staff Report

LOCATION MAP

15344 Johns Lake Pointe Blvd.

VARIANCE



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

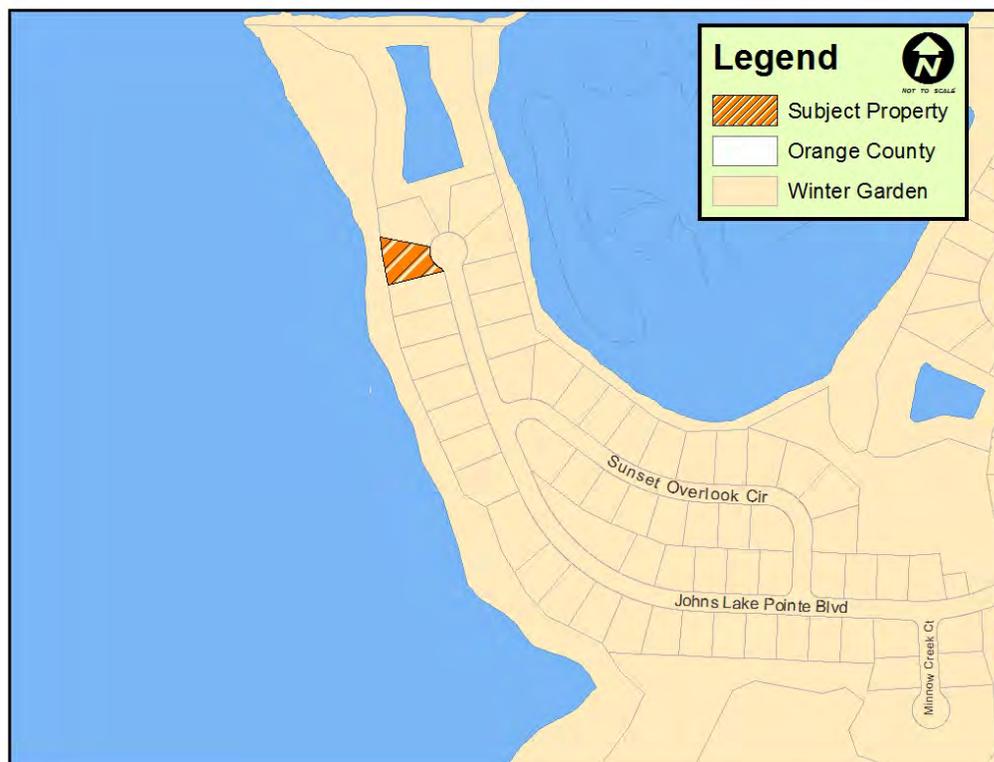
TO: PLANNING AND ZONING BOARD
PREPARED BY: STEVE PASH, COMMUNITY DEVELOPMENT MANAGER
DATE: MAY 28, 2015
SUBJECT: VARIANCE
15344 Johns Lake Pointe Boulevard (0.30+/- ACRES)
PARCEL ID # 28-22-27-4025-02-880

APPLICANT: Charles and Pamela Wraith

INTRODUCTION

The purpose of this report is to evaluate the request for a variance for property located at 15344 Johns Lake Pointe Boulevard in Winter Garden, Florida. The request is to allow the house to remain 2 feet inside a 10 foot wide drainage and wall easement and to allow the existing brick pavers to remain over the entire 10 foot wide drainage and wall easement.

The subject property, located on Johns Lake Pointe Boulevard, is an approximately 0.30 ± acre lot in the Johns Lake Pointe Subdivision. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The permit to construct the single family residence on this property was approved by all City departments in February of 2014. After construction of this home and other homes in this neighborhood was completed, it was discovered that the developer had changed some of the platted easements without the City's consent or knowledge. Once the City discovered the easement had been changed, we met with the developer and builder to reestablish the drainage and wall easement. This home had been permitted based on the altered easement and once the easement was reestablished it was discovered that this home was located 2 feet inside the easement. Rather than tear the structure down, the applicant was advised to apply for a variance to rectify this situation.

The subject property carries the zoning designation PUD (Planned Unit Development) and is designated LR (Low Density Residential) on the Future Land Use Map of the City's Comprehensive Plan.

EXISTING USE

The existing residential structure is currently occupied by the owners and was issued a Certificate of Occupancy on July 21, 2014. The applicant was informed of the easement after they had purchased the home.

ADJACENT LAND USE AND ZONING

All of the properties adjacent to the subject property are zoned PUD and in the Johns Lake Pointe neighborhood, which is within the City of Winter Garden's Municipal limits. The properties to the north, south, and east of the subject property are all developed with single family residences. The property to the west is a conservation area.

PROPOSED USE

The applicant is requesting the variance to allow the existing home to remain 2 feet inside the 10 foot easement and to allow the existing brick pavers to remain on the entire 10 foot wide drainage and wall easement.

CODE REFERENCE

Sec. 110-203(d) of the City Code of Ordinances addresses easements requirements. This section states, *“Use within easements. Subject to applicable provisions of the code, upon written approval of the city planner and the execution of an approved release and indemnity agreement, fences, walls, landscaping, driveways, and such other non-permanent improvements, as may be determined by the city planner, may be installed, constructed or otherwise placed under, over, and on the easements described in subparagraphs (a) or (b) above by the fee simple owner of the lands subject to said easements. For purposes of this paragraph, swimming pools and buildings shall be considered permanent improvements. The city planner may request that said owner provide a survey depicting the applicable easements and the property boundaries, and a title opinion or such other documentation evidencing that the applicant is the fee simple owner of said lands and may impose such other conditions as may be necessary to protect the purpose of the easement. Notwithstanding the foregoing, any use within said easements shall constitute a license for permissive use only and that the installation, construction or placement of improvements under, over or on said easements shall not operate to create or vest any property rights to any portion of the said easement or otherwise diminish, interfere, or modify the city's use of the said easements or use by other private parties, such as utility companies, to maintain,*

construct, install or otherwise place or remove improvements within said easements. Further, nothing herein shall be construed as preventing the city from removing or replacing said improvements at the discretion of the city, with or without notice, nor requiring the city to pay any compensation for the improvements therein.”

The applicant is seeking a variance to the 10 drainage and wall easement to allow the existing single-family home to remain 2 feet inside the easement and to allow the existing brick pavers to remain over the entire remaining easement.

CODE REQUIREMENTS / CRITERIA

Section 118-131 of the City Code that relates to the review criteria states that, “A variance may be granted from land development regulations by the planning and zoning board if the planning and zoning board concludes that literal enforcement of the provisions of land development regulations would result in either practical difficulties (for setback and parking provisions) or unnecessary hardships (for all other land development regulations) for the property at issue.” The code also lists the following criteria that are to be addressed before a variance can be approved. Underlined text is Staff’s comments concerning this particular petition.

- (1) *Granting the variance will not cause or allow interference with the reasonable enjoyment of adjacent or nearby property owners or negatively impact the standard of living of the citizens of the city;*

The existing single-family residence has been occupied and located on this property since July 2014 without any negative impact or interference with the reasonable enjoyment of adjacent or nearby property owners. This home will not negatively impact the standard of living of the citizens of the City.

- (2) *The variance will allow a reasonable use of the property, which use is not out of character with other properties in the same zoning category;*

The requested variance allowing the house to remain 2 feet inside the 10 foot easement and the brick pavers over the remaining easement will allow reasonable use of the property. Furthermore, granting this variance will not change the character of the neighborhood.

- (3) *In the context presented, strict compliance with the land development regulation will not further any legitimate city objective or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under this criteria if the variance were denied;*

Strict compliance with the City’s land development regulations will not further any legitimate City objective. This request does encroach into a recorded easement, but does not exceed the maximum impervious surface allowed for PUD zoned properties (65%), and meets all other development regulations of Johns Lake Pointe’s PUD zoning.

- (4) *The granting of the variance is consistent with the city's comprehensive plan; and*

The variance is consistent with the provisions of the City’s Comprehensive Plan relating to low density residential neighborhood character.

- (5) *The variance requested is the minimum variance that will make reasonable use of the land, building, or structure or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under these criteria if the variance were*

denied.

The variance requested is the minimum variance that will make reasonable use of the land and the location of the house does not negatively impact the neighbors. Denying this variance does not benefit the property owner or the City.

SUMMARY

City Staff recommends approval of a variance to Section 110-203(d) to allow the existing house to remain 2 feet inside the 10 foot drainage and wall easement and to allow the brick pavers over the remaining easement area subject to the following condition:

1. Should the structure be removed or destroyed, any new structure must comply with the original 10 foot drainage and wall easement.

NEXT STEP

Follow all City regulations and apply for a building permit for the brick pavers.

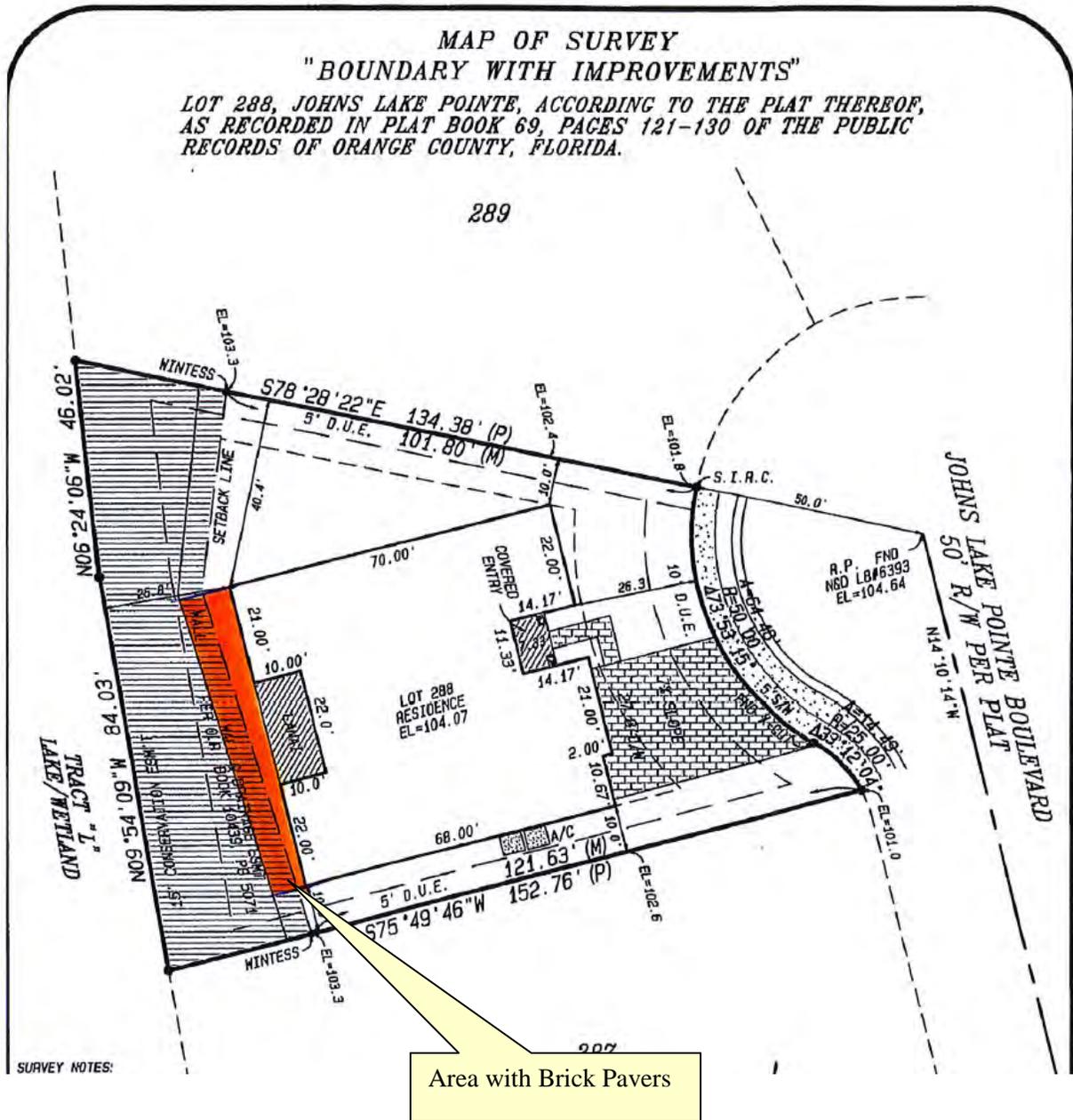
ATTACHMENTS

- Aerial Photo
- Site Plan
- Site Photos

AERIAL PHOTO
15344 Johns Lake Pointe Boulevard



SITE PLAN
15344 Johns Lake Pointe Boulevard



SITE PHOTOS
15344 Johns Lake Pointe Boulevard

Looking south at back yard.



Looking north at back yard.



SITE PHOTOS

15344 Johns Lake Pointe Boulevard

Looking west from south side of house.



END OF STAFF REPORT

THE CITY OF WINTER GARDEN
PLANNING AND ZONING BOARD AGENDA ITEM

ITEM # 11 (Public Hearing)

DATE: May 29, 2015 **MEETING DATE:** June 1, 2015

SUBJECT: 628 Dharma Circle (VARIANCE)
PROJECT NAME 628 Dharma Circle, Nguyen Residence
PARCEL ID# 26-22-27-1988-00-100

ISSUE: The applicant is requesting a Variance Permit to allow a screen room with aluminum roof structure to be placed on the rear of the residence at a 10 foot setback in lieu of the required 20 foot setback.

SUPPLEMENTAL MATERIAL/ANALYSIS:

OWNER/APPLICANT: David Nguyen

CURRENT ZONING: PUD (Ord. 98-22)

PROPOSED ZONING: N/A

CURRENT FLU: Low Density Residential

PROPOSED FLU: N/A

SUMMARY:

The subject property consists of a 0.175 ± acre lot located at 628 Dharma Circle within the Daniels Crossing Subdivision (Phase 3). The applicant is requesting a variance permit to allow a solid aluminum roof screen structure in the rear of the home. The variance is for the attached screen structure to the principal building exceeding allowed rear setbacks (See attached Staff Report).

STAFF RECOMMENDATION(S):

Staff recommends approval of the rear yard setback variance with the conditions outlined in the Staff Report

NEXT STEP(S):

Apply for a building permit to proceed with construction of the structure.

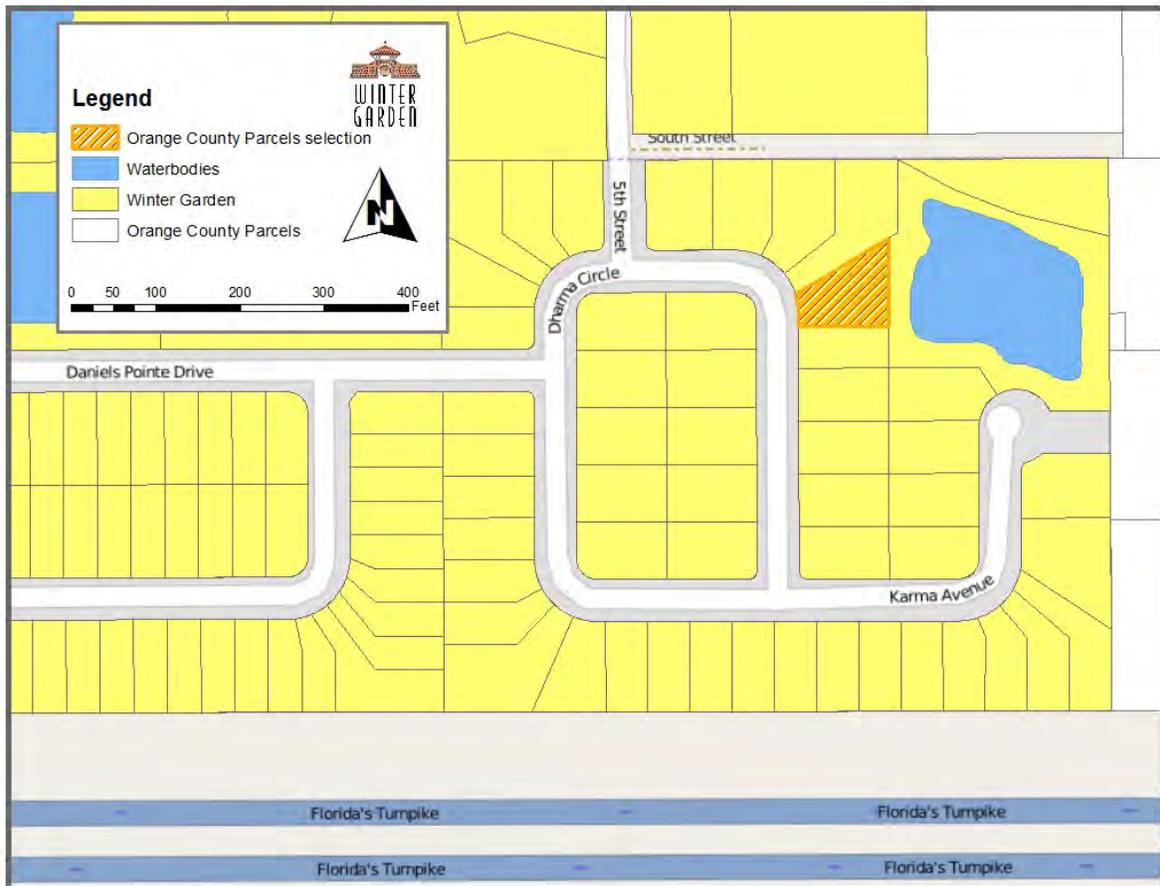
ATTACHMENT(S):

Location Map
Staff Report

LOCATION MAP

628 Dharma Circle

VARIANCE



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STAFF REPORT

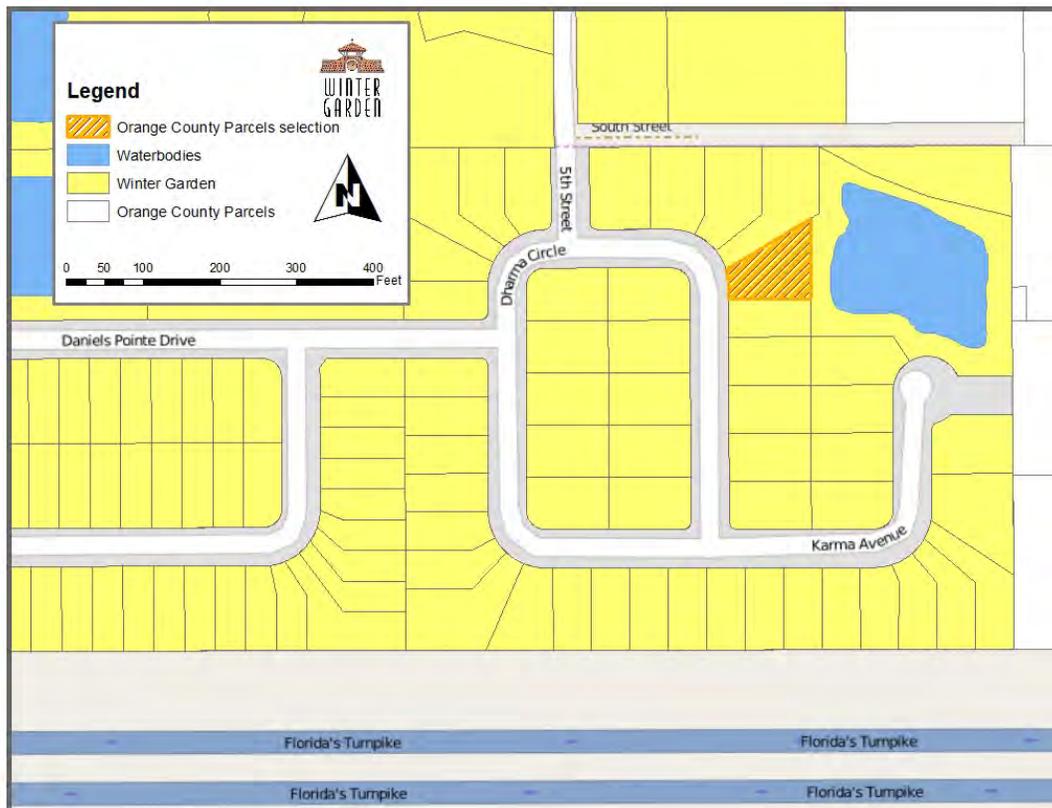
TO: PLANNING AND ZONING BOARD
PREPARED BY: JESSICA FRYE, PLANNER I
DATE: MAY 29, 2015
SUBJECT: VARIANCE
628 DHARMA CIRCLE (0.175 +/- ACRES)
PARCEL ID # 26-22-27-1988-00-100

APPLICANT: DAVID NGUYEN

INTRODUCTION

The purpose of this report is to evaluate the request for a rear yard setback variance for the property located at 628 Dharma Circle in Winter Garden, Florida. The request is for a 10' rear yard setback in lieu of the minimum required 20' rear yard setback. If approved, this variance will allow the construction of a screen room with a solid aluminum roof patio.

The subject property, located on Dharma Circle, is approximately 0.175 ± acre lot in the Daniels Crossing Subdivision (Phase III). The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The subject property carries the zoning designation PUD (Ord. 98-22) and is designated LR (Low Density Residential) on the Future Land Use Map of the City's Comprehensive Plan.

EXISTING USE

The subject property is currently developed with a single family residence.

ADJACENT LAND USE AND ZONING

The properties immediately adjacent to the subject property are zoned PUD (ord. 98-22) within the Daniels Crossing Subdivision and are within the City of Winter Garden Municipal limits.

PROPOSED PROJECT

The applicant is proposing to build a new screen room with a solid aluminum roof over an existing concrete slab. The addition will be approximately 300 square feet.

CODE REFERENCE

Ordinance 98-22. of the approved Planned Unit Development Ordinance addresses rear setbacks as 20'.

The applicant is seeking a variance to the minimum required rear yard setback of approximately 20' to allow an addition to the home to be located approximately 10' from the rear property.

CODE REQUIREMENTS / CRITERIA

Section 118-131 of the City Code that relates to the review criteria states that, "A variance may be granted from land development regulations by the planning and zoning board if the planning and zoning board concludes that literal enforcement of the provisions of land development regulations would result in either practical difficulties (for setback and parking provisions) or unnecessary hardships (for all other land development regulations) for the property at issue." The code also lists the following criteria that are to be addressed before a variance can be approved. Underlined text is Staff's comments concerning this particular petition.

(1) Granting the variance will not cause or allow interference with the reasonable enjoyment of adjacent or nearby property owners or negatively impact the standard of living of the citizens of the city;

The proposed screen room with a solid aluminum roof over an existing concrete slab 10' from the rear property line should not negatively impact or interfere with the reasonable enjoyment of adjacent or nearby property owners. Several of the properties within the adjacent neighborhood as well as other older neighborhoods throughout the City feature structures that exceed the rear yard setbacks permitted in the PUD zoning districts. Several properties within the Daniels Crossing Subdivision (Phase III) have solid roof structures in the rear of their property that encroaches the 20' setback. The property located south of the subject property at 534 Dharma Circle was approved for a variance in 2002 and features a home with a solid roof structure that was built within 4' of the rear property line. The property located at 574 Karma Avenue was approved for a rear setback variance in 2004. The addition was also approved by the Daniels Crossing Homeowners Association. In addition, this project will not negatively impact the standard of living of the citizens of the

City.

- (2) *The variance will allow a reasonable use of the property, which use is not out of character with other properties in the same zoning category;*

The requested variance allowing a 10' rear yard setback in lieu of the minimum required 20' rear yard setback to construct a screen room with a solid aluminum roof will allow reasonable use of the property. The proposed structure will help the resident fully enjoy the rear of the property and will also help with the aesthetics of the property. Furthermore, granting this variance will not change the low density residential character of the neighborhood.

- (3) *In the context presented, strict compliance with the land development regulation will not further any legitimate city objective or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under this criteria if the variance were denied;*

Strict compliance with the City's land development regulations will not further any legitimate City objective. This request does not encroach into any recorded easements, does not exceed the maximum impervious surface allowed for the PUD zoned properties (65%), and meets all other development regulations of the Winter Garden Code of Ordinances.

- (4) *The granting of the variance is consistent with the city's comprehensive plan; and*
The variance is consistent with the provisions of the City's Comprehensive Plan relating to low density residential neighborhood character.

- (5) *The variance requested is the minimum variance that will make reasonable use of the land, building, or structure or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under these criteria if the variance were denied.*

The variance requested is the minimum variance that will make reasonable use of the land. The proposed screen room with solid aluminum roof will not negatively impact the neighbors and is consistent with rear yard setbacks enjoyed by many other property owners throughout the City. Denying this variance does not benefit the property owner or the City.

SUMMARY

Staff recommends approval of the variance to the PUD (ord. 98-22) to allow a screen room addition to be built at a 10' rear yard setback in lieu of the minimum required 20' rear yard setback with the following condition:

1. The room cannot be fully enclosed or become an air conditioned space.

NEXT STEP

Obtain building permits while following all City of Winter Garden development regulations.

ATTACHMENTS

- Aerial Photo
- Proposed Site Plan
- Site Photos

AERIAL PHOTO
628 Dharma Circle



SITE PHOTOS
628 Dharma Circle





END OF STAFF REPORT