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PLANNING & ZONING BOARD AGENDA

To: Eric Weiss – Chairman
Will Hawthorne – Vice Chairman
Mark DeFuso
Heather Gantt
H. Gerald Jowers
David Kassander
Mark Maciel

Copy to: Mike Bollhoefer
Dan Langley
Kurt Ardaman
Ed Williams
Stephen Pash
Kelly Carson
Nadine Avola

RE: Agenda – **January 5, 2015** – 6:30 PM
Commission Chambers, City Hall
300 West Plant Street, Winter Garden

1. **CALL TO ORDER**
2. **ROLL CALL AND DETERMINATION OF QUORUM**
3. **APPROVAL OF MINUTES FROM THE DECEMBER 1, 2014 MEETING**
ANNEXATION / FUTURE LAND USE MAP AMENDMENT / REZONING (PUBLIC HEARING)
4. 933 Carter Road – Duston Properties II, LLC
AZFA - Parcel ID # 24-22-27-0000-00-015
5. 120 E Maple Street – Jude Meus
Zoning - Parcel ID # 23-22-27-7948-02-010
6. 360 W Plant Street – Blue House Development, LLC
Zoning - Parcel ID # 23-22-27-2888-05-011
PRELIMINARY PLAT / FINAL PLAT / LOT SPLIT (PUBLIC HEARING)
7. Lake Brim Drive – Lake Apopka 2012, LLC
PrePlat – Parcel ID # 21-22-27-0000-00-059
8. 17001 Marsh Road – M Boyd/McKinnon Corp/McKinnon Groves/Waterside at Johns Lake LLC
PrePlat – Parcel ID # 06-23-27-0000-00-002, -003, -004; 06-23-27-4272-00-030;
06-23-27-4288-08-211, -321
9. 562 Beard Road – Adalee J Roper Trust
PrePlat – Parcel ID # 26-22-27-0000-00-029
SPECIAL EXCEPTION PERMIT (PUBLIC HEARING)
10. 16100 Marsh Road – Corner Market Orlando, Inc.
Special Exception – Parcel ID # 04-23-27-0302-03-000

VARIANCE (PUBLIC HEARING)

11. 224 S Boyd Street – Tory Parish, Parish Family Revocable Living Trust
Variance – Parcel ID # 23-22-27-8096-00-110

12. **ADJOURNMENT**

To the next regular Planning and Zoning Board meeting on Monday, **February 2, 2015** at 6:30 p.m. in City Hall Commission Chambers, 300 W. Plant Street, 1st floor.



**A REGULAR MEETING MINUTES
PLANNING AND ZONING BOARD
DECEMBER 1, 2014**

1. CALL TO ORDER / PLEDGE OF ALLEGIANCE / INVOCATION

Vice-Chairman Eric Weiss called the meeting of the City of Winter Garden Planning and Zoning Board to order at 6:30 p.m. in the City Hall Commission Chambers. A moment of silence was followed by the Pledge of Allegiance.

2. ROLL CALL AND DETERMINATION OF QUORUM

The roll was called and a quorum was declared present.

MEMBERS PRESENT:

Vice-Chairman Eric Weiss and Board Members: Mark DeFuso, Gerald Jowers, David Kassander, Mark Maciel, and new Board Member Will Hawthorne

MEMBERS ABSENT:

Heather Gantt (excused)

STAFF PRESENT:

City Attorney Kurt Ardaman, Community Development Director Ed Williams, Community Development Manager Steve Pash, Finance Director Laura Zielonka, and Customer Service Rep. Kathleen Rathel

3. APPROVAL OF MINUTES

Motion by David Kassander to approve the regular meeting minutes of November 3, 2014 and seconded by Mark Maciel. Motion carried unanimously 6 - 0.

ANNEXATION / FUTURE LAND USE MAP AMENDMENT / REZONING (PUBLIC HEARING)

4. 740 S Park Avenue – Adrian Galvan (ANNEXATION/FLU/ZONING)

Community Development Manager Pash presented a voluntary request for Annexation, Future Land Use designation, and Zoning for the property located at 740 S Park Avenue. The subject property makes up a 0.22 +/- acre enclave located on the west side of South Park Avenue, north of Jackson Street and south of West Story Road. The applicant has requested Annexation into the City, Amendment to the Future Land Use Map of the City's Comprehensive Plan to designate the property as Low Density Residential and initial Zoning of R-2. Staff recommends approval of Ordinances 15-05, 15-06 and 15-07.

Motion by Mark DeFuso to recommend approval for 740 S Park Avenue with Staff Recommendations and terminology change on the Ordinance numbers from 14 to 15 [Ordinances 15-05, 15-06 and 15-07] (as provided in the agenda packet) and seconded by Gerald Jowers. Motion carried unanimously 6 - 0.

5. 502 Winter Garden Vineland Road – Joseph P. Nuria (ANNEXATION/FLU/ZONING)

Community Development Manager Pash presented a voluntary request for Annexation, Future Land Use designation, and Zoning for the vacant lot located at 502 Winter Garden Vineland Road. The subject property makes up a 0.52 ± acre enclave located on the west side of Winter Garden Vineland Road, north of High Tide Drive and south of Bradford Creek Boulevard. The applicant has requested Annexation into the City, Amendment to the Future Land Use Map of the City's Comprehensive Plan to designate the property as Low Density Residential, and initial Zoning of R-1. Staff recommends approval of Ordinances 15-08, 15-09 and 15-10 with the condition that all access be provided from within the Bradford Creek Subdivision to limit the access onto Winter Garden Vineland Road.

Motion by David Kassander to recommend approval of the Annexation, Future Land Use Designation and Zoning for 502 Winter Garden Vineland Road with Staff Recommendations and terminology change on the Ordinances from 14 to 15 [Ordinances 15-08, 15-09 and 15-10] (as provided in the agenda packet) and seconded by Will Hawthorne. Motion carried unanimously 6 - 0.

6. 17500 Marsh Road – Four Corners UVPUD (REZONING)

Community Development Manager Pash presented a request for Rezoning for the property located at all four corners of Marsh Road and Williams Road. The subject property makes up 23.64 +/- acres for Urban Village Planned Unit Development. The zoning would consist of low-density residential development on the southern side with some mixed use commercial development starting 500 feet north of the southern boundary. The Ordinance states items that are allowed by right and others that would be allowed by Special Exception. Following a community meeting, apartment complexes would be specifically prohibited and a gas station would have to be approved by Special Exception. Staff recommends approval of Ordinance 15-04.

Board Member Weiss asked if the property on the north side of the lake was a wetland area and not to be developed. Mr. Pash stated that area was not in this development but the JPA-6 and this UVPUD requires a 100 foot wide buffer zone for no development. This site also includes two on-site karst features which have buffer zones. A discussion ensued regarding the proposed development, setbacks and buffers.

Resident Jeff Graft, 2813 Williams Road, Winter Garden FL, stated he has lived there since 1989 and is part of the Avalon Property Owners Association and the Rural Settlement Area. He spoke against the gas station proposal citing concerns on ground water pollution to their wells, increased traffic, and lighting issues.

Resident Sharon Newton, 17216 Davenport Road, Winter Garden FL, voiced her concerns about hazardous chemicals leaching into their well water from a gas station, outdoor sales displays, and brightly lit signs.

Resident Rosie Fussell, 3851 Rex Road, Winter Garden FL, stated she has lived there since 1994. She voiced her concern about a gas station but was most concerned about the traffic and wanted specifics on how traffic was going to be kept out of the rural settlement.

Resident Carol Johnson, 16605 Sandhill Road, Winter Garden FL, stated she was a member of the Avalon Home & Property Owners Association and Lake Avalon Rural Settlement and voiced her concerns on the high rate of speed of traffic but was most concerned about a gas

station and suggested the larger intersection of Marsh Road and Avalon Road would be more appropriate.

Community Development Director Williams stated this property was previously located in unincorporated Orange County and designated as part of Horizons West with higher density levels. The new zoning would have lower density levels and the City of Winter Garden was trying to help with the traffic issues by lowering the speed limit to 35, fixing the intersection, adding round-a-bouts, making grade changes, signalization, and a 10 foot hike/bike trail. The Developer has also agreed to not open a road extension to help keep traffic to a minimum. Mr. Williams added that the State requires gas stations to have double containment systems with active monitoring to reduce chances of pollution to ground water.

A question was raised whether the surrounding rural settlement was County or City and Mr. Pash responded that it was under Orange County jurisdiction. A discussion ensued regarding the outdoor electric signs and displays and Special Exception criteria.

Board Member Weiss reminded the Board that this application was only for rezoning and the applicant would have to apply for the Special Exception for a gas station.

Resident Louise Ferguson, 17635 Seidner Road, Winter Garden FL, stated she was present at the 7-11 meeting and said once property is zoned for a gas station then there was no way to fight a gas station going in and voiced her opinion to remove the gas station option.

Resident Art Slowe, 16405 Sandhill Road, Winter Garden FL, stated he is a member of the Rural Settlements Board of Directors. He appreciates the efforts of the City to mitigate some of the impact of development in their area but they want to preserve the character of their community by having shops appropriate for the rural area and business hours.

Board Member Maciel asked what the Board's obligation is to consider opposition in regards to the JPA. Mr. Williams replied that the JPA has very specific requirements such as lighting, porches, density restrictions, and buffer areas. The issue is that adjoining property owners are objecting to a specific use proposed under the Special Exception and the Board can decide the appropriate usage.

Motion by David Kassander to recommend amending Ordinance 15-04 by moving Fuel Sales from Paragraph 2 B; Special Exceptions to Paragraph C; Prohibited Uses and Structures and seconded by Mark DeFuso.

Board Member Jowers clarified this item is only to change the zoning and not allowing any building and any special exception would be back before the Board for consideration. Board Member Maciel stated it was important to keep the character and style for the area in the facades. Board Member DeFuso related his experience with the 7-11 issue and the fight the residents had in opposition to that gas station in their neighborhood. Board Member Kassander voiced his concern with Florida Statutes on Special Exceptions.

Vice Chairman Weiss asked for a vote on the motion to move Fuel Sales from Special Exceptions to Prohibited Uses. Motion failed 2 – 4: Eric Weiss, Will Hawthorne, Gerald Jowers and Mark Maciel opposed.

Motion by Gerald Jowers to recommend approval of Ordinance 15-04 for 17500 March Road with Staff Recommendations (as provided in the agenda packet) and seconded by Mark Maciel. Motion carried unanimously 6 - 0.

SPECIAL EXCEPTION PERMIT (PUBLIC HEARING)

7. 1000 Lincoln Terrace – St Luke’s United Methodist Church

Community Development Manager Pash presented a request for a Special Exception Permit for 1000 Lincoln Terrace to allow for the development of a church run office in an R-5 zoning district. The office will conduct educational programs to assist the surrounding community. Staff recommends approval subject to the following conditions: 1) The applicant shall submit for site plan review to review the proposed development of the parking lot, and 2) All necessary permits must be obtained before beginning construction or site alterations.

Board Member Kassander asked if an office had been allowed before in this zoning. Mr. Pash stated no, but this is an office run by a church so it falls under the Special Exception.

Motion by Will Hawthorne to recommend approval of the Special Exception Permit for 1000 Lincoln Terrace with Staff Recommendations (as provided in the agenda packet) and seconded by Mark Maciel. Motion carried unanimously 6 - 0.

8. 1450 Daniels Road – Mathews Hope Daycare

Community Development Manager Pash presented a request for a Special Exception Permit for 1450 Daniels Road to change a condition of approval from the previously approved Special Exception Permit. The applicant is requesting to change the condition that banned chain link fencing from being used so they can install rubber coated chain link fence around the playground area at the daycare facility. Staff has required PVC or aluminum fence around other day care facility playground areas in the City and recommends that the Board determine if the proposed change in conditions is appropriate.

Pastor Scott Billue of Mathews Hope, 1450 Daniels Road, Winter Garden FL, stated the playground is now in the back of the property and is asking for the rubber-coated chain link fencing for safety reasons for small children. He also quoted from Code Section 118-1297(h) in regards to allowing chain link fencing in the back of the property.

Board Member Maciel asked what would keep children from climbing the fence and if there was any documentation that could be provided to show this fence was safer than others. Mr. Pash stated no documentation was provided but other daycare facilities are using aluminum fencing.

Motion by Gerald Jowers to recommend approval to modify the condition of the Special Exception Permit for 1450 Daniels Road with Staff Recommendations (as provided in the agenda packet) and seconded by Eric Weiss. Motion approved 5 – 1 with Mark Maciel opposed.

VARIANCE (PUBLIC HEARING)

9. 1403 Alborg Court – John & Carol Dobson

Community Development Manager Pash presented a request for a Variance for the property located at 1403 Alborg Court. The applicant is requesting a variance to Section 118-924(d) and Ordinance 00-15 to allow an addition onto the back of the house consisting of a solid roof screen room to be built at a 15 foot rear yard setback in lieu of the minimum required 20 foot rear yard setback. Staff recommends approval subject to the conditions that a letter of approval from the HOA shall be provided with the building permit application.

Board Member Weiss questioned when the HOA letters are required to be submitted. Mr. Pash stated they are required before a building permit is issued. A discussion ensued regarding having the HOA letter at the time of the variance application.

Board Member Kassander expressed concern as this property backs up to another property and this would decrease the distance between the structures. Mr. Pash stated this has been previously approved in this neighborhood and notices are sent out to a 300 foot radius.

Motion by Eric Weiss to recommend approval of the Variance for 1403 Alborg Court with Staff Recommendations (as provided in the agenda packet) and seconded by Gerald Jowers. Motion carried unanimously 6 - 0.

ADDITIONAL ITEMS

10. Ordinance 15-11 – Fire, Police and Recreation Impact Fees

Community Development Manager Pash presented Ordinance 15-11 regarding Fire, Police and Recreation Impact Fees. The fees are put in place to ensure that development pays for itself and not fall on residents and taxpayers. The fees are charged at the time building permits are issued. The City hired a consultant (PRMG), who recently conducted a municipal services impact fee study and based on their analysis and findings recommended that the police protection, fire and rescue, and recreation impact fees should be adjusted.

Motion by David Kassander to recommend approval of Ordinance 15-11 (as provided in the agenda packet) and seconded by Eric Weiss. Motion carried unanimously 6 - 0.

11. P & Z Board to appoint a new Chairman and Vice-Chairman

David Kassander made a motion to nominate Eric Weiss for Chairman. Eric Weiss accepted the nomination. Seconded by Mark DeFuso and carried unanimously 6 – 0.

Eric Weiss made a motion to nominate Gerald Jowers for Vice-Chairman. Gerald Jowers respectfully declined the nomination due to his travel schedule.

Gerald Jowers made a motion to nominate Will Hawthorne for Vice-Chairman. Will Hawthorne accepted the nomination. Seconded by Mark Maciel and carried unanimously 6 – 0.

12. ADJOURNMENT

There being no further business, the meeting was adjourned at 8:08 pm.

ATTEST:

APPROVED:

Customer Service Rep. Kathleen Rathel

Chairman Eric Weiss

THE CITY OF WINTER GARDEN
PLANNING AND ZONING BOARD AGENDA ITEM

ITEM # 4 (Public Hearing)

DATE: December 29, 2014 **MEETING DATE:** January 5, 2015

SUBJECT: 933 Carter Road East Fullers Cross Road – (ANNEXATION, ZONING, FLU)
PROJECT NAME 933 Carter Road
PARCEL ID# 24-22-27-0000-00-015

ISSUE: The applicant is requesting Annexation, Zoning, and Future Land Use designation on property located at 933 Carter Road.

SUPPLEMENTAL MATERIAL/ANALYSIS:

OWNER/APPLICANT: Duston Properties II, LLC

CURRENT ZONING: A-1 (Orange County)

PROPOSED ZONING: I-2

CURRENT FLU: Low Density Residential (Orange County)

PROPOSED FLU: Multi Office Industrial (City)

SUMMARY:

The City encourages infill of its jurisdictional limits through voluntary annexation of enclaves. The subject property makes up a 0.907 ± acre enclave located on the east side of Carter Road, south of East Story Road and north of West Colonial Drive. The applicant has requested Annexation into the City, Initial Zoning of I-2, and Amendment to the Future Land Use Map of the City's Comprehensive Plan to designate the property as Multi Office Industrial (See attached Staff Report).

STAFF RECOMMENDATION(S):

Staff recommends approval of Ordinance 15-13, Ordinance 15-14, and Ordinance 15-15.

NEXT STEP(S):

A public meeting for the first reading of the ordinances is scheduled for the City Commission on Thursday, January 8, 2015.

ATTACHMENT(S):

Location Map
Staff Report
Ordinance 15-13
Ordinance 15-14
Ordinance 15-15

LOCATION MAP

933 Carter Road

ANNEXATION, ZONING, FLU MAP AMENDMENT



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

TO: PLANNING AND ZONING BOARD
PREPARED BY: STEVE PASH, COMMUNITY DEVELOPMENT MANAGER
DATE: DECEMBER 29, 2014
SUBJECT: ANNEXATION – FLU AMENDMENT – ZONING
933 CARTER ROAD (0.907 +/- ACRES)
PARCEL ID #: 24-22-27-0000-00-015
APPLICANT: DUSTON PROPERTIES II, LLC

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located at 933 Carter Road, on the east side of Carter Road south of East Story Road and north of West Colonial Drive and is approximately 0.907 ± acres. The map below depicts the proximity of the subject property to the City’s jurisdictional limits:



The applicant has requested annexation into the City, amendment to the Future Land Use Map (FLUM) of the City’s Comprehensive Plan to designate the property as Multi Office Industrial, and rezoning the property to I-2 General Industrial District.

In accordance with the City’s Comprehensive Plan, properties designated with the Multi Office Industrial land use category are required to be developed at a floor area ratio not greater than 0.35 and up to a floor area ratio of 0.75 by development bonus in Activity Centers. Maximum building height is three stories and up to five stories by development bonus in activity centers. The Multi Office Industrial land use shall be located in the northeast area of the City. The Multi Office Industrial land use areas should be developed as planned office and industrial parks with extensive landscaping, coordinated parking, roadway connectors, and cross access. Permitted uses shall include office, research and development, distribution facilities, industrial, support office uses, warehousing, office showroom, support manufacturing, assembly uses, industrial, and support retail. Mixed-use development will be encouraged in this land use where mixed uses may occupy the same building or same parcel. Development shall provide transit and pedestrian-friendly design. Development may exceed the stated 0.5 floor area ratio only by development bonus, no development rights are guaranteed at intensities or densities above the stated permitted range. The zoning classifications that are consistent with Multi Office Industrial land use designation include C-2, C-3, C-4, I-1, I-2, PID, PUD, and INT.

The City endorses infill of its jurisdictional limits through voluntary annexation of enclaves. The elimination of enclaves through voluntary annexation furthers the goals, objectives, and policies of the City’s Comprehensive Plan.

EXISTING USE

The subject property currently contains one single family house.

ADJACENT LAND USE AND ZONING

The property located to the north is vacant on the southern end, but the northern portion is a paved parking lot of Manheim Auto Auctions, zoned I-2, and located in Winter Garden. The property located to the east is developed with a single family house, zoned A-1, and located in Orange County. The property to the south is developed with a single family house, zoned A-1, and located in Orange County. The property to the west is developed with a recreational vehicle storage parking lot, zoned I-2, and located in Winter Garden.

PROPOSED USE

The applicant intends to annex the property and sometime in the future construct a building to be used for an auto service business.

PUBLIC FACILITY ANALYSIS

The City will provide garbage collection, police protection, and all other services regularly

provided to City of Winter Garden residents including building permits. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department under the First Response System.

SUMMARY

Annexation will provide a more efficient delivery of services to the property and further the goals and objectives of the City of Winter Garden’s Comprehensive Plan to eliminate enclaves. City Staff recommends approval of the proposed Ordinances.

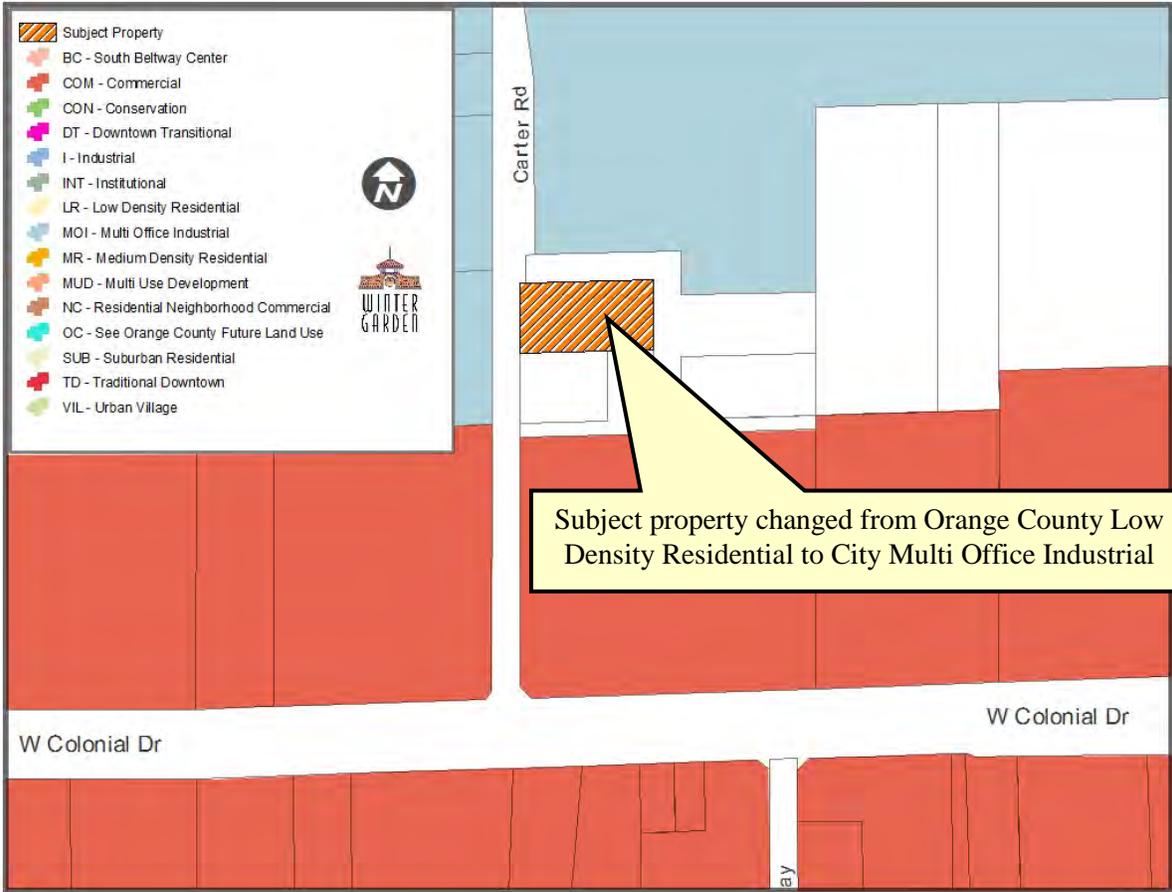
MAPS

AERIAL PHOTO

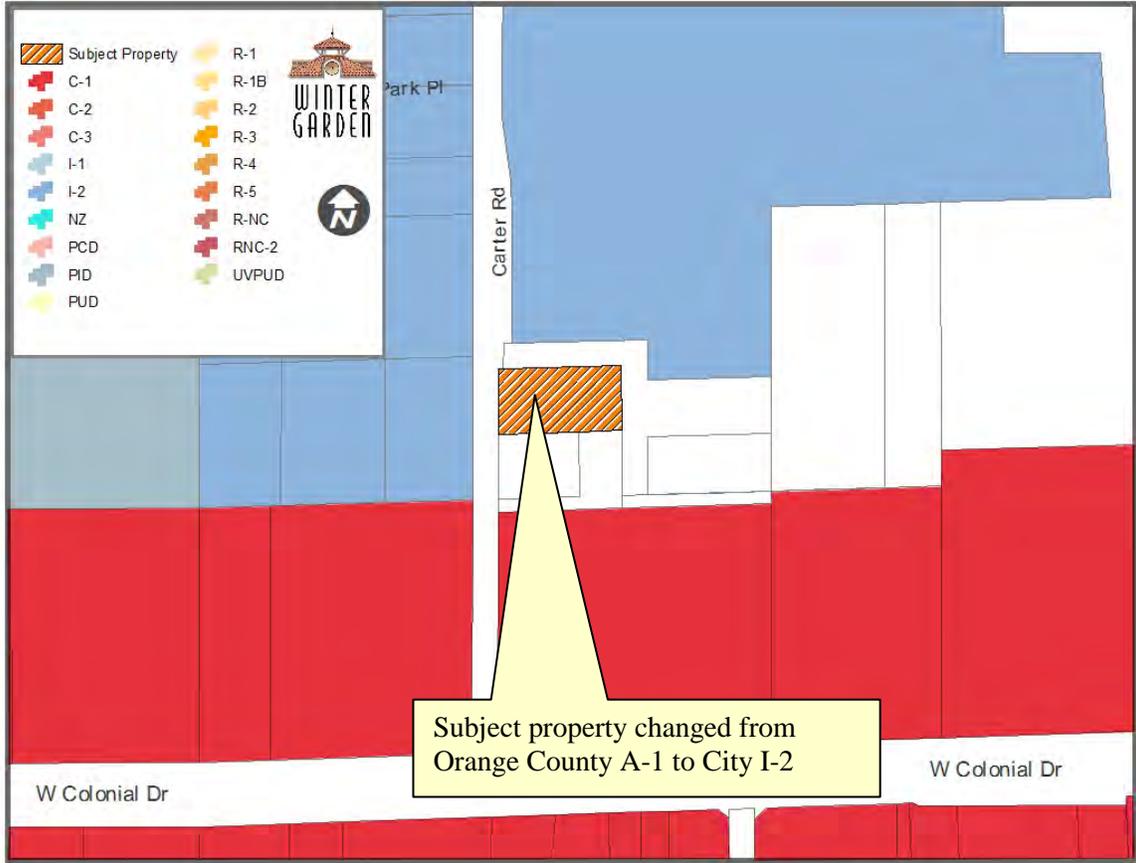
933 Carter Road



FUTURE LAND USE MAP 933 Carter Road



ZONING MAP
933 Carter Road



END OF STAFF REPORT

ORDINANCE 15-13

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA PROVIDING FOR THE ANNEXATION OF CERTAIN ADDITIONAL LANDS GENERALLY DESCRIBED AS APPROXIMATELY 0.907 ± ACRES LOCATED AT 933 CARTER ROAD ON THE EAST SIDE OF CARTER ROAD, SOUTH OF EAST STORY ROAD AND NORTH OF WEST COLONIAL DRIVE INTO THE CITY OF WINTER GARDEN FLORIDA; REDEFINING THE CITY BOUNDARIES TO GIVE THE CITY JURISDICTION OVER SAID PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner of the land, generally described as approximately 0.907 ± acres located at 933 Carter Road on the east side of Carter Road, south of East Story Road and north of West Colonial Drive and legally described in Section 2 of this Ordinance, which land is reasonably compact and contiguous to the corporate limits of the City of Winter Garden, Florida (“City”), has, pursuant to the prerequisites and standards set forth in § 171.044, Fla. Stat., petitioned the City Commission for voluntary annexation;

WHEREAS, the petition for voluntary annexation referenced herein bears the signatures of all owners of the property or properties described in Section 2 of this Ordinance (*i.e.*, the property or properties to be annexed); and

WHEREAS, the City has determined that the property described in Section 2 of this Ordinance is located in an unincorporated area of the County and that annexation of such property will not result in the creation of an enclave.

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: *Annexation.* That the City Commission through its Planning and Zoning Board has conducted an investigation to determine whether the described property meets the prerequisites and standards set forth in Chapter 171, Fla. Stat. and has held a public hearing and said petition and made certain findings.

SECTION 2: *Description of Area Annexed.* That, after said public hearing and having found such petition meets said prerequisites and standards, the property legally defined in ATTACHMENT “A” and graphically shown on the attached map shall be annexed into the City of Winter Garden, Florida.

SECTION 3: *Effect of Annexation.* That the City of Winter Garden, Florida, shall have all of the power, authority, and jurisdiction over and within the land as described in Section 2 hereof, and the inhabitants thereof, and property therein, as it does and have

over its present corporate limits and laws, ordinances, and resolutions of said City shall apply and shall have equal force and effect as if all territory had been part of said City at the time of the passage of such laws, ordinances, and resolutions.

SECTION 4: *Apportionment of Debts and Taxes.* Pursuant to § 171.061, Fla. Stat., the area annexed to the City shall be subject to all taxes and debts of the City upon the effective date of annexation. However, the annexed area shall not be subject to municipal ad valorem taxation for the current year if the effective date of the annexation falls after the City levies such tax.

SECTION 5: *Instructions to Clerk.* Within seven (7) days following the adoption of this Ordinance, the City Clerk or his/her designee is directed to file a copy of this ordinance, including ATTACHMENT "A" hereto, with the clerk of the circuit court and the chief administrative officer of Orange County as required by § 171.044(3), Fla. Stat.

SECTION 6: *Severability.* Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

SECTION 7: *Effective Date.* This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2015.

SECOND READING AND PUBLIC HEARING: _____, 2015.

ADOPTED this _____ day of _____, 2015, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

KATHY GOLDEN, City Clerk

ATTACHMENT "A"

LEGAL DESCRIPTION

PARCEL ID#: 24-22-27-0000-00-015

DESCRIPTION:

BEGIN AT A POINT S88°35'30"W 350.23 FEET AND S00°01'30"E 364.00 FEET FROM THE NORTHEAST CORNER OF THE SOUTHWEST ¼ OF THE SOUTHEAST ¼ OF SECTION 24, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, RUN THENCE S88°35'30"W 290.00 FEET, THENCE S00°01'30"E 152.00 FEET, THENCE N88°35'30"E 290.00 FEET, THENCE N00°01'30"W 152.00 FEET TO THE POINT OF BEGINNING. (LESS THE WEST 30 FEET FOR ROAD RIGHT OF WAY)

CONTAINS 39,508 SQUARE FEET OR 0.907 ACRES MORE OR LESS

ORDINANCE 15-14

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS 0.907 ± ACRES LOCATED AT 933 CARTER ROAD ON THE EAST SIDE OF CARTER ROAD, SOUTH OF EAST STORY ROAD AND NORTH OF WEST COLONIAL DRIVE FROM ORANGE COUNTY LOW DENSITY RESIDENTIAL TO CITY MULTI OFFICE INDUSTRIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, on the 13th of June, 1991, the City Commission of the City of Winter Garden adopted Ordinance 91-16 which adopted a new Comprehensive Plan for the City of Winter Garden, and on the 24th of June, 2010, the City Commission of the City of Winter Garden adopted Ordinance 10-19 readopting and amending the Comprehensive Plan for the City of Winter Garden;

WHEREAS, the owner of that certain real property generally described as approximately 0.907 ± acres located at 933 Carter Road on the east side of Carter Road, south of East Story Road and north of West Colonial Drive, and legally described in ATTACHMENT "A" (the "Property") has petitioned the City to amend the Winter Garden Comprehensive Plan to change the Future Land Use classification from Orange County Low Density Residential to City Multi Office Industrial; and

WHEREAS, the City of Winter Garden's Local Planning Agency and City Commission have conducted the prerequisite advertised public hearings pursuant to Chapter 163, Florida Statutes, regarding the adoption of this ordinance; now, therefore,

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION I. *FLUM Amendment.* The City of Winter Garden hereby amends the Future Land Use Map of the City of Winter Garden Comprehensive Plan by designating the aforesaid Property to City Multi Office Industrial as set forth in ATTACHMENT "B".

SECTION II. *Effective Date.* Provided that the Property described herein is annexed into the City of Winter Garden pursuant to Ordinance 15-13, this Ordinance shall become effective 31 days after adoption, unless the Ordinance is timely challenged pursuant to § 163.3187(5), Fla. Stat., in which case, the Ordinance shall not be effective until the state land planning agency or the Administrative Commission, respectively, issues a final order determining that the adopted Ordinance is in compliance.

SECTION III. Severability. Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

FIRST READING AND PUBLIC HEARING: _____, 2015.

SECOND READING AND PUBLIC HEARING: _____, 2015.

ADOPTED this _____ day of _____, 2015, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

KATHY GOLDEN, City Clerk

ATTACHMENT "A"

LEGAL DESCRIPTION

PARCEL ID#: 24-22-27-0000-00-015

DESCRIPTION:

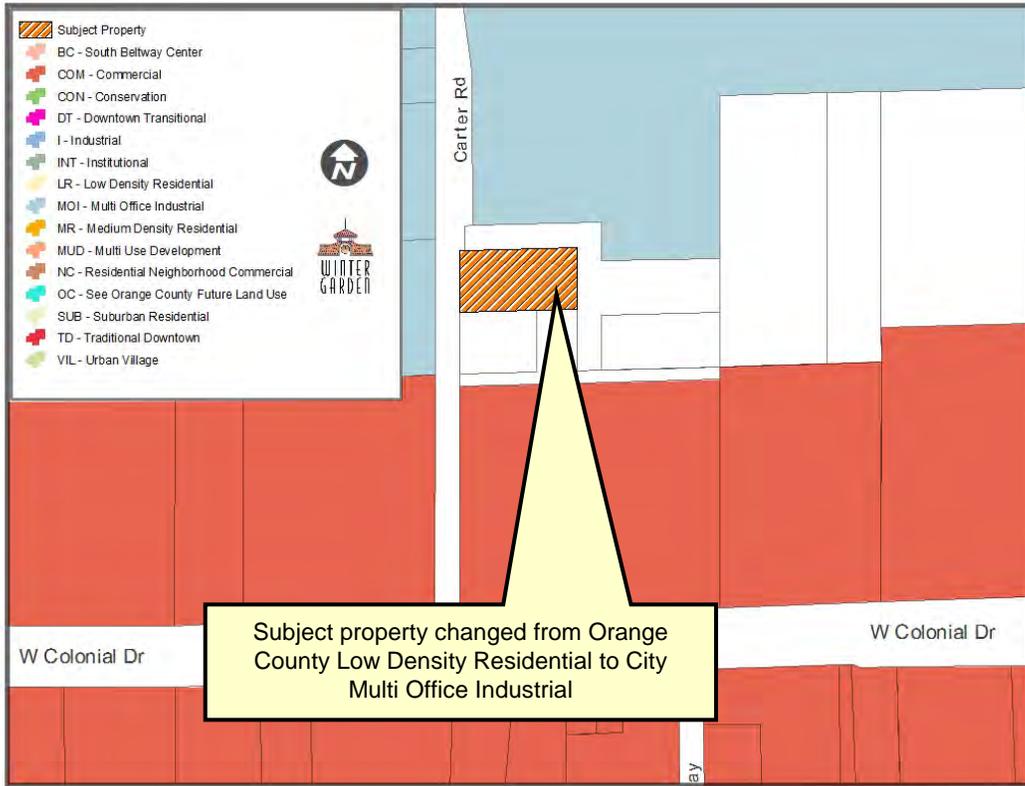
BEGIN AT A POINT S88'35'30"W 350.23 FEET AND S00'01'30"E 364.00 FEET FROM THE NORTHEAST CORNER OF THE SOUTHWEST ¼ OF THE SOUTHEAST ¼ OF SECTION 24, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, RUN THENCE S88'35'30"W 290.00 FEET, THENCE S00'01'30"E 152.00 FEET, THENCE N88'35'30"E 290.00 FEET, THENCE N00'01'30"W 152.00 FEET TO THE POINT OF BEGINNING. (LESS THE WEST 30 FEET FOR ROAD RIGHT OF WAY)

CONTAINS 39,508 SQUARE FEET OR 0.907 ACRES MORE OR LESS

ATTACHMENT "B"

FUTURE LAND USE MAP

955 Carter Road



ORDINANCE 15-15

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA REZONING APPROXIMATELY 0.907 ± ACRES LOCATED AT 933 CARTER ROAD ON THE EAST SIDE OF CARTER ROAD, SOUTH OF EAST STORY ROAD AND NORTH OF WEST COLONIAL DRIVE FROM ORANGE COUNTY A-1 RURAL DISTRICT TO CITY I-2 GENERAL INDUSTRIAL DISTRICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner of that certain real property generally described as 0.907 ± acres located at 933 Carter Road on the east side of Carter Road, south of East Story Road and north of West Colonial Drive, and legally described in Section 1 of this ordinance has petitioned the City to rezone said property from Orange County A-1 Rural District to the City’s I-2 General Industrial District zoning classification, therefore; and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the rezoning approved by this Ordinance is consistent with the City of Winter Garden Comprehensive Plan; and

WHEREAS, further, the City Commission finds that based on competent, substantial evidence in the record, the rezoning approved by this Ordinance meets all applicable criteria for rezoning the Property to I-2 General Industrial District contained within the City of Winter Garden Comprehensive Plan and the Code of Ordinances.

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: *Rezoning.* The above “Whereas” clauses constitute findings by the City Commission. After due notice and public hearing, the zoning classification of real property legally described on ATTACHMENT “A,” is hereby rezoned from Orange County A-1 Rural District to City I-2 General Industrial District in the City of Winter Garden, Florida.

SECTION 2: *Zoning Map.* The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION 3: *Non-Severability.* Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 4: *Effective Date.* This Ordinance shall become effective simultaneously upon the effective date of Ordinance 15-14 which is an amendment to the Future Land Use Map of the City of Winter Garden Comprehensive Plan that allows the property described herein to be zoned as provided in this Ordinance.

FIRST READING AND PUBLIC HEARING: _____, 2015.

SECOND READING AND PUBLIC HEARING: _____, 2015.

ADOPTED this _____ day of _____, 2015, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

KATHY GOLDEN, City Clerk

ATTACHMENT "A"

LEGAL DESCRIPTION

PARCEL ID#: 24-22-27-0000-00-015

DESCRIPTION:

BEGIN AT A POINT S88°35'30"W 350.23 FEET AND S00°01'30"E 364.00 FEET FROM THE NORTHEAST CORNER OF THE SOUTHWEST ¼ OF THE SOUTHEAST ¼ OF SECTION 24, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, RUN THENCE S88°35'30"W 290.00 FEET, THENCE S00°01'30"E 152.00 FEET, THENCE N88°35'30"E 290.00 FEET, THENCE N00°01'30"W 152.00 FEET TO THE POINT OF BEGINNING. (LESS THE WEST 30 FEET FOR ROAD RIGHT OF WAY)

CONTAINS 39,508 SQUARE FEET OR 0.907 ACRES MORE OR LESS

THE CITY OF WINTER GARDEN
PLANNING AND ZONING BOARD AGENDA ITEM

ITEM # 5 (Public Hearing)

DATE: December 29, 2014 **MEETING DATE:** January 5, 2015

SUBJECT: 120 E Maple Street (REZONING)
PROJECT NAME 120 East Maple Street (0.16 +/- ACRES)
PARCEL ID# 23-22-27-7948-02-010

ISSUE: The applicant is requesting the property located at 120 E. Maple Street be rezoned from R-2 to C-3.

SUPPLEMENTAL MATERIAL/ANALYSIS:

OWNER/APPLICANT: Jude & Marie Meus/City of Winter Garden

CURRENT ZONING: R-2 Residential District

PROPOSED ZONING: C-3 Professional Office District

CURRENT FLU: COM Commercial

PROPOSED FLU: N/A

SUMMARY:

The subject property consists of a 0.16 ± acre lot located at 120 East Maple Street at the southwest corner of East Maple Street and Charles Street. The R-2 zoned property currently contains an office building. The applicant is requesting to rezone the property to C-3 Professional Office District to be consistent with the existing Commercial FLU designation as well as the character of the surrounding area and the existing development. (See attached Staff Report).

STAFF RECOMMENDATION(S):

Staff recommends approval of Ordinance 15-17 subject to the conditions listed in the Staff Report (see attached).

NEXT STEP(S):

A public hearing for the first reading of the ordinance is scheduled for the City Commission on Thursday, January 8, 2015.

ATTACHMENT(S):

Location Map
Staff Report
Ordinance 15-17

LOCATION MAP

120 E Maple Street

ZONING



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

TO: PLANNING AND ZONING BOARD
PREPARED BY: STEVE PASH, COMMUNITY DEVELOPMENT MANAGER
DATE: DECEMBER 29, 2014
SUBJECT: REZONING (R-2 to C-3)
120 E MAPLE STREET (0.16 +/- ACRES)
PARCEL ID #: 23-22-27-7948-02-010
APPLICANT: City of Winter Garden

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located at 120 East Maples Street and is approximately 0.16 ± acres. The map below depicts the subject property within the City's jurisdictional limits:



The property is located within the City of Winter Garden jurisdictional limits, is zoned R-2 Residential District, and has a Future Land Use Designation of Commercial. The applicant is now requesting to rezone the property to C-3 Professional Office District, which is consistent with the existing Commercial FLU designation.

EXISTING USE

The subject property contains a 1,760 square foot office building used as a book keeping, immigration, and notary service business. The property was recently reviewed and approved for a small scale site plan to install a parking lot and landscaping.

ADJACENT LAND USE AND ZONING

The properties located to the north of the subject property are zoned C-3 (Professional Office District) and R-2 (Residential District), located within the City of Winter Garden municipal limits, and have a three story office building on the C-3 property and a single family home on the R-2 property. The property located to the east of the subject site is zoned R-2, located in the City, and contains a City Park. The properties to the south of the subject property are zoned C-3, located in the City, and contain a child care facility. The property to the west of the subject property is zoned C-3, located in the City, and contains an office.

PROPOSED USE

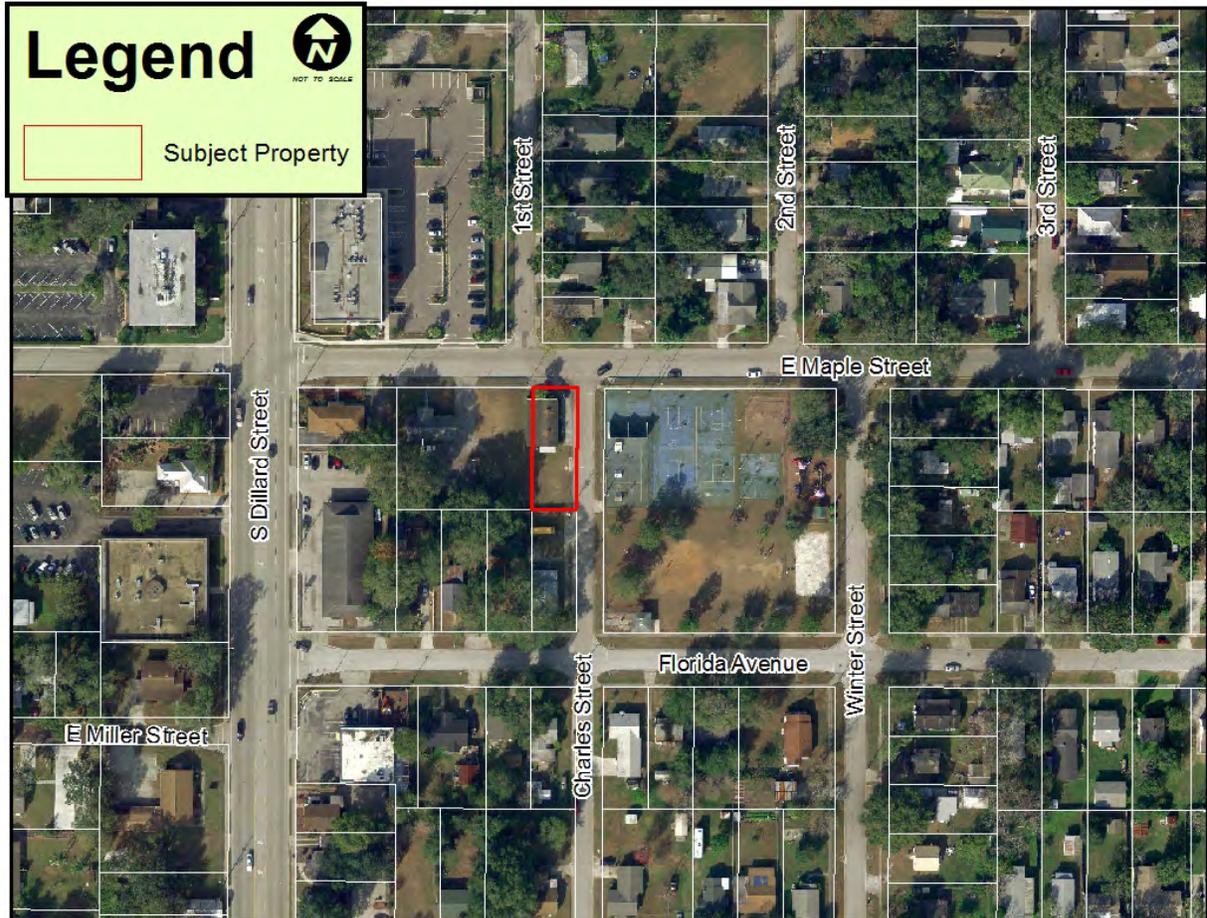
The subject site was previously approved for a Site Plan to construct a parking lot and add landscaping to an existing office building. After the work was completed and the owners applied for a building permit to install a sign, staff found that the property did not have the correct zoning designation. Upon further review, staff found that an error occurred when the Comprehensive Plan was amended in 2010 and the property was not rezoned. This rezoning is being done by the City of Winter Garden to correct an error on the official Zoning Map.

SUMMARY

City Staff recommends approval of the proposed Ordinance.

AERIAL PHOTO

120 EAST MAPLE STREET



ZONING MAP

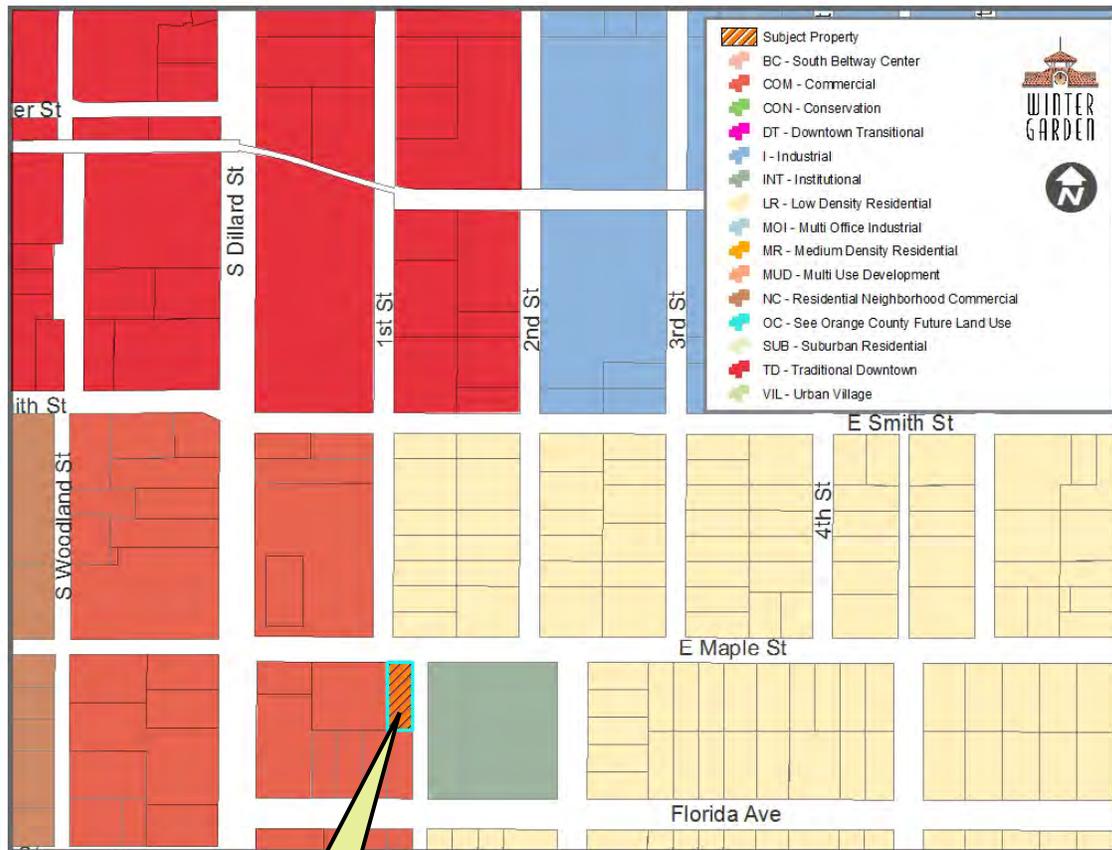
120 EAST MAPLE STREET



**Subject property change
from City R-2 to C-3**

FUTURE LAND USE MAP

120 EAST MAPLE STREET



**Subject property existing
Commercial FLU**

END OF STAFF REPORT

ORDINANCE 15-17

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA REZONING APPROXIMATELY 0.16 ± ACRES LOCATED AT 120 EAST MAPLE STREET AT THE SOUTHWEST CORNER OF EAST MAPLE STREET AND CHARLES STREET FROM CITY R-2 RESIDENTIAL DISTRICT TO CITY C-3 PROFESSIONAL OFFICE DISTRICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner of that certain real property generally described as 0.16 ± acres located at 120 East Maple Street at the southwest corner of East Maple street and Charles Street, and legally described in Section 1 of this ordinance has petitioned the City to rezone said property from R-2 Residential District to C-3 Professional Office District zoning classification, therefore; and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the rezoning approved by this Ordinance is consistent with the City of Winter Garden Comprehensive Plan; and

WHEREAS, further, the City Commission finds that based on competent, substantial evidence in the record, the rezoning approved by this Ordinance meets all applicable criteria for rezoning the Property to C-3 Professional Office District contained within the City of Winter Garden Comprehensive Plan and the Code of Ordinances.

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: Rezoning. The above “Whereas” clauses constitute findings by the City Commission. After due notice and public hearing, the zoning classification of real property legally described on ATTACHMENT “A,” is hereby rezoned from R-2 Residential District to C-3 Professional Office District in the City of Winter Garden, Florida.

SECTION 2: Zoning Map. The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION 3: Non-Severability. Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 4: Effective Date. This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2015.

SECOND READING AND PUBLIC HEARING: _____, 2015.

ADOPTED this _____ day of _____, 2015, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

KATHY GOLDEN, City Clerk

ATTACHMENT "A"

LEGAL DESCRIPTION

PARCEL ID#: 23-22-27-7948-02-010

DESCRIPTION:

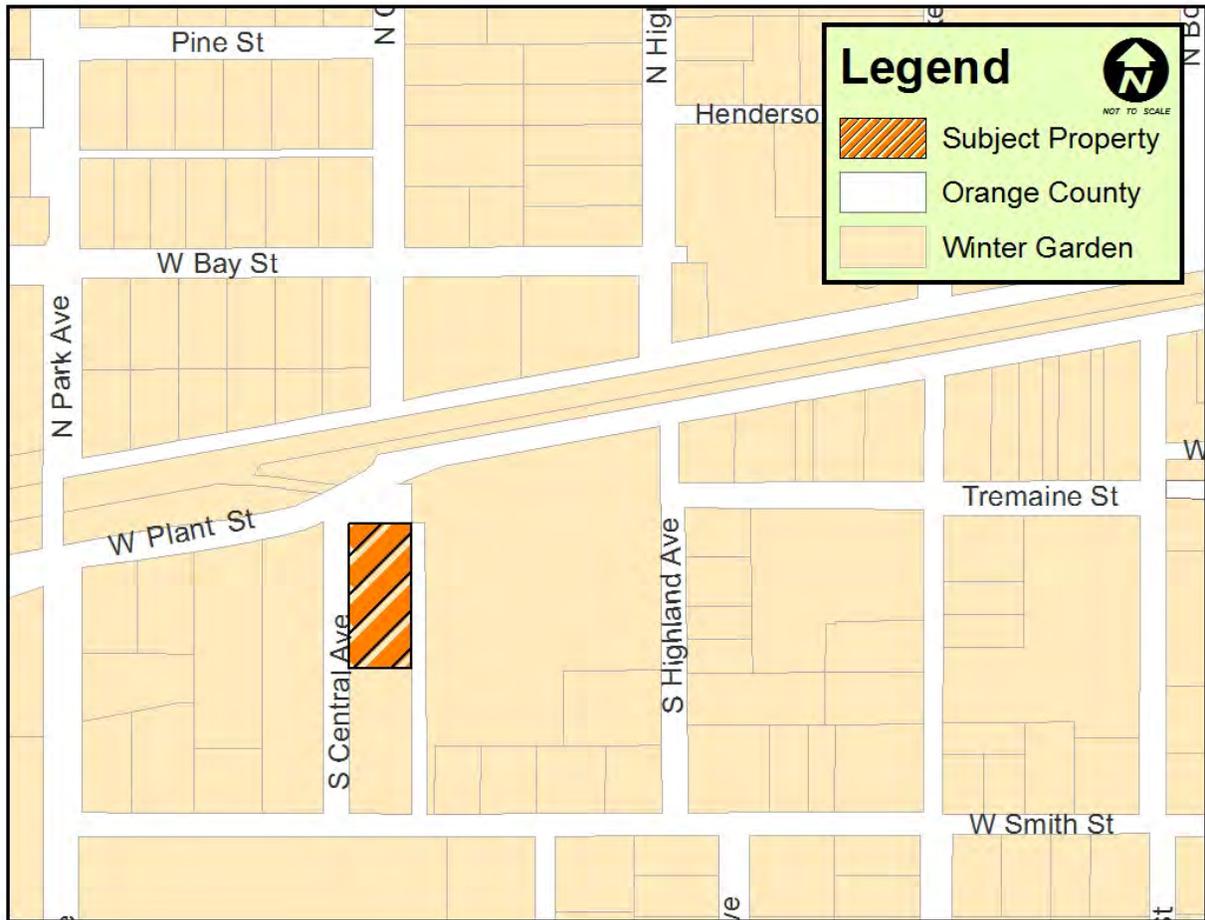
Lot 1, Block B, SHADOW LAWN SUBDIVISION, according to the Plat thereof, as recorded in Plat Book L, Page 125, Public Records of Orange County, Florida, being more particularly described as follows: Begin at the Northeast corner of Lot 1, Block B, SHADOW LAWN SUBDIVISION, according to the Plat thereof, as recorded in Plat Book L, Page 125, Public Records of Orange County, Florida; thence run South 00°00'00" East 135.00 feet to the Southeast corner of said Lot 1; thence South 90°00'00" West 50.00 feet to the Southwest corner of said Lot 1; thence North 00°00'00" East 135.00 feet to the Northwest corner of said Lot 1; thence North 90°00'00" East 50.00 feet to the POINT OF BEGINNING.

Containing 0.155 acres, more or less.

LOCATION MAP

360 W Plant Street

ZONING



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

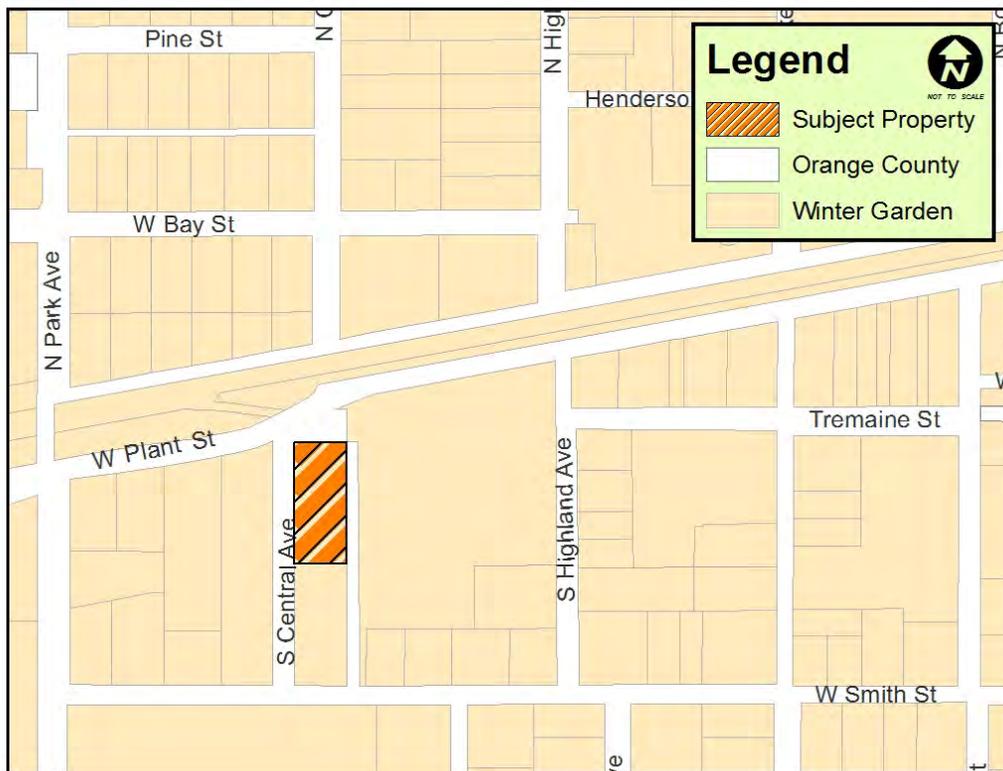
TO: PLANNING AND ZONING BOARD
PREPARED BY: STEVE PASH, COMMUNITY DEVELOPMENT MANAGER
DATE: DECEMBER 29, 2014
SUBJECT: REZONING
360 W. Plant Street (BLUE HOUSE DEVELOPMENT)
PARCEL ID # 23-22-27-2888-05-011

APPLICANT: Blue House Development, LLC

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property, generally located at the southeast corner of South Central Avenue and W. Plant Street at 360 W. Plant Street, is approximately 0.49 ± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant recently purchased the property and is requesting to rezone the 0.49 ± acre property which is located within the City of Winter Garden and carries a Future Land Use Designation of TD (Traditional Downtown) on the Future Land Use Map of the City's Comprehensive Plan from R-NC (Residential Neighborhood Commercial District) to C-1 (Central Commercial District).

EXISTING USE

The subject property contains a 1,184 square foot single family house built in 1941 and a 200 square foot accessory structure.

ADJACENT LAND USE AND ZONING

The properties located to the north of the subject property are single family residences, zoned R-2, and located in the City of Winter Garden. The property located to the east of the subject property is Winter Garden City Hall and zoned C-1. The property to the west of the subject property is zoned C-1 and is currently under construction building the Plant Street Market, which contains +/- 11,500 square foot retail building with a micro brewery and multiple shops. The property located to the south of the subject property is a city parking lot zoned R-NC.

PROPOSED USE

The new owners recently purchased the property and intend to demolish the existing house and develop a +/- 18,000 square foot retail/office building with a parking lot. The Building Official has inspected the house and determined that due to the amount of damage the house is in a state of disrepair and should be demolished to protect the public safety. The owners have submitted an application to the Architectural Review Historic Preservation Board to get approval to demolish the buildings and get approval of the proposed elevations for the new development. Once they have received approval from the ARHPB, they will need to submit for Site Plan Review and the proposed project will be reviewed by the Development Review Committee.

SUMMARY

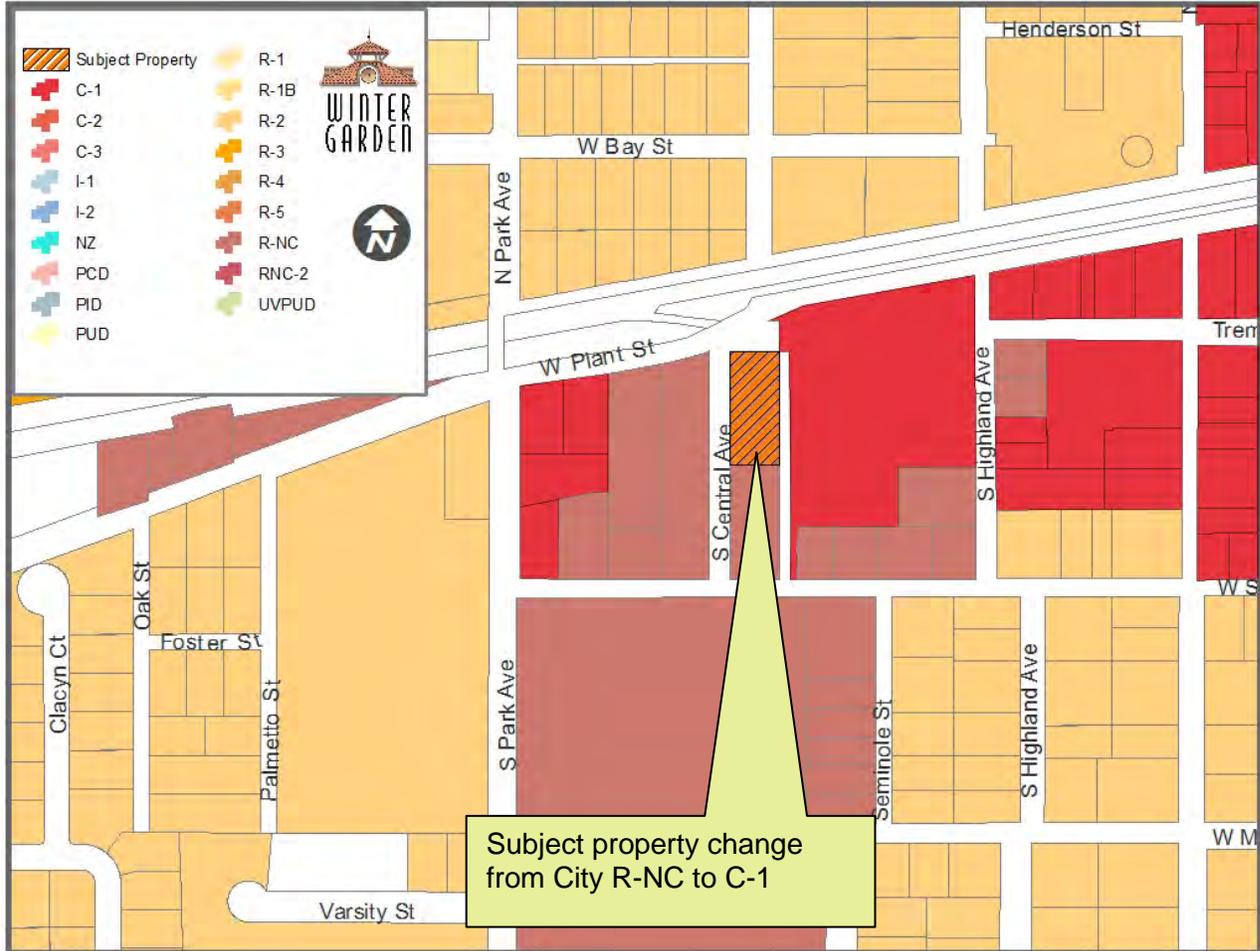
Staff recommends approval of Ordinance 15-18 to rezone the subject property from R-NC to C-1, which is consistent with the City's Comprehensive Plan and surrounding properties.

MAPS

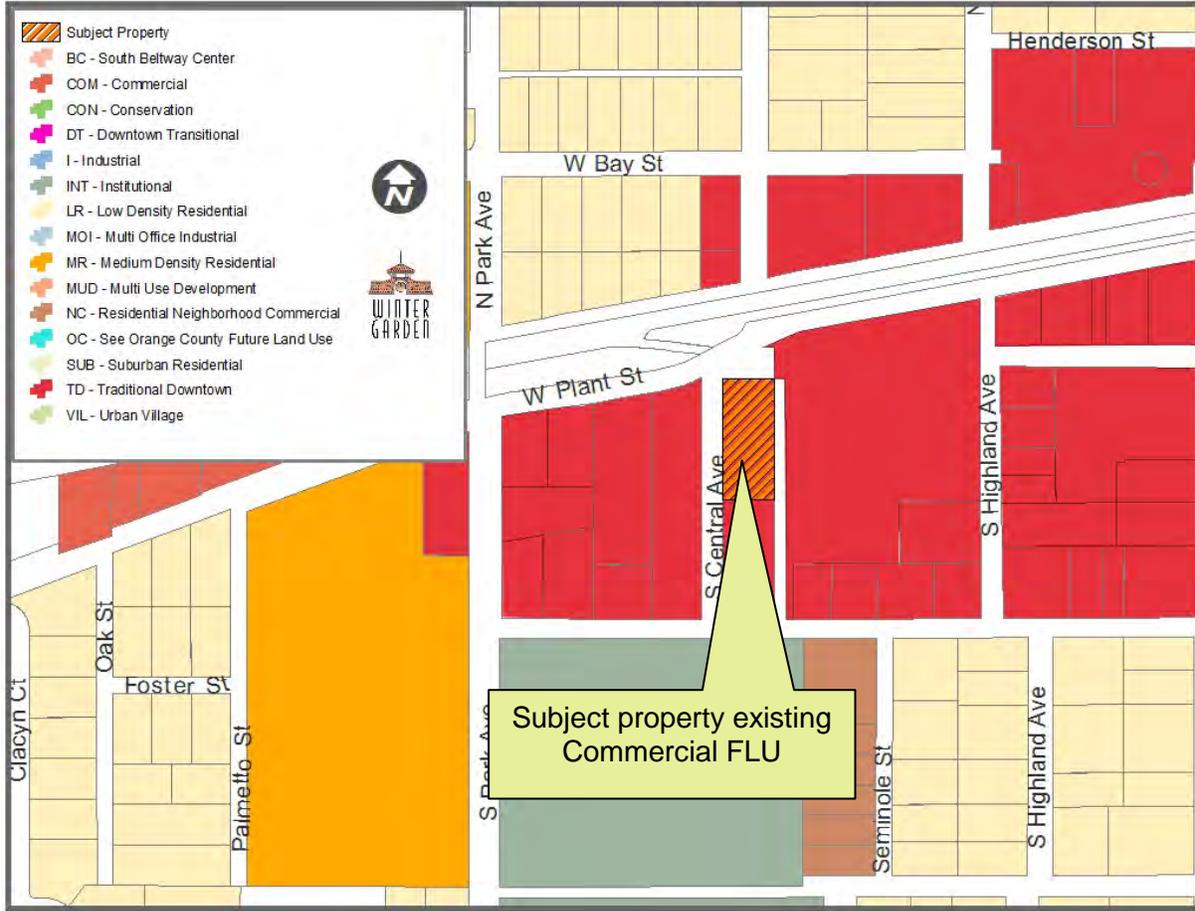
AERIAL PHOTO
360 W. Plant Street



ZONING MAP
360 W. Plant Street



FUTURE LAND USE MAP 360 W. Plant Street



PROPOSED SITE LAYOUT
360 W. Plant Street



RENDERING SUBMITTED TO ARHPB FOR REVIEW
360 W. Plant Street



END OF STAFF REPORT

ORDINANCE 15-18

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA REZONING APPROXIMATELY 0.49 ± ACRES LOCATED AT 360 WEST PLANT STREET AT THE SOUTHEAST CORNER OF WEST PLANT STREET AND SOUTH CENTRAL AVENUE FROM CITY R-NC RESIDENTIAL NEIGHBORHOOD COMMERCIAL DISTRICT TO CITY C-1 CENTRAL COMMERCIAL DISTRICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner of that certain real property generally described as 0.49 ± acres located at 360 West Plant Street at the southeast corner of West Plant Street and South Central Avenue, and legally described in Section 1 of this ordinance has petitioned the City to rezone said property from R-NC Residential Neighborhood Commercial to C-1 Central Commercial District zoning classification, therefore; and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the rezoning approved by this Ordinance is consistent with the City of Winter Garden Comprehensive Plan; and

WHEREAS, further, the City Commission finds that based on competent, substantial evidence in the record, the rezoning approved by this Ordinance meets all applicable criteria for rezoning the Property to C-1 Central Commercial District contained within the City of Winter Garden Comprehensive Plan and the Code of Ordinances.

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: Rezoning. The above “Whereas” clauses constitute findings by the City Commission. After due notice and public hearing, the zoning classification of real property legally described on ATTACHMENT “A,” is hereby rezoned from R-NC Residential Neighborhood Commercial District to C-1 Central Commercial District in the City of Winter Garden, Florida.

SECTION 2: Zoning Map. The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION 3: Non-Severability. Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 4: Effective Date. This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2015.

SECOND READING AND PUBLIC HEARING: _____, 2015.

ADOPTED this _____ day of _____, 2015, by the City Commission of the City of

Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

KATHY GOLDEN, City Clerk

ATTACHMENT "A"

LEGAL DESCRIPTION

PARCEL ID#: 23-22-27-2888-05-011

DESCRIPTION: THE NORTH ½ OF THE FOLLOWING DESCRIBED PROPERTY: COMMENCING AT A POINT 13 CHAINS AND 35 LINKS WEST OF THE EAST BOUNDARY OF THE NW ¼ OF THE NW ¼ OF SECTION 23, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA AND 7 CHAINS AND 7 LINKS NORTH OF THE SOUTH BOUNDARY OF SAME DESCRIBED FORTY ACRES, THENCE RUN EAST 7 RODS, THENCE NORTH TO THE RIGHT OF WAY OF TAVARES AND GULF R. R., THENCE WEST 7 RODS, THENCE SOUTH TO THE BEGINNING POINT, LESS THE EAST 15 FEET OF THE ABOVE DESCRIBED PROPERTY.

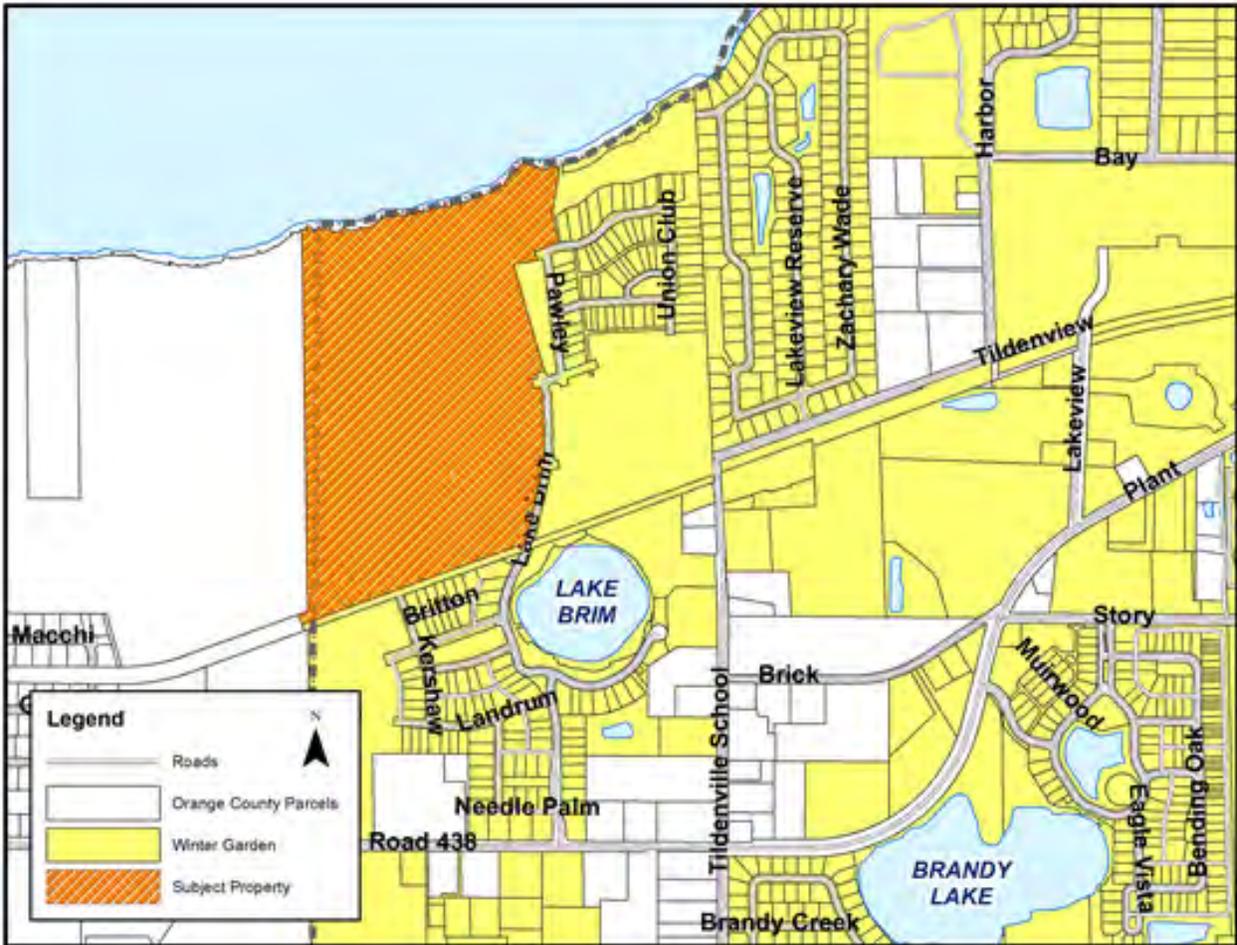
A/K/A

THE NORTH ½ LOT 1, BLOCK E, LESS THE EAST 15 FEET, MAP OR PLAT ENTITLED "FRIES PLAT OF WINTER GARDEN", AS RECORDED IN PLAT BOOK E, PAGE(S) 16, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

LOCATION MAP

Oakland Park Phase 4

PRELIMINARY PLAT



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

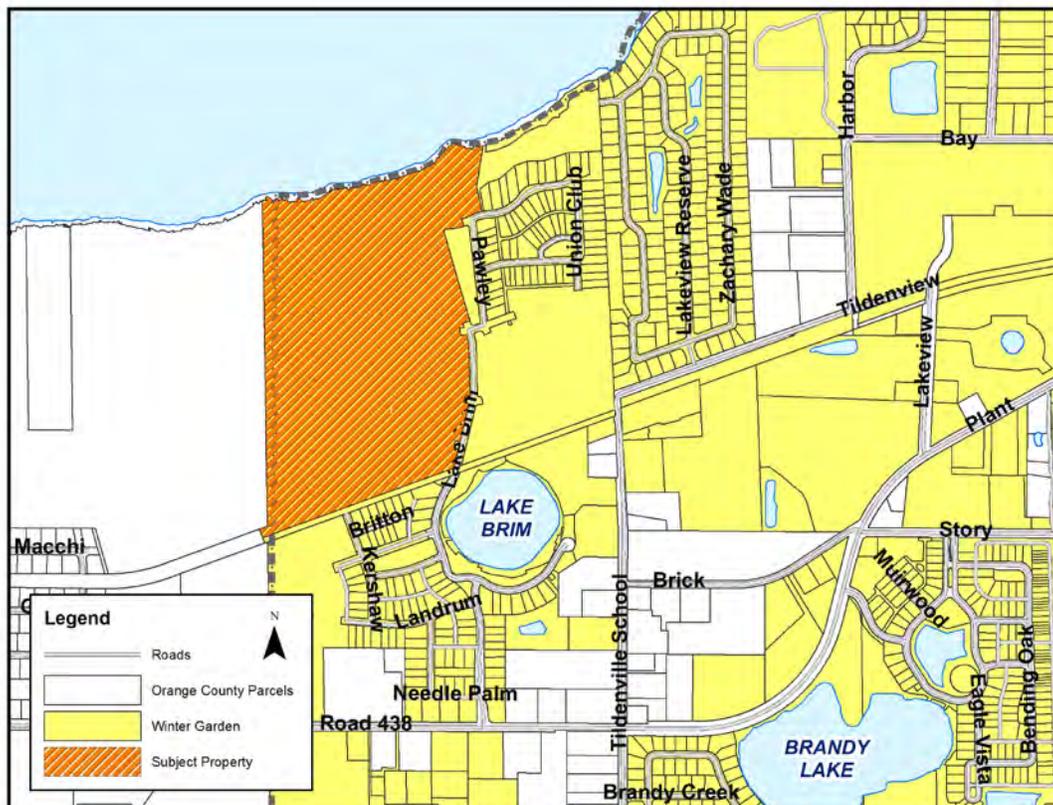
TO: PLANNING AND ZONING COMMITTEE
PREPARED BY: KELLY CARSON, PLANNER II
DATE: DECEMBER 29, 2014
SUBJECT: PRELIMINARY PLAT
OAKLAND PARK PHASE 4
LAKE BRIM DRIVE (66.10 +/- ACRES)
PARCEL ID # 21-22-27-0000-00-059

APPLICANT: LAKE APOPKA 2012, LLC

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located along Lake Brim Drive and is approximately 66.10 ± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits.



EXISTING USE

The subject property primarily consists of vacant unimproved land and remnant orange groves.

ADJACENT LAND USE AND ZONING

The Oakland Park Property is bordered on the north by Lake Apopka, the properties located to the east are made up of a single family residential subdivision (R-1) and a commercial warehousing facility (R-1) within the City of Winter Garden, and Tildenville Elementary School (A-1) and several single family residences (A-1) located in Unincorporated Orange County. The Oakland Park Property abuts property on the west side, which they also own, located within the Town of Oakland municipal limits; this piece is currently being considered for approval. The properties located to the south of the Oakland Park Property consist of single family residential properties (R-1) and vacant unimproved commercial properties along SR 50 (PCD & C-2) within the City of Winter Garden, and single family residential properties (A-1 & A-2) within Unincorporated Orange County.

PROPOSED USE

The applicant is requesting preliminary plat approval to move forward with development plans and the final plat. The preliminary plat will subdivide the 66.10 ± acre Phase 4 of the Oakland Park PUD to create 158 lots. Lot sizes are as follows:

LOT TYPE	TYP WIDTH	QUANTITY
House Lot	40'-50'	72
Large House Lot	50'-65'	69
Estate House Lot	65'	6
Lakefront House Lot	50'	11

The project will also provide recreation areas including open spaces and several pocket parks in addition to a natural recreation area and archeological site located directly adjacent to Lake Apopka to the north.

SUMMARY

City Staff recommends conditional approval of the Preliminary Plat subject to the following condition(s):

- All homes constructed in the Oakland Park Subdivision will require installation of gutters and underdrains. Variance from this condition may be considered on a lot by lot basis.
- Due to drainage concerns that have arisen during construction of subdivision, swimming pools will not be guaranteed on any lots. All permit applications for swimming pools will be reviewed on an individual case by case basis, and may require smaller homes or additional drainage solutions in order to secure approval.
- Granny Flats: Additional water & sewer impact fees may be required for lots proposed to support Granny Flats.
- Depending on what is happening with the Town of Oakland side, temporary cul-de-sacs may be required where Celadon Street and Civitas Way terminate. These will be

coordinated with the City of Winter Garden.

- All proposed easements shall be 30' minimum width for sanitary, water and storm; improvements shall be centered within the easement. Common areas not abutting right-of-way shall include a tract (not easement) for access and maintenance.
- Utilities: Gravity sanitary manholes/mains may need to be added to prevent long laterals and will be checked at final engineering plan review.
- Alleys: to be maintained by HOA; need to provide sufficient width between buildings for driveway/parking space (need 20' minimum driveway parking space from face of garage to 20' wide alley tract – spacing between houses will be reviewed when the lot layouts are provided to the City. Alley or Lane pavement width shall be 12' minimum, one-way only.
- Minimum width for drainage and utility easements between lots shall be 30 ft. Narrower easement widths (20 ft minimum) will be allowed for shallow drainage pipes, 12" diameter or less. Additional drainage and utility easements will be required adjacent to proposed rights of way for telephone, electrical power, gas, and cable tv facilities (5 ft minimum width).
- Streetlighting shall be pursuant to City Code, meeting dark skies requirements (Code Section 118-1536(k)). Submit streetlighting plan from Duke Energy prior to preconstruction meeting.
- All irrigation on the site shall be designed to be supplied by reclaimed water.
- Permits from SJRWMD and FDEP (water, wastewater and NPDES) are required prior to issuance of site or building permits.
- The following are the City's requirements on pavement widths pursuant to the previously approved Oakland Park PUD for the various street sections – all roadway widths except the rear lane shall have a **12"** concrete gutter **in addition to** the pavement width shown. Staff will accept the use of a Type "E" mountable curb in lieu of Type "F" curb BUT PREFERS TYPE "F".
 - Avenue "A" 20/75 (two-way - parking on two sides): 20' roadway width plus 8' parking lane each side.
 - Avenue "B" 20/65 (two-way - parking on one side): 20' roadway width plus 8' parking lane on one side.
 - Avenue "C" 24/60 (two-way - parking on one side): **28'** roadway width to include parking on one side (recommend landscape island bulb-outs at intervals for traffic calming).
 - Street 24/50 (two-way - parking on one side): 24' roadway width to include parking on one side (recommend landscape island bulb-outs at intervals for traffic calming).
 - Street 20/40* (one way - parking on one side): 22' roadway width to include parking on one side.
 - Neighborhood Center Street 24/65 (two-way – parking on both sides): 24' roadway width plus 8' parking lane on each side (bulb-out).

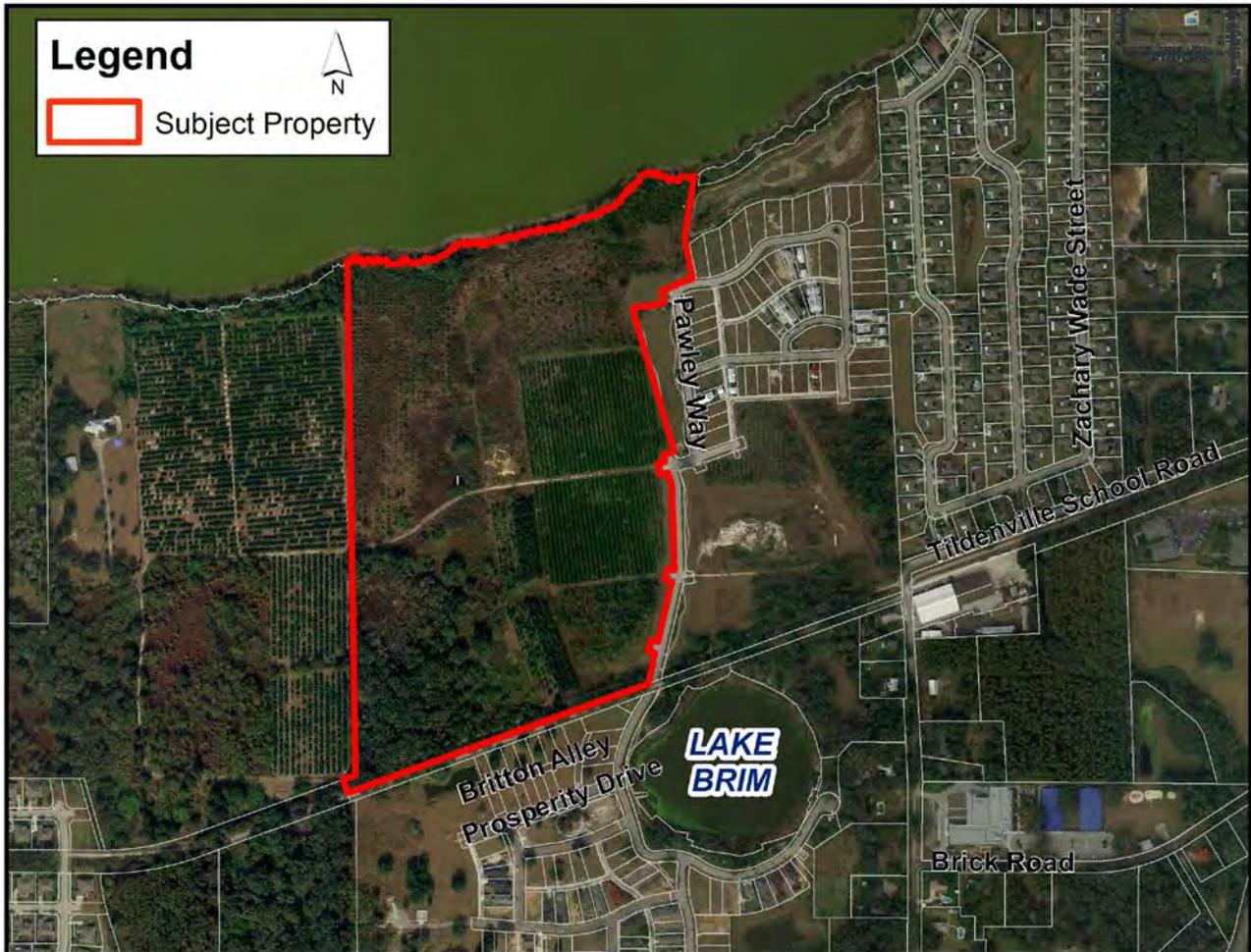
- Rear Lane 12/20 (one-way – no parking): 12' pavement width with 6" ribbon curb on each side or 12' wide pavement with 6" ribbon curb on each side (13' total width required).
- Minimum 7' turning radius from rear lanes required for driveways.
- Minimum 5' wide concrete sidewalks shall be provided on Oakland Avenue through the project.

*Note: R/W widths less than 50' will need to be reviewed at preliminary plat and final plan phase to verify that utilities and drainage requirements are met.

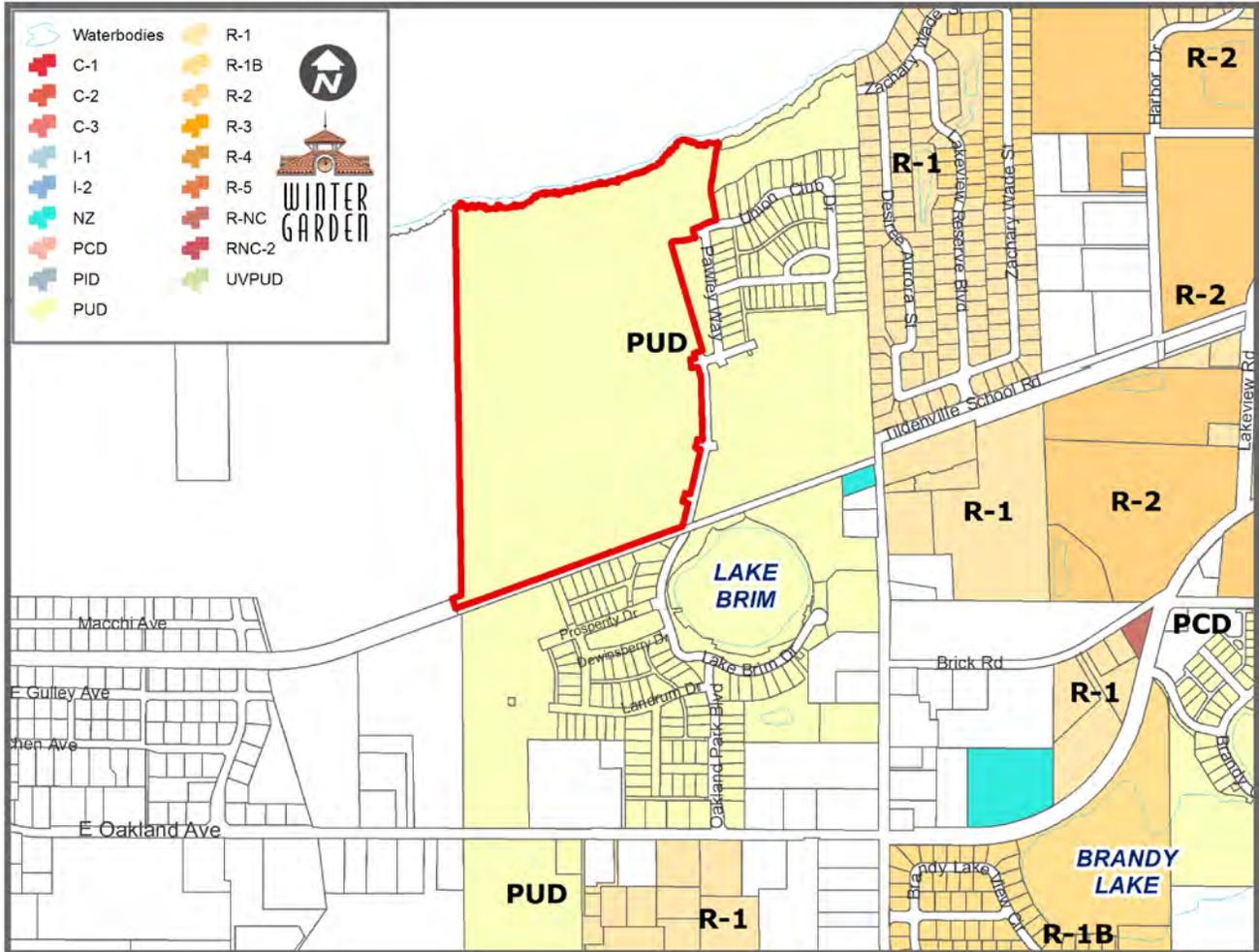
- Typical Section: Right-of-way width shall be a minimum of 50 feet* with minimum roadway pavement width of 24' as required by City Code (12' minimum each lane); 16' minimum lane width for any divided portion (additional width may be required due to parking – see above); **18" of clean fill with no more than 5% passing a #200 sieve required under the subbase**; 98% density required on all compaction; 10" soil cement base; 2" minimum asphalt thickness; minimum **18"** wide concrete curb and gutter required (or Type "E"); 5' wide concrete sidewalks required on both sides of street. All construction shall meet City of Winter Garden requirements for drainage, roadways and utilities.
- A Tree Removal Permit issued by the City of Winter Garden Building Department will be required prior to final plan approval. As required by Code, submittal of the Tree Removal Permit application is required with this preliminary plat submittal. Coordinate with Building Department.
- Stormwater ponds shall have a minimum 10 foot wide maintenance berm as shown.
- A geotechnical report was submitted as requested. Underdrains will be required where the estimated seasonal high water table is within 18" of the bottom of the base. Final plans shall show the estimated seasonal high groundwater table on the profiles.

Conditional approval of the Preliminary Plat will allow the owner to proceed with development plans as well as the final plat.

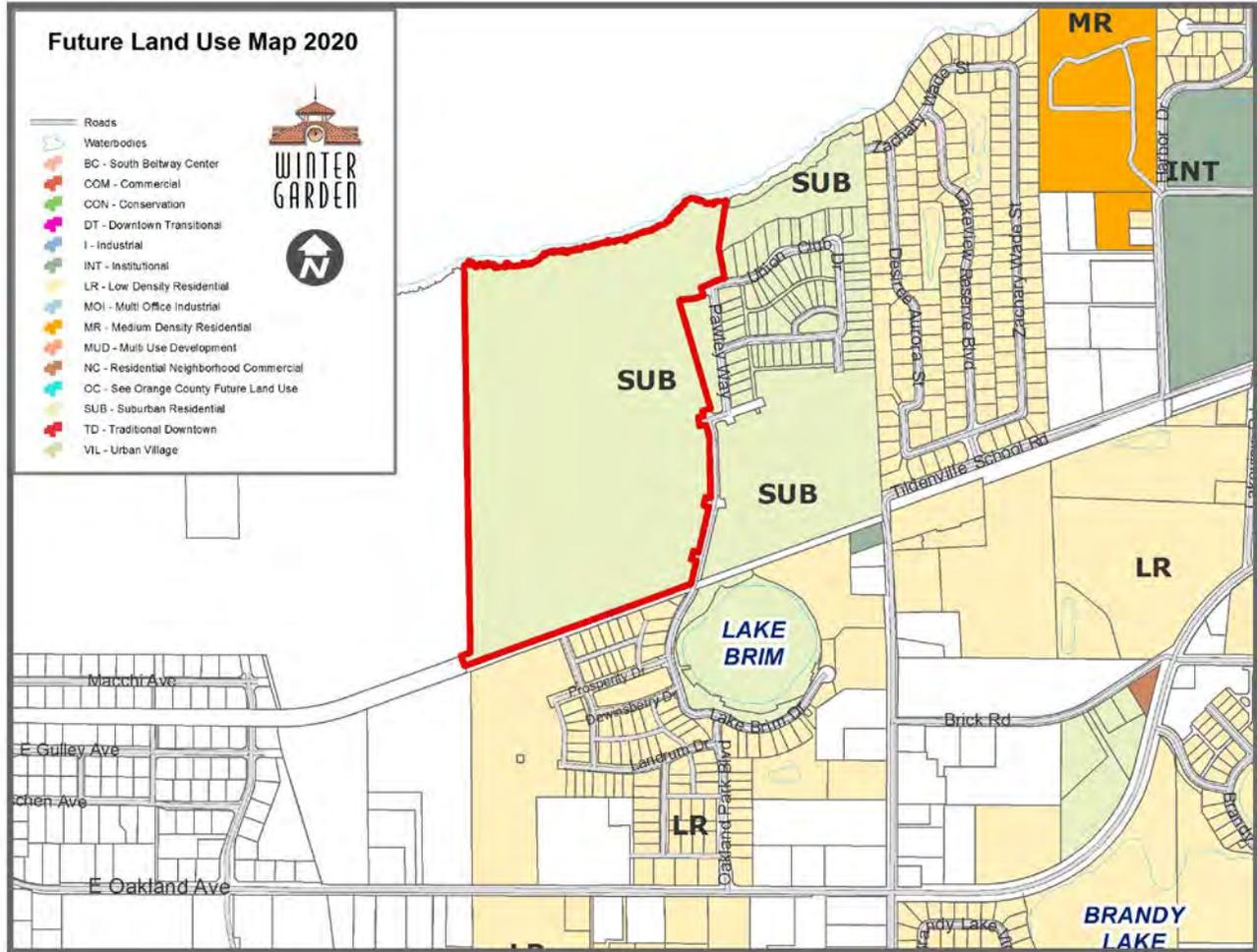
AERIAL PHOTO
OAKLAND PARK PHASE 4



ZONING MAP
OAKLAND PARK PHASE 4



FUTURE LAND USE MAP OAKLAND PARK PHASE 4



END OF STAFF REPORT

PLANNED UNIT DEVELOPMENT

OAKLAND PARK, PHASE 4

CITY OF WINTER GARDEN, FLORIDA

PARCEL ID NUMBER : 1-22-27-0000-00-059

SHEET INDEX

SHEET NO.	DRAWING TITLE
1	COVER SHEET
2	OVERALL SITE PLAN
3	OVERALL LOT PLAN
4 - 9	LOT PLAN
11 - 12	TYPICAL SECTIONS
13	OVERALL CONCEPTUAL UTILITY PLAN
14 - 19	CONCEPTUAL UTILITY PLAN
21	OVERALL CONCEPTUAL DRAINAGE PLAN
22 - 27	CONCEPTUAL DRAINAGE PLAN

PREPARED FOR:

LAKE APOPKA 2012, LLC
15241 OAKLAND AVENUE
WINTER GARDEN, FLORIDA 34787
PHONE: (407) 905-3820
CONTACT: JOHN CLASSE

SITE DATA

PROPERTY AREA :	66.10 AC
TOTAL LOTS :	158
TYPICAL LOT SIZE :	0.17 AC
PARK AREA :	5.69 AC
ROADWAY AREA :	31.82 AC
POND AREA:	3.90 AC
ZONING :	PUD
FUTURE LAND USE :	SUB

CIVIL ENGINEER

ATKINS
 PLAN DESIGN ENABLE
 482 SOUTH KELLER RD
 ORLANDO, FL 32810
 PHONE: (407) 806 - 4276
 CONTACT: DOUG CROOK

SURVEYOR

BISHMAN SURVEYING AND MAPPING, INC.
 32 WEST PLANT STREET
 WINTER GARDEN, FLORIDA 34787
 PHONE: (407) 905-8877
 CONTACT: ARON BISHMAN

WATER / WASTEWATER

CITY OF WINTER GARDEN
 300 WEST PLANT STREET
 WINTER GARDEN, FLORIDA 34787
 PHONE: (407) 656-4111

WASTEWATER COLLECTION & STORMWATER DIVISION
 PHONE: (407) 656-4111 EXT. 5447
 CONTACT: GARY SAPP

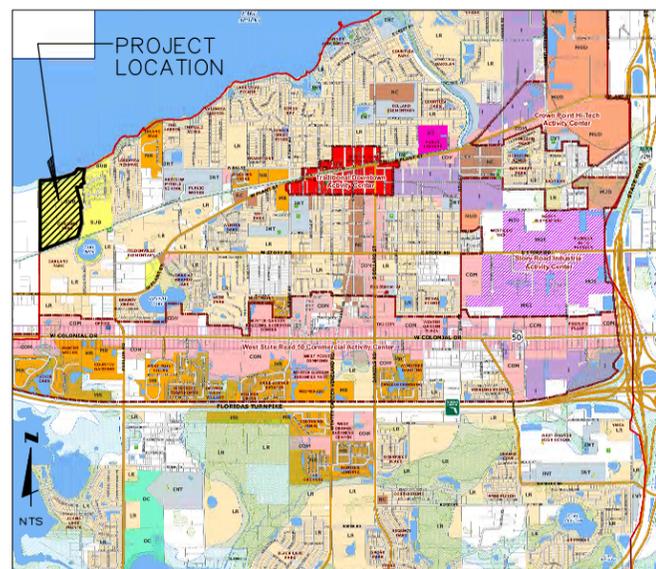
WATER & RECLAIMED WATER DISTRIBUTION DIVISION
 PHONE: (407) 656-4111 EXT. 5459
 CONTACT: STEVE SANTIAGO

GEOTECHNICAL ENGINEER

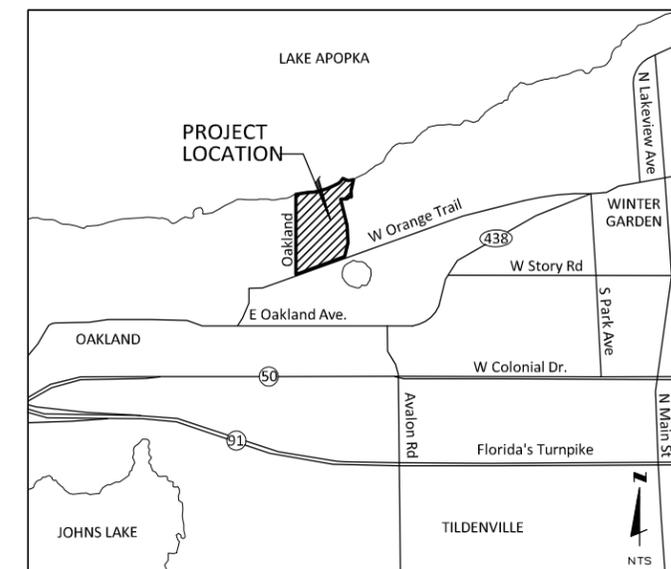
PROFESSIONAL SERVICE INDUSTRIES, INC. (PSI)

1748 33rd STREET
 ORLANDO, FLORIDA 32839
 PHONE: (407) 304-5560
 CONTACT: SCOTT CARRORO

LOCATION MAP



KEY PLAN



LEGAL DESCRIPTION :

FROM E 1/4 COR OF SEC RUN N 4 DEG W 917.59 FT S 85 DEG W 306.4 FT S 68 DEG W 899.94 FT FOR POB N 5 DEG W 948.51 FT N 10 DEG W 1048 FT M/L TO WATERS OF LAKE APOPKA RETURN TO POB TH RUN S 68 DEG W 554.06 FT N 21 DEG W 389.3 FT N 9 DEG W 1527 FT TO WATERS OF LAKE APOPKA NELY ALONG WATERS EDGE TO PREVIOUSLY DESC POINT & COMM E 1/4 COR N 04 DEG W 917.59 FT S 85 DEG W 306.4 FT S 68 DEG W 899.94 FT FOR POB TH CONT S 68 DEG W 554.06 FT S 21 DEG E 25 FT N 68 DEG E TO A POINT S 05 DEG E FROM POB TH N 26.14 FT M/L TO POB SEC 21-22-27 4093/3976 & 4093/3979 & 4300/1741 & THE W 1/2 OF NE 1/4 OF NE 1/4 (LESS THAT PT PLATTED N/K/A OAKLAND PARK UT 1-A PB70 PG33) AND FROM PT 932.75 FT N & 306.5 FT W OF SE COR OF NE 1/4 RUN S 68 DEG W 1454 FT & S 21 DEG E 25 FT FOR A POB TH RUN N 21 DEG W 414.3 FT N 9 DEG W 1527 FT TO LAKE SWLY ALONG LAKE 233 FT M/L TO A POINT 453 FT E OF W LINE OF GOVT LOT 2 RETURN TO POB TH RUN S 68 DEG W 201 FT N 21 DEG W 501.5 FT N 8 DEG W 1410 FT M/L TO LAKE TO A POINT 453 FT E OF W LINE OF GOVT LOT 2 IN SEC 21-22-27, AND FROM PT 932 3/4 FT N & 306 1/2 FT W OF SE COR OF NE 1/4 OF SEC RUN S 68 DEG W 1454 FT S 21 DEG E 25 FT S 68 DEG W 201 FT FOR POB TH RUN N 21 DEG W 501.5 FT N 8 DEG W 1410 FT TO LAKE WLY 453 FT TO W LINE NE 1/4 SEC 2174 FT TO RY N 68 DEG E 845 FT TO POB IN SEC 21-22-27, AND N 60 FT OF FOLLOWING DESC: FROM E 1/4 COR OF SEC RUN N 4 DEG W 917.59 FT S 85 DEG W 306.40 FT S 4 DEG E 26.15 FT FOR POB ON NLY RW OF RR TH RUN S 68 DEG W 2531.70 FT S 21 DEG E 100 FT N 68 DEG E 2500.92 FT N 4 DEG W 104.68 FT TO POB IN SEC 21-22-27 (LESS THAT PT PLATTED N/K/A OAKLAND PARK UT 1-A PB70 PG33)

DATE: DECEMBER 12, 2014

PLOT DATE: Dec 10, 2014 - 2:28pm
 FILE NAME: N:\Oakland Park\Plan\PSD\PSD_05-10 SITE.dwg

LAKE APOPKA

ARCHAEOLOGICAL SITE

UNION CLUB
SPECIAL DISTRICT
(PHASE 6)

HAMMOCK PRESERVE
SPECIAL DISTRICT
(PHASE 6)

FUTURE DEVELOPMENT
(PHASE 6)

LAKE BRIM

PEDESTRIAN
CORRIDOR

FUTURE PHASE(S)

SUB / PUD

LR / PUD

LR / R-1

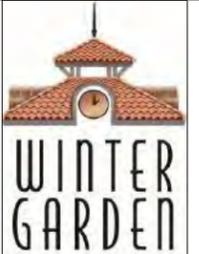
LR / R-1

LEGEND

-  PHASE LINE
-  PD BOUNDARY
- 73 LOT NUMBER
-  PHASE NUMBER
- TRACT 43 TRACT NUMBER
-  TRACT / LOT LINE
-  FUTURE LAND USE AND ZONING
-  PRESERVED WETLAND LIMIT
-  WETLAND BUFFER

TRANSECT ZONES

-  ZONE T3
-  ZONE T4
-  PARKS AND OPEN SPACE



REV#	DATE	ISSUED FOR

JAMES D. CROOK, P.E.
FLORIDA REG. NO. 66556

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CLIENT: LAKE APOPKA 2012, LLC

PROJECT: OAKLAND PARK PHASE 4

SHEET TITLE: OVERALL SITE PLAN

ATKINS
 CORPORATE OFFICE: 4000 W. BOY SCOUT BOULEVARD TAMPA, FLORIDA 33607
 LOCAL OFFICE: 400 SOUTH HELLER ROAD ORLANDO, FL 32810
 FPMR CERTIFICATE OF AUTHORIZATION NO. CA TEL: 407.847.7275 FAX: 407.886.6500 www.atkinsglobal.com

JOB NO.:	100041038
PROJECT ENG.:	J.D.C.
DRAWN:	B.E.N. & M.V.
CHECKED:	K.S.L.
APPROVED:	J.D.C.
SHEET NO.:	2



SITE DATA :

1. TOTAL PROJECT AREA: 66.29 AC
 ONSITE ROAD ROW: 31.63 AC
 OFFSITE ROAD ROW: 0.19 AC
 WETLAND / BUFFER AREA: 3.71 AC
 RETENTION AREA: 3.90 AC
 GROSS DEVELOPABLE AREA: 62.58 AC
 (TOTAL AREA MINUS WETLAND / BUFFER)

NET DEVELOPABLE AREA: 26.86 AC
 (GROSS DEVELOPABLE AREA MINUS ROAD ROW & RETENTION AREA)

2. SITE DATA: SINGLE FAMILY UNITS: 158
 LIVE/WORK UNITS: 0
 TOTAL RESIDENTIAL UNITS: 158
 GROSS RESIDENTIAL DENSITY: 2.5 DU/AC

3. SUPPORT SERVICES:
 WATER SERVICE: CITY OF WINTER GARDEN
 SEWER SERVICE: CITY OF WINTER GARDEN
 STORMWATER MANAGEMENT: STORMWATER MANAGEMENT TO BE PROVIDED IN ON-SITE MASTER STORMWATER MANAGEMENT AREA TO SATISFY THE CITY OF WINTER GARDEN AND ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT CRITERIA.

SCHOOLS: ADDRESSED BY SCHOOL MITIGATION AGREEMENT FOR CAPACITY ENHANCEMENT IN PROCESS WITH OCPS.

TRAFFIC: SEE TRAFFIC IMPACT ANALYSIS PREVIOUSLY SUBMITTED.

4. FUTURE LAND USE: SUB

5. EXISTING ZONING: PUD

6. PROPOSED ZONING: PUD

7. REQUESTED USE: SINGLE FAMILY

8. OPEN SPACE / RECREATION FACILITIES:
 REQUIRED: LAKEVIEW PARK = 1.08 AC
 POCKET PARK = 0.60 AC
 THE RAMBLE = 0.54 AC
 THE YARD = 0.24 AC
 PEDESTRIAN CORRIDOR = 0.06 AC
 HAMMOCK PRESERVE = 3.17 AC
 WETLAND AND BUFFER = 3.71 AC
 WEST SHORE PARK = 9.37 AC
 ARCHAEOLOGICAL ZONE = 1.67 AC
 UNION CLUB = 1.43 AC
 TOTAL AREA = 21.87 AC

PROVIDED: LAKEVIEW PARK = 1.08 AC
 POCKET PARK = 0.60 AC
 THE RAMBLE = 0.54 AC
 THE YARD = 0.24 AC
 PEDESTRIAN CORRIDOR = 0.06 AC
 HAMMOCK PRESERVE = 3.17 AC
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 WEST SHORE PARK = 9.37 AC
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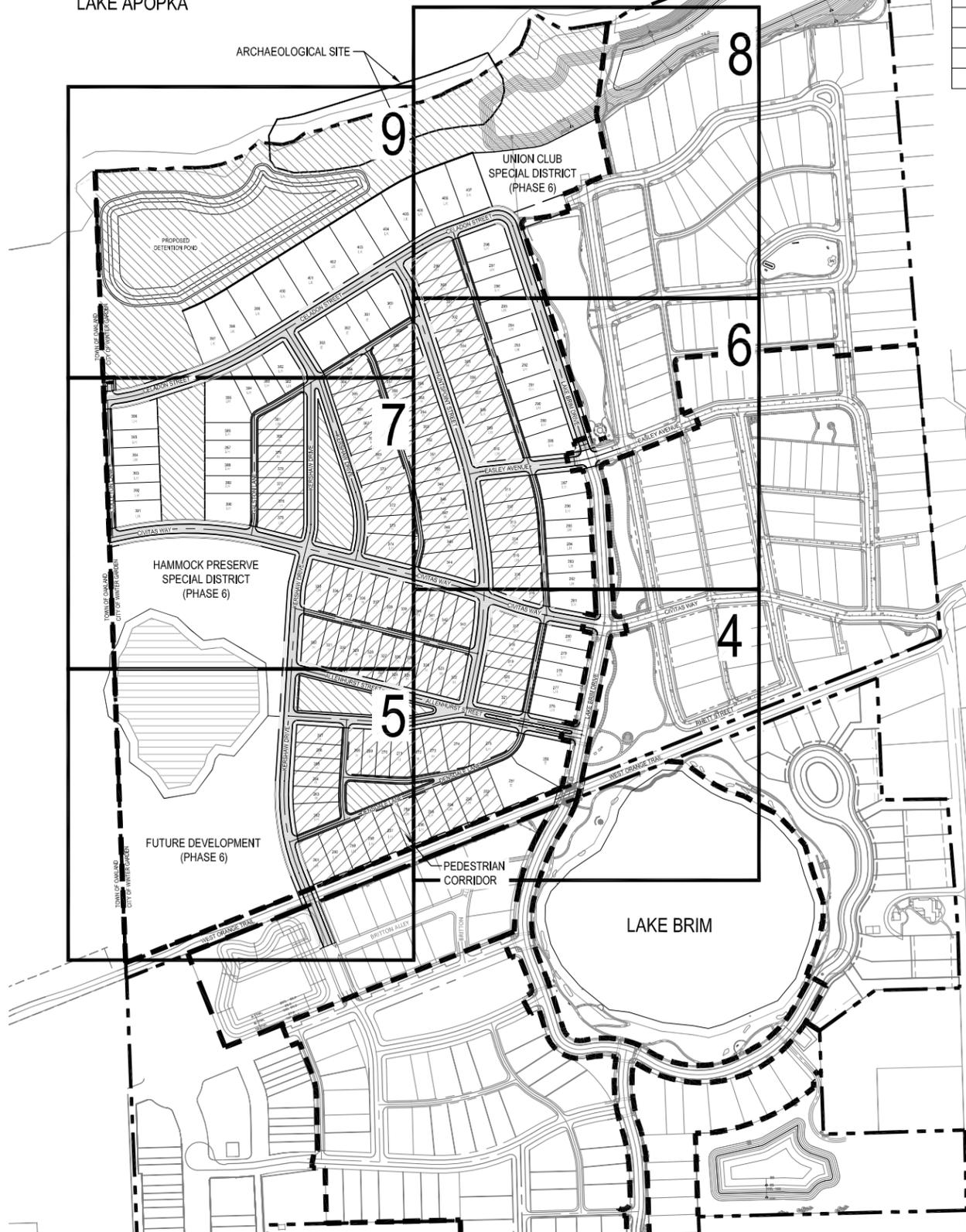
LOT SETBACKS

FRONT YARD: 15'
 REAR YARD: 5'
 SIDE YARD: 5'/10' (IN T3 TRANSECT FOR A 15' BUILDING SEPARATION)
 SIDE YARD: 5'/5' (IN T4 TRANSECT FOR A 10' BUILDING SEPARATION)

NOTES:

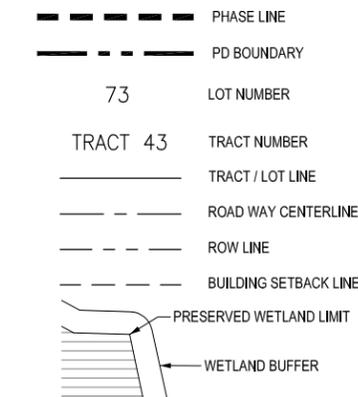
1. THE SPECIFIC LOT SETBACKS, CONSISTENT WITH THE PD, WILL BE SHOWN AND INCLUDED ON THE INDIVIDUAL LOT CONSTRAINT PLANS DEVELOPED CONCURRENTLY WITH FINAL ENGINEERING DESIGN AND SUBMITTED AS PART OF THE FINAL PLAT PACKAGE.

LAKE APOPKA

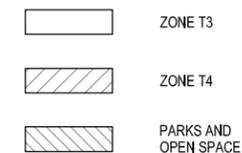


HOUSE BY NEIGHBORHOOD TYPE				
LOT / HOUSE TYPE	T3	T4-R	TOTAL	MIN. LOT WIDTH
Manor House Lot Attached			0	35'
Manor House Lot Detached			0	35'-40'
Tandem House Lot			0	55'-60'
House Lot (H)		72	72	40'-50'
Large House Lot (LH)	38	31	69	50'-65'
Estate House Lot (E)	6		6	65'
Lakefront House Lot (Lk)	11		11	50'
Oakland Avenue Lots				90'
Cottage Common Lot			0	N/A
Townhomes			0	18'
Live Work Units			0	18'
Apartment House Lot			0	40'
TOTAL	56	102	158	

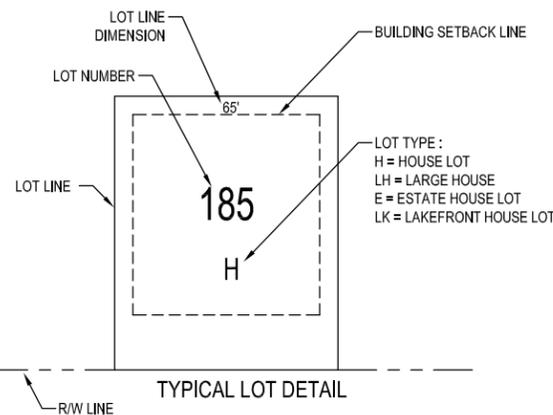
LEGEND



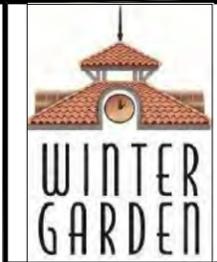
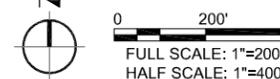
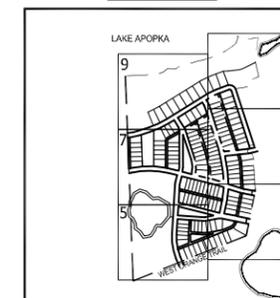
TRANSECT ZONES



SUMMARY TABLE					
TRACT	AREA	DESCRIPTION	OWNERSHIP	MAINTENANCE	DEVELOPMENT RIGHTS
1	0.16	ALLEY	HOA	HOA	HOA
2	0.22	ALLEY	HOA	HOA	HOA
3	0.29	ALLEY	HOA	HOA	HOA
4	0.13	ALLEY	HOA	HOA	HOA
5	0.30	ALLEY	HOA	HOA	HOA
6	0.17	ALLEY	HOA	HOA	HOA
7	0.22	ALLEY	HOA	HOA	HOA
8	0.12	ALLEY	HOA	HOA	HOA
9	0.61	ALLEY	HOA	HOA	HOA
10	1.08	OPEN SPACE	HOA	HOA	HOA
11	0.60	OPEN SPACE	HOA	HOA	HOA
12	0.54	OPEN SPACE	HOA	HOA	HOA
13	0.24	OPEN SPACE	HOA	HOA	HOA
14	0.06	OPEN SPACE	HOA	HOA	HOA
15	3.17	HAMMOCK PRESERVE SPECIAL DISTRICT (PHASE 6)	HOA	HOA	HOA
16	3.71	WETLAND AND BUFFER	HOA	HOA	HOA
17	5.03	FUTURE DEVELOPMENT (PHASE 6)	LAKE APOPKA 2012, LLC	LAKE APOPKA 2012, LLC	LAKE APOPKA 2012, LLC
18	17.17	OPEN SPACE	HOA	HOA	HOA
19	1.67	ARCHAEOLOGICAL SITE/OPEN SPACE	HOA	HOA	HOA
20	0.03	LIFT STATION	WINTER GARDEN	WINTER GARDEN	WINTER GARDEN
21	1.43	UNION CLUB SPECIAL DISTRICT (PHASE 6)	HOA	HOA	HOA



KEYMAP



REV	DATE	ISSUED FOR

JAMES D. CROOK, P.E.
 FLORIDA REG. NO. 66556

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LAKE APOPKA 2012, LLC
OAKLAND PARK PHASE 4
OVERALL LOT PLAN

ATKINS
 CORPORATE OFFICE: 4000 W. BOY SCOTT BOULEVARD TAMPA, FLORIDA 33610
 LOCAL OFFICE: 402 SOUTH HELLER ROAD ORLANDO, FL 32810
 TEL: 407.847.7275
 FAX: 407.866.6400
 www.atkinsglobal.com

JOB NO.: 100041038
 PROJECT ENG: J.D.C.
 DRAWN: B.E.N. & M.V.
 CHECKED: K.S.L.
 APPROVED: J.D.C.
 SHEET NO. **3**

MATCHLINE - SEE SHEET 7

FUTURE TRACT
(WETLAND &
BUFFER WITHIN
TOWN OF
OAKLAND LIMITS)

TRACT 16 (WETLAND & BUFFER)

WETLAND LINE

WETLAND BUFFER LINE

TRACT 17
FUTURE
DEVELOPMENT
(PHASE 6)

TOWN OF OAKLAND

CITY OF WINTER GARDEN

WEST ORANGE TRAIL

KERSHAW DRIVE

ALLENHURST STREET

DENSDALE LANE

BRITTON ALLEY

TRACT 12

TRACT 9

TRACT 13

TRACT 9

TRACT 14

267 H

266 H

265 H

264 H

263 H

262 LH

261 LH

268 H

269 H

270 H

271 H

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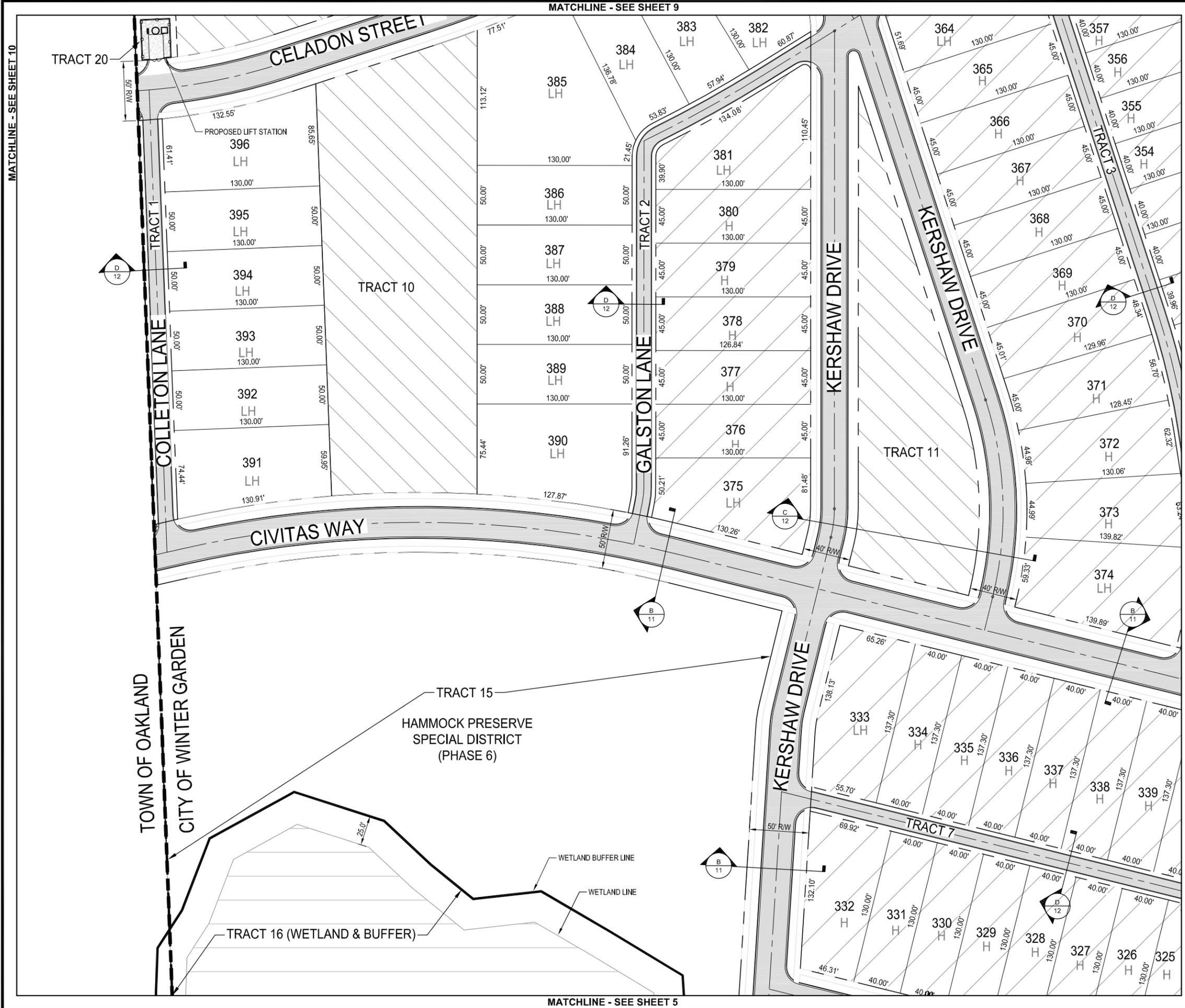
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LEGEND

- PHASE LINE
- PD BOUNDARY
- 73 LOT NUMBER
- TRACT 43 TRACT NUMBER
- TRACT / LOT LINE
- ROAD WAY CENTERLINE
- ROW LINE
- BUILDING SETBACK LINE
- PRESERVED WETLAND LIMIT
- WETLAND BUFFER

TRANSECT ZONES

- ZONE T3
- ZONE T4
- PARKS AND OPEN SPACE

KEYMAP

SCALE

0 40' 80'

FULL SCALE: 1"=40'
 HALF SCALE: 1"=80'

WINTER GARDEN

JAMES D. CROOK, P.E.
 FLORIDA REG. NO. 66556

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CLIENT: LAKE APOPKA 2012, LLC
PROJECT: OAKLAND PARK PHASE 4
SHEET TITLE: LOT PLAN

ATKINS

CORPORATE OFFICE: 400 N. BOY SCOTT BOULEVARD TAMPA, FLORIDA 33607
 AUTHORIZATION NO. CA

LOCAL OFFICE: 402 SOUTH MILLER ROAD ORLANDO, FL 32810
 TEL: 407.847.7275
 FAX: 407.886.6400
 www.atkinsglobal.com

JOB NO.: 100041038
PROJECT ENG.: J.D.C.
DRAWN: B.E.N. & M.V.
CHECKED: K.S.L.
APPROVED: J.D.C.
SHEET NO.: 7

MATCHLINE - SEE SHEET 10

MATCHLINE - SEE SHEET 7

MATCHLINE - SEE SHEET 8

MATCHLINE - SEE SHEET 6

LAKE APOPKA

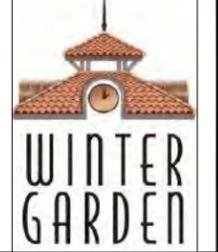
LEGEND

- PHASE LINE
- PD BOUNDARY
- 73 LOT NUMBER
- TRACT 43 TRACT NUMBER
- TRACT / LOT LINE
- ROAD WAY CENTERLINE
- ROW LINE
- BUILDING SETBACK LINE
- PRESERVED WETLAND LIMIT
- WETLAND BUFFER

TRANSECT ZONES

- ZONE T3
- ZONE T4
- PARKS AND OPEN SPACE

NOTE:
 TRACTS 18 AND 19 WILL INCLUDE BLANKET DRAINAGE EASEMENTS.



REV#	DATE	ISSUED FOR

JAMES D. CROOK, P.E.
 FLORIDA REG. NO. 66556

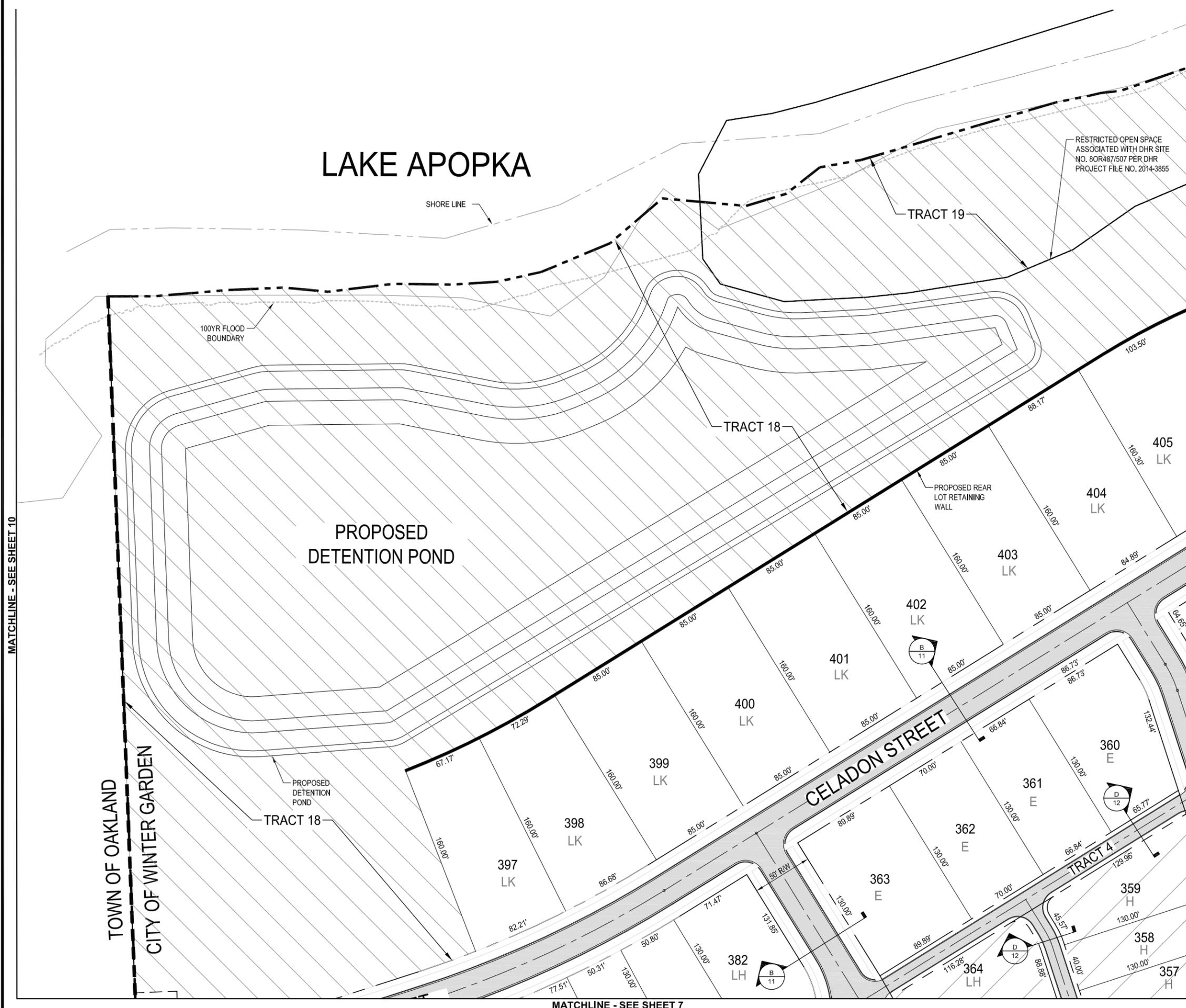
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LAKE APOPKA 2012, LLC
OAKLAND PARK PHASE 4
LOT PLAN

ATKINS

CLIENT: LAKE APOPKA 2012, LLC
 PROJECT: OAKLAND PARK PHASE 4

JOB NO.: 100041038
 PROJECT ENG: J.D.C.
 DRAWN: B.E.N. & M.V.
 CHECKED: K.S.L.
 APPROVED: J.D.C.
 SHEET NO. **9**



KEYMAP

A key map showing the location of the site within a larger area. It includes a north arrow and a scale bar. The scale is given as FULL SCALE: 1"=40' and HALF SCALE: 1"=80'. The key map shows a grid of lots and streets, with the current sheet's location highlighted.

REV	DATE	ISSUED FOR

JAMES D. CROOK, P.E.
FLORIDA REG. NO. 66556

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CLIENT: LAKE APOPKA 2012, LLC
PROJECT: OAKLAND PARK PHASE 4
SHEET TITLE: TYPICAL SECTIONS

ATKINS
CORPORATE OFFICE: 400 N. BOY SCOUT BOULEVARD TAMPA, FLORIDA 33607
LOCAL OFFICE: 400 SOUTH HELLER ROAD ORLANDO, FL 32810
FPMR CERTIFICATE OF AUTHORIZATION: 10-24
TEL: 407.847.7275
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www.atkinsglobal.com

JOB NO.: 100041038
PROJECT ENG.: J.D.C.
DRAWN: B.E.N. & M.V.
CHECKED: K.S.L.
APPROVED: J.D.C.
SHEET NO. 11

STREET NETWORK PLAN

STREET (ST-24/50) WITH ALLEY

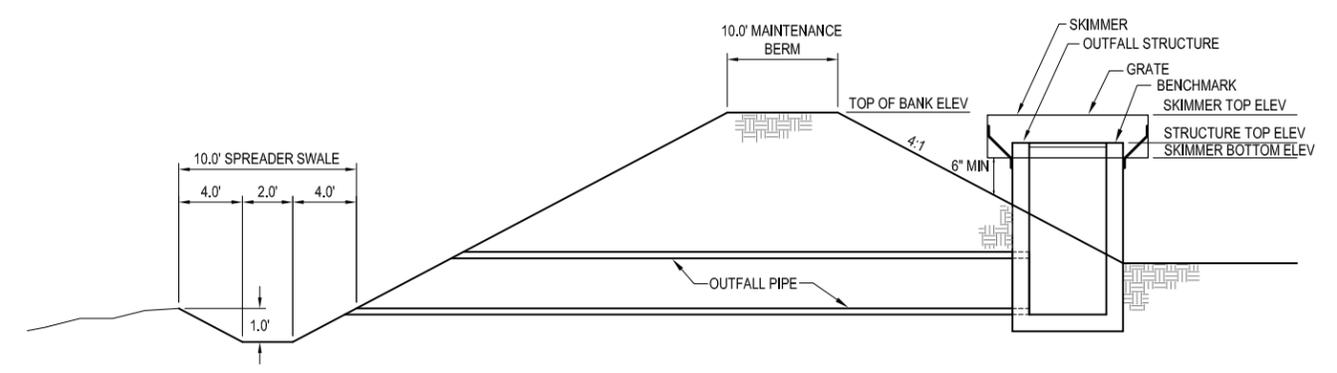


Movement	Slow
Design Speed	25
R.O.W. Width	50'*
Pavement Width	24'**
Traffic Flow	Two-way
Number of Parking Lanes	None. Parking allowed one side.
Curb Types	6" vertical curb with 12" gutter
Curb Radius	15'

Bikeway Type	N/A
Bikeway Width	N/A
Sidewalks	Each Side
Sidewalk Width	5'
Planter Width	6'6"
Planter Type	Continuous Grass or Groundcover
Planting Pattern	Informal Spacing Predominant Live Oaks, with others
Tree Type	

* 40' right-of-way width if one way
** 16' pavement width if one way

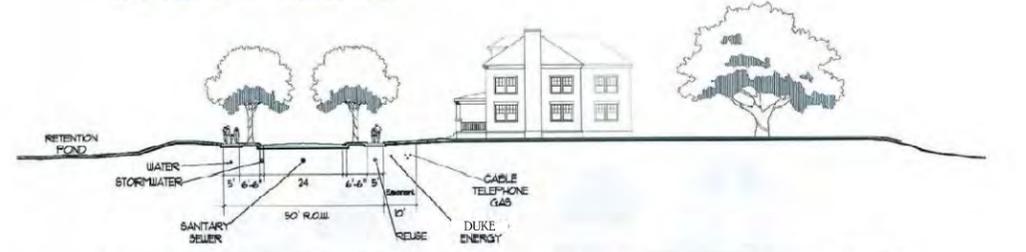
ROAD WAY SECTION A



CONTROL STRUCTURE AND SPREADER SWALE DETAILS
SCALE: NTS

STREET NETWORK PLAN

STREET (ST-24/50) WITHOUT ALLEY

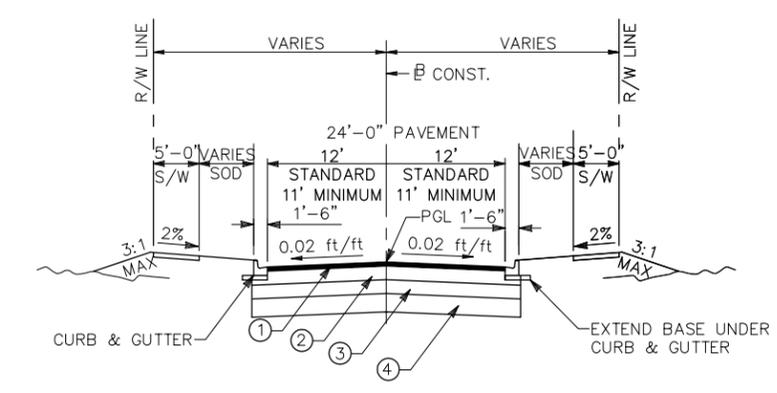


Movement	Slow
Design Speed	25
R.O.W. Width	50'*
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Bikeway Width	N/A
Sidewalks	Each Side
Sidewalk Width	5'
Planter Width	6'6"
Planter Type	Continuous Grass or Groundcover
Planting Pattern	Informal Spacing Predominant Live Oaks, with others
Tree Type	

* 40' right-of-way width if one way
** 16' pavement width if one way

ROAD WAY SECTION B



- ① 2" TYPE S-1 STRUCTURAL COURSE (2LIFTS)
- ② 10" BASE TYPE SOIL CEMENT COMPACTED TO 98% MAX DENSITY (AASHTO T-134). ASPHALTIC PRIME COAT APPLIED AT 0.15 GAL/SF 300 PSI 7-DAY COMPRESSIVE STRENGTH.
- ③ 12" COMPACTED SUBGRADE (95% DENSITY) AASHTO T-180 AND LBR 40
- ④ 18" OF NATIVE OR IMPORTED MATERIAL HAVING LESS THAN 5% PASSING #200 SIEVE COMPACTED TO 98% PER AASHTO T-180

TYPICAL ROADWAY PAVEMENT SECTION
SCALE: NTS

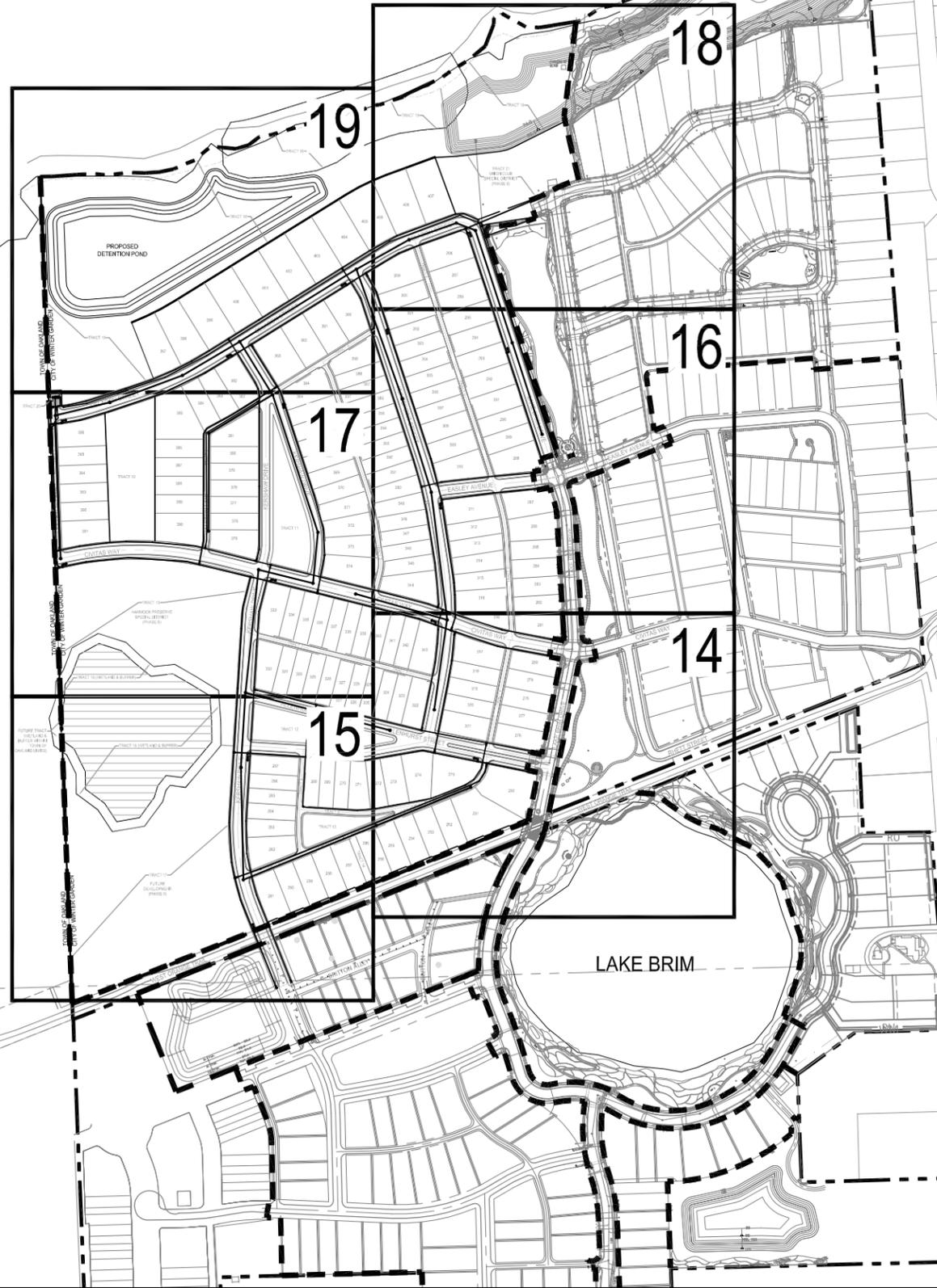
PLOT DATE: Dec 10, 2014 - 2:30pm
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LAKE APOPKA

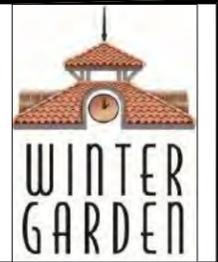
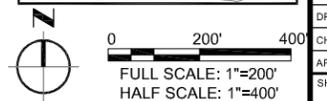
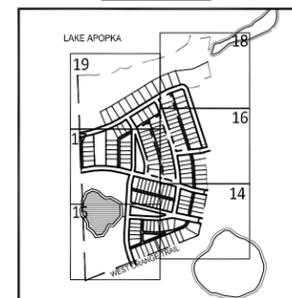
LAKE BRIM

LEGEND

- PHASE LINE
- 8" SAN — PROPOSED GRAVITY SANITARY SEWER PIPE AND SIZE
- 8" FM — PROPOSED SANITARY FORCEMAIN AND SIZE
- 8" WM — PROPOSED POTABLE WATER MAIN AND SIZE
- 8" RM — PROPOSED RECLAIMED WATER MAIN AND SIZE
- SB ● PROPOSED SANITARY SEWER MANHOLE
- ⊕ PROPOSED FIRE HYDRANT ASSEMBLY
- 59 LOT NUMBER



KEYMAP



REV#	DATE	ISSUED FOR

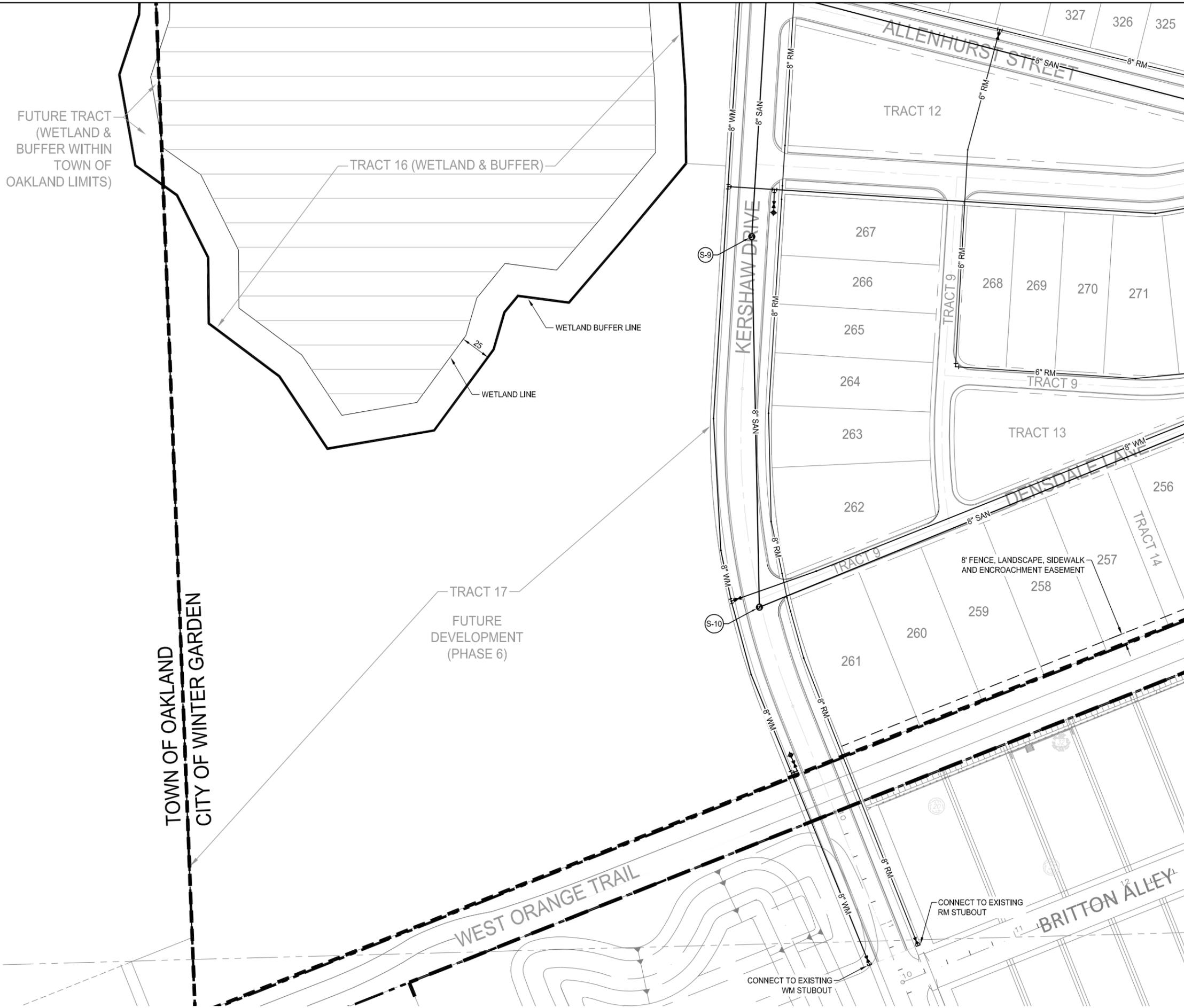
JAMES D. CROOK, P.E.
 FLORIDA REG. NO. 66556

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CLIENT: LAKE APOPKA 2012, LLC
 PROJECT: OAKLAND PARK PHASE 4
 SHEET TITLE: OVERALL CONCEPTUAL UTILITY PLAN

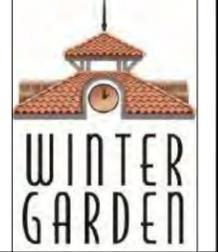


JOB NO.:	100041038
PROJECT ENG.:	J.D.C.
DRAWN:	B.E.N. & M.V.
CHECKED:	K.S.L.
APPROVED:	J.D.C.
SHEET NO.:	13



LEGEND

- PHASE LINE
- 8" SAN PROPOSED GRAVITY SANITARY SEWER PIPE AND SIZE
- 8" FM PROPOSED SANITARY FORCEMAIN AND SIZE
- 8" WM PROPOSED POTABLE WATER MAIN AND SIZE
- 8" RM PROPOSED RECLAIMED WATER MAIN AND SIZE
- (S-8) PROPOSED SANITARY SEWER MANHOLE
- ⋈ PROPOSED VALVE
- ⋈ PROPOSED FIRE HYDRANT ASSEMBLY
- 59 LOT NUMBER



REV#	DATE	ISSUED FOR

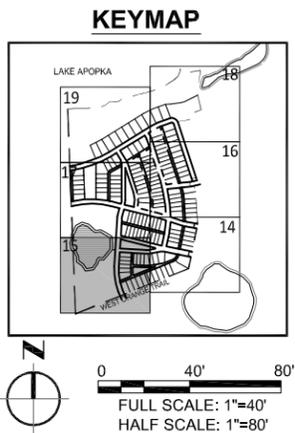
JAMES D. CROOK, P.E.
FLORIDA REG. NO. 66556

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CLIENT:	LAKE APOPKA 2012, LLC
PROJECT:	OAKLAND PARK PHASE 4
SHEET TITLE:	CONCEPTUAL UTILITY PLAN

ATKINS
CORPORATE OFFICE: 400 N. BOY SCOUT BOULEVARD TAMPA, FLORIDA 33607
LOCAL OFFICE: 400 SOUTH HELLER ROAD ORLANDO, FL 32810
FPMR CERTIFICATE OF AUTHORIZATION NO. CA-1000000000
www.atkinsglobal.com

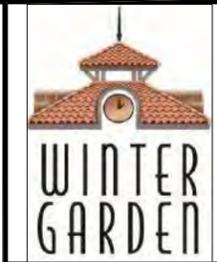
JOB NO.: 100041038
PROJECT ENG.: J.D.C.
DRAWN: B.E.N. & M.V.
CHECKED: K.S.L.
APPROVED: J.D.C.
SHEET NO. 15



MATCHLINE - SEE SHEET 18

LEGEND

- PHASE LINE
- 8" SAN --- PROPOSED GRAVITY SANITARY SEWER PIPE AND SIZE
- 8" FM --- PROPOSED SANITARY FORCEMAIN AND SIZE
- 8" WM --- PROPOSED POTABLE WATER MAIN AND SIZE
- 8" RM --- PROPOSED RECLAIMED WATER MAIN AND SIZE
- S-28 PROPOSED SANITARY SEWER MANHOLE
- ✕ PROPOSED VALVE
- ⚡ PROPOSED FIRE HYDRANT ASSEMBLY
- 59 LOT NUMBER



REV	DATE	ISSUED FOR

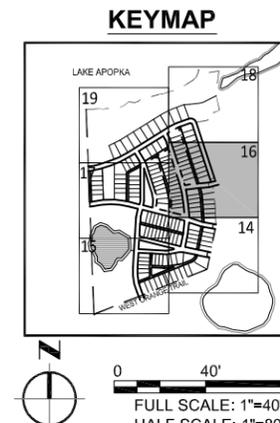
JAMES D. CROOK, P.E.
FLORIDA REG. NO. 66556

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CLIENT: LAKE APOPKA 2012, LLC
PROJECT: OAKLAND PARK PHASE 4
SHEET TITLE: CONCEPTUAL UTILITY PLAN

ATKINS
CORPORATE OFFICE: 400 N. BOY SCOUT BOULEVARD TAMPA, FLORIDA 33610
FPMR CERTIFICATE OF AUTHORIZATION NO. CA
LOCAL OFFICE: 400 SOUTH MILLER ROAD ORLANDO, FL 32810
TEL: 407.847.7275
FAX: 407.886.6500
www.atkinsglobal.com

JOB NO.: 100041038
PROJECT ENG: J.D.C.
DRAWN: B.E.N. & M.V.
CHECKED: K.S.L.
APPROVED: J.D.C.
SHEET NO. 16 REV.

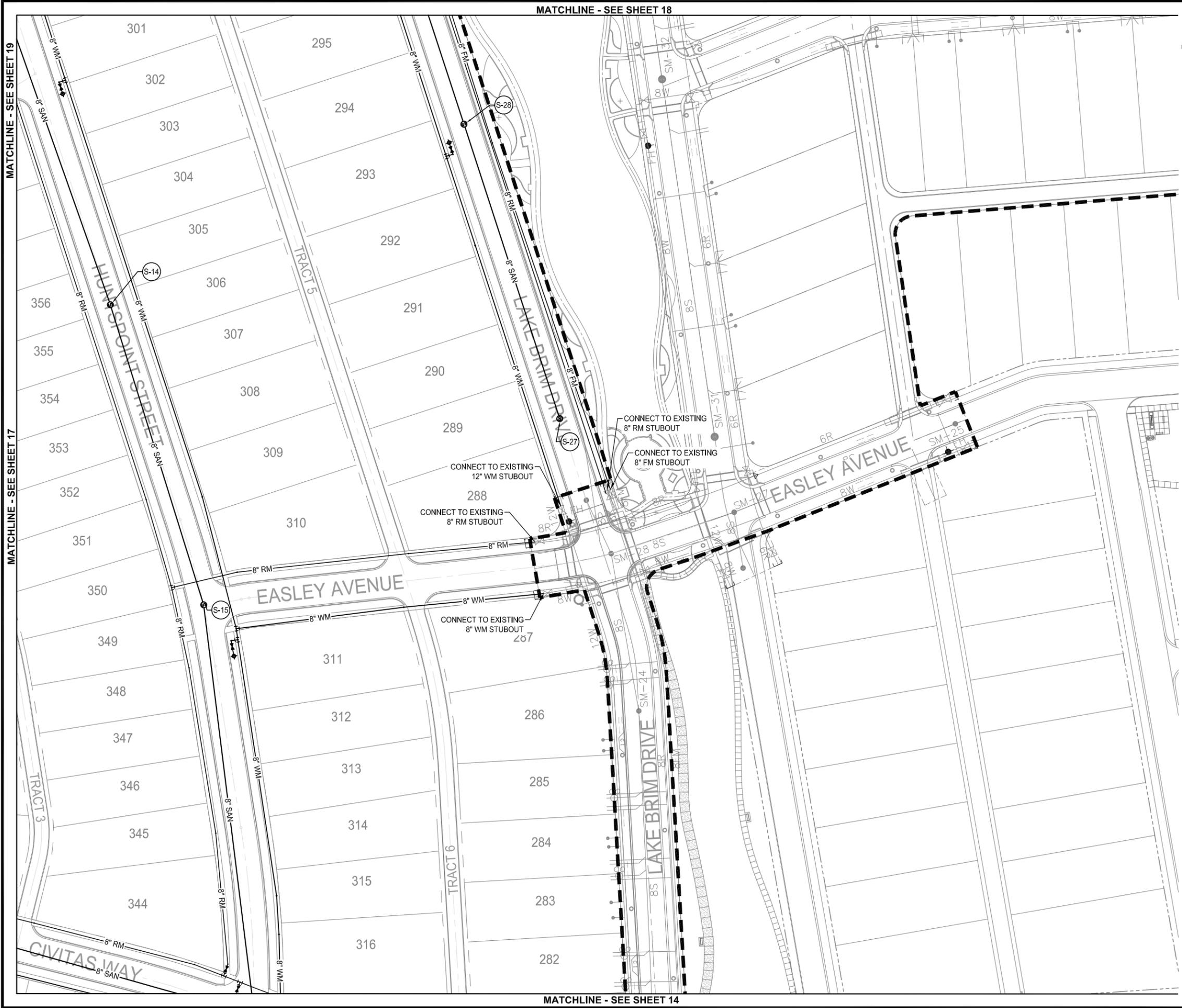


MATCHLINE - SEE SHEET 19

MATCHLINE - SEE SHEET 17

MATCHLINE - SEE SHEET 14

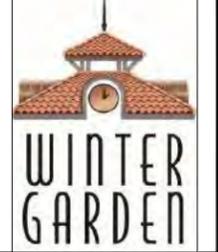
PLOT DATE: Dec 10, 2014 - 2:30pm
FILE NAME: N:\Oakland Park\Per\FSP\04PSP_15-18 CONCEPTUAL UTILITY.dwg





LEGEND

	PHASE LINE
	PROPOSED GRAVITY SANITARY SEWER PIPE AND SIZE
	PROPOSED SANITARY FORCEMAIN AND SIZE
	PROPOSED POTABLE WATER MAIN AND SIZE
	PROPOSED RECLAIMED WATER MAIN AND SIZE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED VALVE
	PROPOSED FIRE HYDRANT ASSEMBLY
59	LOT NUMBER



REV#	DATE	ISSUED FOR

JAMES D. CROOK, P.E.
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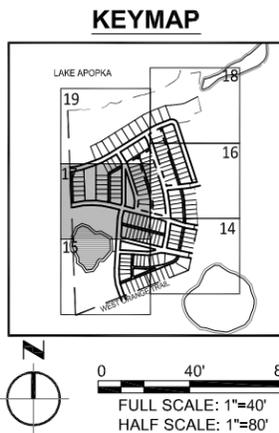
CLIENT:	LAKE APOPKA 2012, LLC
PROJECT:	OAKLAND PARK PHASE 4
SHEET TITLE:	CONCEPTUAL UTILITY PLAN

ATKINS

CORPORATE OFFICE: 400 N. BOY SCOUT BOULEVARD TAMPA, FLORIDA 33607
 AUTHORIZATION NO. CA

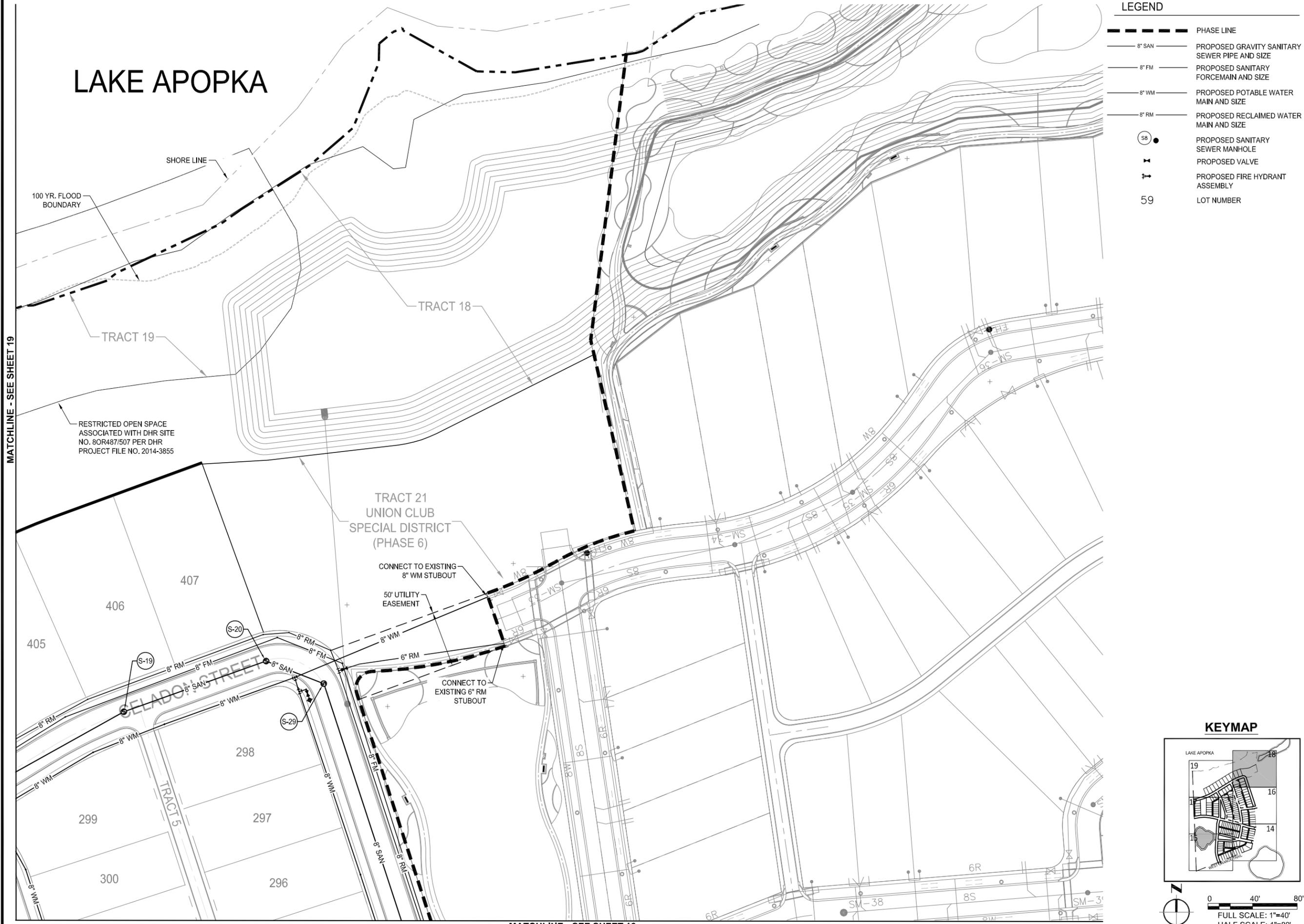
LOCAL OFFICE: 402 SOUTH MILLER ROAD ORLANDO, FL 32810
 TEL: 407.847.7275
 FAX: 407.306.6000
 www.atkinsglobal.com

JOB NO.: 100041038
 PROJECT ENG: J.D.C.
 DRAWN: B.E.N. & M.V.
 CHECKED: K.S.L.
 APPROVED: J.D.C.
 SHEET NO. 17



LAKE APOPKA

LEGEND	
	PHASE LINE
	PROPOSED GRAVITY SANITARY SEWER PIPE AND SIZE
	PROPOSED SANITARY FORCEMAIN AND SIZE
	PROPOSED POTABLE WATER MAIN AND SIZE
	PROPOSED RECLAIMED WATER MAIN AND SIZE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED VALVE
	PROPOSED FIRE HYDRANT ASSEMBLY
59	LOT NUMBER



MATCHLINE - SEE SHEET 19

MATCHLINE - SEE SHEET 16

RESTRICTED OPEN SPACE ASSOCIATED WITH DHR SITE NO. 80R487/507 PER DHR PROJECT FILE NO. 2014-3855

TRACT 21 UNION CLUB SPECIAL DISTRICT (PHASE 6)

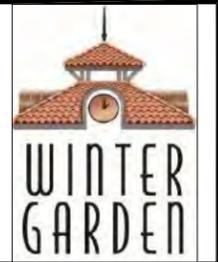
CONNECT TO EXISTING 8" WM STUBOUT
50' UTILITY EASEMENT

CONNECT TO EXISTING 6" RM STUBOUT

KEYMAP

0 40' 80'

FULL SCALE: 1"=40'
HALF SCALE: 1"=80'



REV#	DATE	ISSUED FOR

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FLORIDA REG. NO. 66556

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CLIENT: LAKE APOPKA 2012, LLC
PROJECT: OAKLAND PARK PHASE 4
SHEET TITLE: CONCEPTUAL UTILITY PLAN

ATKINS

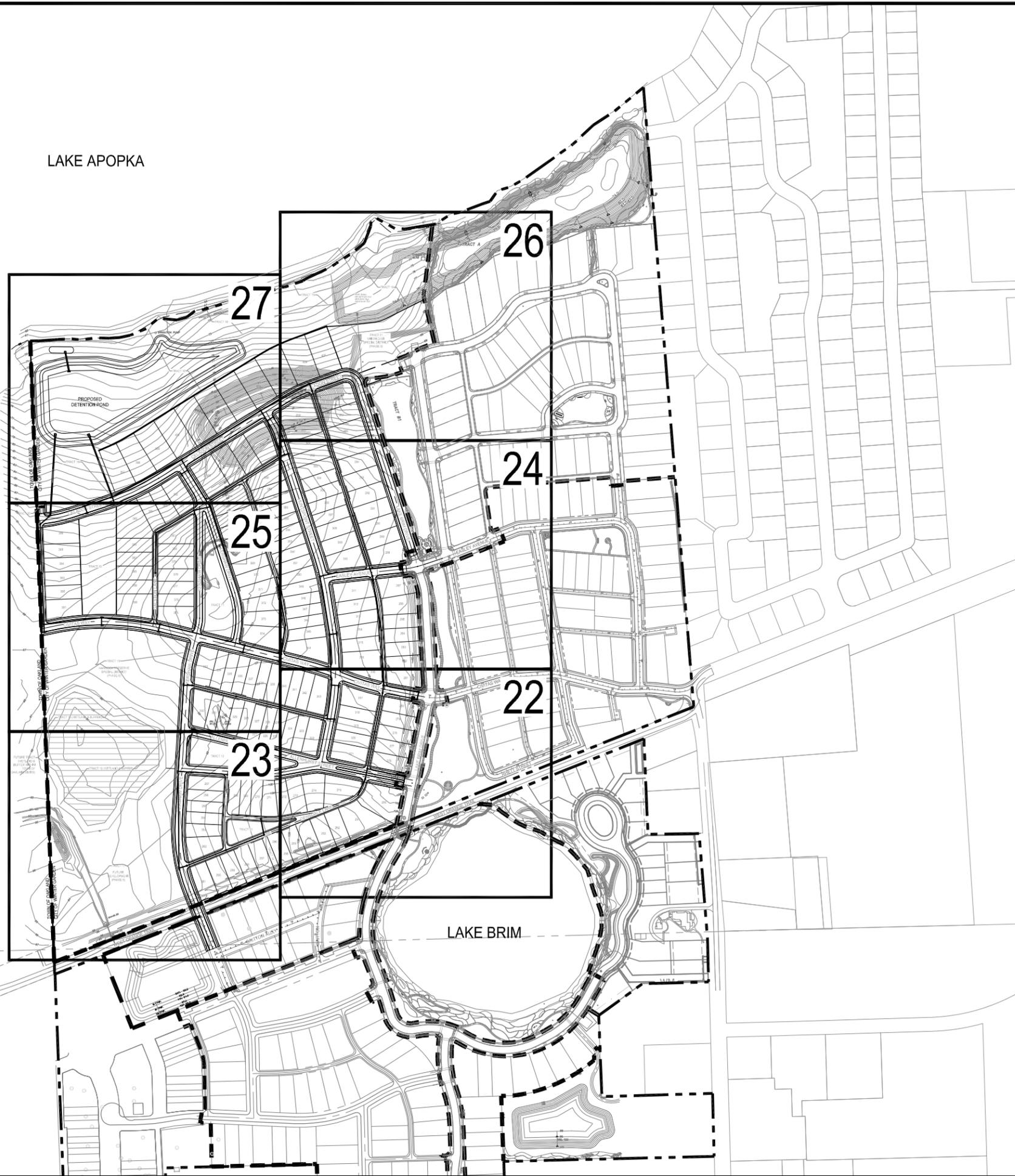
CORPORATE OFFICE: 400 N. BOY SCOUT BOULEVARD TAMPA, FLORIDA 33607
FPMR CERTIFICATE OF AUTHORIZATION: 10-24

LOCAL OFFICE: 400 SOUTH HELLER ROAD ORLANDO, FL 32810
TEL: 407.847.7275
FAX: 407.886.6500
www.atkinsglobal.com

JOB NO.: 100041038
PROJECT ENG: J.D.C.
DRAWN: B.E.N. & M.V.
CHECKED: K.S.L.
APPROVED: J.D.C.
SHEET NO. 18

PLOT DATE: Dec 10, 2014, 2:30pm
FILE NAME: N:\Oakland Park\Plan\PSD\PSD_1518 CONCEPTUAL UTILITY.dwg

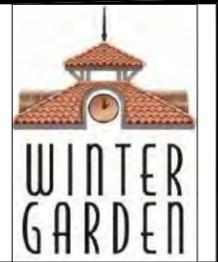
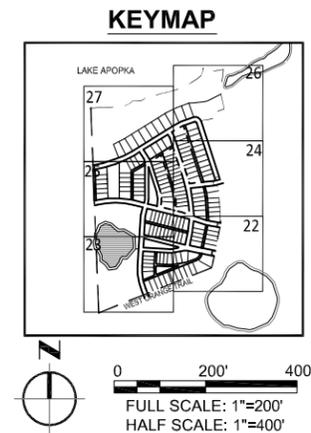
PLOT DATE: Dec 10, 2014 - 2:30pm
 FILE NAME: N:\Oakland Park\PHSP\PHSP_2-27 CONCEPTUAL GRADING.dwg



LEGEND

	PHASE LINE
	PROPOSED STORM SEWER PIPE
	PROPOSED STORM INLETS
	PROPOSED STORM MANHOLE
	PROPOSED MITERED END SECTION
97.10	PROPOSED SPOT GRADE
108.75HP	PROPOSED HIGH POINT AND ELEVATION
27	LOT NUMBER
70	EXISTING CONTOUR
	SURFACE FLOW DIRECTION

NOTE
 THE LOCATION AND DESIGN OF ROADWAY UNDERDRAIN SYSTEMS WILL BE PROVIDED WITH THE FINAL ENGINEERING DESIGN.



REV#	DATE	ISSUED FOR

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CLIENT: LAKE APOPKA 2012, LLC
 PROJECT: OAKLAND PARK PHASE 4
 SHEET TITLE: OVERALL CONCEPTUAL DRAINAGE PLAN

ATKINS

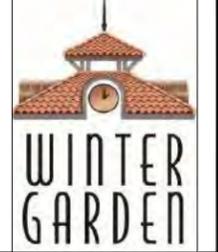
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 LOCAL OFFICE: 400 SOUTH HELLER ROAD ORLANDO, FL 32810
 TEL: 407.847.7275
 FAX: 407.886.4500
 www.atkinsglobal.com

JOB NO.: 100041038
 PROJECT ENG: J.D.C.
 DRAWN: B.E.N. & M.V.
 CHECKED: K.S.L.
 APPROVED: J.D.C.
 SHEET NO. 21

MATCHLINE - SEE SHEET 24

LEGEND

-  PHASE LINE
-  PROPOSED STORM SEWER PIPE
-  PROPOSED STORM INLETS
-  PROPOSED STORM MANHOLE
-  PROPOSED MITERED END SECTION
-  PROPOSED SPOT GRADE
-  PROPOSED HIGH POINT AND ELEVATION
-  LOT NUMBER
-  EXISTING CONTOUR
-  SURFACE FLOW DIRECTION



REV	DATE	ISSUED FOR

JAMES D. CROOK, P.E.
FLORIDA REG. NO. 66556

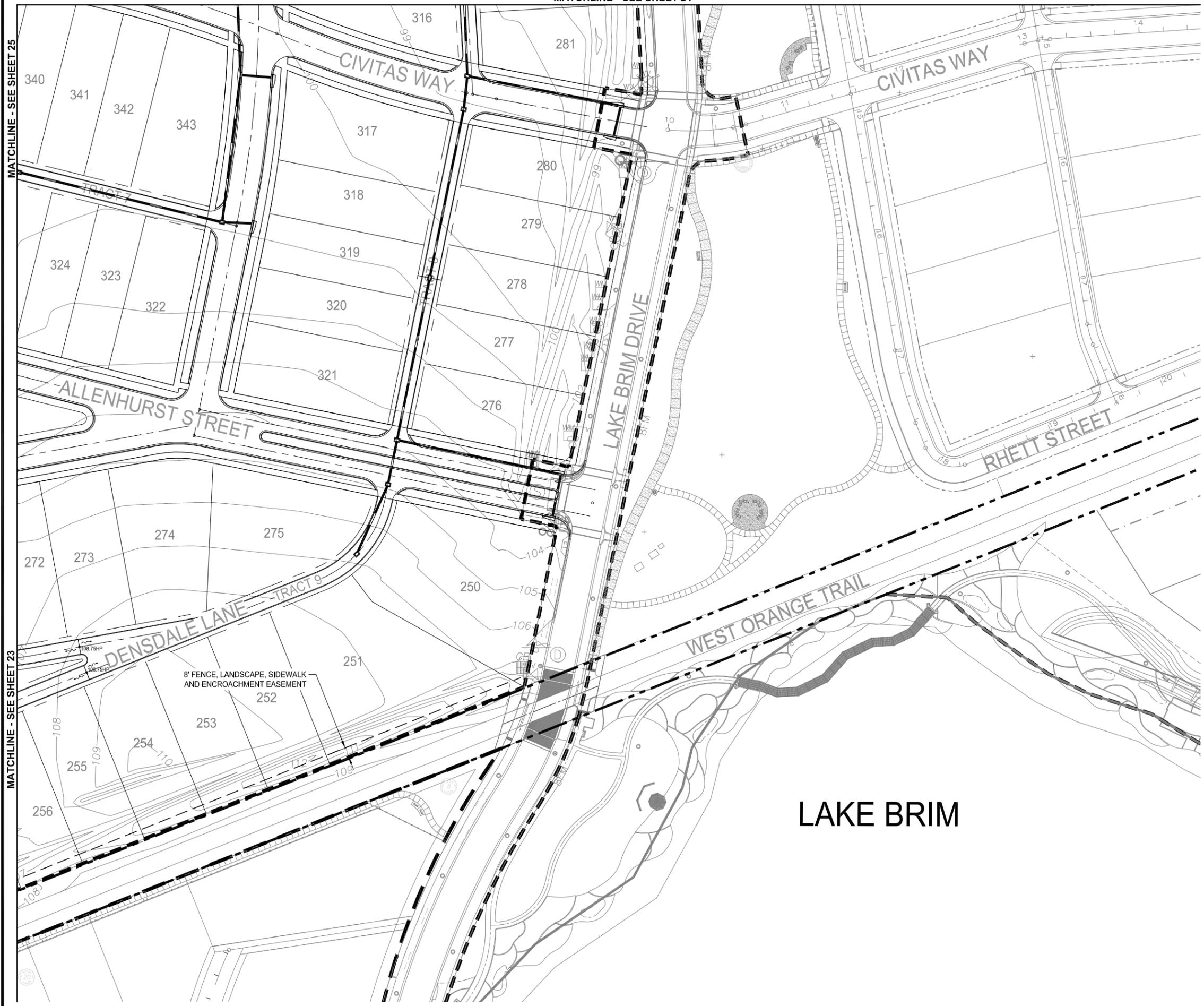
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CLIENT: LAKE APOPKA 2012, LLC
PROJECT: OAKLAND PARK PHASE 4
SHEET TITLE: CONCEPTUAL DRAINAGE PLAN

ATKINS
CORPORATE OFFICE: 4000 W. BOY SCOUT BOULEVARD TAMPA, FLORIDA 33607
FPMR CERTIFICATE OF AUTHORIZATION: 180-24
www.atkinsglobal.com
LOCAL OFFICE: 400 SOUTH HELLER ROAD ORLANDO, FL 32810
TEL: 407.847.7275
FAX: 407.886.6400

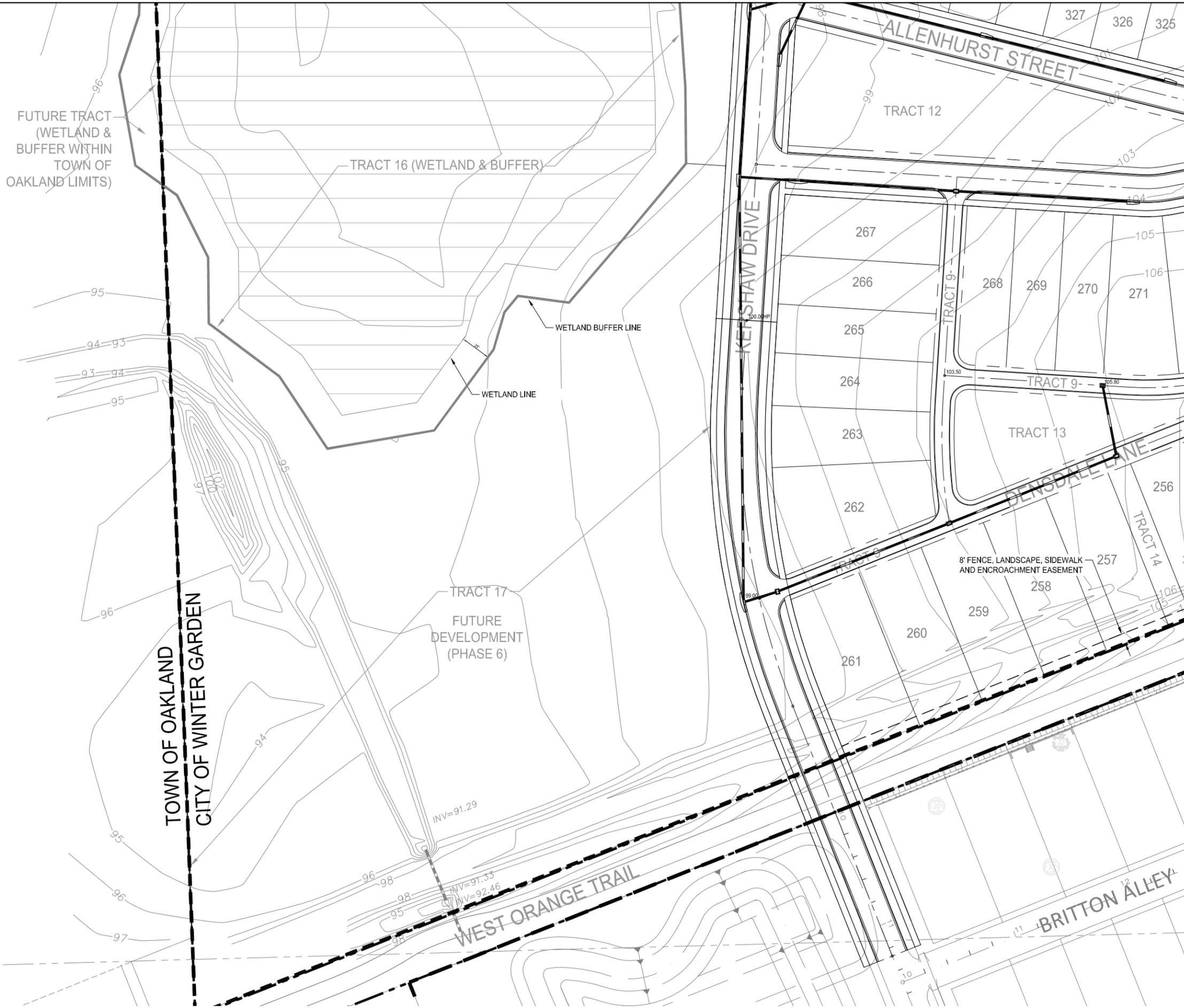
JOB NO.: 100041038
PROJECT ENG: J.D.C.
DRAWN: B.E.N. & M.V.
CHECKED: K.S.L.
APPROVED: J.D.C.
SHEET NO. 22

MATCHLINE - SEE SHEET 25
MATCHLINE - SEE SHEET 23
PLOT DATE: Dec 10, 2014 - 2:30pm
FILE NAME: N:\Oakland Park\Per\FSP\OAPSP_21-27 CONCEPTUAL GRADING.dwg

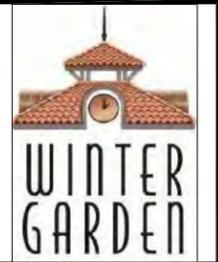


KEYMAP

0 40' 80'
FULL SCALE: 1"=40'
HALF SCALE: 1"=80'



- LEGEND**
- PHASE LINE
 - PROPOSED STORM SEWER PIPE
 - PROPOSED STORM INLETS
 - PROPOSED STORM MANHOLE
 - PROPOSED MITERED END SECTION
 - PROPOSED SPOT GRADE
 - PROPOSED HIGH POINT AND ELEVATION
 - LOT NUMBER
 - EXISTING CONTOUR
 - SURFACE FLOW DIRECTION

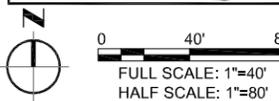
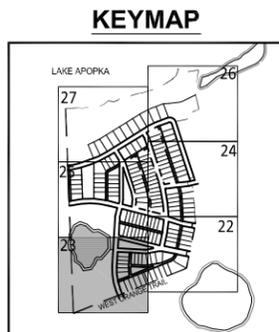


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FLORIDA REG. NO. 66556

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MATCHLINE - SEE SHEET 22



CLIENT: LAKE APOPKA 2012, LLC
PROJECT: OAKLAND PARK PHASE 4
SHEET TITLE: CONCEPTUAL DRAINAGE PLAN

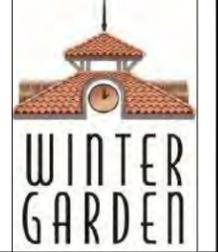
ATKINS
CORPORATE OFFICE: 400 N. BOY SCOUT BOULEVARD TAMPA, FLORIDA 33607
FPMR CERTIFICATE OF AUTHORIZATION NO. 24
www.atkinsglobal.com
LOCAL OFFICE: 400 SOUTH HELLER ROAD ORLANDO, FL 32810
TEL: 407.247.7275
FAX: 407.386.4500

JOB NO.: 100041038
PROJECT ENG.: J.D.C.
DRAWN: B.E.N. & M.V.
CHECKED: K.S.L.
APPROVED: J.D.C.
SHEET NO. 23

MATCHLINE - SEE SHEET 26

LEGEND

-  PHASE LINE
-  PROPOSED STORM SEWER PIPE
-  PROPOSED STORM INLETS
-  PROPOSED STORM MANHOLE
-  PROPOSED MITERED END SECTION
-  PROPOSED SPOT GRADE
-  PROPOSED HIGH POINT AND ELEVATION
-  LOT NUMBER
-  EXISTING CONTOUR
-  SURFACE FLOW DIRECTION



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CLIENT: LAKE APOPKA 2012, LLC
PROJECT: OAKLAND PARK PHASE 4
SHEET TITLE: CONCEPTUAL DRAINAGE PLAN

ATKINS
CORPORATE OFFICE: 400 N. BOY SCOUT BOULEVARD TAMPA, FLORIDA 33610
FPMR CERTIFICATE OF AUTHORIZATION: 140-24
www.atkinsglobal.com

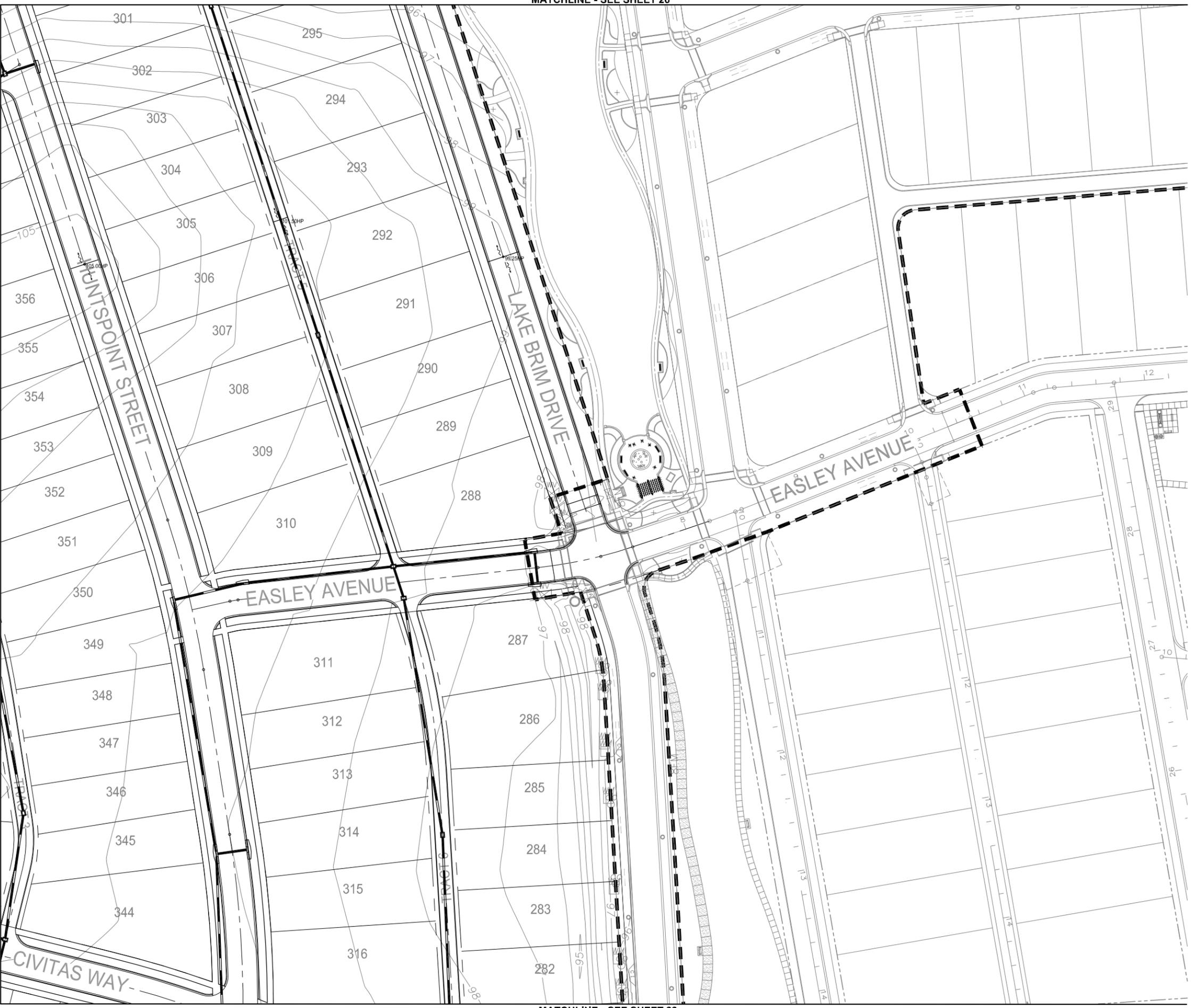
LOCAL OFFICE: 400 SOUTH HELLER ROAD ORLANDO, FL 32810
TEL: 407.847.7275
FAX: 407.886.4500

JOB NO.: 100041038
PROJECT ENG.: J.D.C.
DRAWN: B.E.N. & M.V.
CHECKED: K.S.L.
APPROVED: J.D.C.
SHEET NO. 24

MATCHLINE - SEE SHEET 27

MATCHLINE - SEE SHEET 25

PLOT DATE: Dec 10, 2014 - 2:53 pm
FILE NAME: N:\Oakland Park\Per\FSP\04PSP_2-27 CONCEPTUAL GRADING.dwg



MATCHLINE - SEE SHEET 22

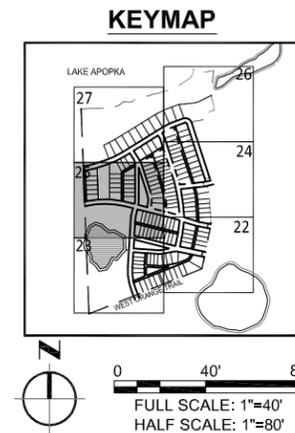
KEYMAP

0 40' 80'
FULL SCALE: 1"=40'
HALF SCALE: 1"=80'

PLOT DATE: Dec 10, 2014 - 2:53pm
 FILE NAME: N:\Oakland Park\Peri\FSP\04PSP_21-27 CONCEPTUAL GRADING.dwg



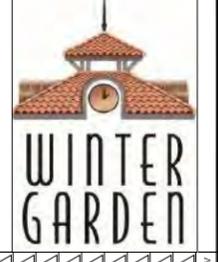
- LEGEND**
- PHASE LINE
 - PROPOSED STORM SEWER PIPE
 - PROPOSED STORM INLETS
 - PROPOSED STORM MANHOLE
 - PROPOSED MITERED END SECTION
 - PROPOSED SPOT GRADE
 - PROPOSED HIGH POINT AND ELEVATION
 - LOT NUMBER
 - EXISTING CONTOUR
 - SURFACE FLOW DIRECTION



WINTER GARDEN

<p>CLIENT: LAKE APOPKA 2012, LLC</p> <p>PROJECT: OAKLAND PARK PHASE 4</p> <p>SHEET TITLE: CONCEPTUAL DRAINAGE PLAN</p>	<p>ISSUED FOR</p> <p>DATE</p> <p>REV</p>
<p>ATKINS</p> <p>CORPORATE OFFICE: 400 N. BOY SCOUT BOULEVARD TAMPA, FLORIDA 33610 TEL: 407.847.7275 FAX: 407.886.6500 www.atkinsglobal.com</p> <p>LOCAL OFFICE: 42 SOUTH HELLER ROAD ORLANDO, FL 32810 TEL: 407.847.7275 FAX: 407.886.6500 www.atkinsglobal.com</p>	
<p>JOB NO.: 100041038</p> <p>PROJECT ENG: J.D.C.</p> <p>DRAWN: B.E.N. & M.V.</p> <p>CHECKED: K.S.L.</p> <p>APPROVED: J.D.C.</p> <p>SHEET NO. 25</p>	<p>REV</p> <p>DATE</p> <p>ISSUED FOR</p>

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REV#	DATE	ISSUED FOR

JAMES D. CROOK, P.E.
FLORIDA REG. NO. 66556

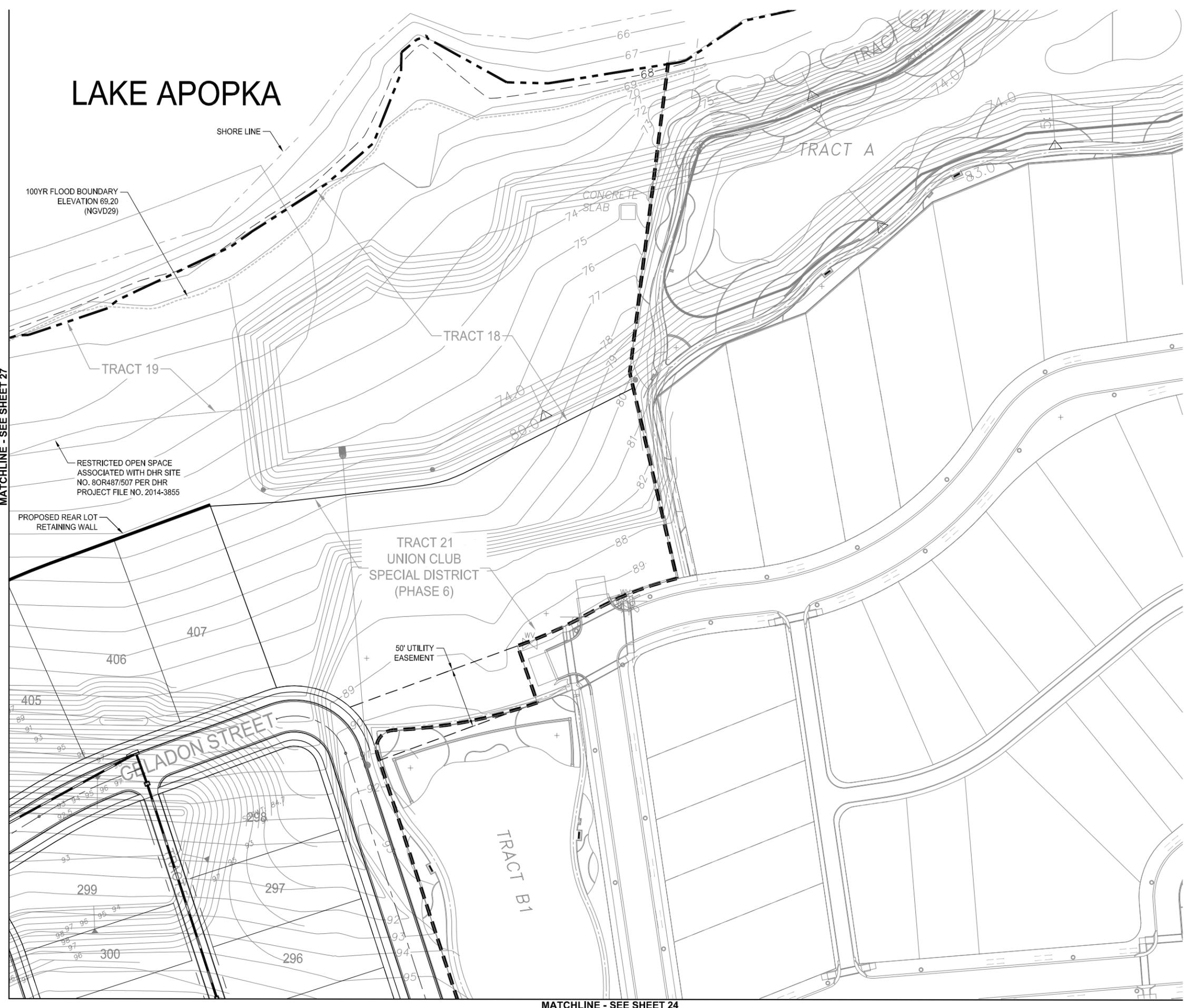
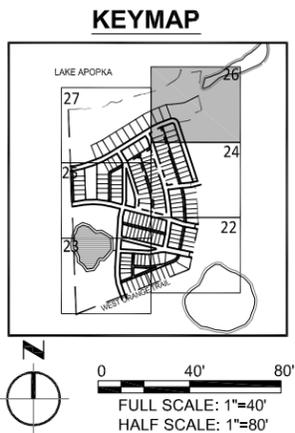
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CLIENT: LAKE APOPKA 2012, LLC
PROJECT: OAKLAND PARK PHASE 4
SHEET TITLE: CONCEPTUAL DRAINAGE PLAN

ATKINS
CORPORATE OFFICE: 400 N. BOY SCOUT BOULEVARD TAMPA, FLORIDA 33607
LOCAL OFFICE: 400 SOUTH HELLER ROAD ORLANDO, FL 32810
FPMR CERTIFICATE OF AUTHORIZATION: 10-24
TEL: 407.847.7275
FAX: 407.886.6500
www.atkinsglobal.com

JOB NO.: 100041038
PROJECT ENG: J.D.C.
DRAWN: B.E.N. & M.V.
CHECKED: K.S.L.
APPROVED: J.D.C.
SHEET NO. 26

- LEGEND**
- PHASE LINE
 - PROPOSED STORM SEWER PIPE
 - PROPOSED STORM INLETS
 - PROPOSED STORM MANHOLE
 - PROPOSED MITERED END SECTION
 - PROPOSED SPOT GRADE
 - PROPOSED HIGH POINT AND ELEVATION
 - LOT NUMBER
 - EXISTING CONTOUR
 - SURFACE FLOW DIRECTION

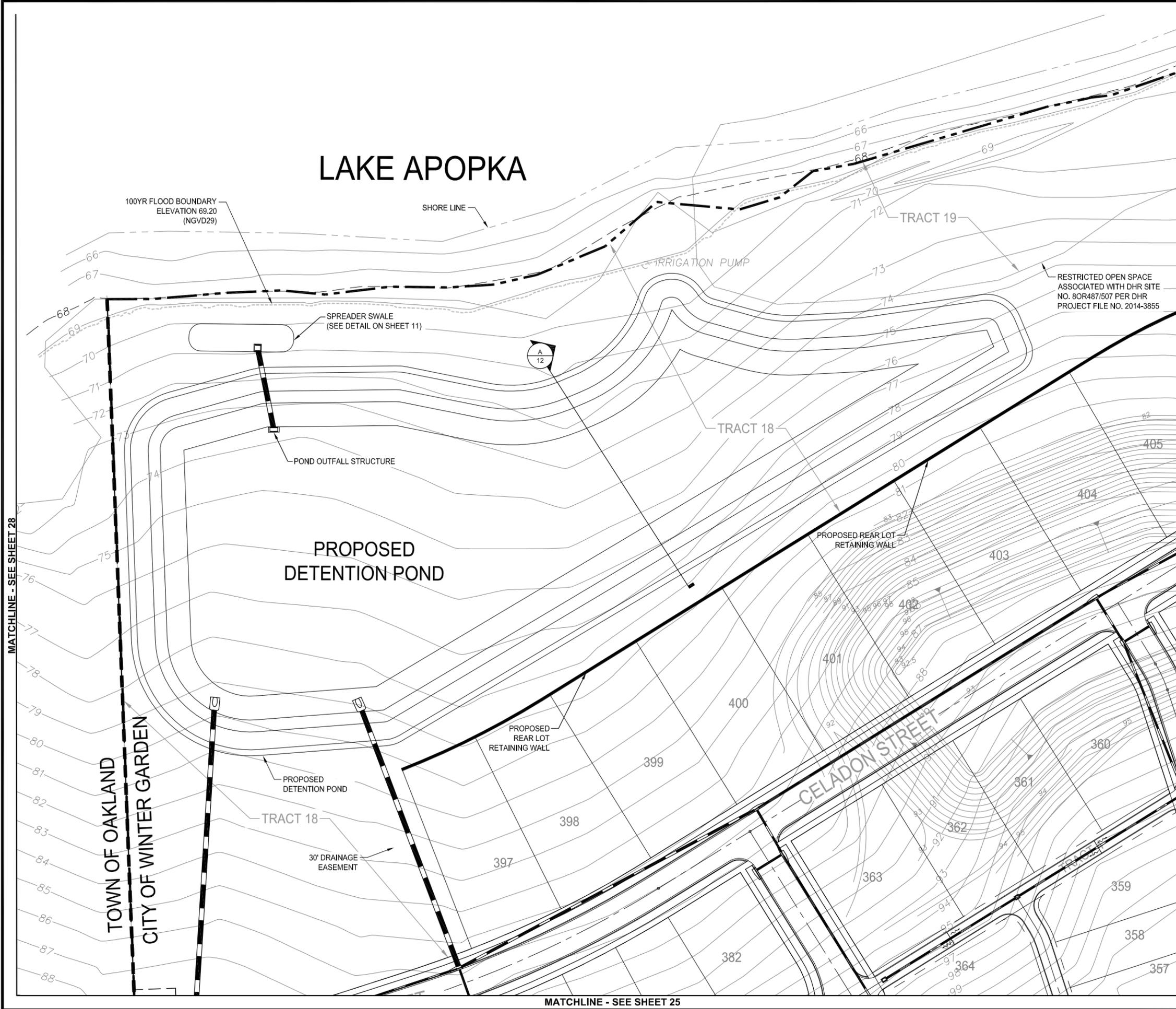


MATCHLINE - SEE SHEET 24

MATCHLINE - SEE SHEET 27

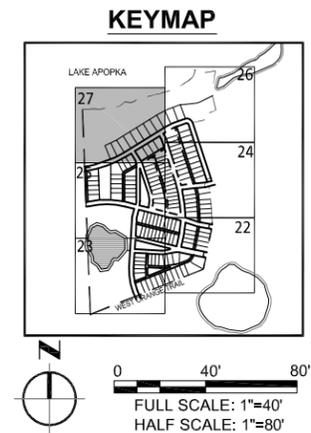
PLOT DATE: Dec 10, 2014 - 2:53pm
FILE NAME: N:\Oakland Park\101504\101504_PSP_21-27_CONCEPTUAL_DRAINING.dwg

PLOT DATE: Dec 10, 2014 - 2:53pm
 FILE NAME: N:\Oakland Park\WPSP\WPSP_21-27_CONCEPTUAL GRADING.dwg



LEGEND

	PHASE LINE
	PROPOSED STORM SEWER PIPE
	PROPOSED STORM INLETS
	PROPOSED STORM MANHOLE
	PROPOSED MITERED END SECTION
	PROPOSED SPOT GRADE
	PROPOSED HIGH POINT AND ELEVATION
	LOT NUMBER
	EXISTING CONTOUR
	SURFACE FLOW DIRECTION



WINTER GARDEN

<p>CLIENT: LAKE APOPKA 2012, LLC</p> <p>PROJECT: OAKLAND PARK PHASE 4</p> <p>SHEET TITLE: CONCEPTUAL DRAINAGE PLAN</p>	<p>ISSUED FOR: _____</p> <p>DATE: _____</p> <p>REV: _____</p>
<p>ATKINS</p> <p>CORPORATE OFFICE: 4001 W. BOY SCOUT BOULEVARD TAMPA, FLORIDA 33607 P.E. CERTIFICATE OF AUTHORIZATION: 100041038 www.atkinsglobal.com</p> <p>LOCAL OFFICE: 400 SOUTH HELLER ROAD ORLANDO, FL 32810 TEL: 407.847.7275 FAX: 407.886.6500</p>	
<p>JOB NO.: 100041038</p> <p>PROJECT ENG.: J.D.C.</p> <p>DRAWN: B.E.N. & M.V.</p> <p>CHECKED: K.S.L.</p> <p>APPROVED: J.D.C.</p> <p>SHEET NO. 27 REV. </p>	

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Commission on October 23, 2014.

NEXT STEP(S):

Submit Final Plat.

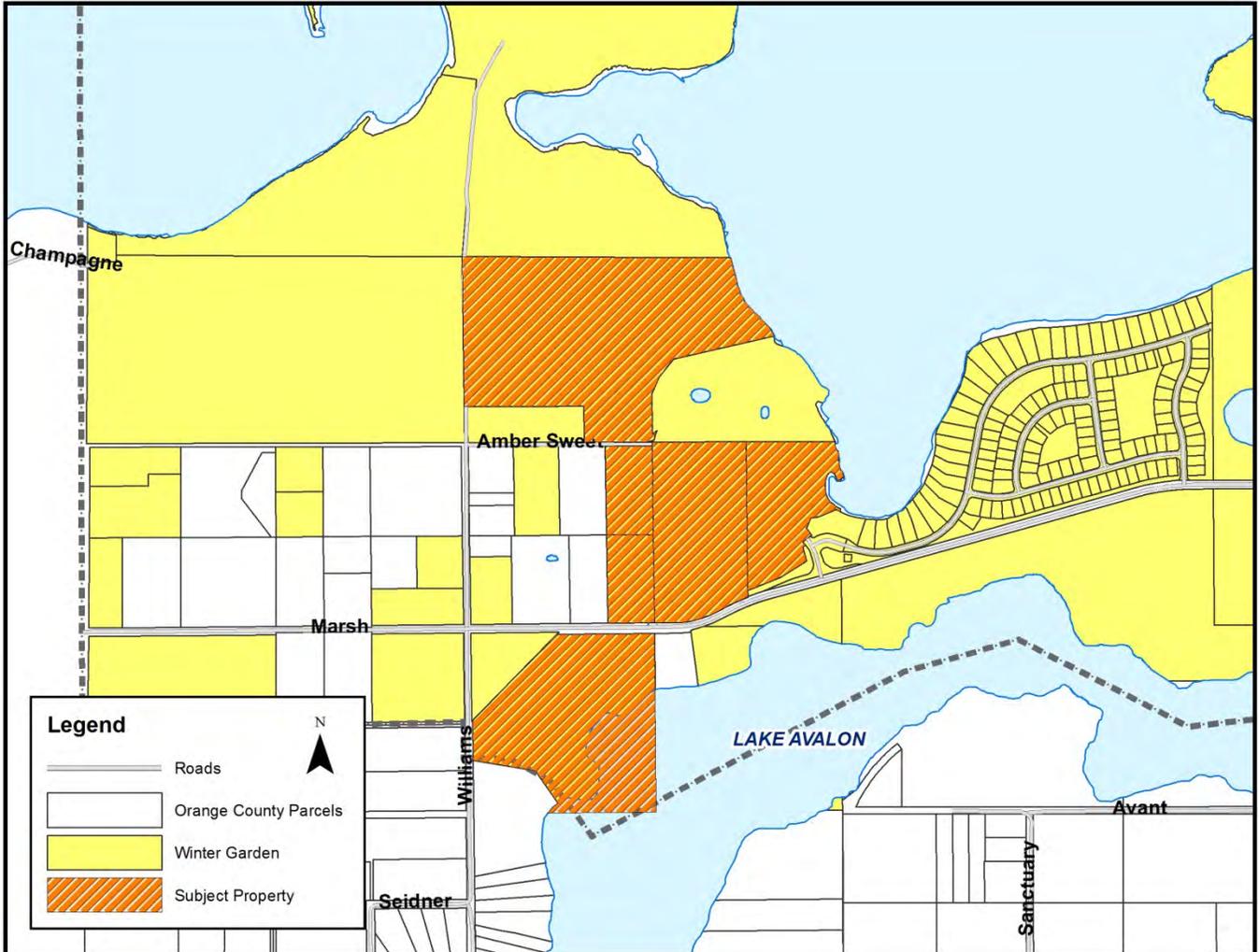
ATTACHMENT(S):

Location Map
Staff Report
DRC Memorandum
Preliminary Plat

LOCATION MAP

17001 Marsh Road

PRELIMINARY PLAT



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

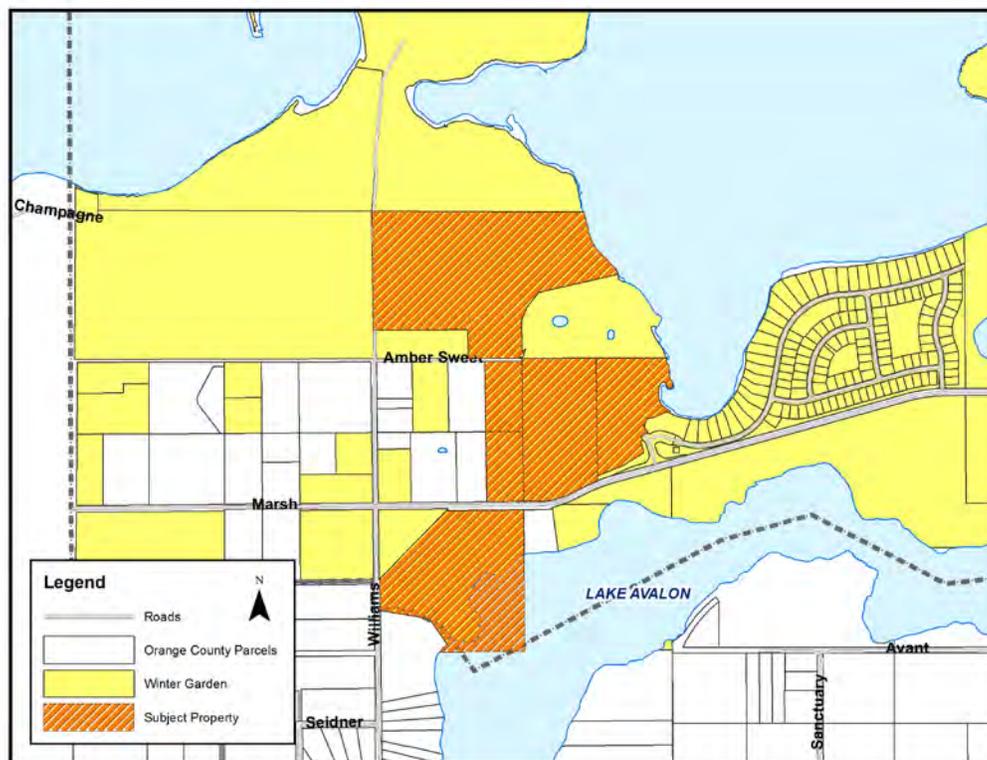
STAFF REPORT

TO: PLANNING AND ZONING BOARD
PREPARED BY: KELLY CARSON, PLANNER II
DATE: DECEMBER 29, 2014
SUBJECT: PRELIMINARY PLAT
17001 Marsh Road (105.23+/- ACRES)
PARCEL ID# 06-23-27-0000-00-002 **PARCEL ID# 06-23-27-0000-00-003**
PARCEL ID# 06-23-27-0000-00-004 **PARCEL ID# 06-23-27-4288-08-211**
PARCEL ID# 06-23-27-4288-08-321 **PARCEL ID# 06-23-27-4272-00-030**

APPLICANT: Waterside at Johns Lake, LLC; Maurice M. Boyd; McKinnon Corporation;
McKinnon Groves, LLLP

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Land Development Regulations, Comprehensive Plan, and Future Land Use Map. The subject property, located on Marsh Road east of Williams Road and west of Avalon Road, is approximately 105.23± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting approval of Preliminary Plat of the 105.23± acre property, which is the Waterside on Johns Lake Phase 2 Subdivision for 289 single family residential units and 17 live/work units. The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation UVPUD (Urban Village Planned Unit Development) in the City of Winter Garden. The subject property is designated Urban Village on the Future Land Use Map of the Comprehensive Plan.

EXISTING USE

The portion of the subject property located on the north side of Marsh Road is presently used for Timberland and Orange Groves and does not contain any structures. The portion of the property located south of Marsh Road is vacant unimproved land which is not used for a specific agricultural purpose and does not contain any structures.

ADJACENT LAND USE AND ZONING

The properties located to the north consist of a Single Family residence and agricultural land use for Timberland and Orange Groves zoned NZ, both in the City of Winter Garden. The properties located to the east include a winter garden parcel zoned UVPUD containing a Single-Family Residential home, several A-1 zoned Unincorporated Orange County parcels that are either vacant or contain single family homes, and a UVPUD-zoned property that is part of the Waterside at Johns Lake Phase 1 Subdivision. Phase 1 was platted with 139 single family residential units in June of 2014. The properties to the west include a property used for Orange Groves zoned NZ in the City, another City property that is currently in the process of being rezoned to UVPUD to allow for a mix of residential and commercial uses (Four Corners), and several properties zoned A-1 in unincorporated Orange County each containing a single-family residential structure. The property to the south is zoned A-1 in unincorporated Orange County and contains a single-family residential structure.

The surrounding properties to the north, east, and west are all located within the JPA expansion area as adopted by the Sixth Amendment to the Restated Interlocal Agreement for Joint Planning Area between Orange County and the City of Winter Garden. Additionally, the subject property as well as many of the surrounding properties (a total of 596 acres) were annexed into the City of Winter Garden by Ordinance 07-34. At the time the properties were annexed into the City they were not assigned zoning or future land use designation in the City of Winter Garden. Subsequently, as part of the EAR based amendments to the City's Comprehensive Plan which were adopted in 2010, the subject property and surrounding properties (a total of 642.73 acres) were assigned a future land use designation of Urban Village on the Future Land Use Map of the City's Comprehensive Plan.

The surrounding properties to the south are not within the JPA expansion area, but are located within the Avalon Rural Settlement Area in unincorporated Orange County. As stipulated by the Sixth Amendment to the Restated Interlocal Agreement for Joint Planning Area between Orange County and the City of Winter Garden, buffering and density limitations must be exercised where properties located within the JPA expansion area adjoin properties that are located in the Avalon rural settlement.

PROPOSED USE

The applicant proposes to develop the 105.23 ± acre site into a residential development containing 289 single family residential units and 17 live/work units. There are two proposed lot sizes in the subdivision: 40' x 125' and 55' x 125'. The live/work units, which will be located

along a yet-to-be-improved segment of Williams Road in the northwest portion of the project, will each consist of a single unit for a business/office and a residential component occupied by the same resident. Residential units above the garage, also known as granny flats, will also be permitted.

The site will be developed in three phases: 2A, 2B, and 2C. Phase 2A, which will be developed first, will include 103 single family residential units. Phase 2B will include 52 single family residential units and will either be developed after or concurrently with Phase 2A. Phase 2C will be the final phase of development and will include 134 single family units and 17 live/work units. This final phase may commence only after the developer dedicates the lands necessary to improve North Williams Road to the City. Marsh Road will also be improved with a proposed round-a-bout at the subdivision entrance and a 10' wide multi-use recreation trail running across the north frontage.

The proposed subdivision will contain several recreation areas. One recreation area in Phase 2A will include a clubhouse, community pool, and other recreation amenities. The second, which is located in Phase 2C, will include walking trails, a community dock, sport courts, gazebos, open spaces, and other passive recreation features. In addition to the recreation areas, the subdivision will provide vegetated buffers from roads, adjacent properties, and the rural settlement to the south.

The Construction Plan Set for Waterside at Johns Lake Phase 2 was approved in December of 2014 pending approval of the preliminary plat. This plat was never presented to the Planning & Zoning Board for approval because the Developer's Agreement had not yet been finalized. The DA was approved at City Commission on October 23, 2014. The Developers Agreement includes conditions for subdivision approval including, but not limited to, project phasing, potable water, sewer and reclaimed water utilities extension and oversizing requirements, location of reuse and potable water pumping stations/storage tanks, right-of-way improvements and conveyances, other off-site public infrastructure improvements, lift station, transportation/roadway system, impact fees, and adherence to all City Codes and Standards etc.

SUMMARY

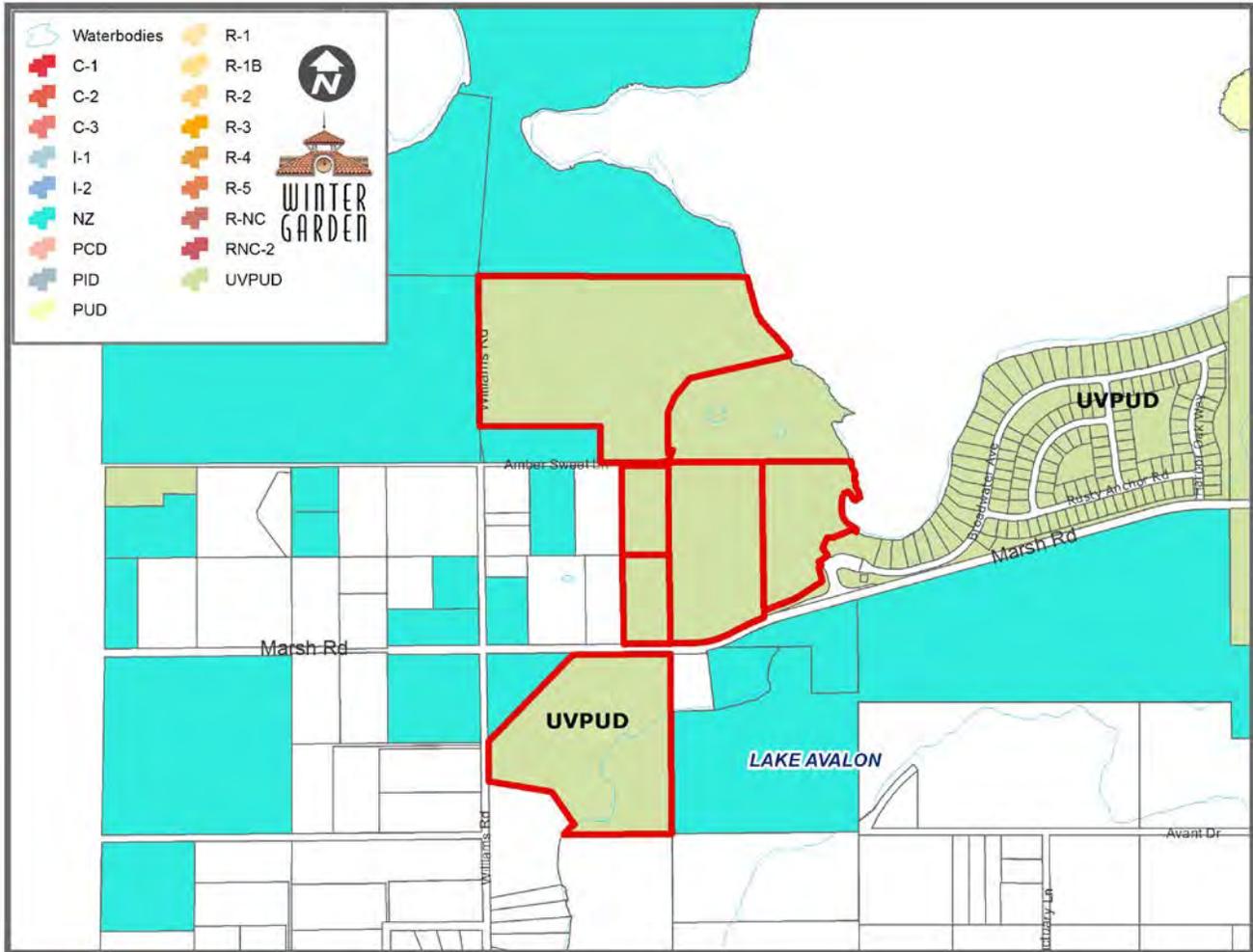
City Staff recommends approval of the proposed Preliminary Plat subject to the conditions listed in the DRC Staff Report dated August 29, 2013. Conditional approval of the Preliminary Plat will allow the owner to proceed with development plans as well as the final plat. Conditional approval of the proposed Preliminary Plat is subject to conditions of all prior development approvals including UVPUD Rezoning Ordinance 12-44 and the Waterside on Johns Lake Phase 2 Developers Agreement approved by City Commission on October 23, 2014.

MAPS

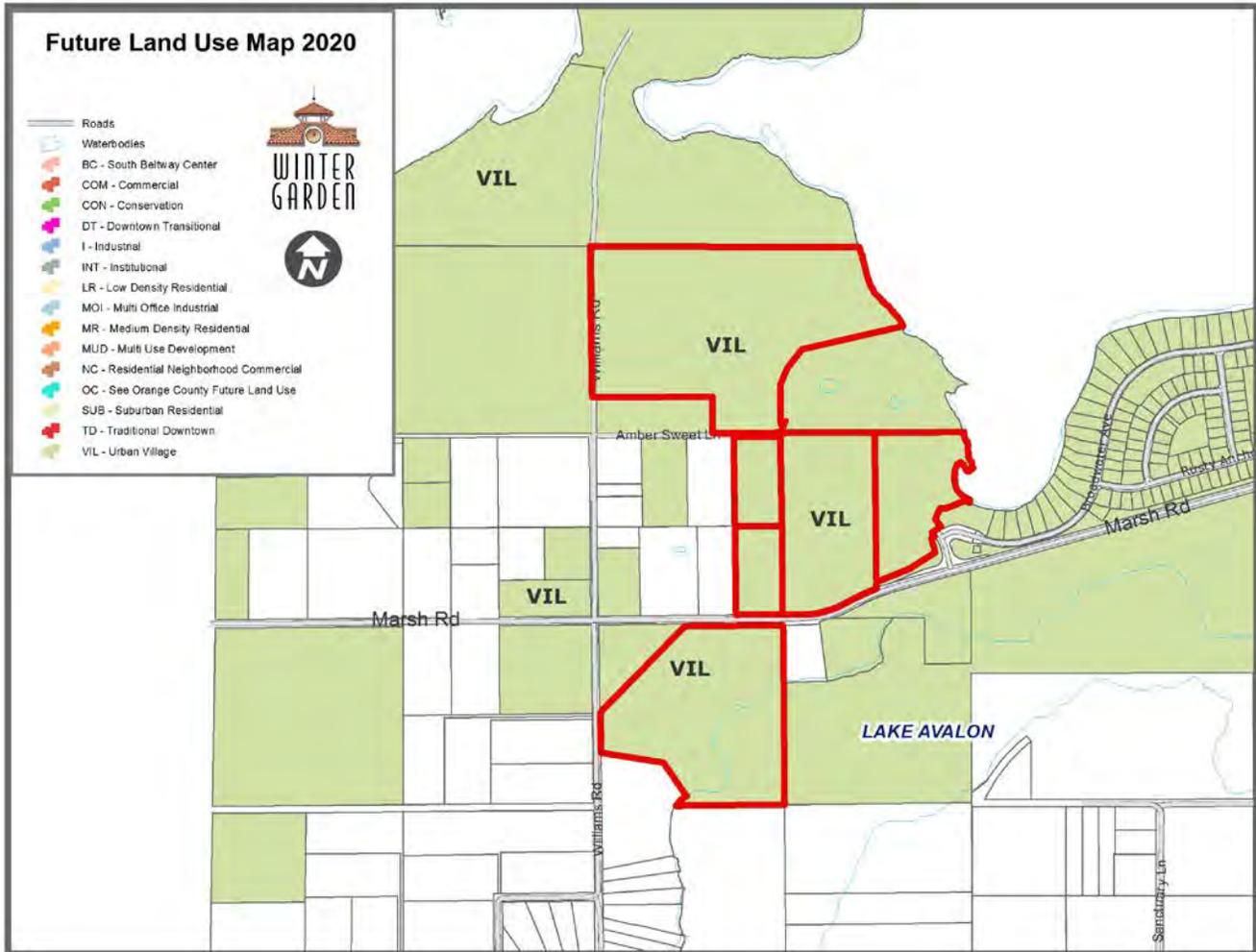
AERIAL PHOTO
Waterside on Johns Lake Phase 2



ZONING MAP Waterside on Johns Lake Phase 2



FUTURE LAND USE MAP Waterside on Johns Lake Phase 2



END OF STAFF REPORT

CITY OF WINTER GARDEN

DEVELOPMENT REVIEW COMMITTEE

300 West Plant Street - Winter Garden, Florida 34787-3011
(407) 656-4111

MEMORANDUM

TO: ED WILLIAMS, COMMUNITY DEVELOPMENT DIRECTOR
FROM: DEVELOPMENT REVIEW COMMITTEE
DATE: AUGUST 29, 2013
SUBJECT: WATERSIDE ON JOHNS LAKE PHASE 2 UVPUD – 3RD REVIEW
PRELIMINARY SUBDIVISION PLAN – CENTERLINE HOMES
(AKA MCKINNON CORP PROPERTY)

Pursuant to your request, we have reviewed the revised preliminary plat package dated 7/18/2013 for compliance with the City's subdivision and stormwater requirements. Since this review is conceptual, our comments are limited to the information submitted and do not address detailed review of the drainage, roadway and utility systems that were not submitted. This was submitted in response to our UVPUD Zoning comments dated 8/14/2012, Preliminary Plat comments of 2/12/2013 & 4/29/2013, and DRC meeting of 5/01/2013. It should be noted that conceptals of this property's development were reviewed in November of 2007 under a different developer. We recommend approval subject to the following conditions and comments:

ENGINEERING

1. The previous plan in 2007 showed a total of 1,596 residential dwelling units and 115,000 s.f. of commercial and included institutional uses such as schools, potable water and reclaimed water pumping/storage facilities, fire station, community center, etc. These items shall be spelled out in the Developer's Agreement (see Planning comment).
2. Granny Flats: Additional water & sewer impact fees may be required for lots proposed to support Granny Flats.
3. Proposed roundabout on Marsh Road: Size and configuration will be determined at time of final engineering; radius, number of lanes, etc. shall safely accommodate traffic and be reviewed by the City's Roundabout Consultant. Additional right-of-way may be required. The roundabout shown on this preliminary plat is somewhat different than the one being constructed for Waterside 1 (no right turn lanes?). Final configuration shall be discussed.
4. Williams/Marsh Road Intersection (limited sight distance issue): Response indicates this will be addressed with the design of the next phase, including schedule on signalization, etc. As stated at the 2/13/13 DRC meeting, failure to address this issue when needed will not be considered an excuse to not address it.
5. Williams Road (Phase C – Sheet 10): Is there sufficient right-of-way on the south end where this ties into the pavement at Amber Sweet Lane? Response indicates the additional R/W is in the process of being obtained – agreement/ROW deed to be provided prior to public hearing.
6. Ingress/Egress Easement: access to the “less out” parcels shall be provided as agreed upon between the parties and will be checked at final construction plan, and final plat reviews.
7. A portion of the site is adjacent to jurisdictional wetlands and/or the 100 year flood zone. A LOMR shall be filed with FEMA as a condition of final plat approval for any areas requiring fill within the 100 year flood zone.
8. Rear Yard Swale (Sheet 9): Swale shall be located within a tract to be maintained by the HOA – not on the individually owned lots.

9. All proposed easements shall be 30' minimum width for sanitary, water and storm; improvements shall be centered within the easement. Common areas not abutting right-of-way shall include a tract (not easement) for access and maintenance.
10. Utilities: Gravity sanitary manholes shall be added where the gravity main is too close to the R/W and will be checked at final engineering plan review.
11. Utilities: The City reviewed a draft master utilities plan dated June 2012, and met with the Design Engineers on 6/29/12. As discussed on a preliminary basis, the project will need to install a minimum 16" water main, 12" sanitary force main, and a 12" reclaimed water main on Marsh Road (or equivalent alignment) to serve the development (along with future 500,000 gallon potable water storage/pumping facility and future 500,000 gallon reuse water storage/pumping facility). These lines will need to be extended to proposed or existing stub-outs from the Waterside development to the east, at the Developer's expense. As the Design Engineers develop the master utility plan, provisions for the following may be necessary due to the size of the development and its location: reclaimed water pumping station and/or storage tank site; water plant and/or water storage tank/pumping facility; master lift station. **Coordinate with Assistant City Manager Cochran. Response indicates the process is ongoing and will be addressed in the DA, prior to the public hearing.**
12. **The Fire Department and City Manager need to review the plan for a possible future fire station site (i.e. response times). Response indicates the process is ongoing and will be addressed in the DA, prior to the public hearing.**
13. This project will be required to meet the City's adopted Comprehensive Plan Amendment including the Wekiva Protection Act provisions for open space, drainage and protection of Karst features.
14. Alleys: to be maintained by HOA; need to provide sufficient width between buildings for driveway/parking space (20' minimum driveway parking space from face of garage to 20' wide alley tract – 60' total between rear-to-rear of houses). Alley or Lane pavement width shall be 12' minimum, one-way only.
15. Minimum width for drainage and utility easements between lots shall be 30 ft. Narrower easement widths (20 ft minimum) will be allowed for shallow drainage pipes, 12" diameter or less. Additional drainage and utility easements will be required adjacent to proposed rights of way for telephone, electrical power, gas, and cable tv facilities (10 ft minimum width pursuant to code).
16. Streetlighting shall be pursuant to City Code, including frontage on Marsh Road, meeting dark skies requirements (Code Section 118-1536(k)). **Submit streetlighting plan from Duke Energy prior to preconstruction meeting.**
17. All irrigation on the site shall be designed to be supplied by reclaimed water.
18. Permits from SJRWMD and FDEP (water, wastewater and NPDES) are required prior to issuance of site or building permits.
19. Drainage design shall comply with all City Code requirements, and Comprehensive Plan requirements for Most Effective Recharge soils, closed drainage basins, Wekiva Study Area, etc.

PLANNING

20. **Informational Comment:** A Developers Agreement addressing the phasing, utilities and other commitments of the development's master plan shall be approved by the City Commission and recorded prior to the issuance of any site or building permits. City staff will draft the D.A. that shall include, but not be limited to the following: project phasing, potable water, sewer and reclaimed water utilities extension and oversizing requirements, location of reuse and potable water pumping stations/storage tanks, right-of-way improvements and conveyances, other off-site public infrastructure improvements, lift station, transportation/roadway system, impact fees, and adherence to all City Codes and Standards etc.

21. Informational Comment: Environmental Due Diligence report identified the need to have a 100% survey of suitable gopher tortoise habitat by a FWC authorized Gopher Tortoise Agent. This survey must be conducted and submitted for review with the subdivision construction plans.
22. Informational Comment: Environmental Lead Assessment identifies the need to excavate the contaminated area and dispose of off-site. All clean-up of the lead affected soils must be complete prior to issuance of any permits.

PUBLIC SERVICES

23. Please modify the lift station tracts (D and W) to encompass the access driveway.
24. Given the close proximity to Lake Avalon, the city will require a permanent generator for the lift station in tract D.
25. Street lighting shall be required per City Code (Code Section 118-1536(k)) internal to the development and also along the adjacent public right of way along Marsh Road.
26. Sanitary sewer lines shall not exceed 18 feet in depth. This will be checked at construction plan review.

STANDARD GENERAL CONDITIONS

27. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
28. All work shall conform to City of Winter Garden standards and specifications.
29. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
30. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
31. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The applicant should note that if approval is granted, the City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.
32. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of the building permit.

Additional comments may be generated at subsequent reviews.

Please review this information and contact our office if you have any questions. Thank you.

END OF MEMORANDUM



BOWYER SINGLETON

EXISTING CONDITIONS PLAN
MCKINNON CORP / CENTERLINE HOMES
ENTERPRISES FIVE, LLC - PSP

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CONTRACTOR "AS-BUILT'S" were furnished to the Engineer by the Contractor. The Engineer has reviewed these "As-Built's" and believes them to be in compliance with my knowledge of what was actually observed on the construction site.

Contractor's Name: _____
 Engineer: _____
 Not valid without the signature and the original raised seal of a Florida Registered Engineer.

DATE	NOVEMBER 2012
DESIGNED	SMH/MSR
CHECKED	MSR
SCALE	1" = 150'
PROJECT NO.	EDW03/PSP
FILE NAME	EDW03-PSPconditions1
SHEET	2 OF 17

SOILS LEGEND

- 1 WATER
- 3 BASINGER, D
- 4 CANDLER, A
- 5 CANDLER, A
- 28 FLORAHOME, A

LEGEND AND ABBREVIATIONS:

- ± MORE OR LESS ELEVATION
- LB LICENSED BUSINESS
- NO. NUMBER
- LS LAND SURVEYOR
- ID. IDENTIFICATION
- ORR OFFICIAL RECORDS BOOK
- R CENTERLINE
- ARC LENGTH
- DELTA (CENTRAL ANGLE)
- CHORD LENGTH
- CHORD BEARING
- P.O.C. POINT ON CURVE
- P.C.C. POINT OF COMPOUND CURVATURE
- P.R.C. POINT OF REVERSE CURVATURE
- P.C. POINT OF CURVATURE
- P.T. POINT OF TANGENCY
- P.I. POINT OF INTERSECTION
- H/C HANDICAP ACCESSIBLE
- NOVD NATIONAL GEODETIC VERTICAL DATUM
- PIP PARCEL IDENTIFICATION NUMBER
- FDEP FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
- DEPT DEPARTMENT
- FPC FLORIDA POWER CORPORATION
- CM CONCRETE MONUMENT
- IRC IRON ROD & CAP
- IP IRON PIPE
- N/D NAIL & DISK
- FOUND CONCRETE MONUMENT AS NOTED
- FOUND NAIL & DISK AS NOTED
- FOUND NAIL & DISK AS NOTED
- SET NAIL & DISK (LB 1221)
- FOUND IRON ROD & CAP AS NOTED
- FOUND IRON ROD AS NOTED
- SET 5/8" IRON ROD & CAP (LB 1221)
- CONTROL/BENCHMARK AS DESCRIBED
- CURB INLET GRATE
- CATCH BASIN
- STORM MANHOLE
- SANITARY MANHOLE
- SANITARY CLEANOUT
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC RISER BOX
- CABLE TELEVISION RISER BOX
- TELEPHONE RISER BOX
- UTILITY RISER
- WELL
- WATER SPIGOT
- IRRIGATION VALVE
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- AIR CONDITIONER PAD
- GAS VALVE
- GAS METER
- GAS LINE MARKER
- CONCRETE UTILITY POLE
- METAL UTILITY POLE
- WOOD UTILITY POLE
- UTILITY POLE GUY ANCHOR
- LIGHT POLE
- ELECTRIC TRANSFORMER
- NETLAND FLAG
- SIGN
- BOLLARD
- FLAG POLE
- MAILBOX
- SOIL BORING W/DESIGNATION
- HEDGE ROW
- LINE BREAK
- FENCE LINE AS NOTED
- OVERHEAD UTILITY LINE
- UTILITY LINE
- CAMPOR TREE (CALIPER NOTED)
- CYPRESS TREE (CALIPER NOTED)
- OAK TREE (CALIPER NOTED)
- PALM TREE (CALIPER NOTED)
- PINE TREE (CALIPER NOTED)

LEGAL DESCRIPTION (TITLE COMMITMENT NO. 50116-1062-2732708)

PARCEL 1:
 THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 6, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA LESS AND EXCEPT
 A) THAT PART CONVEYED IN BOOK 9979, PAGE 3623, PUBLIC RECORDS OF ORANGE COUNTY,
 B) BEGINNING AT A POINT 60 FEET NORTH OF THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 SECTION 6, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, GO EAST 473 FEET; THENCE NORTH 196.5 FEET; THENCE WEST 473 FEET; THENCE SOUTH 196.5 FEET TO THE POINT OF BEGINNING.
 C) BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 SECTION 6, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, GO EAST 816 FEET THENCE NORTH 256.5 FEET; THENCE WEST 343 FEET THENCE, SOUTH 196.5 FEET; THENCE WEST 473 FEET; THENCE SOUTH 60 FEET TO THE POINT OF BEGINNING.
 TOGETHER WITH, THE FOLLOWING EASEMENT RIGHTS:
 A) GRANT OF EASEMENT BY AND BETWEEN MCKINNON CORPORATION AND MAURICE M. BOYD, GRANTORS, AND ELIZABETH MCKINNON NELSON AND MCKINNON GROVES, GRANTEEES, RECORDED JANUARY 28, 1998 IN BOOK 5404, PAGE 3725; AND AMENDED AND RESTATEMENT OF GRANT OF EASEMENT BY AND BETWEEN MCKINNON CORPORATION, GRANTOR, AND MARK THOMAS NELSON AND ELIZABETH MCKINNON NELSON AND MCKINNON GROVES, GRANTEEES, RECORDED DECEMBER 22, 2009 IN BOOK 9979, PAGE 3615; AND
 B) EASEMENT RETAINED AND RESERVED IN WARRANTY DEED RECORDED APRIL 18, 2002 IN BOOK 6505, PAGE 5671.

PARCEL 2:
 BEGINNING 30 FEET NORTH OF THE SOUTHWEST CORNER OF THE FRACTIONAL EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 6, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ON THE NORTH BOUNDARY OF COUNTY ROAD; RUN THENCE NORTH TO THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 6; THENCE EAST 660 FEET; THENCE SOUTH TO THE NORTH BOUNDARY OF COUNTY ROAD; THENCE SOUTHWESTERLY AND WESTERLY ALONG SAID NORTH BOUNDARY OF COUNTY ROAD TO THE POINT OF BEGINNING.

PARCEL 3:
 THE EAST 1/2 OF LOT 21H, LAKE AVALON GROVES REPLAT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK H, PAGE 81, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

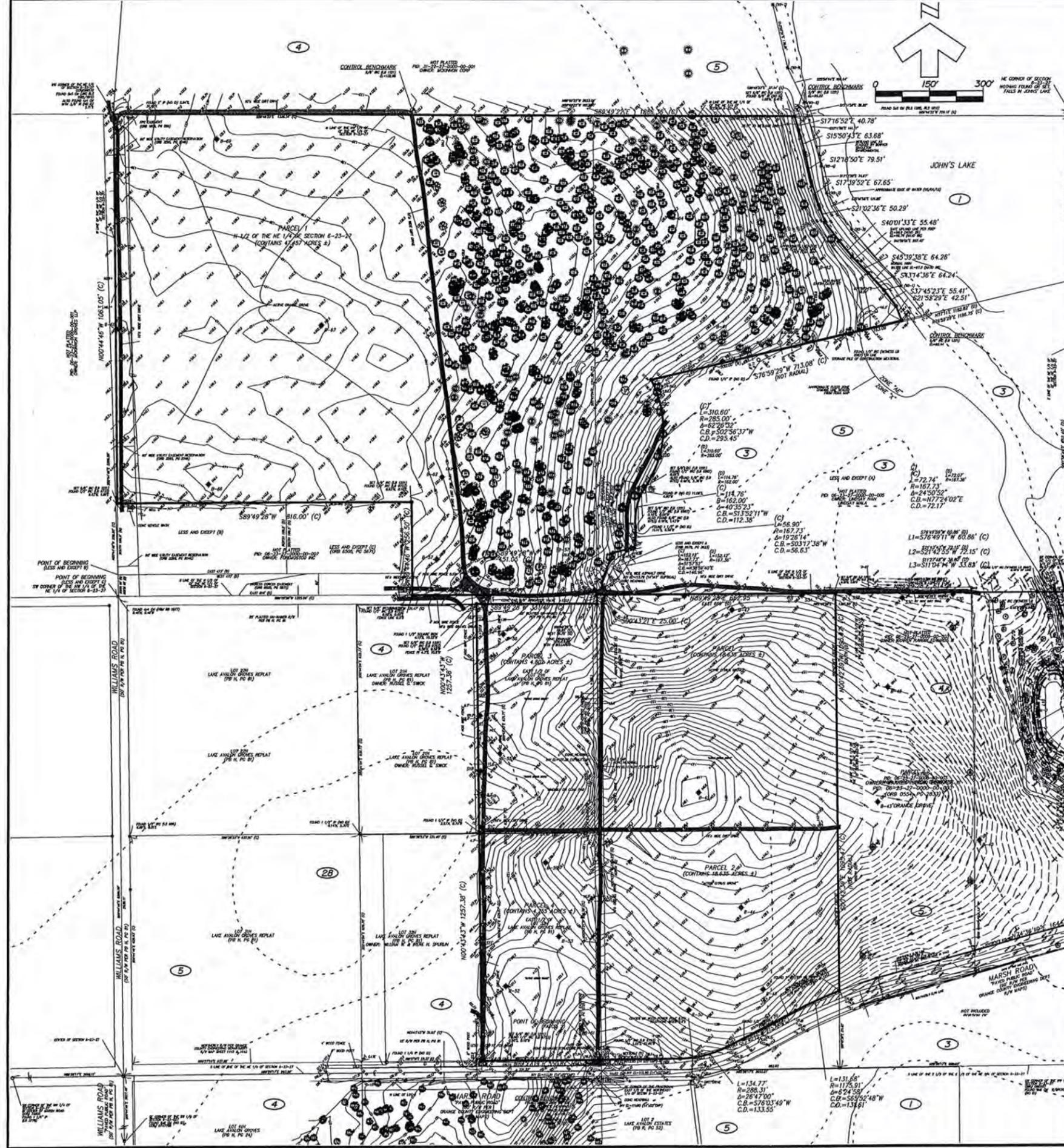
PARCEL 4:
 THE EAST 1/2 OF LOT 32H, LAKE AVALON GROVES REPLAT, AS SHOWN BY PLAT BOOK H, PAGE 81, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, LESS SOUTH 15 FEET FOR ROAD RIGHT OF WAY.
 CONTAINS 75.649 TOTAL ACRES MORE OR LESS.

SURVEY NOTES:

- BEARINGS SHOWN HEREON ARE ASSUMED AND BASED ON THE SOUTH LINE OF THE S 1/2 OF THE E 1/2 OF THE NE 1/4 OF SECTION 6-23-27, AS BEING N89°28'17"E.
- ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 12085C0200F, ORANGE COUNTY, FLORIDA, EFFECTIVE DATE OF SEPTEMBER 25, 2009, THE PROPERTY DESCRIBED HEREON LIES WITHIN ZONE(S) "X" AND "AE" AND PARTIALLY LIES WITHIN OF A 100 YEAR FLOOD HAZARD AREA.
- UNDERGROUND FOUNDATIONS AND UTILITIES WERE NOT LOCATED AS PART OF THIS SURVEY.
- THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A TITLE REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. 50116-1062-2732708, DATED APRIL 26, 2012.
- NORTH-SOUTH AND EAST-WEST TIES TO FOUND MONUMENTATION AND IMPROVEMENTS ARE BASED ON CARDINAL DIRECTION.
- THE ACCURACY OF THE SURVEY MEASUREMENTS USED FOR THIS SURVEY MEETS OR EXCEEDS THE EXPECTED USE OF THE PROPERTY DESCRIBED HEREON. (SUBURBAN) 1 FOOT IN 7,500 FEET
- ACCORDING TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION THE LANDS LYING WITHIN THE WATERS OF JOHN'S LAKE ARE SOVEREIGN AND PROPERTY OF THE STATE OF FLORIDA. THE SAFE UPLAND LINE FOR JOHN'S LAKE IS 98.0 FEET (NATIONAL GEODETIC VERTICAL DATUM OF 1929) OR ELEVATION 96.79 FEET AS CONVERTED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988. THIS LINE WAS ESTABLISHED IN THE FIELD AND IS DEPICTED AS THE BOUNDARY OF PARCELS 1 AS IT ABUTS THE WATERS OF JOHN'S LAKE.
- POSSIBLE ENCROACHMENTS OR APPARENT PHYSICAL USE OF THE PREMISES ARE AS FOLLOWS:
 a) GRAVEL & DIRT ASPHALT DRIVE TO LESS OUT PARCEL 4 DO NOT RESIDE FULLY WITHIN EASEMENT PROVIDED.
 b) FENCING ALONG SOUTH LINE OF PARCEL 1
 c) ELECTRIC POWER POLE AT SOUTH LINE OF PARCEL 2 (MARSH ROAD)
 d) VARIOUS DIRT MAINTENANCE ROADS THROUGHOUT PREMISES UTILIZED TO ACCESS AND MAINTAIN EXISTING ORANGE GROVE.
 e) SHOOTING RANGE & CONSTRUCTION MATERIALS AT NORTH LINE OF LESS OUT PARCEL 4.
- WETLAND JURISDICTIONAL LIMITS DEPICTED HEREON AS FLAGGED BY BOWYER SINGLETON & ASSOC ENVIRONMENTAL DATED MAY 2012.
- RIGHT OF WAY LIMITS OF MARSH ROAD ESTABLISHED FROM ORANGE COUNTY ENGINEERING DEPARTMENT MAP SHEETS 1442 & 1443.
- ELEVATIONS SHOWN HEREON ARE BASED ON ORANGE COUNTY DATUM, AS DERIVED BY FROM BENCHMARK ORA32 FLDNR, DESCRIBED AS A SURVEY DISK STAMPED "OR32 FLDNR" IN TOP OF A CONCRETE HEADWALL ON THE NORTH SIDE OF MARSH ROAD 1.5 MILES ± WEST OF THE INTERSECTION OF MARSH ROAD & C.R. 545, HAVING AN ELEVATION OF 118.165 (NAVD 88).

SCHEDULE B2 EXCEPTIONS:

- RESTRICTIONS, DEDICATIONS, CONDITIONS, RESERVATIONS, EASEMENTS AND OTHER MATTERS SHOWN ON THE PLAT OF LAKE AVALON GROVES REPLAT, AS RECORDED IN PLAT BOOK H, PAGE(S) 81, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(c). (AFFECTS - PLOTTED AS APPLICABLE)
- EASEMENT IN FAVOR OF FLORIDA POWER CORPORATION RECORDED FEBRUARY 7, 1967 IN BOOK 1609, PAGE 289. (AS TO PARCEL 1) (AFFECTS - PLOTTED HEREON)
- UTILITY EASEMENT RESERVED IN CERTIFICATE OF THE CLERK OF BOARD OF COUNTY COMMISSIONERS REGARDING THE VACATING OF PORTION OF WILLIAMS ROAD RECORDED JULY 15, 1982 IN BOOK 3295, PAGE 2046. (AS TO PARCEL 1) (AFFECTS - PLOTTED HEREON)
- GRANT OF EASEMENT BY AND BETWEEN MCKINNON CORPORATION AND MAURICE M. BOYD, GRANTORS, AND ELIZABETH MCKINNON NELSON AND MCKINNON GROVES, GRANTEEES, RECORDED JANUARY 28, 1998 IN BOOK 5404, PAGE 3725; AND AMENDED AND RESTATEMENT OF GRANT OF EASEMENT BY AND BETWEEN MCKINNON CORPORATION, GRANTOR, AND MARK THOMAS NELSON AND ELIZABETH MCKINNON NELSON AND MCKINNON GROVES, GRANTEEES, RECORDED DECEMBER 22, 2009 IN BOOK 9979, PAGE 3615. (AS TO PARCELS 2, 3 AND 4. THIS EASEMENT ALSO CONTAINS OBLIGATIONS UPON PARCEL 1) (AFFECTS - PLOTTED HEREON)
- TERMS AND CONDITIONS PERTAINING TO EASEMENT RESERVED IN WARRANTY DEED RECORDED APRIL 18, 2002 IN BOOK 6505, PAGE 5671. (AS TO PARCEL 1) (AFFECTS - PLOTTED HEREON)





BOWYER SINGLETON

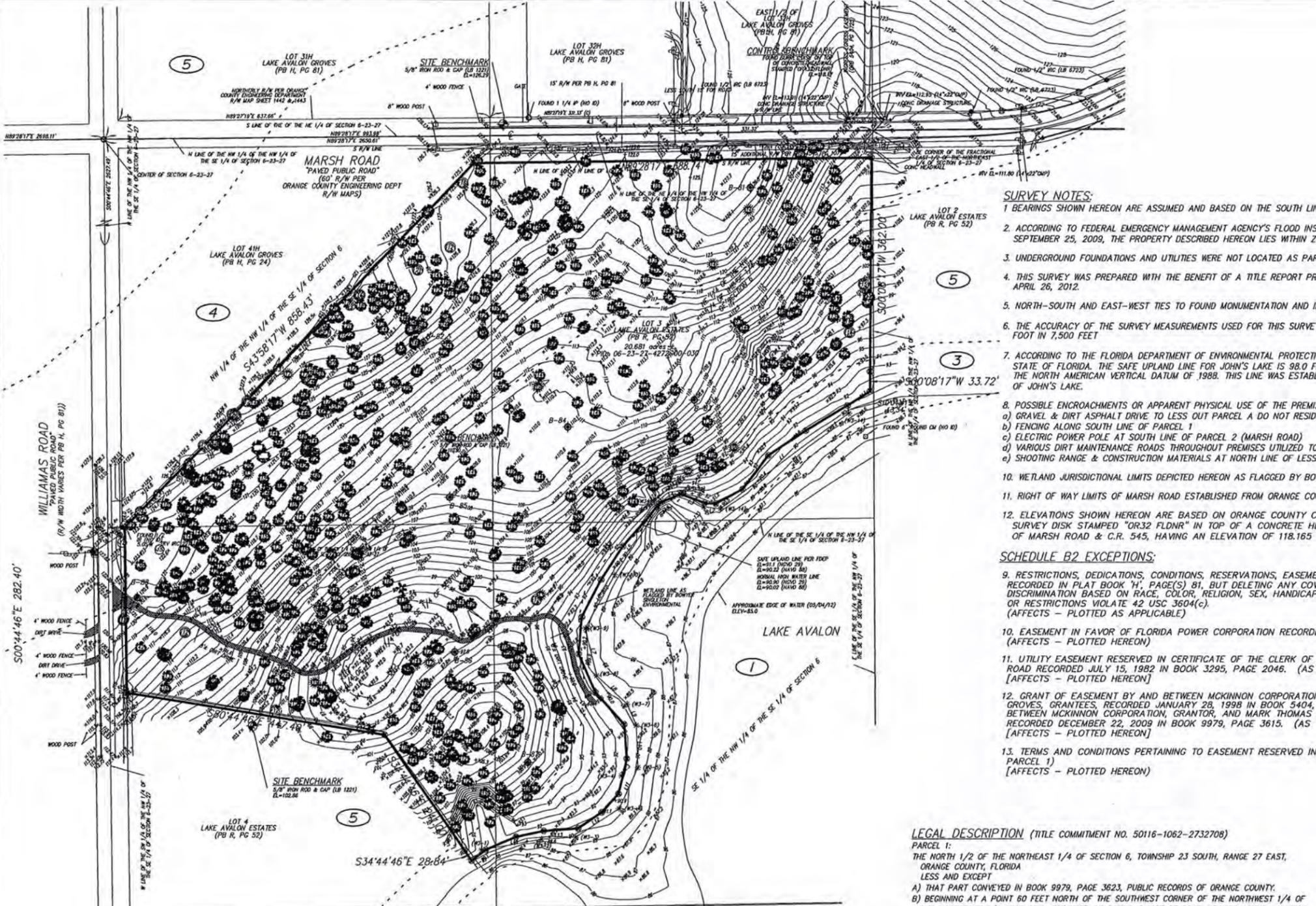
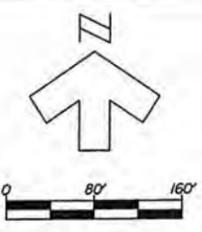
FLORIDA
EXISTING CONDITIONS PLAN
MCKINNON CORP / CENTERLINE HOMES ENTERPRISES FIVE, LLC - PSP

WINTER GARDEN

Table with columns: REVISIONS, DESCRIPTION, DATE, BY

CONTRACTOR HAS-BUILTS...
I, the undersigned, being a duly Licensed Professional Engineer in the State of Florida, do hereby certify that I am the author of the above described plan and that the same is a true and correct copy of the original filed with me.

Table with columns: DATE, DESIGNED, CHECKED, SCALE, PROJECT NO., FILE NAME, SHEET



- SURVEY NOTES: 1. BEARINGS SHOWN HEREON ARE ASSUMED AND BASED ON THE SOUTH LINE OF THE S 1/2 OF THE E 1/2 OF THE NE 1/4 OF SECTION 6-23-27, AS BEING N89°28'17"E. 2. ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 12095C0200F, ORANGE COUNTY, FLORIDA, EFFECTIVE DATE OF SEPTEMBER 25, 2009, THE PROPERTY DESCRIBED HEREON LIES WITHIN ZONE(S) "X" AND "AE" AND PARTIALLY LIES WITHIN OF A 100 YEAR FLOOD HAZARD AREA. 3. UNDERGROUND FOUNDATIONS AND UTILITIES WERE NOT LOCATED AS PART OF THIS SURVEY. 4. THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A TITLE REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. 50116-1062-2732708, DATED APRIL 26, 2012. 5. NORTH-SOUTH AND EAST-WEST TIES TO FOUND MONUMENTATION AND IMPROVEMENTS ARE BASED ON CARDINAL DIRECTION. 6. THE ACCURACY OF THE SURVEY MEASUREMENTS USED FOR THIS SURVEY MEETS OR EXCEEDS THE EXPECTED USE OF THE PROPERTY DESCRIBED HEREON. (SUBURBAN) 1 FOOT IN 7,500 FEET. 7. ACCORDING TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION THE LANDS LYING WITHIN THE WATERS OF JOHN'S LAKE ARE SOVEREIGN AND PROPERTY OF THE STATE OF FLORIDA. THE SAFE UPLAND LINE FOR JOHN'S LAKE IS 98.0 FEET (NATIONAL GEODETIC VERTICAL DATUM OF 1929) OR ELEVATION 96.79 FEET AS CONVERTED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988. THIS LINE WAS ESTABLISHED IN THE FIELD AND IS DEPICTED AS THE BOUNDARY OF PARCELS 1 AS IT ABUTS THE WATERS OF JOHN'S LAKE. 8. POSSIBLE ENCROACHMENTS OR APPARENT PHYSICAL USE OF THE PREMISES ARE AS FOLLOWS: a) GRAVEL & DIRT ASPHALT DRIVE TO LESS OUT PARCEL A DO NOT RESIDE FULLY WITHIN EASEMENT PROVIDED. b) FENCING ALONG SOUTH LINE OF PARCEL 1 c) ELECTRIC POWER POLE AT SOUTH LINE OF PARCEL 2 (MARSH ROAD) d) VARIOUS DIRT MAINTENANCE ROADS THROUGHOUT PREMISES UTILIZED TO ACCESS AND MAINTAIN EXISTING ORANGE GROVE. e) SHOOTING RANGE & CONSTRUCTION MATERIALS AT NORTH LINE OF LESS OUT PARCEL A. 10. WETLAND JURISDICTIONAL LIMITS DEPICTED HEREON AS FLAGGED BY BOWYER SINGLETON & ASSOC ENVIRONMENTAL DATED MAY 2012. 11. RIGHT OF WAY LIMITS OF MARSH ROAD ESTABLISHED FROM ORANGE COUNTY ENGINEERING DEPARTMENT MAP SHEETS 1442 & 1443. 12. ELEVATIONS SHOWN HEREON ARE BASED ON ORANGE COUNTY DATUM, AS DERIVED BY FROM BENCHMARK ORA32 FLDNR., DESCRIBED AS A SURVEY DISK STAMPED "OR32 FLDNR" IN TOP OF A CONCRETE HEADWALL ON THE NORTH SIDE OF MARSH ROAD 1.5 MILES ± WEST OF THE INTERSECTION OF MARSH ROAD & C.R. 545, HAVING AN ELEVATION OF 118.165 (NAVD 88).

- SCHEDULE B2 EXCEPTIONS: 9. RESTRICTIONS, DEDICATIONS, CONDITIONS, RESERVATIONS, EASEMENTS AND OTHER MATTERS SHOWN ON THE PLAT OF LAKE AVALON GROVES REPLAT, AS RECORDED IN PLAT BOOK "H", PAGE(S) 81, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(c). (AFFECTS - PLOTTED AS APPLICABLE) 10. EASEMENT IN FAVOR OF FLORIDA POWER CORPORATION RECORDED FEBRUARY 7, 1967 IN BOOK 1609, PAGE 289. (AS TO PARCEL 1) (AFFECTS - PLOTTED HEREON) 11. UTILITY EASEMENT RESERVED IN CERTIFICATE OF THE CLERK OF BOARD OF COUNTY COMMISSIONERS REGARDING THE VACATING OF PORTION OF WILLIAMS ROAD RECORDED JULY 15, 1982 IN BOOK 3295, PAGE 2046. (AS TO PARCEL 1) [AFFECTS - PLOTTED HEREON] 12. GRANT OF EASEMENT BY AND BETWEEN MCKINNON CORPORATION AND MAURICE M. BOYD, GRANTORS, AND ELIZABETH MCKINNON NELSON AND MCKINNON GROVES, GRANTEEES, RECORDED JANUARY 28, 1998 IN BOOK 5404, PAGE 3275; AND AMENDED AND RESTATEMENT OF GRANT OF EASEMENT BY AND BETWEEN MCKINNON CORPORATION, GRANTOR, AND MARK THOMAS NELSON AND ELIZABETH MCKINNON NELSON AND MCKINNON GROVES, GRANTEEES, RECORDED DECEMBER 22, 2009 IN BOOK 9979, PAGE 3615. (AS TO PARCELS 2, 3 AND 4. THIS EASEMENT ALSO CONTAINS OBLIGATIONS UPON PARCEL 1) [AFFECTS - PLOTTED HEREON] 13. TERMS AND CONDITIONS PERTAINING TO EASEMENT RESERVED IN WARRANTY DEED RECORDED APRIL 18, 2002 IN BOOK 6505, PAGE 5671. (AS TO PARCEL 1) [AFFECTS - PLOTTED HEREON]

LEGEND AND ABBREVIATIONS:

Legend table with columns: SYMBOL, DESCRIPTION, SYMBOL, DESCRIPTION

LEGAL DESCRIPTION (TITLE COMMITMENT NO. 50116-1062-2732708)

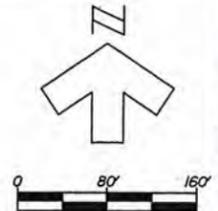
PARCEL 1: THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 6, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, LESS AND EXCEPT A) THAT PART CONVEYED IN BOOK 9979, PAGE 3623, PUBLIC RECORDS OF ORANGE COUNTY. B) BEGINNING AT A POINT 60 FEET NORTH OF THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 SECTION 6, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, GO EAST 473 FEET; THENCE NORTH 196.5 FEET; THENCE WEST 473 FEET; THENCE SOUTH 196.5 FEET TO THE POINT OF BEGINNING. C) BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 SECTION 6, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, GO EAST 816 FEET THENCE NORTH 256.5 FEET; THENCE WEST 343 FEET THENCE; SOUTH 196.5 FEET; THENCE WEST 473 FEET; THENCE SOUTH 60 FEET TO THE POINT OF BEGINNING. TOGETHER WITH, THE FOLLOWING EASEMENT RIGHTS: A) GRANT OF EASEMENT BY AND BETWEEN MCKINNON CORPORATION AND MAURICE M. BOYD, GRANTORS, AND ELIZABETH MCKINNON NELSON AND MCKINNON GROVES, GRANTEEES, RECORDED JANUARY 28, 1998 IN BOOK 5404, PAGE 3275; AND AMENDED AND RESTATEMENT OF GRANT OF EASEMENT BY AND BETWEEN MCKINNON CORPORATION, GRANTOR, AND MARK THOMAS NELSON AND ELIZABETH MCKINNON NELSON AND MCKINNON GROVES, GRANTEEES, RECORDED DECEMBER 22, 2009 IN BOOK 9979, PAGE 3615; AND B) EASEMENT RETAINED AND RESERVED IN WARRANTY DEED RECORDED APRIL 18, 2002 IN BOOK 6505, PAGE 5671. PARCEL 2: BEGINNING 30 FEET NORTH OF THE SOUTHWEST CORNER OF THE FRACTIONAL EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 6, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ON THE NORTH BOUNDARY OF COUNTY ROAD; RUN THENCE NORTH TO THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 6; THENCE EAST 660 FEET; THENCE SOUTH TO THE NORTH BOUNDARY OF COUNTY ROAD; THENCE SOUTHWESTERLY AND WESTERLY ALONG SAID NORTH BOUNDARY OF COUNTY ROAD TO THE POINT OF BEGINNING. PARCEL 3: THE EAST 1/2 OF LOT 21H, LAKE AVALON GROVES REPLAT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK H, PAGE 81, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. PARCEL 4: THE EAST 1/2 OF LOT 32H, LAKE AVALON GROVES REPLAT, AS SHOWN BY PLAT BOOK H, PAGE 81, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, LESS SOUTH 15 FEET FOR ROAD RIGHT OF WAY. CONTAINS 75.649 TOTAL ACRES MORE OR LESS.

SOILS LEGEND

- 1 WATER
- 3 BASINGER, D
- 4 CANDLER, A
- 5 CANDLER, A
- 28 FLORAHOME, A

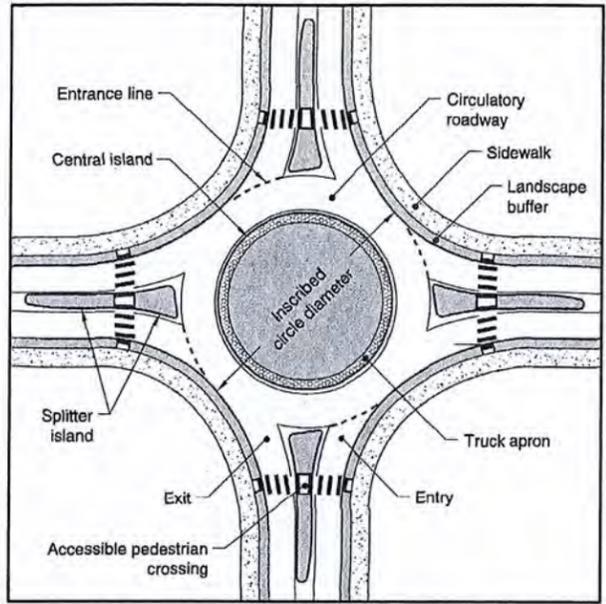
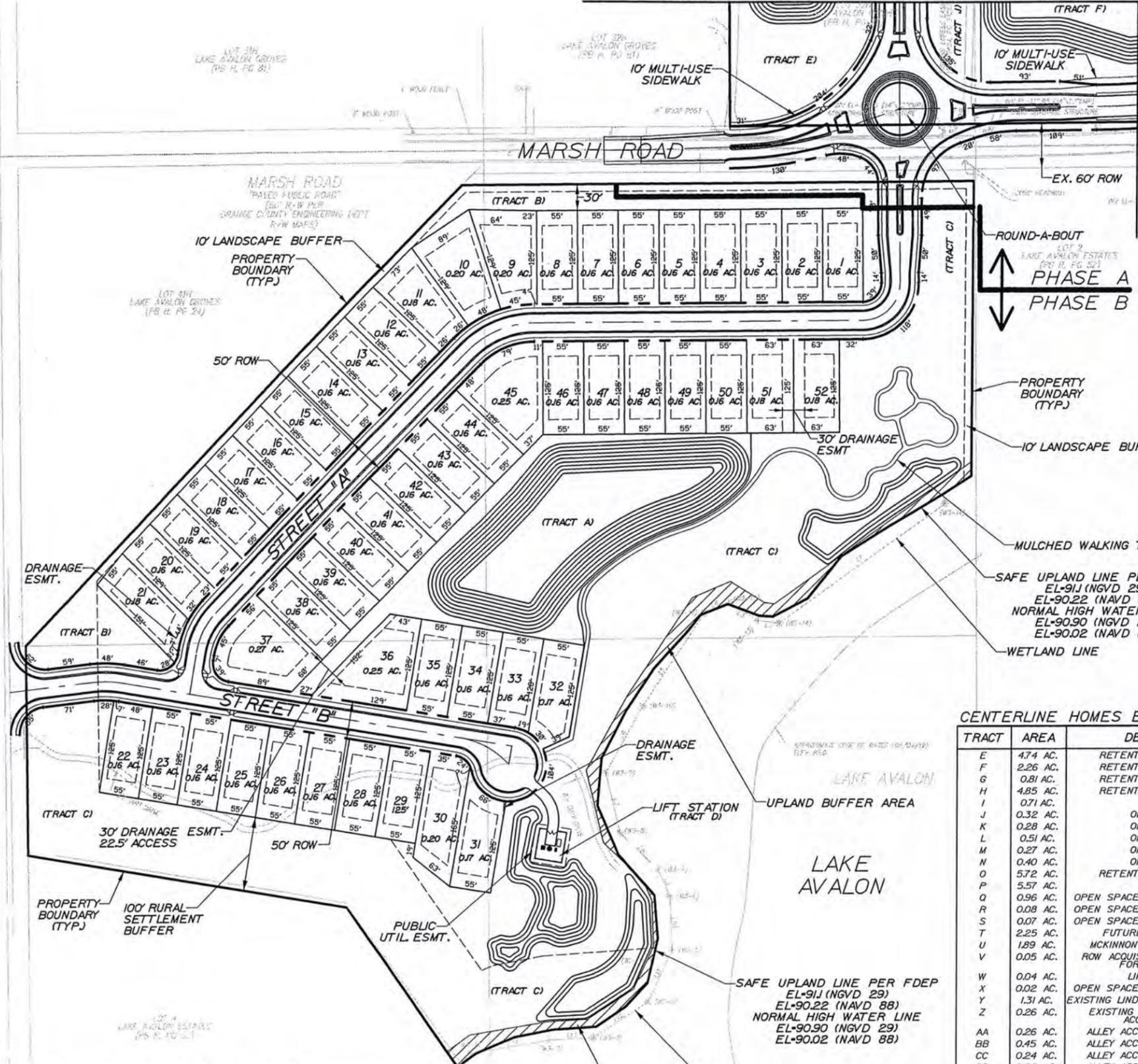


FLORIDA
 CITY OF WINTER GARDEN
GEOMETRY SITE PLAN
 MCKINNON CORP / CENTERLINE HOMES ENTERPRISES FIVE, LLC - PSP
 CORPORATE OFFICE - 525 SOUTH MAGNOLIA AVENUE - ORLANDO, FLORIDA 32801
 407-663-5120 - ENGINEERING BUSINESS - 1221
 halsize.tbl



MATCH LINE - SEE SHEET No.6

MATCH LINE SEE SHEET No.6



BASIC GEOMETRIC ELEMENTS OF ROUND-A-BOUT (EXHIBIT 6-2)

ROUND-A-BOUT DESIGN BASED OFF OF THE NATIONAL COOPERATIVE HIGHWAY RESEARCH PROGRAM (REPORT 672).

NOTES:
 1) A 10' UTILITY EASEMENT IS ADJACENT TO THE RIGHT-OF-WAY ON BOTH SIDES OF EVERY STREET, NOT DEPICTED FOR CLARITY.
 2) ALL TRACTS SHALL HAVE CITY UTILITY ACCESS, AND MAINTENANCE RIGHTS DEDICATED ON THE PLAT.

CENTERLINE HOMES ENTERPRISES FIVE, LLC - NORTH

TRACT	AREA	DESIGNATION	OWNERSHIP	MAINTENANCE	DEVELOPMENT RIGHTS
E	4.74 AC.	RETENTION/OPEN SPACE	HOA	HOA	HOA
F	2.26 AC.	RETENTION/OPEN SPACE	HOA	HOA	HOA
G	0.81 AC.	RETENTION/OPEN SPACE	HOA	HOA	HOA
H	4.85 AC.	RETENTION/OPEN SPACE	HOA	HOA	HOA
I	0.71 AC.	PARK	HOA	HOA	HOA
J	0.32 AC.	OPEN SPACE	HOA	HOA	HOA
K	0.28 AC.	OPEN SPACE	HOA	HOA	HOA
L	0.51 AC.	OPEN SPACE	HOA	HOA	HOA
M	0.27 AC.	OPEN SPACE	HOA	HOA	HOA
N	0.40 AC.	OPEN SPACE	HOA	HOA	HOA
O	5.72 AC.	RETENTION/OPEN SPACE	HOA	HOA	HOA
P	5.57 AC.	PARK	HOA	HOA	HOA
Q	0.96 AC.	OPEN SPACE/LANDSCAPE BUFFER	HOA	HOA	HOA
R	0.08 AC.	OPEN SPACE/LANDSCAPE BUFFER	HOA	HOA	HOA
S	0.07 AC.	OPEN SPACE/LANDSCAPE BUFFER	HOA	HOA	HOA
T	2.25 AC.	FUTURE DEVELOPMENT	HOA	HOA	HOA
U	1.89 AC.	MCKINNON CORP ROW TRACT	HOA	HOA	HOA
V	0.05 AC.	ROW ACQUISITION PARCEL FROM FOREMOSTCO, INC.	HOA	HOA	HOA
W	0.04 AC.	LIFT STATION	CITY	CITY	CITY
X	0.02 AC.	OPEN SPACE/LANDSCAPE BUFFER	HOA	HOA	HOA
Y	1.31 AC.	EXISTING LINDSAY LOT SPLIT PARCEL	PRIVATE	PRIVATE	PRIVATE
Z	0.26 AC.	EXISTING LINDSAY LOT SPLIT ACCESS PARCEL	PRIVATE	PRIVATE	PRIVATE
AA	0.26 AC.	ALLEY ACCESS/UTILITY TRACT	HOA	HOA	HOA
BB	0.45 AC.	ALLEY ACCESS/UTILITY TRACT	HOA	HOA	HOA
CC	0.24 AC.	ALLEY ACCESS/UTILITY TRACT	HOA	HOA	HOA
DD	0.26 AC.	ALLEY ACCESS/UTILITY TRACT	HOA	HOA	HOA
EE	0.90 AC.	ALLEY ACCESS/UTILITY TRACT	HOA	HOA	HOA
FF	0.34 AC.	ALLEY ACCESS/UTILITY TRACT	HOA	HOA	HOA
GG	0.18 AC.	ALLEY ACCESS/UTILITY TRACT	HOA	HOA	HOA
HH	0.31 AC.	ALLEY ACCESS/UTILITY TRACT	HOA	HOA	HOA
II	0.26 AC.	ALLEY ACCESS/UTILITY TRACT	HOA	HOA	HOA
JJ	0.16 AC.	ALLEY ACCESS/UTILITY TRACT	HOA	HOA	HOA
KK	0.22 AC.	ALLEY ACCESS/UTILITY TRACT	HOA	HOA	HOA
LL	0.18 AC.	ALLEY ACCESS/UTILITY TRACT	HOA	HOA	HOA
TOTAL	37.13 AC.				

CENTERLINE HOMES ENTERPRISES FIVE, LLC - SOUTH

TRACT	AREA	DESIGNATION	OWNERSHIP	MAINTENANCE	DEVELOPMENT RIGHTS
A	1.85 AC.	RETENTION/OPEN SPACE	HOA	HOA	HOA
B	1.02 AC.	OPEN SPACE/LANDSCAPE BUFFER	HOA	HOA	HOA
C	6.17 AC.	RETENTION/OPEN SPACE/LANDSCAPE BUFFER	HOA	HOA	HOA
D	0.06 AC.	LIFT STATION	CITY	CITY	CITY
TOTAL	9.10 AC.				

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

CONTRACTOR "AS-BUILTS"
 I hereby state that these "As-Builts" were furnished to me by the contractor and I have reviewed them under my direct supervision and have compared them with the original plans and specifications. I believe them to be in compliance with the knowledge of what was actually constructed at the site.
 Contractor's Name: _____
 Engineer: _____
 Not valid without the signature and the original seal of a Florida Registered Engineer.
 DATE: NOVEMBER 2012
 DESIGNED: SQU/HSR
 CHECKED: MSS
 SCALE: 1" = 80'
 PROJECT NO.: EDWD3/PSP
 FILE NAME: EDWD-PSPgeometry1
 SHEET: 5 OF 17



FLORIDA

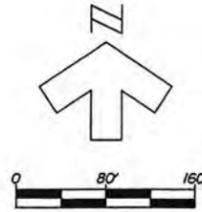
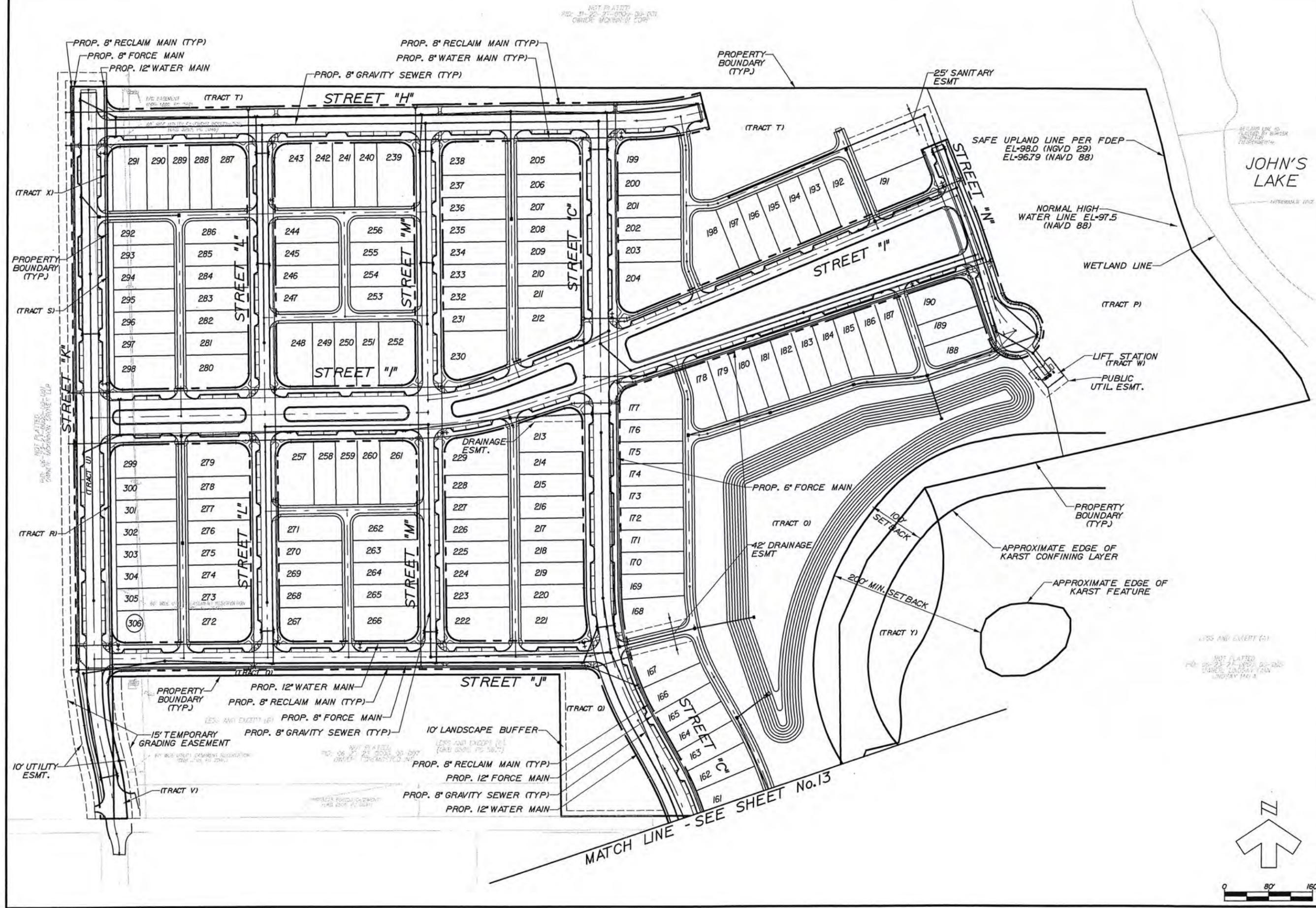
CITY OF WINTER GARDEN
UTILITY PLAN
MCKINNON CORP / CENTERLINE HOMES ENTERPRISES FIVE, LLC - PSP

DATE	BY	REVISIONS	DESCRIPTION
		1	
		2	
		3	
		4	
		5	
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		9	
		10	

CONTRACTOR "AS-BUILTS" hereby state that these "As-Builts" were furnished to me by the contractor and I have reviewed these "As-Builts" and believe them to be in compliance with my knowledge of what was actually observed on the construction site.

Contractor's Name: _____
 Engineer: _____
 Not valid without the signature and the original seal of a Florida Registered Engineer.

DATE	NOVEMBER 2012
DESIGNED	SDH/MSR
CHECKED	MS
SCALE	1" = 80'
PROJECT NO.	EDWD3/PSP
FILE NAME	EDWD-PSPUtility3
SHEET	14 OF 17



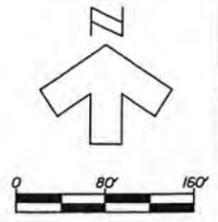
MATCH LINE - SEE SHEET No.13

half size 18"

7/18/2013

8 55 02 AM

MATCH LINE - SEE SHEET No.9



FLORIDA
 CITY OF WINTER GARDEN
TREE REMOVAL PLAN
 MCKINNON CORP / CENTERLINE HOMES ENTERPRISES FME, LLC - PSP
 CORPORATE OFFICE: 525 SOUTH MAGNOLIA AVENUE, ORLANDO, FLORIDA 32801
 407-945-5150 - ENGINEERING BUSINESS - 1521
 halfsize.tbl

MATCH LINE SEE SHEET No.9



AREA OF TREE REMOVAL

DATE	BY	REVISIONS	DESCRIPTION
		1	
		2	
		3	
		4	
		5	
		6	
		7	
		8	
		9	
		10	

CONTRACTOR "AS-BUILTS" shall be furnished to me by the contractor listed below. I, or an employee under my direct supervision, have reviewed these "As-Built" and believe them to be in accordance with the plans and specifications actually constructed. This statement is based upon site observations of the construction.
 Contractor's Name: _____
 Engineer: _____
 Not valid without the signature and the original seal of a Florida Registered Engineer.

DATE	NOVEMBER 2012
DESIGNED	SKH/HSR
CHECKED	HSR
SCALE	1" = 80'
PROJECT NO.	EDWD3/PSP
FILE NAME	EDWD-PSP1211
SHEET	15 OF 17

EDWD-3/PSP-EDWD3-PSP1211.dgn 8:55:13 AM 7/19/2013

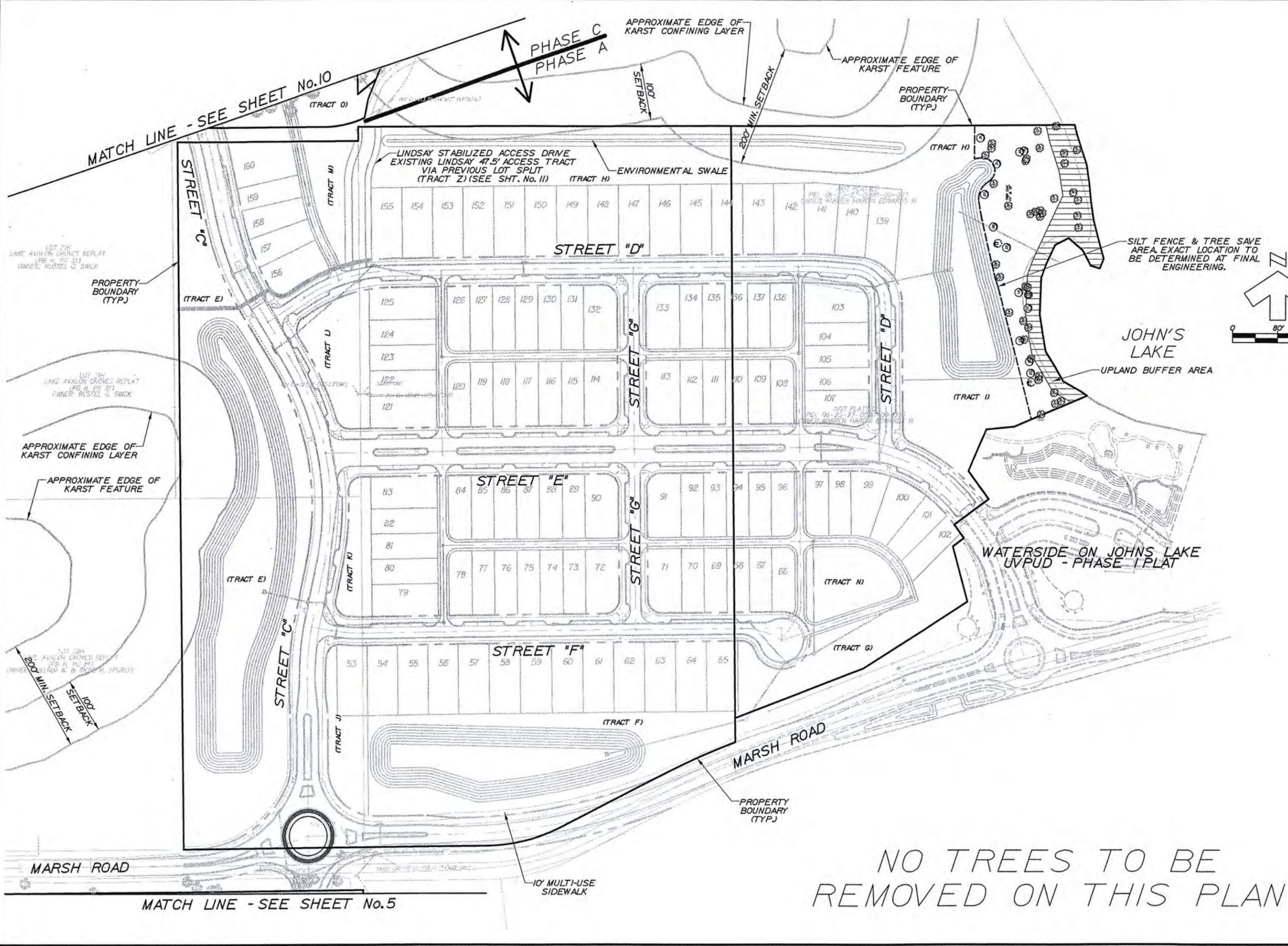


FLORIDA
TREE REMOVAL PLAN
 MCKINNON CORP / CENTERLINE HOMES ENTERPRISES FVE, LLC - PSP
 CORPORATE OFFICE: 620 SOUTH MAGNOLIA AVENUE, ORLANDO, FLORIDA 32801
 407-945-1150 - ENGINEERING BUSINESS - 1221
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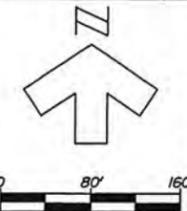
REVISIONS	DESCRIPTION

CONTRACTOR "AS-BUILTS" hereby state that these "As-Builts" were furnished to me by the contractor listed below, I, or an employee under my direct supervision have reviewed the drawings and specifications and find them to be in compliance with my knowledge of what was actually constructed. This statement is based upon site observations of the construction.
 Contractor's Name: _____
 Engineer: _____
 Not valid without the signature and the original seal of a Florida Registered Engineer.

DATE	NOVEMBER 2012
DESIGNED	SHW/HSR
CHECKED	MSS
SCALE	1" = 80'
PROJECT NO.	EDWD3/PSP
FILE NAME	EDWD-PSPV42
SHEET	16 OF 17



NO TREES TO BE REMOVED ON THIS PLAN



FLORIDA
BOWYER SINGLETON
 CITY OF WINTER GARDEN
TREE REMOVAL PLAN
 MCKINNON CORP / CENTERLINE HOMES ENTERPRISES FVE, LLC - PSP
 CORPORATE OFFICE - 626 SOUTH MAGNOLIA AVENUE - ORLANDO, FLORIDA 32801
 407-863-5150 - ENGINEERING BUSINESS - 1321
 7/18/2013



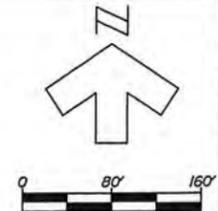
REVISIONS	DATE	BY	DESCRIPTION

CONTRACTOR "AS-BUILTS" hereby state that these "As-Builts" were furnished to me by the contractor listed below, I, or an authorized representative of the contractor, have reviewed these "As-Builts" and believe them to be in compliance with my knowledge of what was actually constructed. This statement is based upon site observations of the construction.
 Contractor's Name: _____
 Engineer: _____
 Not valid without the signature and the original seal of a Florida Registered Engineer.
 EDWD-3\PSP\EDWD3-PSPTree3.dgn

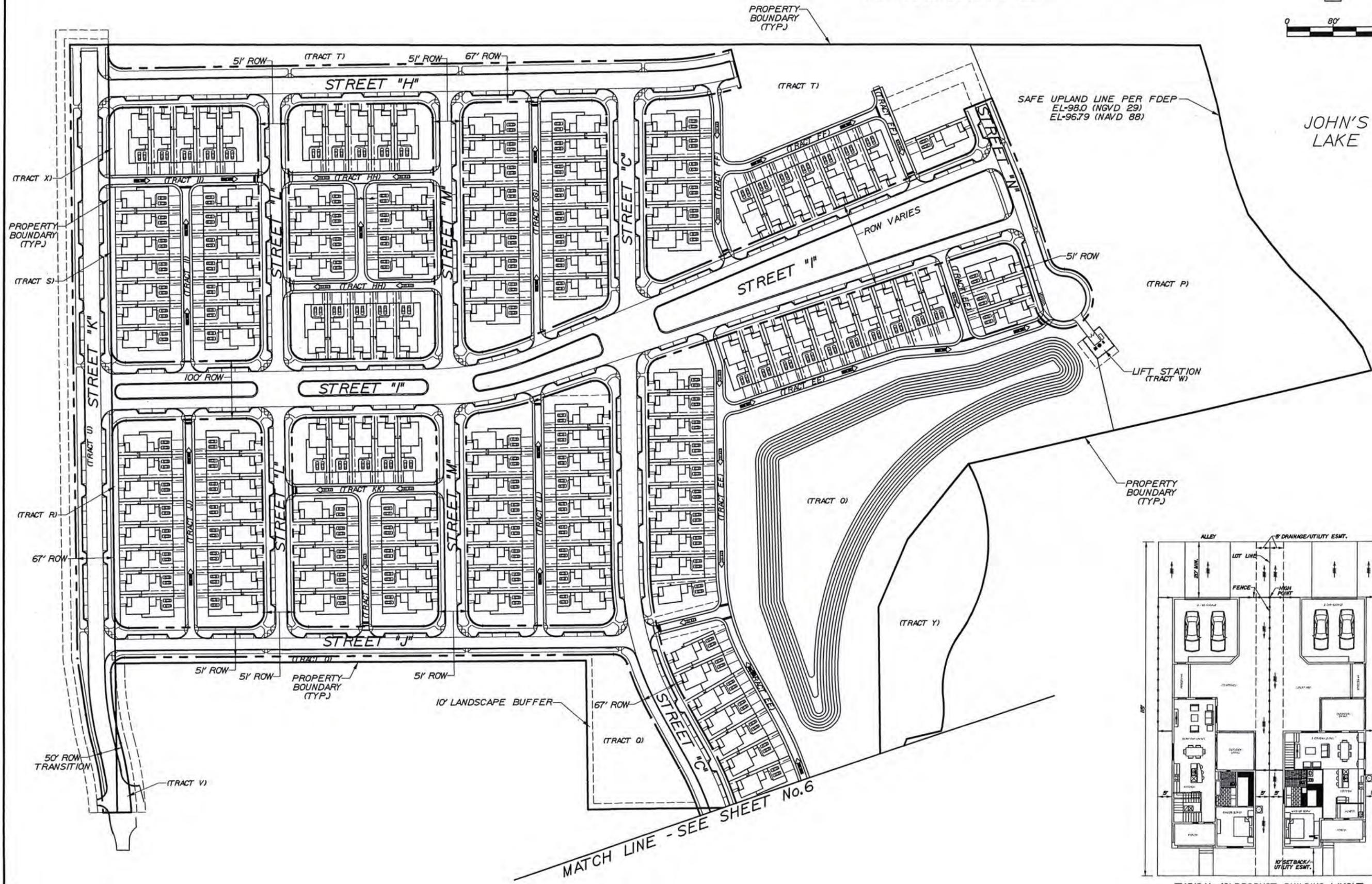
DATE	NOVEMBER 2012
DESIGNED	SKH/HSR
CHECKED	MSS
SCALE	1" = 80'
PROJECT NO.	EDWD3/PSP
FILE NAME	EDWD-PSPTree3
SHEET	17 OF 17

7/18/2013
 EDWD-3\PSP\EDWD3-PSPTree3.dgn
 8 59 45 AM

NOTES:
 1.) A 10' UTILITY EASEMENT IS ADJACENT TO THE RIGHT-OF-WAY ON BOTH SIDES OF EVERY STREET. NOT DEPICTED FOR CLARITY.
 2.) ALL TRACTS SHALL HAVE CITY UTILITY ACCESS, AND MAINTENANCE RIGHTS DEDICATED ON THE PLAT.

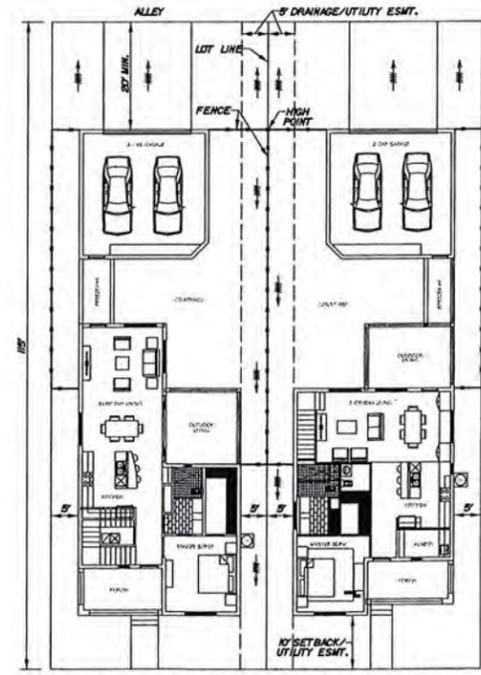


FLORIDA
 CITY OF WINTER GARDEN
TYPICAL ALLEY PRODUCT PLACEMENT
 MCKINNON CORP / CENTERLINE HOMES ENTERPRISES FIVE, LLC - PSP
 CORPORATE OFFICE: 200 SOUTH MAGNOLIA AVENUE - ORLANDO, FLORIDA 32801
 407-944-5151 - ENGINEERING BUSINESS - 15E1
 11/16/2013



SAFE UPLAND LINE PER FDEP
 EL-96.0 (NGVD 29)
 EL-96.79 (NAVD 88)

JOHN'S LAKE



TYPICAL 40' PRODUCT BUILDING LAYOUT

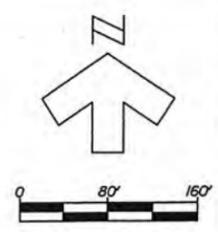
REVISIONS	DESCRIPTION	DATE	BY

CONTRACTOR "AS-BUILT'S" were furnished to the City of Winter Garden, Florida, for use in the construction of the project. The contractor warrants that these "as-built's" were prepared by the contractor or its employees under my direct supervision and have been reviewed by me. I believe them to be an accurate representation of the actual construction. This statement is based upon site observations of the construction.

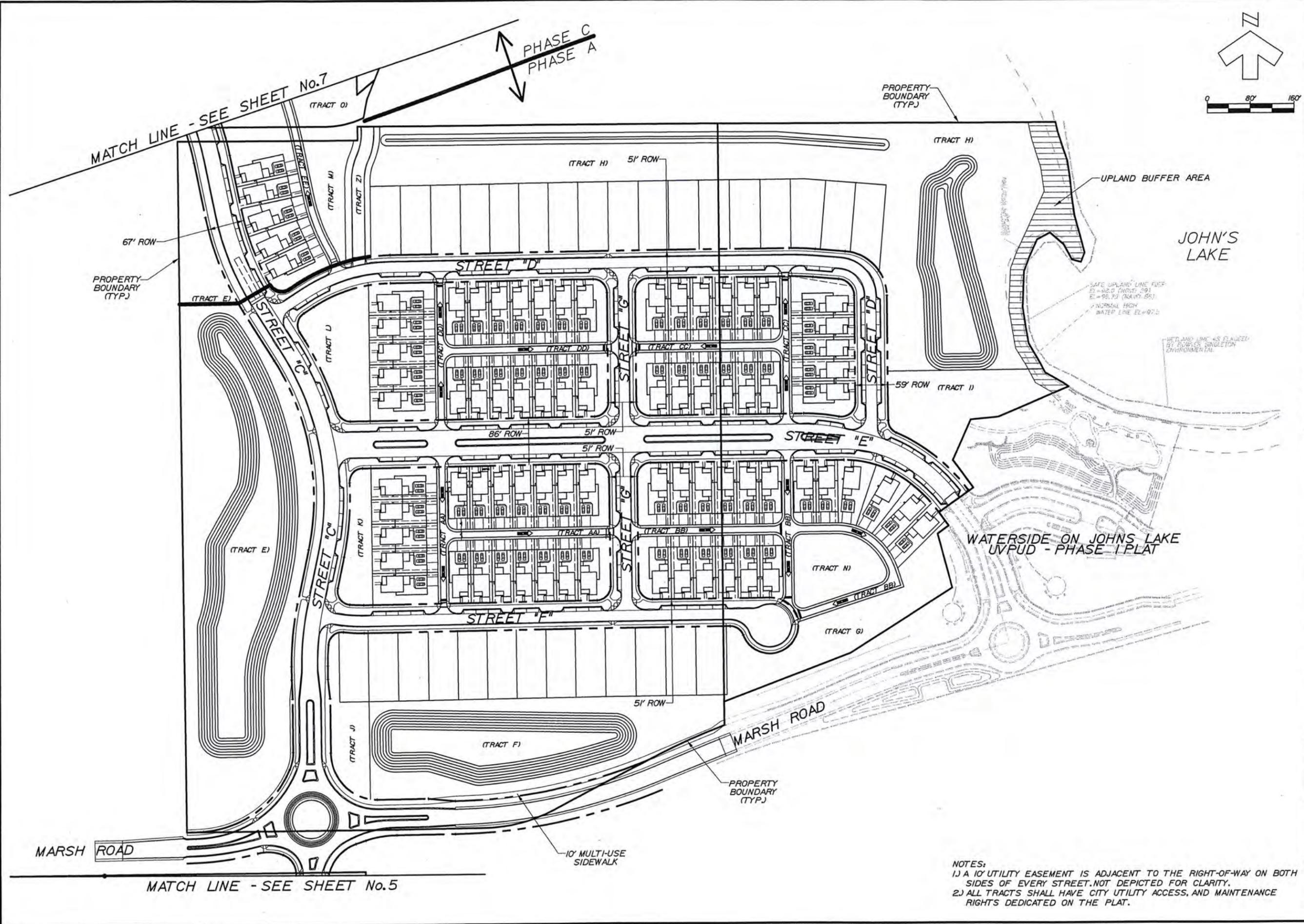
Contractor's Name: _____
 Engineer: _____
 Noted, without the signature and the original seal of a Florida Registered Engineer.

DATE	NOVEMBER 2012
DESIGNED	SM/MSR
CHECKED	HSS
SCALE	1" = 80'
PROJECT NO.	EDWD3/PSP
FILE NAME	EDWD-PSP/ale01
SHEET	17A OF 17

EDWD-3 VSP-EDWD3-PSP-ALLEY 15g
 9:00 AM



FLORIDA
 CITY OF WINTER GARDEN
TYPICAL ALLEY PRODUCT PLACEMENT
 MCKINNON CORP. / CENTERLINE HOMES
 ENTERPRISES PVE, LLC - PSP
 CORPORATE OFFICE - 630 SOUTH MAGNOLIA AVENUE - ORLANDO, FLORIDA 32801
 407-943-5120 - ENGINEERING BUSINESS - 1221
 halfsize.tbl



NOTES:
 1.) A 10' UTILITY EASEMENT IS ADJACENT TO THE RIGHT-OF-WAY ON BOTH SIDES OF EVERY STREET, NOT DEPICTED FOR CLARITY.
 2.) ALL TRACTS SHALL HAVE CITY UTILITY ACCESS, AND MAINTENANCE RIGHTS DEDICATED ON THE PLAT.

DATE	BY	DESCRIPTION

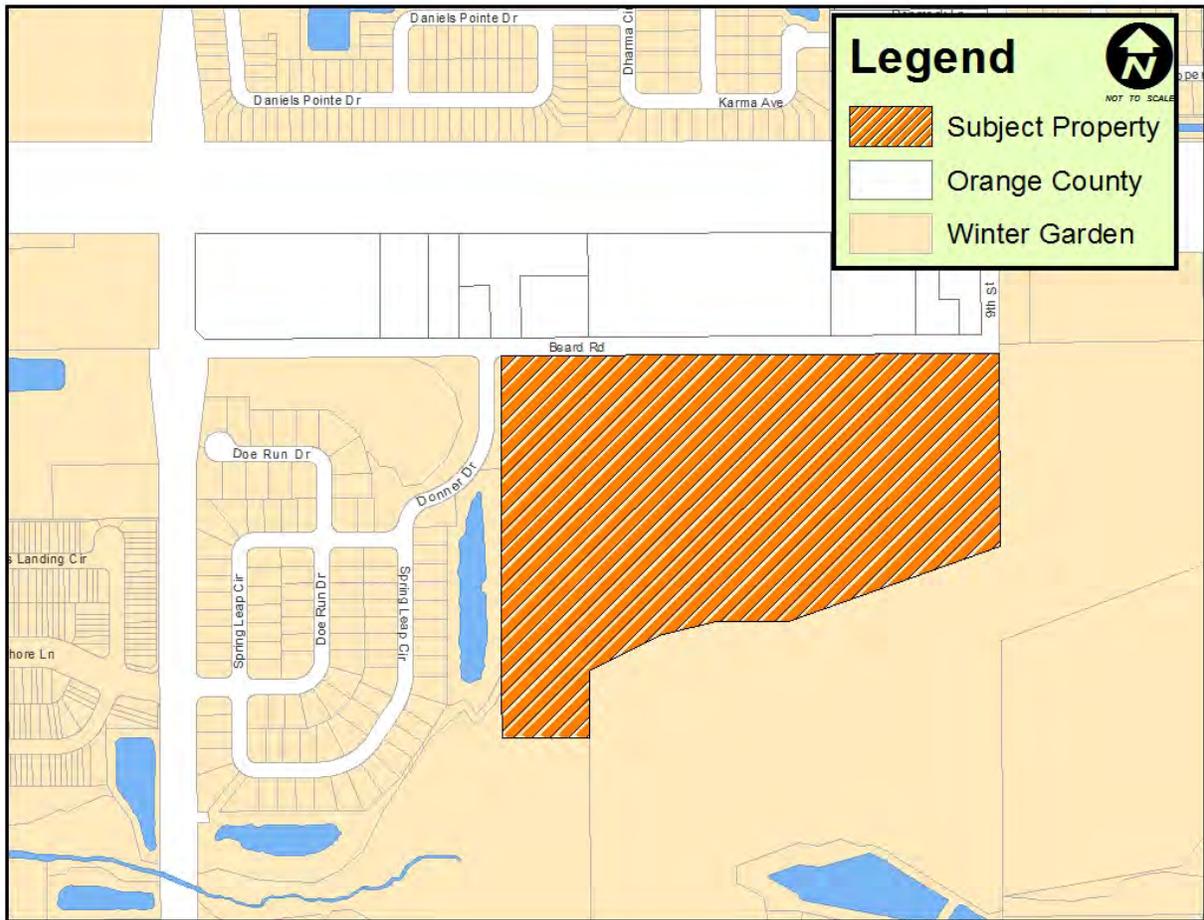
CONTRACTOR "AS-BUILTS" were furnished to me by the contractor listed below, I, or an employee under my direct supervision have reviewed the same and they appear to be in compliance with my knowledge of what was actually constructed. This statement is based upon site observations of the construction.
 Contractor's Name: _____
 Engineer: _____
 Not valid without the signature and the original seal of a Florida Registered Engineer.
 EDWD-3 VSP/EDWD3-PSP/allay2.dgn
 7/18/2013
 9 00 18 AM

DATE	NOVEMBER 2012
DESIGNED	SKH/HJR
CHECKED	MSS
SCALE	1" = 80'
PROJECT NO.	EDWD3/PSP
FILE NAME	EDWD-PSP/allay02
SHEET	178 OF 17

LOCATION MAP

562 Beard Road

PRELIMINARY PLAT



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

TO: PLANNING AND ZONING COMMITTEE
PREPARED BY: STEVE PASH, COMMUNITY DEVELOPMENT MANAGER
DATE: DECEMBER 29, 2014
SUBJECT: PRELIMINARY PLAT
562 Beard Road (33.79+/- ACRES)
PARCEL ID # 26-22-27-0000-00-029

APPLICANT: KB Home / Adalee J. Roper Trust

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property, located south of the Florida Turnpike and east of Daniels Road at the southwest corner of Beard Road and 9th Street is approximately 33.79 ± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits.



EXISTING USE

The subject property is currently used for agricultural purposes (planted pines).

ADJACENT LAND USE AND ZONING

The properties located to the north of the subject property are vacant or developed with single-family homes, located in un-incorporated Orange County with A-1 Zoning. The properties located to the south and east are vacant wetlands that are owned by the neighboring single family HOA's, located in the City with PUD and R-1 Zoning. The properties located to the west are single family residential homes within the City of Winter Garden with PUD Zoning.

PROPOSED USE

The applicant recently rezoned the property to develop the 33.79 ± acre site into a residential planned unit development with 5.35 ± acres of wetlands, 2.54 ± acres of ponds, and the remaining area (25.9 ± acres) will contain 77 single-family dwelling units (minimum 1,800 square feet) on lots ranging in size from 60'x115' to 75'x115'.

The proposed subdivision will be a gated community with gross density proposed at 2.71 dwelling units per acre, the LR-Low Density Residential Future Land Use Designation allows up to 6 dwelling units per acre. Under the existing R-1 Zoning District, the property is vested for 78 units.

The proposed subdivision will contain an active recreational park (tot-lot, gazebo, and outdoor fitness equipment). The proposed park is 0.71 acres, which does not meet the minimum required 5% of the gross developable area (1.42 acres). The developer will be required to contribute the value of the 0.71 acres into the City Park fund.

This application is for the preliminary plat to lay out the 77 lots. As proposed, it is consistent with the approved PUD.

SUMMARY

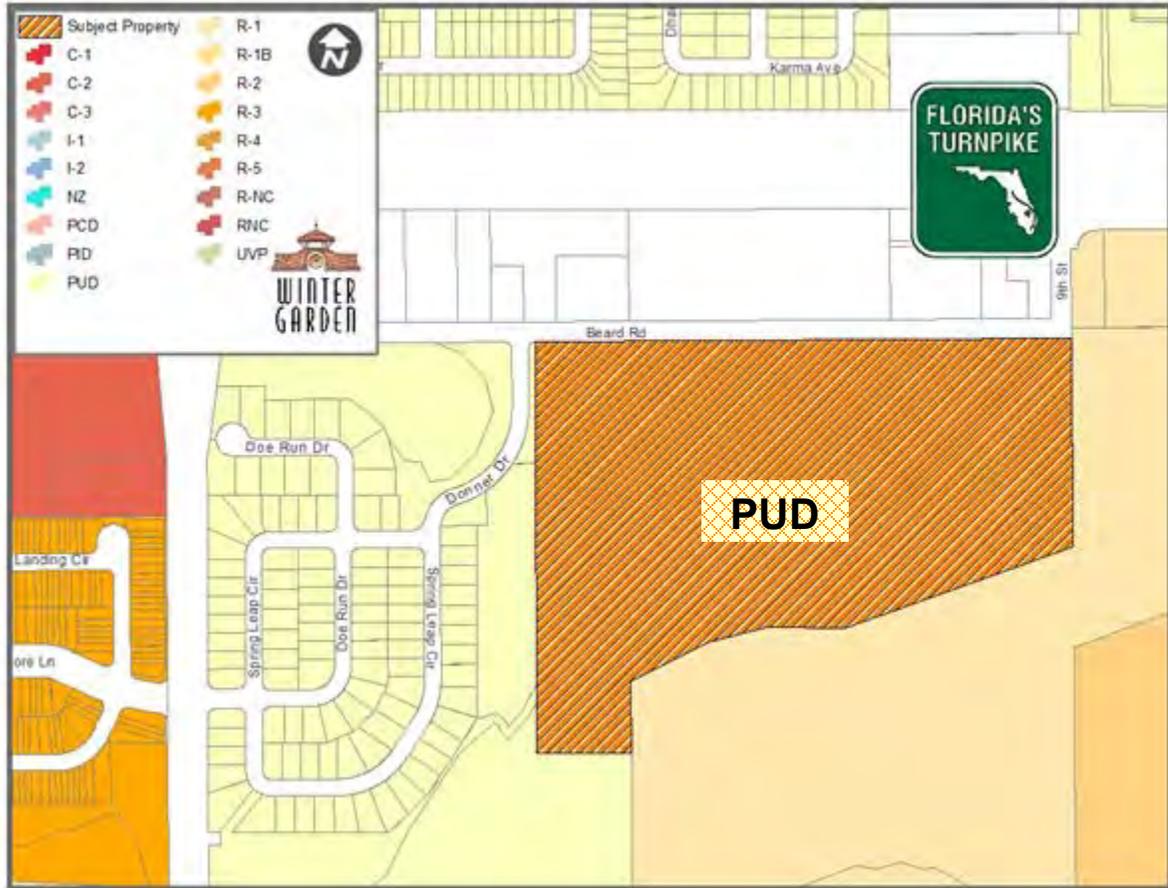
City Staff recommends conditional approval of the proposed Preliminary Plat subject to the conditions in the attached DRC Memorandum. Conditional approval of the Preliminary Plat will allow the owner to proceed with development plans as well as the final plat.

MAPS

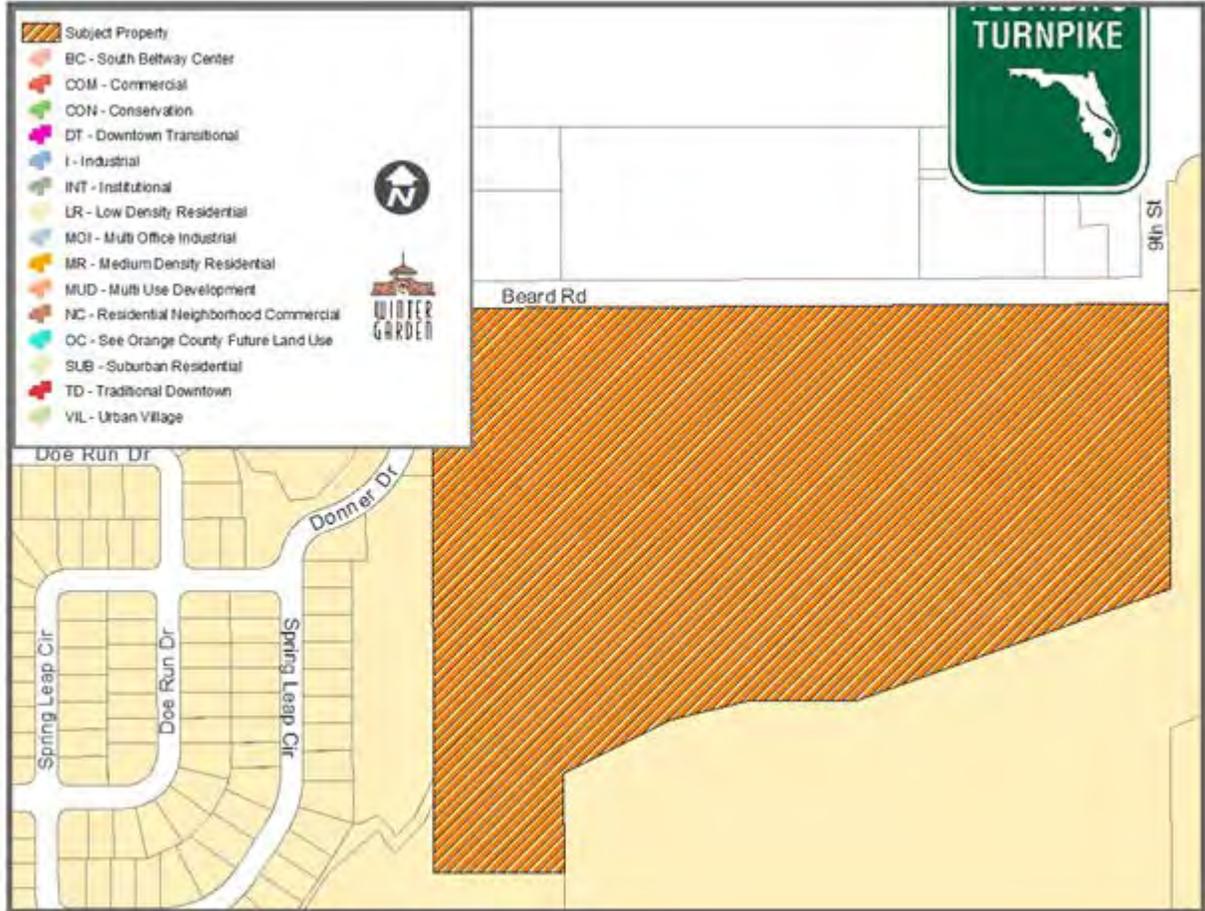
AERIAL PHOTO
BEARD ROAD SUBDIVISION



ZONING MAP
BEARD ROAD SUBDIVISION



FUTURE LAND USE MAP
BEARD ROAD SUBDIVISION



END OF STAFF REPORT

CITY OF WINTER GARDEN

Engineering Department

300 West Plant Street - Winter Garden, Florida 34787-3011

(407) 656-4111 - FAX (407) 877-2363

MEMORANDUM

TO: ED WILLIAMS, COMMUNITY DEVELOPMENT DIRECTOR
FROM: ARTHUR R. MILLER, III, PE, PLS - CITY ENGINEER
DATE: DECEMBER 23, 2014
SUBJECT: REVIEW OF REVISED PRELIMINARY PLAT - 562 BEARD ROAD
ADALEE J. ROPER TRUST - KB HOME ORLANDO, LLC

Pursuant to your request, we have reviewed the revised Preliminary Plat dated 12/16/14 for compliance with the City's stormwater and subdivision requirements. Since this is preliminary, our comments are limited to the information submitted and do not address detailed review of the drainage, roadway and utility systems that were not submitted. The property has been re-zoned from existing R-1 to PUD, for the construction of a 77 lot subdivision with lots ranging from 60 to 75 feet wide. This was submitted in response to our last zoning review of 3/26/14; pre-plat review on 12/05/14 and DRC meeting of 12/10/14.

ENGINEERING COMMENTS

We recommend approval subject to the following conditions and comments:

1. Planning Department shall review and comment on the proposed use/zoning, lot sizes & mix, landscaping, signage, lighting, buffers and setbacks.
2. Beard Road improvements (as per **Option A** on Sheet C-6.0): Beard Road shall be improved along the full project frontage to include 24 foot pavement width, 12" wide flush ribbon curb, 5' wide concrete sidewalk, etc. per City Standards. Existing pavement shall be milled and resurfaced, 1" minimum thickness; new pavement widening shall meet City spec – 12" subbase, 10" base, 2" asphalt. Option B on Sheet C-6.0 is not approved.
3. Utilities: **10" water** main shall be extended for the full project frontage on Beard Road from its current terminus at Donner Drive (as shown). Reuse main (8" minimum) shall be extended from Daniels Road for the full project frontage (the two existing 12" reuse mains on Beard Road are transmission mains and do not have sufficient distribution pressure). Sanitary force main (6" minimum diameter) shall be designed and extended to the property unless a gravity sanitary design can be found feasible – coordinate with Public Services Utilities.
4. 100 year flood zone/Wetlands: The 100 year flood elevation has been shown at 107.4 and encroaches into the property than shown on the plan (datum confirmed as NAVD '88). A LOMR shall be filed with FEMA as a condition of final plat approval for any areas requiring fill within the 100 year flood zone. Fill within the 100 year flood zone will only be allowed if compensating storage is provided.
5. A fully engineered subdivision plan, meeting all City requirements shall be reviewed and approved by the City prior to any construction. Permits or exemptions from SJRWMD and FDEP will be required. FDEP NPDES NOI will also be required if any disturbed area is over 1.0 acre.
6. All irrigation shall be metered and connected to the reclaimed water mains within the development. Coordinate with Utilities Department on location and size of reclaimed water mains, etc. All irrigation lines within the City's right-of-way shall be purple color.
7. The response indicates the project will be gated. If gated, the streets will be private and maintained by the

HOA. While portions of the right-of-way may be dedicated to the City, maintenance of special pavements, landscaping, hardscaping, etc. shall be performed by the HOA under a R/W maintenance agreement.

8. All proposed easements shall be 30' minimum width for sanitary, water and storm and may need to be wider if multiple facilities share the easement; improvements shall be centered within the easement. Common areas not abutting right-of-way shall include a minimum 20' wide tract (not easement) for access and maintenance; minimum 10' wide maintenance berms required on ponds – maximum slope of 10%. See City Standard Details.
9. The geotechnical report indicates the presence of organic soils. Provide the muck delineation overlay on the final construction plans to ensure that these areas will not fall on building lots without the muck being removed. Specifications for muck removal on what will be roadway or building lots shall be shown, with specific instructions as to muck removal, testing and building permit application. Building Permit application for any lots in the muck removal area shall be accompanied by a detailed report, signed and sealed by a Florida Professional Engineer, that these lots are suitable for construction, and shall contain special foundation requirements or designs as appropriate. The Building Department may have additional requirements.
10. Typical Section: Right-of-way width shall be a minimum of 50 feet with minimum roadway pavement width of 24' as required by City Code (12' minimum each lane); 16' minimum lane width for any divided portion (additional width may be required if parking is allowed); 18" of clean fill with no more than 5% passing a #200 sieve required under the subbase; 98% density required on all compaction; 2" minimum asphalt thickness; 10" minimum soil cement base thickness; minimum 24" wide concrete curb and gutter required (or Miami curb); 5' wide concrete sidewalks required on both sides of street; minimum 10' wide drainage, utility and sidewalk easements required adjacent to all rights-of-way. Underdrains are required when the seasonal high water table is within 18" of the bottom of the base or if encountered within 18" of the base during construction. All construction shall meet City of Winter Garden requirements for drainage, roadways and utilities (see City Standard Details available on-line at cwgdn.com).
11. Walls and landscaping shall be located within a landscape and wall tract, to be maintained by the HOA.
12. Utilities: Minimum 8" potable water (internal – 10" on Beard Road as noted), 8" reuse water, and minimum 6" sanitary force main are required. Utilities shall be extended the full property frontage per Code.
13. Minimum 5 ft wide utility and drainage easements shall be provided on each side lot line; 10' wide drainage, sidewalk and utility easements required adjacent to R/W.
14. A Developers Agreement addressing the phasing, utilities and other commitments of the development's master plan shall be approved by the City Commission and recorded prior to the issuance of any site or building permits. City staff will draft the D.A. that shall include, but not be limited to the following: project phasing; utilities upsizing; R/W conveyances; adherence to all City Codes and Standards; etc.
15. Streetlighting shall be pursuant to City Code, including frontage on Beard Road, meeting dark skies requirements (Code Section 118-1536(k)). Submit streetlighting plan from Duke Energy prior to preconstruction meeting.
16. Sidewalks internal to the development shall be constructed adjacent to all lands not containing building lots prior to final acceptance. This shall include all retention, conservation, lift station, or recreation tracts, abutting roadways, pedestrian walkways, etc. Sidewalks external to the development shall be constructed upon final completion.
17. Sheet C-4.0: The two internal blocks (Lots 59 – 77 and Lots 43 – 58) shall have drainage easements (5' minimum each side) along the rear lot lines. The preliminary grading plan indicates that a rear lot drainage collection system may be required. The proposed elevations at the common rear lot line should be harmonized better on the final construction plans.

All "C" graded lots shall require an individual lot grading plan at Building Permit submittal, signed and sealed by a Florida Professional Engineer (note on the plans).

STANDARD GENERAL CONDITIONS

18. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
19. Fencing shall meet all City requirements for height, type, etc. Chain link fencing shall be vinyl coated per Code.
20. All work shall conform to City of Winter Garden standards and specifications.
21. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
22. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
23. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The applicant should note that if approval is granted, the City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.
24. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of site or building permits.
25. Additional comments will be generated at subsequent reviews.

Please review this information and contact our office if you have any questions. Thank you.

END OF MEMORANDUM

LEGAL DESCRIPTION

THAT PART OF THE NE 1/4 OF THE SE 1/4 OF SECTION 26, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, LYING NORTH OF CANAL THE NW 1/4 OF THE SE 1/4 OF SECTION 26, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, LESS WEST 1054.79 FEET THEREOF, LESS ALSO THE 30 FEET OF BOTH OF THE ABOVE TRACTS FOR ROAD, DESCRIBED AS FOLLOWS: (PARENT TRACT DESCRIPTION TAKEN FROM OFFICIAL RECORDS BOOK 9992, PAGE 1216, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.)

COMMENCE AT THE NORTHEAST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 26, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA AND A POINT ON THE NORTH BOUNDARY OF COBBLESTONE OF WINTER GARDEN AS DESCRIBED AND RECORDED IN PLAT BOOK 65, PAGES 70 THROUGH 74, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, THENCE SOUTH 00 DEGREES 20 MINUTES 59 SECONDS EAST 30.00 FEET ALONG THE EAST BOUNDARY OF SAID SOUTHEAST 1/4 AND THE NORTH BOUNDARY OF SAID PLAT BOOK 65, PAGES 70 THROUGH 74 TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF BEARD ROAD PER OFFICIAL RECORDS BOOK 9992, PAGE 1216, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA FOR THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 00 DEGREES 20 MINUTES 59 SECONDS EAST 630.44 FEET ALONG THE EAST BOUNDARY OF SAID SOUTHEAST 1/4 AND THE NORTH BOUNDARY OF SAID PLAT BOOK 65, PAGES 70 THROUGH 74; THENCE SOUTH 70 DEGREES 19 MINUTES 23 SECONDS WEST 734.78 FEET ALONG SAID NORTH BOUNDARY; THENCE NORTH 89 DEGREES 40 MINUTES 37 SECONDS WEST 235.82 FEET ALONG SAID NORTH BOUNDARY; THENCE SOUTH 76 DEGREES 19 MINUTES 23 SECONDS WEST 178.83 FEET ALONG SAID NORTH BOUNDARY; THENCE SOUTH 63 DEGREES 19 MINUTES 23 SECONDS WEST 286.69 FEET ALONG SAID NORTH BOUNDARY TO A POINT ON THE EAST BOUNDARY OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 26; THENCE SOUTH 00 DEGREES 15 MINUTES 59 SECONDS EAST 217.60 FEET ALONG SAID NORTH BOUNDARY AND SAID EAST BOUNDARY OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 TO A POINT ON THE EAST BOUNDARY OF SAID DEERFIELD PLACE AS DESCRIBED AND RECORDED IN PLAT BOOK 57, PAGES 119 THROUGH 121, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE SOUTH 89 DEGREES 47 MINUTES 08 SECONDS WEST 287.75 FEET ALONG SAID EAST BOUNDARY TO A POINT ON THE WEST BOUNDARY OF THE WEST 1054.79 FEET OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 26; THENCE NORTH 00 DEGREES 10 MINUTES 57 SECONDS WEST 1247.54 FEET ALONG SAID EAST BOUNDARY OF PLAT BOOK 57, PAGES 119 THROUGH 121 AND SAID WEST BOUNDARY OF THE WEST 1054.79 FEET OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 TO A POINT ON THE AFORESAID SOUTH RIGHT OF WAY LINE OF BEARD ROAD; THENCE NORTH 89 DEGREES 39 MINUTES 34 SECONDS EAST 1926.64 FEET ALONG SAID RIGHT OF WAY LINE TO THE POINT OF BEGINNING.

CONTAINING: 33.785 ACRES, MORE OR LESS.

PRELIMINARY PLAT

FOR:

ROPER SUBDIVISION RESIDENTIAL PLANNED UNIT DEVELOPMENT

SEC OF BEARD ROAD & DONNER DRIVE
CITY OF WINTER GARDEN, FL

PARCEL ID #:
26-22-27-0000-00-029

PREPARED FOR:

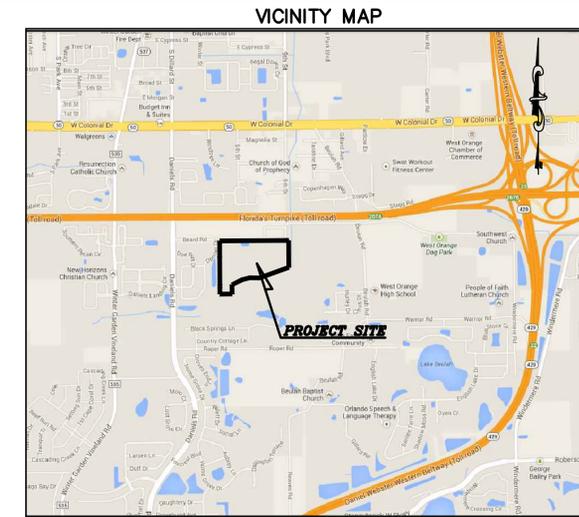


9102 SOUTHPARK CENTER LOOP #100
ORLANDO, FL 32019
PH : (407) 587-3497

PREPARED BY:



1700 NORTH ORANGE AVENUE
SUITE 400
ORLANDO, FLORIDA 32804
PHONE (407) 898-7858
FAX (407) 898-1488



SCALE: 1"=2000'

VERTICAL DATUM
ELEVATIONS ARE BASED ON ORANGE COUNTY
88 NAVD DATUM. SEE CERTIFIED BOUNDARY
SURVEY BY JONES WOOD & GENTRY, INC.,
JOB #29027 DATED 10/15/2013.

SHEET INDEX

SHEET TITLE	SHEET NO.
COVER SHEET	C-10
BOUNDARY AND TOPOGRAPHIC SURVEY	1 TO 2
OVERALL PLAN	C-20
GEOMETRY SITE PLAN	C-30
PAVING, GRADING, & DRAINAGE PLAN	C-40
UTILITY PLAN	C-50
SITE DETAILS	C-60
DEMOLITION & EROSION CONTROL PLAN	C-70

DEVELOPMENT TEAM:

DEVELOPER

KB HOME ORLANDO
9102 SOUTHPARK CENTER
LOOP #100
ORLANDO, FLORIDA 32019
PHONE: (407) 587-3497

ENGINEER

KELLY, COLLINS & GENTRY, INC.
1700 NORTH ORANGE AVENUE,
SUITE 400
ORLANDO, FLORIDA 32804
PHONE: (407) 898-7858
FAX: (407) 898-1488

SURVEYOR

JONES, WOOD & GENTRY, INC.
2600 EAST ROBINSON STREET
ORLANDO, FLORIDA 32803
PHONE: (407) 898-7780

LANDSCAPE ARCHITECT

LAND RESOURCE DESIGN GROUP
1700 NORTH ORANGE AVENUE,
SUITE 400
ORLANDO, FLORIDA 32804
PHONE: (407) 898-7858 EXT 117

REVISIONS:

DATE	DESCRIPTION

P.E. CERT. OF AUTHORIZATION # 7350	JOB NO. 1011.000
	DATE 12/16/14
SHEET C-1.0	
SEAN C. FORTIER, P.E. FLORIDA REGISTRATION #8396 NOT VALID FOR CONSTRUCTION UNLESS SIGNED IN THIS BLOCK	

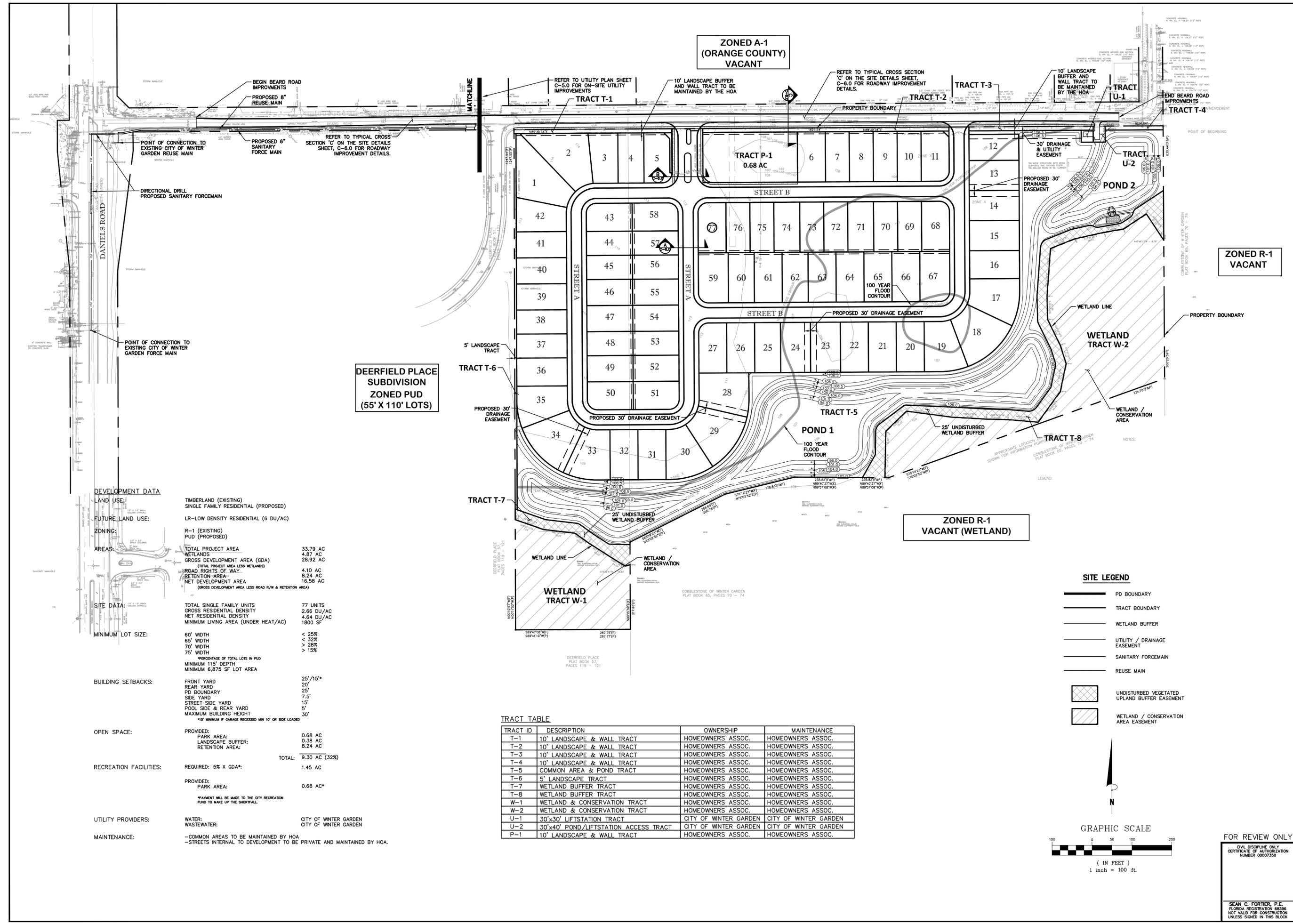
ROPER SUBDIVISION
PRELIMINARY PLAT

NO.	DATE	REVISION

PREPARED FOR:
KB HOME

ROPER SUBDIVISION

OVERALL PLAN
 SHEET C-2.0



ZONED A-1 (ORANGE COUNTY) VACANT

ZONED R-1 VACANT

ZONED R-1 VACANT (WETLAND)

DEERFIELD PLACE SUBDIVISION ZONED PUD (55' X 110' LOTS)

DEVELOPMENT DATA

LAND USE:	TIMBERLAND (EXISTING)	
	SINGLE FAMILY RESIDENTIAL (PROPOSED)	
FUTURE LAND USE:	LR-LOW DENSITY RESIDENTIAL (6 DU/AC)	
ZONING:	R-1 (EXISTING)	
	PUD (PROPOSED)	
AREAS:	TOTAL PROJECT AREA	33.79 AC
	WETLANDS	4.87 AC
	GROSS DEVELOPMENT AREA (GDA)	28.92 AC
	(TOTAL PROJECT AREA LESS WETLANDS)	
	ROAD RIGHTS OF WAY	4.10 AC
	RETENTION AREA	8.24 AC
	NET DEVELOPMENT AREA	15.59 AC
	(GROSS DEVELOPMENT AREA LESS ROAD R/W & RETENTION AREA)	
SITE DATA:	TOTAL SINGLE FAMILY UNITS	77 UNITS
	GROSS RESIDENTIAL DENSITY	2.66 DU/AC
	NET RESIDENTIAL DENSITY	4.64 DU/AC
	MINIMUM LIVING AREA (UNDER HEAT/AC)	1800 SF
MINIMUM LOT SIZE:	60' WIDTH	< 25%
	65' WIDTH	< 32%
	70' WIDTH	> 28%
	75' WIDTH	> 15%
	*PERCENTAGE OF TOTAL LOTS IN PUD	
	MINIMUM 115' DEPTH	
	MINIMUM 6,875 SF LOT AREA	

BUILDING SETBACKS:	FRONT YARD	25'/15'
	REAR YARD	20'
	PD BOUNDARY	25'
	SIDE YARD	7.5'
	STREET SIDE YARD	15'
	POOL SIDE & REAR YARD	5'
	MAXIMUM BUILDING HEIGHT	30'
	*15' MINIMUM IF GARAGE RECESSED MIN 10' OR SIDE LOADED	

OPEN SPACE:	PROVIDED:	
	PARK AREA:	0.68 AC
	LANDSCAPE BUFFER:	0.38 AC
	RETENTION AREA:	8.24 AC
	TOTAL:	9.30 AC (32%)

RECREATION FACILITIES:	REQUIRED: 5% X GDA*	1.45 AC
	PROVIDED:	
	PARK AREA:	0.68 AC*

UTILITY PROVIDERS: WATER: CITY OF WINTER GARDEN
 WASTEWATER: CITY OF WINTER GARDEN

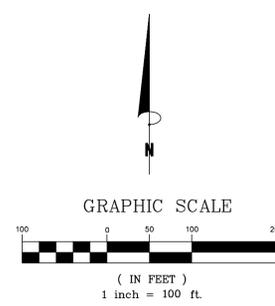
MAINTENANCE: -COMMON AREAS TO BE MAINTAINED BY HOA
 -STREETS INTERNAL TO DEVELOPMENT TO BE PRIVATE AND MAINTAINED BY HOA.

TRACT TABLE

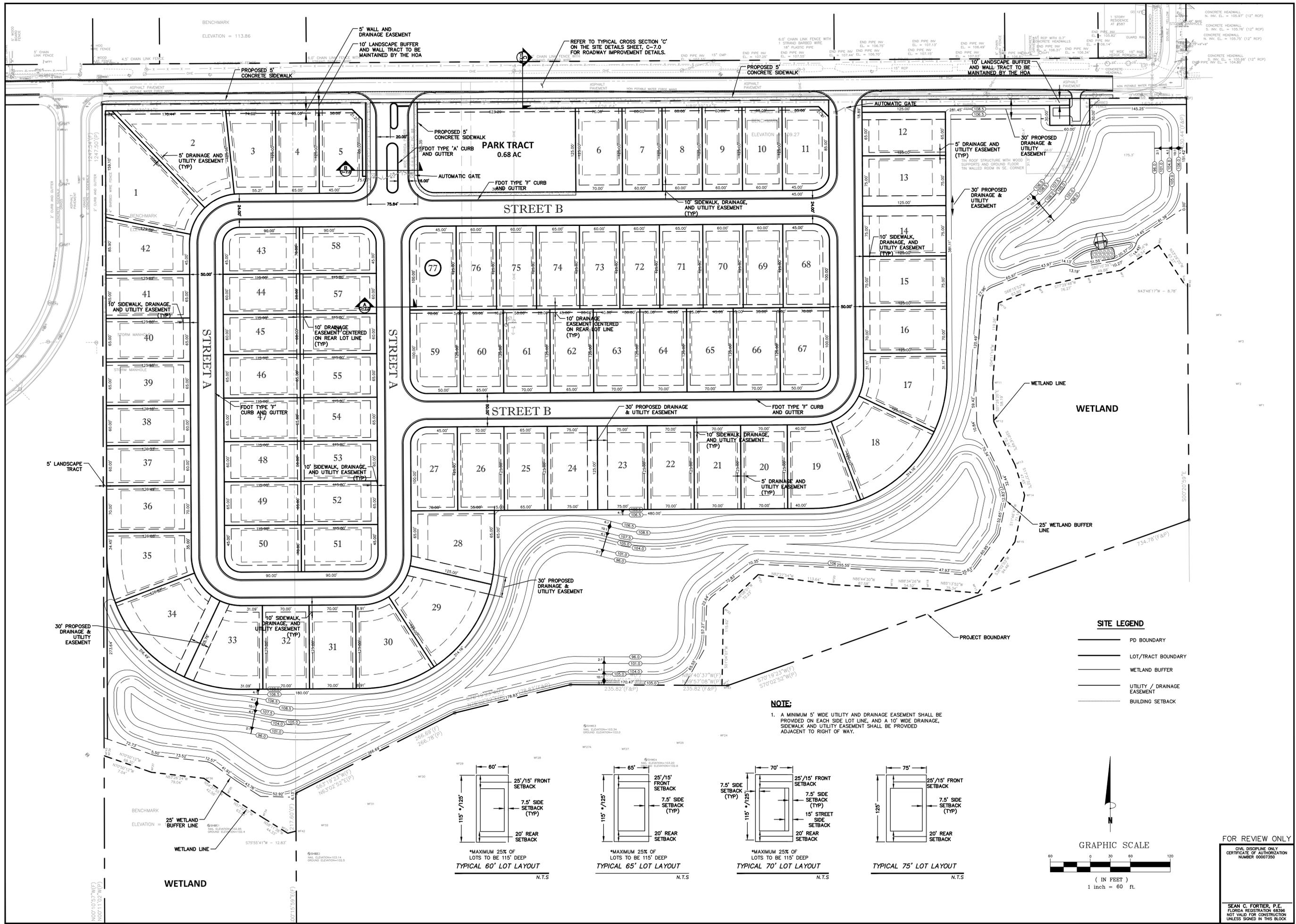
TRACT ID	DESCRIPTION	OWNERSHIP	MAINTENANCE
T-1	10' LANDSCAPE & WALL TRACT	HOMEOWNERS ASSOC.	HOMEOWNERS ASSOC.
T-2	10' LANDSCAPE & WALL TRACT	HOMEOWNERS ASSOC.	HOMEOWNERS ASSOC.
T-3	10' LANDSCAPE & WALL TRACT	HOMEOWNERS ASSOC.	HOMEOWNERS ASSOC.
T-4	10' LANDSCAPE & WALL TRACT	HOMEOWNERS ASSOC.	HOMEOWNERS ASSOC.
T-5	COMMON AREA & POND TRACT	HOMEOWNERS ASSOC.	HOMEOWNERS ASSOC.
T-6	5' LANDSCAPE TRACT	HOMEOWNERS ASSOC.	HOMEOWNERS ASSOC.
T-7	WETLAND BUFFER TRACT	HOMEOWNERS ASSOC.	HOMEOWNERS ASSOC.
T-8	WETLAND BUFFER TRACT	HOMEOWNERS ASSOC.	HOMEOWNERS ASSOC.
W-1	WETLAND & CONSERVATION TRACT	HOMEOWNERS ASSOC.	HOMEOWNERS ASSOC.
W-2	WETLAND & CONSERVATION TRACT	HOMEOWNERS ASSOC.	HOMEOWNERS ASSOC.
U-1	30'x30' LIFTSTATION TRACT	CITY OF WINTER GARDEN	CITY OF WINTER GARDEN
U-2	30'x40' POND/LIFTSTATION ACCESS TRACT	CITY OF WINTER GARDEN	CITY OF WINTER GARDEN
P-1	10' LANDSCAPE & WALL TRACT	HOMEOWNERS ASSOC.	HOMEOWNERS ASSOC.

SITE LEGEND

- PD BOUNDARY
- TRACT BOUNDARY
- WETLAND BUFFER
- UTILITY / DRAINAGE EASEMENT
- SANITARY FORCEMAIN
- REUSE MAIN
- UNDISTURBED VEGETATED UPLAND BUFFER EASEMENT
- WETLAND / CONSERVATION AREA EASEMENT



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 1700 NORTH ORANGE AVENUE, SUITE 400
 ORLANDO, FLORIDA 32804
 (407) 886-7856 FAX (407) 886-1488

KCG

PREPARED FOR:
KB HOME

ROPER SUBDIVISION

GEOMETRY SITE PLAN

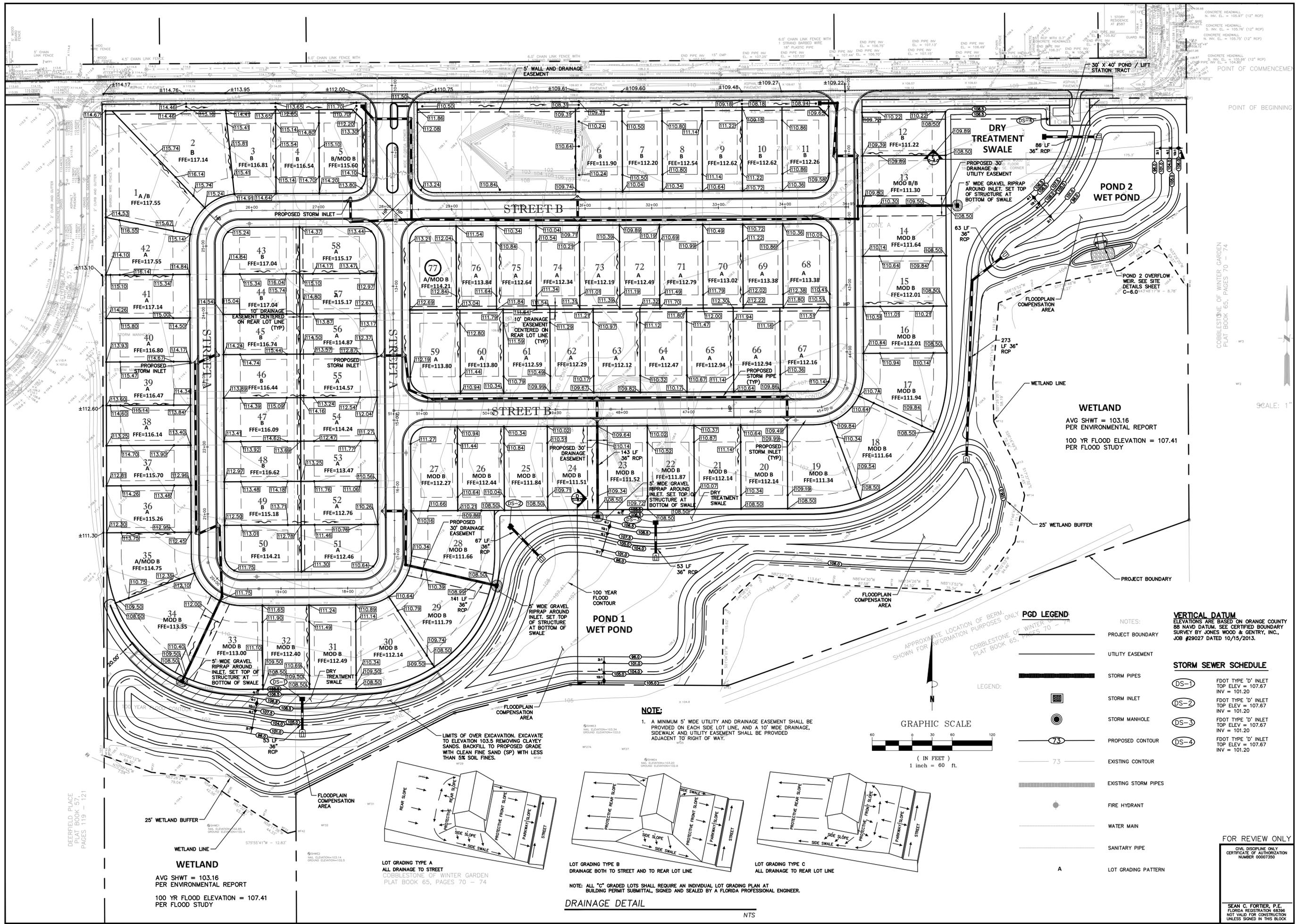
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 NUMBER 00007350

DRAWN: GJR
 DESIGN: GJR
 CHECKED: SMG
 JOB NO.: 1011.000
 DATE: 12/16/14

SHEET
C-3.0

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DEERFIELD PLACE
 PLAT BOOK 57,
 PAGES 119 - 121

WETLAND
 AVG SHWT = 103.16
 PER ENVIRONMENTAL REPORT
 100 YR FLOOD ELEVATION = 107.41
 PER FLOOD STUDY

LOT GRADING TYPE A
 ALL DRAINAGE TO STREET
 COBBLESTONE OF WINTER GARDEN
 PLAT BOOK 65, PAGES 70 - 74

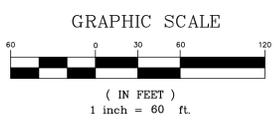
LOT GRADING TYPE B
 DRAINAGE BOTH TO STREET AND TO REAR LOT LINE

LOT GRADING TYPE C
 ALL DRAINAGE TO REAR LOT LINE

NOTE: ALL "C" GRADED LOTS SHALL REQUIRE AN INDIVIDUAL LOT GRADING PLAN AT BUILDING PERMIT SUBMITTAL, SIGNED AND SEALED BY A FLORIDA PROFESSIONAL ENGINEER.

DRAINAGE DETAIL

NTS



PGD LEGEND

[Symbol]	PROJECT BOUNDARY
[Symbol]	UTILITY EASEMENT
[Symbol]	STORM PIPES
[Symbol]	STORM INLET
[Symbol]	STORM MANHOLE
[Symbol]	PROPOSED CONTOUR
[Symbol]	EXISTING CONTOUR
[Symbol]	EXISTING STORM PIPES
[Symbol]	FIRE HYDRANT
[Symbol]	WATER MAIN
[Symbol]	SANITARY PIPE
[Symbol]	LOT GRADING PATTERN

STORM SEWER SCHEDULE

DS-1	FOOT TYPE 'D' INLET TOP ELEV = 107.67 INV = 101.20
DS-2	FOOT TYPE 'D' INLET TOP ELEV = 107.67 INV = 101.20
DS-3	FOOT TYPE 'D' INLET TOP ELEV = 107.67 INV = 101.20
DS-4	FOOT TYPE 'D' INLET TOP ELEV = 107.67 INV = 101.20

NOTES:
 PROJECT BOUNDARY
 UTILITY EASEMENT
 STORM PIPES
 STORM INLET
 STORM MANHOLE
 PROPOSED CONTOUR
 EXISTING CONTOUR
 EXISTING STORM PIPES
 FIRE HYDRANT
 WATER MAIN
 SANITARY PIPE
 LOT GRADING PATTERN

VERTICAL DATUM
 ELEVATIONS ARE BASED ON ORANGE COUNTY
 88 NAVD DATUM. SEE CERTIFIED BOUNDARY
 SURVEY BY JONES WOOD & GENTRY, INC.,
 JOB #29027 DATED 10/15/2013.

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DATE	REVISION

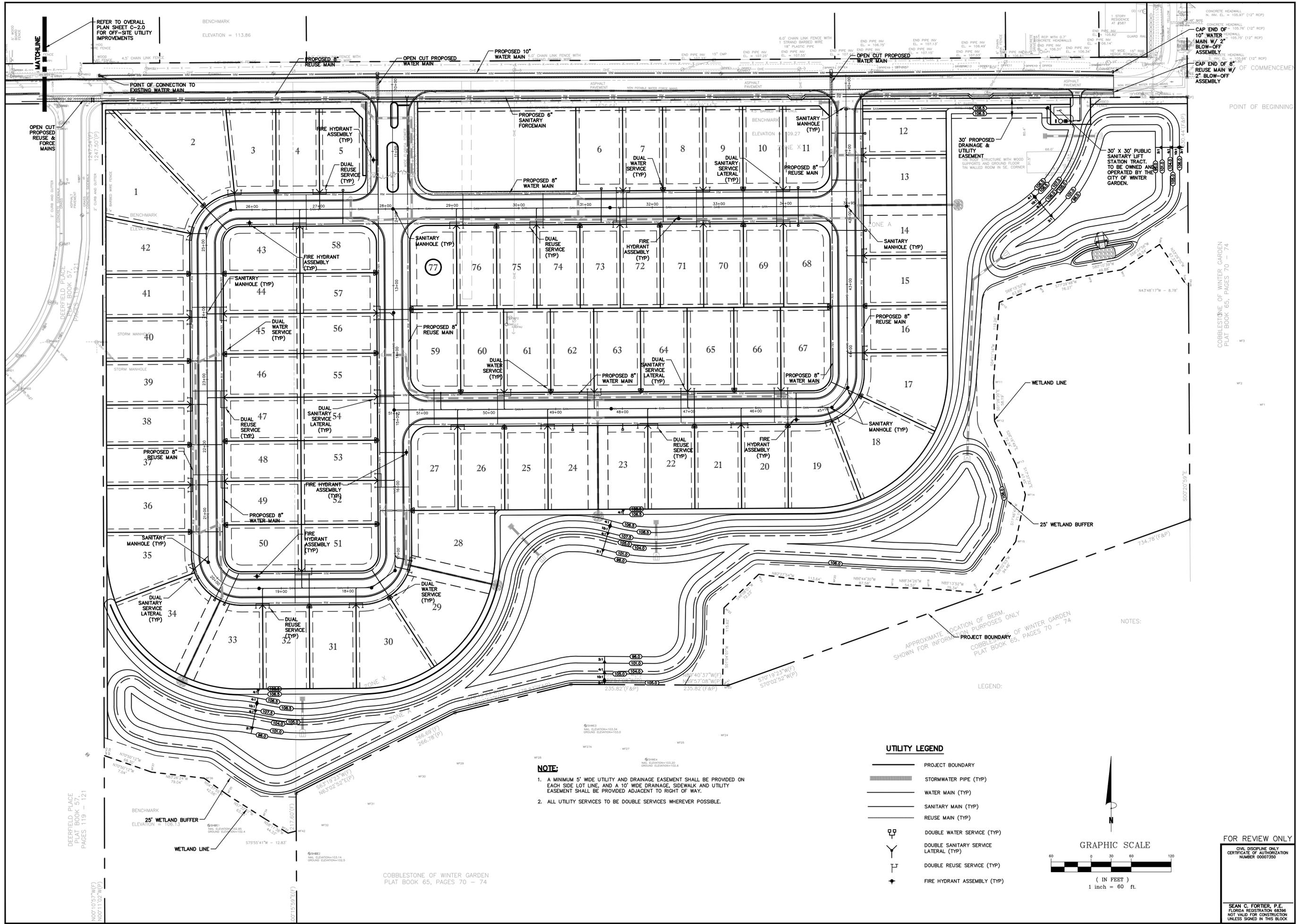
PREPARED FOR:
 KB
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ROPER
 SUBDIVISION

PAVING, GRADING &
 DRAINAGE PLAN

DRAWN: GPR
 DESIGN: GRR
 CHECKED: SMG
 JOB NO.: 1011.000
 DATE: 12/16/14
 SHEET
 C-4.0

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NO.	DATE	REVISION

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UTILITY PLAN

DRAWN: GJR
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 CHECKED: SMG
 JOB NO.: 1011.000
 DATE: 12/16/14
SHEET C-5.0

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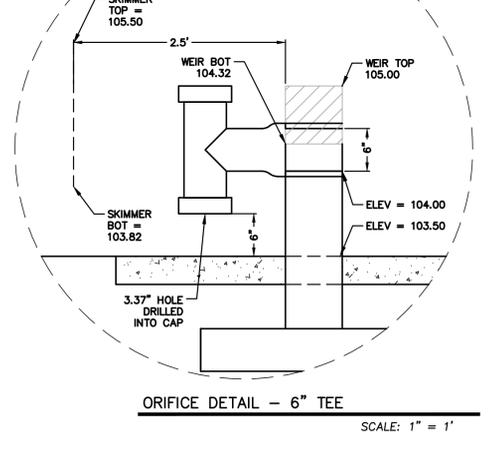
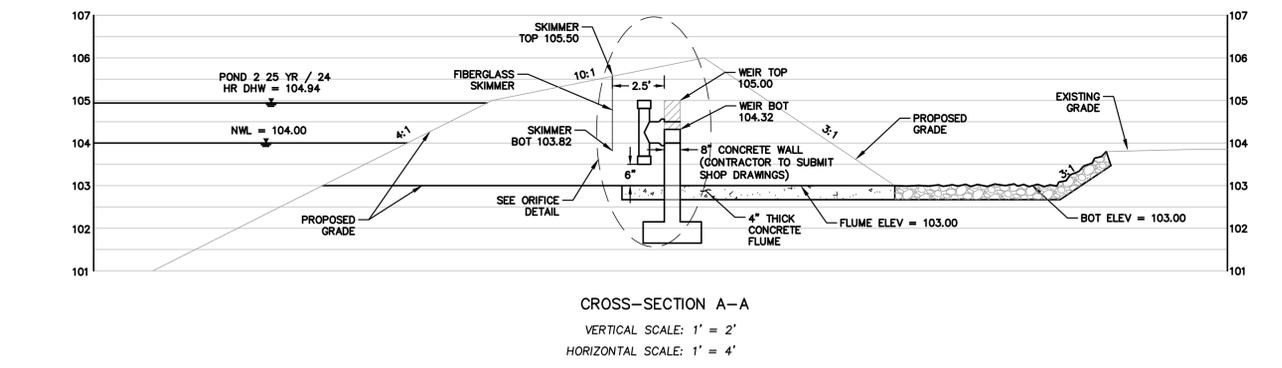
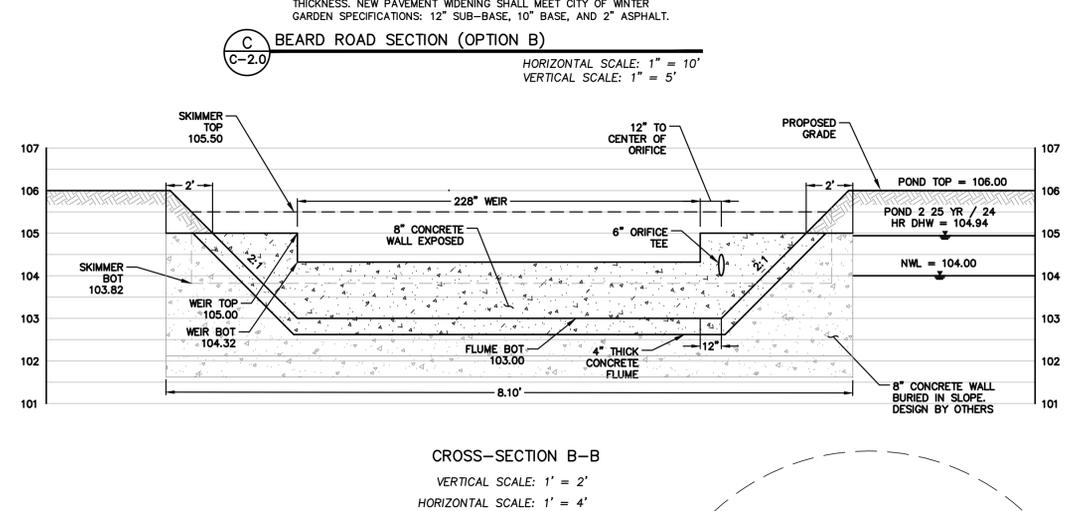
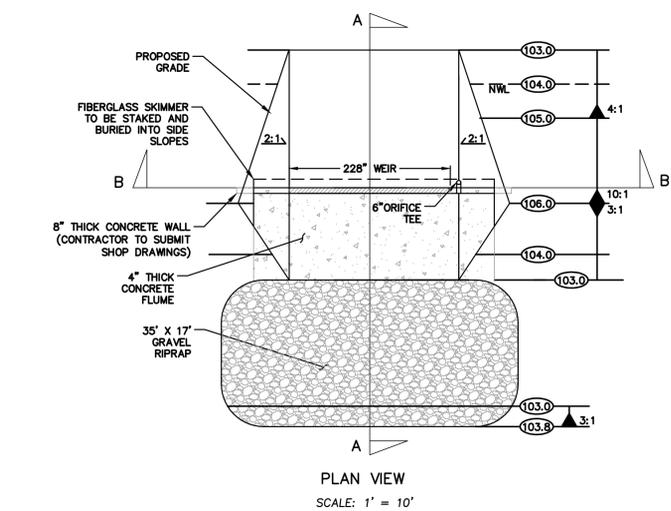
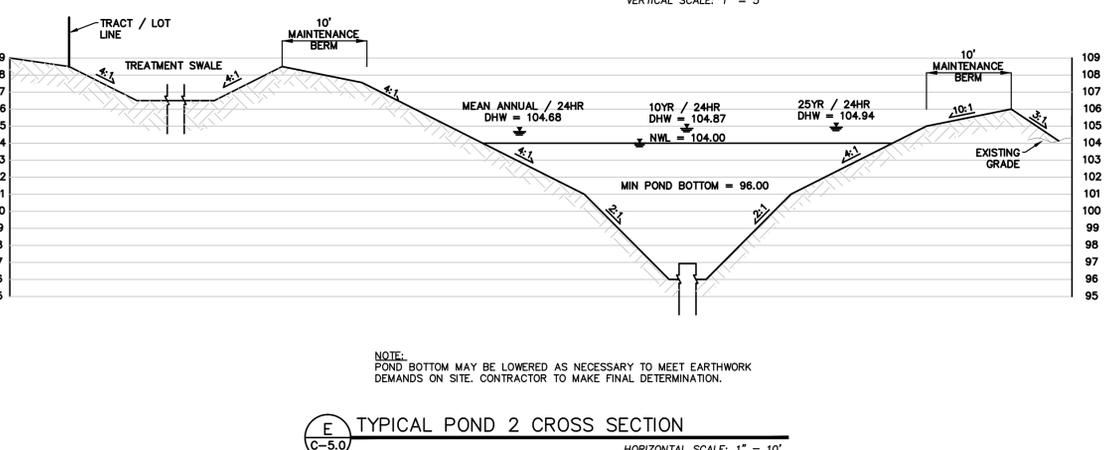
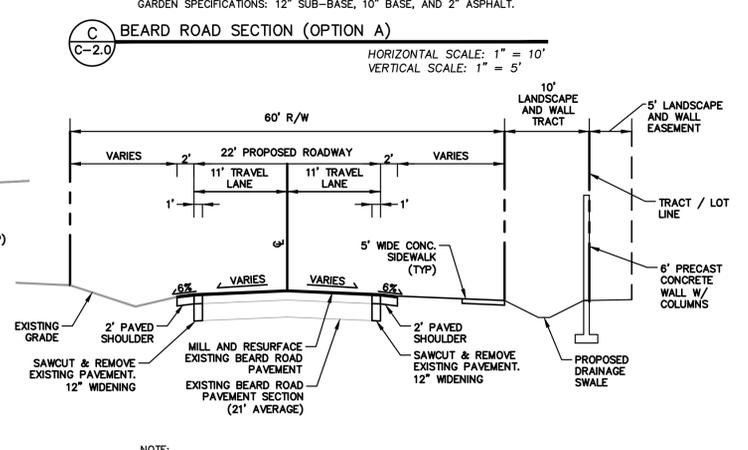
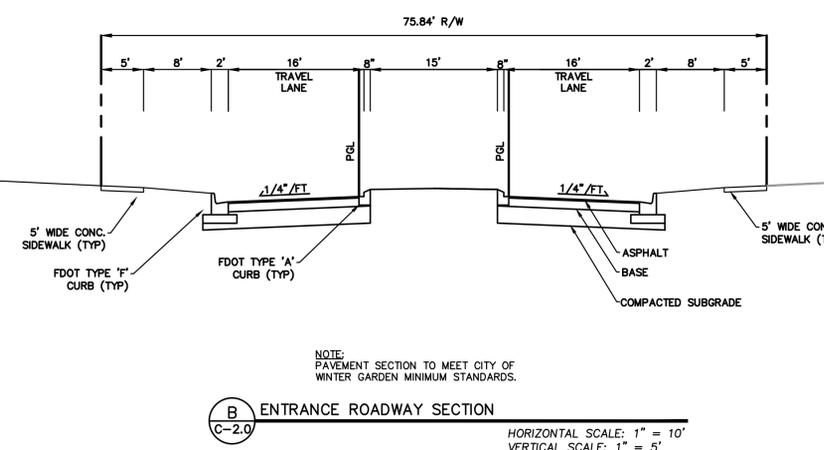
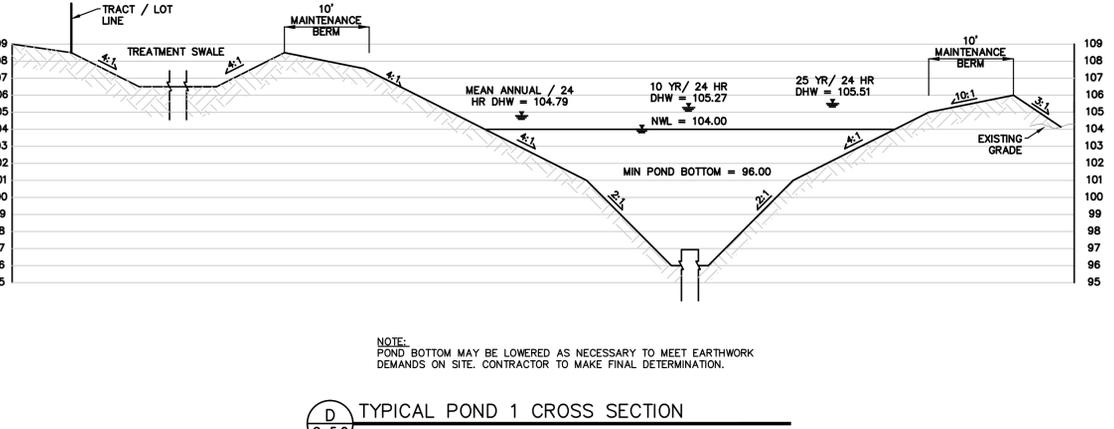
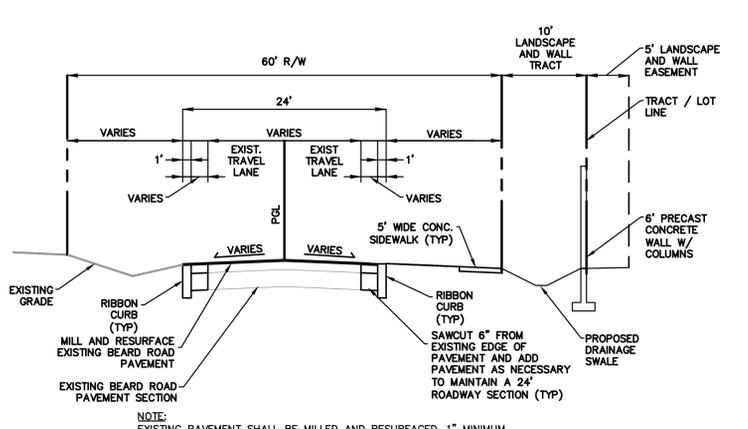
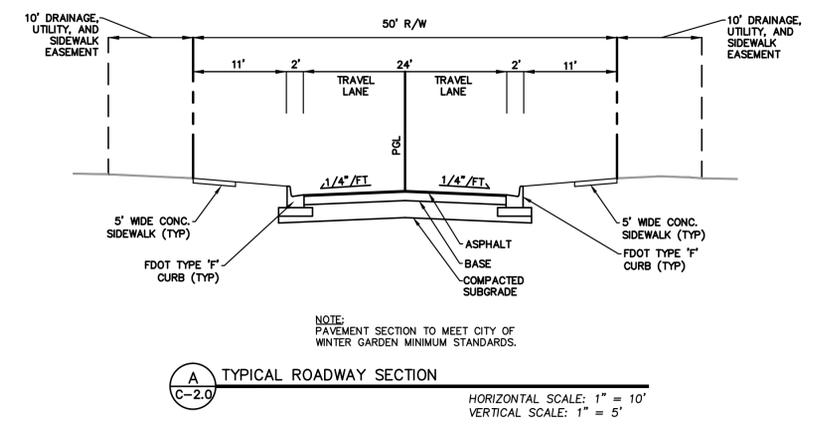
REVISION	DATE

PREPARED FOR:
KB HOME

ROPER SUBDIVISION

SITE DETAILS

DRAWN: GFR
 DESIGN: GFR
 CHECKED: SMG
 JOB NO.: 1011.000
 DATE: 12/16/14
SHEET C-6.0



NOTE: POND BERM TO BE COMPACTED TO 98% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D 1557) VALUE.

POND 2 OVERFLOW WEIR DETAIL

VERTICAL DATUM
 ELEVATIONS ARE BASED ON ORANGE COUNTY 88 NAVD DATUM. SEE CERTIFIED BOUNDARY SURVEY BY JONES WOOD & GENTRY, INC., JOB #29027 DATED 10/15/2013.

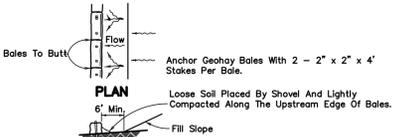
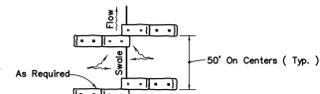
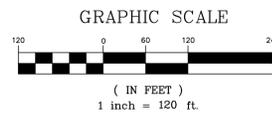
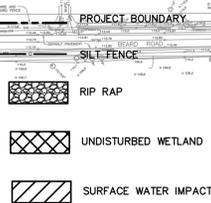
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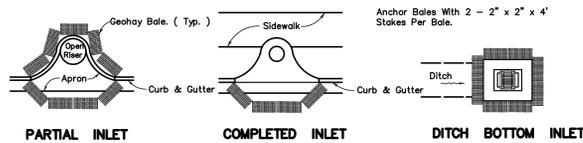
EROSION CONTROL NOTES

- GENERAL CONTRACTOR SHALL INSTALL ANY ADDITIONAL EROSION CONTROL WHEN NECESSARY IN ORDER TO MEET STATE AND LOCAL STANDARDS.
- EXISTING SYSTEMS: CONTRACTOR SHALL PROTECT ALL EXISTING STORMWATER COLLECTION SYSTEMS FROM DAMAGE BY SEDIMENT OR OTHER CONSTRUCTION RELATED CAUSES.
- CONCRETE: CONTRACTOR SHALL COORDINATE ALL UTILITY CROSSINGS AND ADDRESS CONFLICTS PRIOR TO BEGINNING WORK IN A GIVEN AREA(S).
- STABILIZATION:
 - EROSION CONTROL SHALL BE MAINTAINED WITHIN CONSTRUCTION AREAS BY QUICKLY STABILIZING DISTURBED AREAS TO PREVENT THE RELEASE OF SEDIMENT. THIS SHALL BE ACCOMPLISHED USING SOIL TURBIDITY FENCES, AND OTHER MEANS ACCEPTABLE TO OWNER, ENGINEER, AND REGULATORY AGENCIES.
 - AREAS DISTURBED THAT WILL NOT BE IMPROVED FOR A PERIOD OF 30 DAYS OR MORE SHALL RECEIVE TEMPORARY STABILIZATION AS DEEMED NECESSARY BY THE MUNICIPAL INSPECTOR.
- BMP:
 - IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, CONTRACTOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES (BMP) TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
 - WHEN UTILIZING CONSTRUCTION PHASES, CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL ON-SITE BMPs AS DEEMED NECESSARY AND SHALL BE APPROVED BY JURISDICTIONAL AUTHORITIES.
 - ALL BMPs SHALL BE CLEANED OF SEDIMENT WHEN 50% OR LESS OF BMP IS REACHED.
 - ALL BMPs SHALL REMAIN IN PLACE UNTIL SUCH TIME THAT THE MUNICIPAL INSPECTOR ALLOWS REMOVAL.
 - ALL DEWATERING SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS AS APPROVED BY MUNICIPAL INSPECTOR. OTHER METHODS MAY BE USED AS ALLOWED BY JURISDICTIONAL AUTHORITIES.
 - UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT CONTROL BMPs AFTER EACH RAIN EVENT OF 1/2" AND ON A WEEKLY BASIS ALL PREVENTIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, REMULCHING, AND RESETTING, MUST BE PERFORMED IMMEDIATELY IF EROSION AND SEDIMENT CONTROL BMP FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS TO THOSE INSTALLED SHALL BE REQUIRED.
 - CONTRACTOR SHALL INSPECT BMPs AT END OF EACH WORKING DAY.
 - SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS, OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED OR PLACED IN TOPSOIL STOCKPILES.
- MULCH:
 - MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES 3:1 AND STEEPER.
 - STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN.
- ENTRANCE/EXIT:
 - CONSTRUCTION ENTRANCE SHALL BE GRADED SO THAT NO SEDIMENTS LEAVE THE SITE.
 - ALL EMPLOYEES, SUBCONTRACTORS, AND SUPPLIERS SHALL UTILIZE CONSTRUCTION ACCESS.
 - CONSTRUCTION VEHICLES SHALL ENTER AND EXIT THE SITE AT ONE LOCATION.
 - ALL EXIT LOCATIONS INTENDED SHALL BE USED CONTINUOUSLY AND FOR A PERIOD OF TIME SHALL HAVE STABILIZED CONSTRUCTION ENTRANCE/EXIT BMPs (TO-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT OR TO-2 ENTRANCE/EXIT TIRE WASH).
 - INSPECT ROUTINELY FOR DAMAGE AND ASSES EFFECTIVENESS OF THE BMP. REMOVE AGGREGATE, SEPARATE AND DISPOSE OF SEDIMENT IF CONSTRUCTION ENTRANCE/EXIT IS CLOGGED NO MORE THAN 50% WITH SEDIMENT.
 - IF APPLICABLE, ROUTE RUNOFF FROM STABILIZED ENTRANCES THROUGH A SEDIMENT TRAPPING DEVICE BEFORE DISCHARGE.
- INLETS:
 - ALL EXISTING AND PROPOSED STORM DRAINAGE INLETS AND PIPES SHALL BE PROTECTED FROM SILT, SAND, AND DEBRIS DURING CONSTRUCTION. ANY ACCUMULATION OF DEBRIS WITHIN THE STORM DRAINAGE PIPE SYSTEM SHALL BE REMOVED BY CONTRACTOR.
 - PROVIDE GEOTEXTILE BALES IN FRONT OF ALL DRAINAGE CURB INLETS AND PROVIDE FILTER FABRIC UNDER THE GRATE OF ALL DITCH BOTTOM INLETS AFTER INITIAL COMPLETION OF THE DRAINAGE STRUCTURES. MAINTAIN THESE MEASURES DAILY.
- RAINFALL:
 - CONSTRUCTION SITE SHALL BE INSPECTED FOR EROSION PROBLEMS DAILY AND AFTER EACH RAINFALL GREATER THAN 0.2". A RAIN GAUGE SHALL BE ON SITE TO MEASURE THE RAINFALL AMOUNTS.
 - THE ADJACENT STREETS SHALL BE SWEEPED AT THE END OF EACH DAY OF DIRT FROM THE CONSTRUCTION SITE. CONTRACTOR SHALL IMPLEMENT "STREET SWEEPING AND VACUUMING" AS NEEDED. CLEAN DIRT FROM ROADWAYS DAILY.
 - CONSTRUCTION SITE SHALL BE CLEANED OF LITTER AND TRASH EACH DAY AND DISPOSED OF OFF-SITE.
 - INSPECT ALL SEDIMENT CONTROL DEVICES FOR DAMAGE DAILY AND REPAIR AS NEEDED.
 - CONTRACTOR SHALL EMPLOY SAFETY AND ROADWAY ENTRY AND EXIT PLANS ON A DAILY/WEEDLY BASIS.
 - HUMAN WASTEWATER SHALL BE COLLECTED ON-SITE BY THE USE OF TEMPORARY SANITARY SERVICE.
- SILT FENCE:
 - SILT FENCE SHALL BE IN PLACE AS SHOWN PRIOR TO CONSTRUCTION.
 - SILT FENCE SHALL BE IN PLACE AROUND THE ENTIRE PERIMETER OF THE SITE OR AS SHOWN, PRIOR TO CONSTRUCTION. SEE DETAIL SHEETS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION ON EROSION CONTROL.
 - SILT FENCE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- SOIL:
 - ALL DISTURBED AREAS SHALL BE SOODED EXCEPT AS SHOWN ON PLAN. ALL SOO IN RIGHT OF WAY SHALL BE ARGENTINE BAHIA. ALL SLOPES 4:1 OR GREATER SHALL BE SOODED.
- STOCK PILES:
 - STOCK PILES SHALL BE ENCOMPASSED WITH SILT FENCE, SHALL NOT EXCEED 30' IN HEIGHT, AND SHALL NOT BE LOCATED NEAR SITE PERIMETER. LOCATION AND SLOPE SHALL BE APPROVED BY MUNICIPAL INSPECTOR AND OTHER JURISDICTIONAL AUTHORITIES AS REQUIRED.
- TOXIC SUBSTANCES:
 - ALL TOXIC SUBSTANCES (IF ANY) BROUGHT ON-SITE SHALL BE HANDLED AND STORED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND STANDARDS. ALL SUBSTANCES THAT MAY BE CONSIDERED TOXIC SHALL ALSO BE HANDLED AND STORED ACCORDING TO FEDERAL, STATE, AND LOCAL LAWS AND STANDARDS.
- GRAVEL:
 - GRAVEL LAYER: GRAVEL LAYER SHALL BE 12" MIN THICK AND PLACED OVER GEOTEXTILE MAT.
- SPEED:
 - TRUCK SPEED TO BE REDUCED TO CONTROL DUST.
- DITCHES:
 - KEEP ALL TEMPORARY ROADWAY DITCHES CLEAR.
- WATER DOWN:
 - CONTRACTOR TO WATER DOWN AREAS WHEN AND WHERE DISTURBED SOIL IS RAISING AND BECOMING AIRBORNE IN ORDER TO SETTLE IT. REPEAT AS NEEDED.
- SEDIMENT BASIN:
 - LARGE SITES MAY REQUIRE A TEMPORARY SEDIMENT BASIN. CONTRACTOR SHALL DETERMINE LOCATION. TEMPORARY SEDIMENT BASIN SHALL BE APPROVED BY JURISDICTIONAL AUTHORITIES.
- STORMWATER DISCHARGE:
 - CONTRACTOR TO ABIDE BY ALL PROVISIONS OF THE FDP GENERAL PERMIT FOR STORM WATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES.

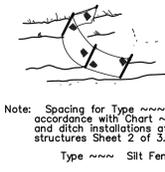
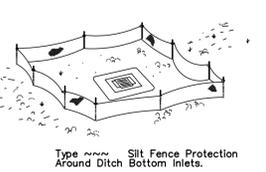
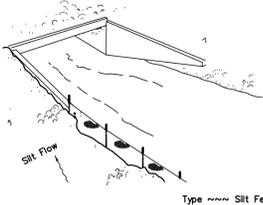
LEGEND



BARRIERS FOR FILL SLOPES



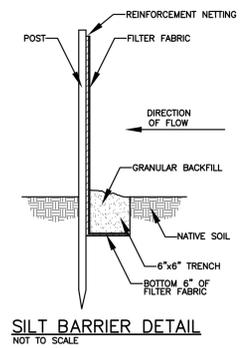
PROTECTION AROUND INLETS OR SIMILAR STRUCTURES



Note: Spacing for Type ~~~ Fence to be in accordance with Chart ~~~ Sheet 1 of 3 and ditch installations at drainage structures Sheet 2 of 3.

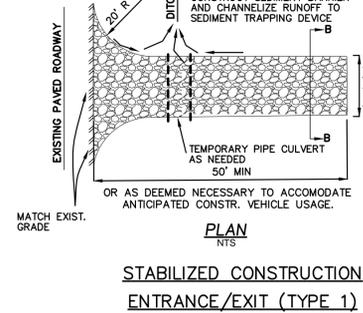
Do not deploy in a manner that silt fences will act as a dam across permanent flowing watercourses. Silt fences are to be used at upland locations and turbidity barriers used at permanent bodies of water.

SILT FENCE APPLICATIONS

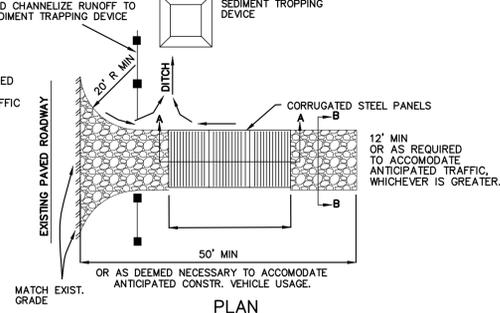


SILT BARRIER DETAIL

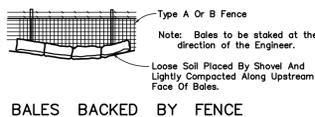
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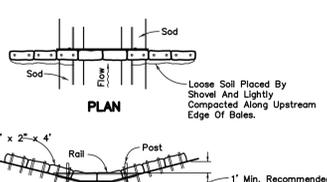
STABILIZED CONSTRUCTION ENTRANCE/EXIT (TYPE 1)



STABILIZED CONSTRUCTION ENTRANCE/EXIT (TYPE 2)



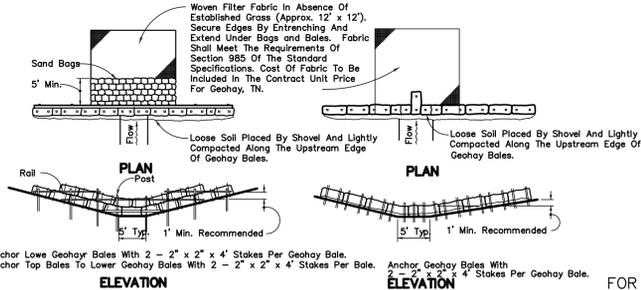
BALES BACKED BY FENCE



BALED GEOTEXTILE AND SILT FENCES

BALED GEOTEXTILE AND SILT FENCES

N.T.S.



TYPE II BARRIER FOR UNPAVED DITCHES

VERTICAL DATUM
ELEVATIONS ARE BASED ON ORANGE COUNTY 88 NAVD DATUM. SEE CERTIFIED BOUNDARY SURVEY BY JONES WOOD & GENTRY, INC., JOB #29027 DATED 10/15/2013.

CONTRACTOR CERTIFICATION:

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PLAN THEREUNDER."

NAME: _____ TITLE: _____
 CONTRACTING FIRM: _____ ADDRESS: _____
 TELEPHONE #: _____ DATE: _____

THIS SOIL EROSION/SEDIMENT CONTROL & DUST ABATEMENT PLAN IS FOR THE PURPOSE OF SHOWING INTENTION OF METHOD TO CONTROL STORM WATER RUNOFF & DUST DISTURBANCE CAUSED BY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL ADJUST AND/OR ADD BMP'S BASED ON SPECIFIC SITE CONDITIONS & CONSTRUCTION ACTIVITY SATISFYING NPDES REQUIREMENTS. CONTRACTOR TO OBTAIN GENERAL PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (RULE 62-621.300(4), F.A.C.)

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 NUMBER 00007350

SEAN C. FORTIER, P.E.
 FLORIDA REGISTRATION 68396
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KELLY COLLINS & GENTRY, INC.
 1700 NORFOLK ORANGE AVENUE, SUITE 400
 ORLANDO, FLORIDA 32804
 (407) 886-7856 FAX (407) 886-1488

REVISION	DATE

PREPARED FOR:
KB HOME

ROPER SUBDIVISION

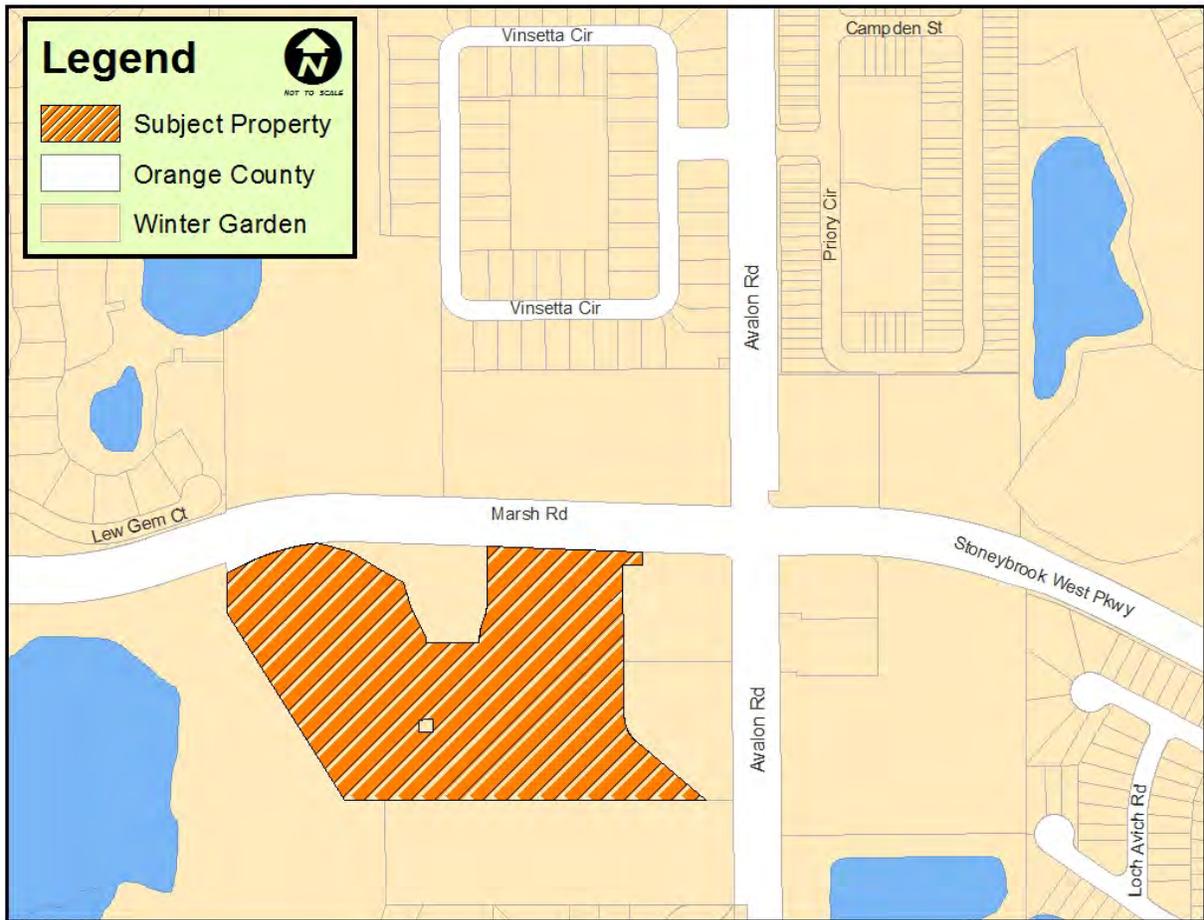
EROSION CONTROL & DEMOLITION PLAN

DRAWN: GPR
 DESIGN: GRR
 CHECKED: SMG
 JOB NO.: 1011.000
 DATE: 12/16/14
SHEET C-7.0

LOCATION MAP

16100 Marsh Road

SPECIAL EXCEPTION



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

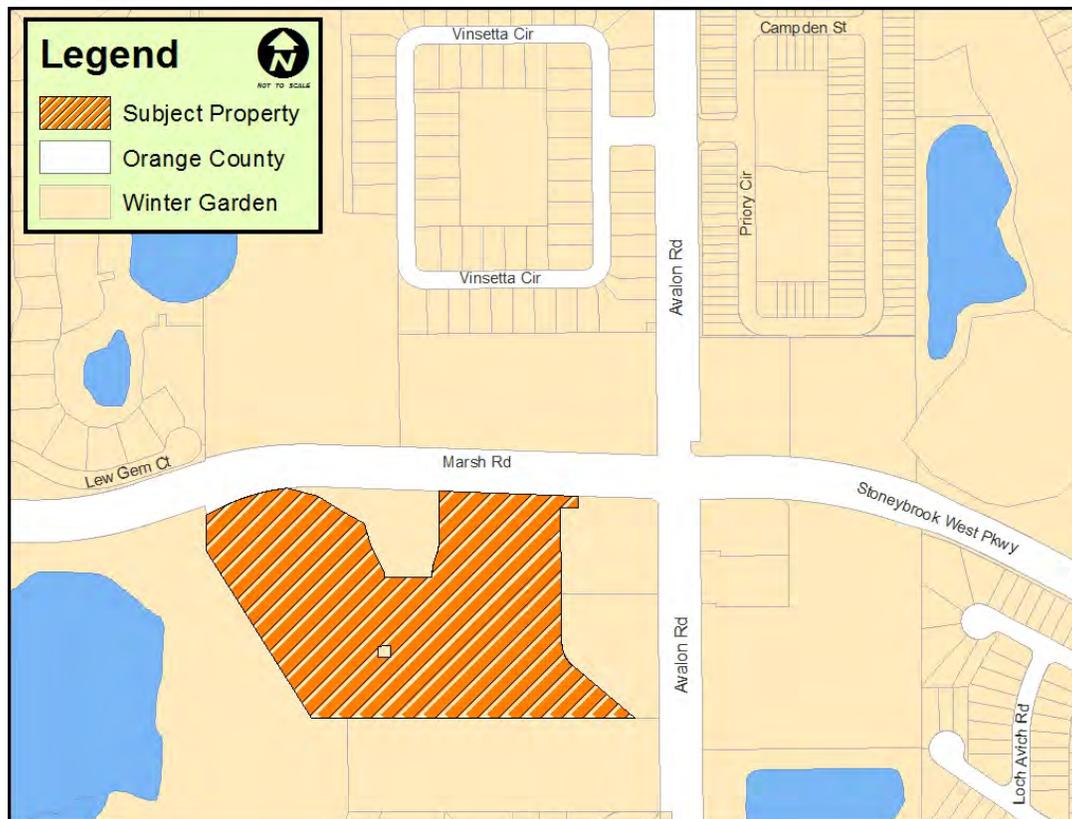
TO: PLANNING AND ZONING BOARD
PREPARED BY: STEVE PASH, COMMUNITY DEVELOPMENT MANAGER
DATE: DECEMBER 29, 2014
SUBJECT: SPECIAL EXCEPTION PERMIT
16100 Marsh Road (Corner Market)
PARCEL IDS # 04-23-27-0302-03-000

APPLICANT: Corner Market Orlando, Inc.

INTRODUCTION

The purpose of this report is to evaluate the proposed special exception permit for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property located at 16100 Marsh Road consists of +/- 11.95 acres. The proposed convenience store is located in one of the buildings on this property. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The request is for a Special Exception Permit to allow a convenience store in the building located at the northeast corner of the development (Suite 203). The subject property is located within the City of Winter Garden municipal limits, carries the zoning designation PCD (Planned Commercial Development) and is designated Commercial on the Future Land Use Map of the Comprehensive Plan.

EXISTING/PROPOSED USE

The subject property currently contains four commercial buildings. The largest building located along the southern property line is 27,578 square feet and contains restaurants, offices, and other retail stores. Another building is located along the western property line, is 9,132 square feet and contains restaurants and other commercial uses. There are two other out buildings located along the north property line, one is 5,200 square feet and contains a restaurant and a child care facility. The other out building is 5,048 square feet and contains a liquor store, a bank, and the convenience store is proposed in this building.

The applicant is requesting the special exception to allow a 1,400 square foot convenience store in the PCD zoning district. The convenience store is proposed to sell general household and personal care items, imported food (not cooked on premise), and various novelty items. The application indicates that they will not sell any liquor, beer, wine, lottery tickets, or any tobacco products.

ADJACENT LAND USE AND ZONING

The property located to the north of the subject site is vacant commercial land, zoned PCD, and located in the City of Winter Garden. The property located to the east of the subject site is vacant commercial land, zoned PCD, and located in the City. The property to the south is zoned PCD, developed with a storage facility, and located in the City. The property to the west is vacant land owned by the City of Winter Garden, zoned PUD, and located in the City.

SUMMARY

Staff recommends approval of the proposed Special Exception Permit to the convenience store at 16100 Marsh Road Suite 203 with the following conditions:

1. No outdoor displays, storage, or sales of any items will be allowed.
2. All signage shall meet the code requirements. No additional signage will be allowed.
3. All necessary permits must be obtained before beginning construction or site alterations.

Aerial Map
16100 Marsh Road



Zoning Map
16100 Marsh Road



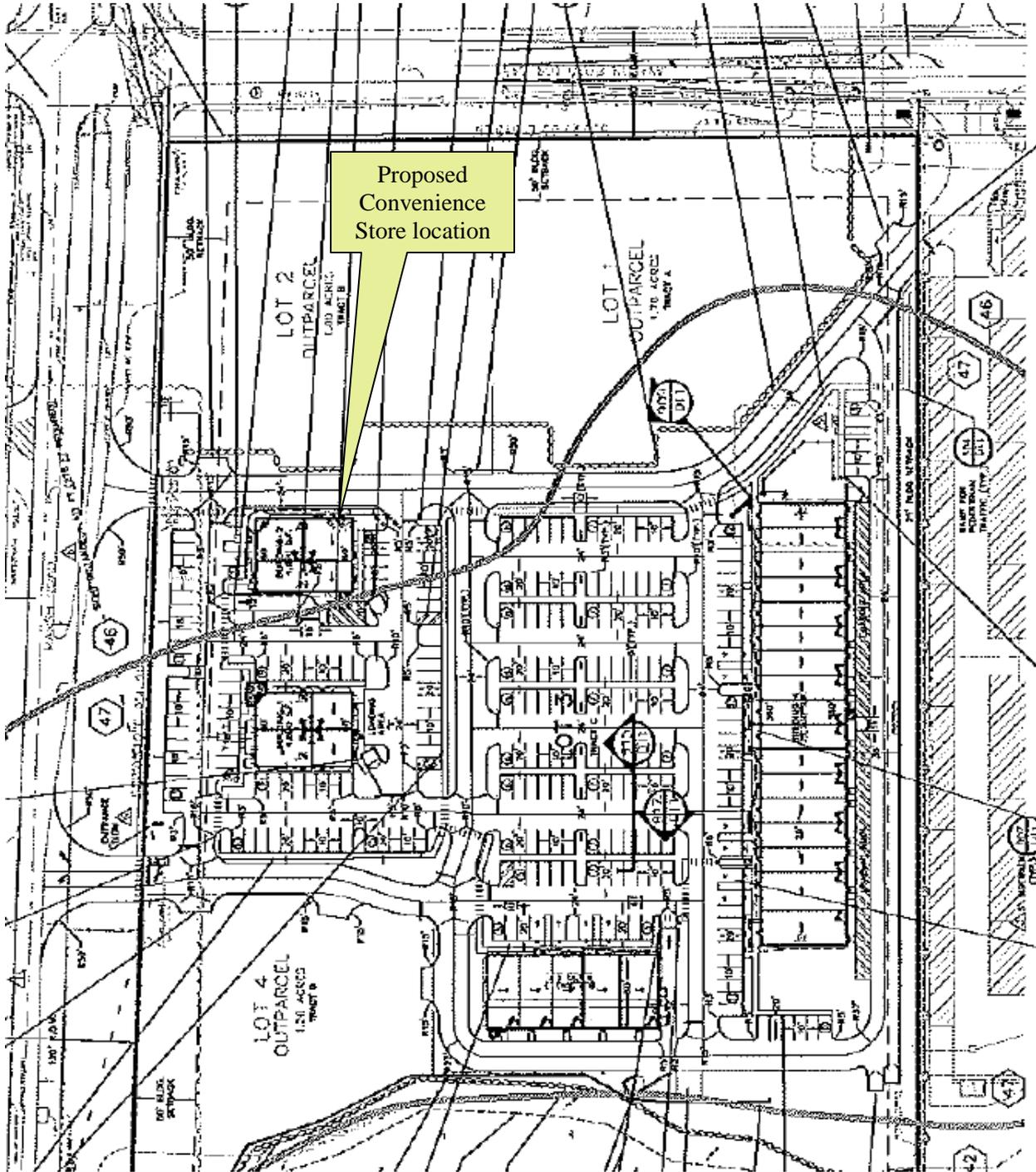
Existing PCD zoning

Future Land Use Map 16100 Marsh Road



Existing Commercial FLU

**Site Plan of PCD Property
16100 Marsh Road**

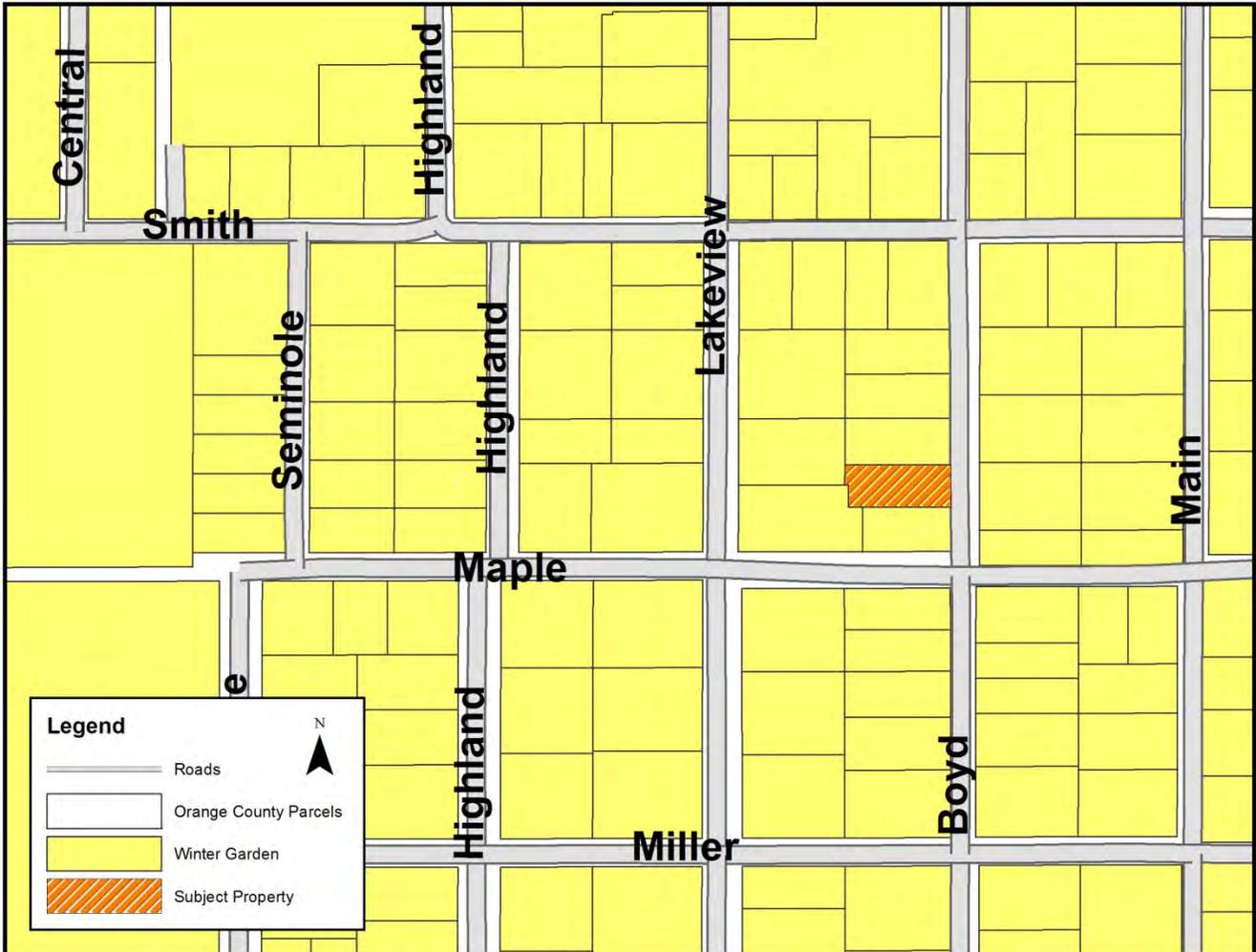


END OF STAFF REPORT

LOCATION MAP

224 S Boyd St

VARIANCE



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

TO: PLANNING AND ZONING BOARD
PREPARED BY: KELLY CARSON, PLANNER II
DATE: DECEMBER 24, 2014
SUBJECT: VARIANCE
224 S Boyd St (0.20 +/- ACRES)
PARCEL ID # 23-22-27-8096-00-110

APPLICANT: Tory Parish

INTRODUCTION

The purpose of this report is to evaluate the request for a front yard setback variance for property located at 224 S Boyd Street in Winter Garden, Florida. The request is for a 22' front yard setback in lieu of the minimum required 30' front yard setback. If approved, this variance will allow the construction of a single-family residence with a covered front porch on the property.

The subject property, located on S Boyd Street, is an approximately 0.20 ± acre lot in the G. T. Smith Subdivision. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The subject property carries the zoning designation R-2 (Residential District) and is designated LR (Low Density Residential) on the Future Land Use Map of the City's Comprehensive Plan.

EXISTING USE

The subject property is currently vacant. The applicant is still in the design phase and has not yet applied for building permits for the residential structure.

ADJACENT LAND USE AND ZONING

The all of the properties adjacent to the subject property are zoned R-2 and are within the City of Winter Garden Municipal limits. The properties to the north and south of the subject property are developed with single family residences. The properties to the west are developed with single family residential houses with separate detached residential structures in the rear yards. The properties located to the east of the subject property are developed with duplexes.

PROPOSED USE

The applicant is proposing to build a new two-story single-family home on the property. The building will have approximately 2,750 sf of living area and a 400 sf garage. The site will also feature a covered front porch, rear porch, and paved concrete driveway.

CODE REFERENCE

Sec. 118-398(1) of the City Code of Ordinances addresses minimum yard requirements for structures built on R-2 zoned properties. This section states that in the R-2 residential district, the minimum yard requirements are, "*Single-family and two-family: Front: 30 feet, Side: ten feet, Rear: 20 percent the depth of the lot.*"

The applicant is seeking a front yard setback variance in order to allow the construction of a covered front porch that's built 22' from the front property line, which exceeds the minimum 30' front yard setback required by City code.

CODE REQUIREMENTS / CRITERIA

Section 118-131 of the City Code that relates to the review criteria states that, "A variance may be granted from land development regulations by the planning and zoning board if the planning and zoning board concludes that literal enforcement of the provisions of land development regulations would result in either practical difficulties (for setback and parking provisions) or unnecessary hardships (for all other land development regulations) for the property at issue." The code also lists the following criteria that are to be addressed before a variance can be approved. Underlined text is Staff's comments concerning this particular petition.

(1) *Granting the variance will not cause or allow interference with the reasonable enjoyment of adjacent or nearby property owners or negatively impact the standard of living of the citizens of the city;*

The proposed single family residence with a covered front porch located 22' from the front property line should not negatively impact or interfere with the reasonable enjoyment of adjacent or nearby property owners. Many of the adjacent properties within the neighborhood have similar front yard setbacks with porches and structures that exceed the 30' minimum allowed by R-2 zoning. The property located two lots north of the subject property at 212 S

Boyd Street features a home with a covered front porch that is set back approximately 23' from the front property line - which is similar to the subject property's proposed front setback. Several of the duplex structures across the street also exceed the 30' front setback minimum. In addition, this project will not negatively impact the standard of living of the citizens of the City.

- (2) *The variance will allow a reasonable use of the property, which use is not out of character with other properties in the same zoning category;*

The requested variance allowing a 22' front yard setback in lieu of the minimum required 30' front yard setback to construct a covered front porch will allow reasonable use of the property. The proposed structure has been situated towards the front of the lot in order to avoid construction activity within the dripline of an existing live oak on the subject property. The applicant hopes that this will ensure that the tree continues to thrive and its health will not be compromised by the construction of the house. Furthermore, granting this variance will not change the low density residential character of the neighborhood.

- (3) *In the context presented, strict compliance with the land development regulation will not further any legitimate city objective or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under this criteria if the variance were denied;*

Strict compliance with the City's land development regulations will not further any legitimate City objective. This request does not encroach into any recorded easements, does not exceed the maximum impervious surface allowed for R-2 zoned properties (50%), and meets all other development regulations of the Winter Garden Code of Ordinances.

- (4) *The granting of the variance is consistent with the city's comprehensive plan; and*
The variance is consistent with the provisions of the City's Comprehensive Plan relating to low density residential neighborhood character.

- (5) *The variance requested is the minimum variance that will make reasonable use of the land, building, or structure or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under these criteria if the variance were denied.*

The variance requested is the minimum variance that will make reasonable use of the land. The proposed single family residence will not negatively impact the neighbors and is consistent with side yard setbacks enjoyed by many other property owners throughout the City. Denying this variance does not benefit the property owner or the City.

SUMMARY

City Staff recommends approval of a variance to Section 118-398(1) to allow a 22' front yard setback in lieu of the minimum required 30' front yard setback to permit the construction of the proposed single family residence with a covered front porch.

NEXT STEP

Follow all City regulations and apply for all outstanding City approvals.

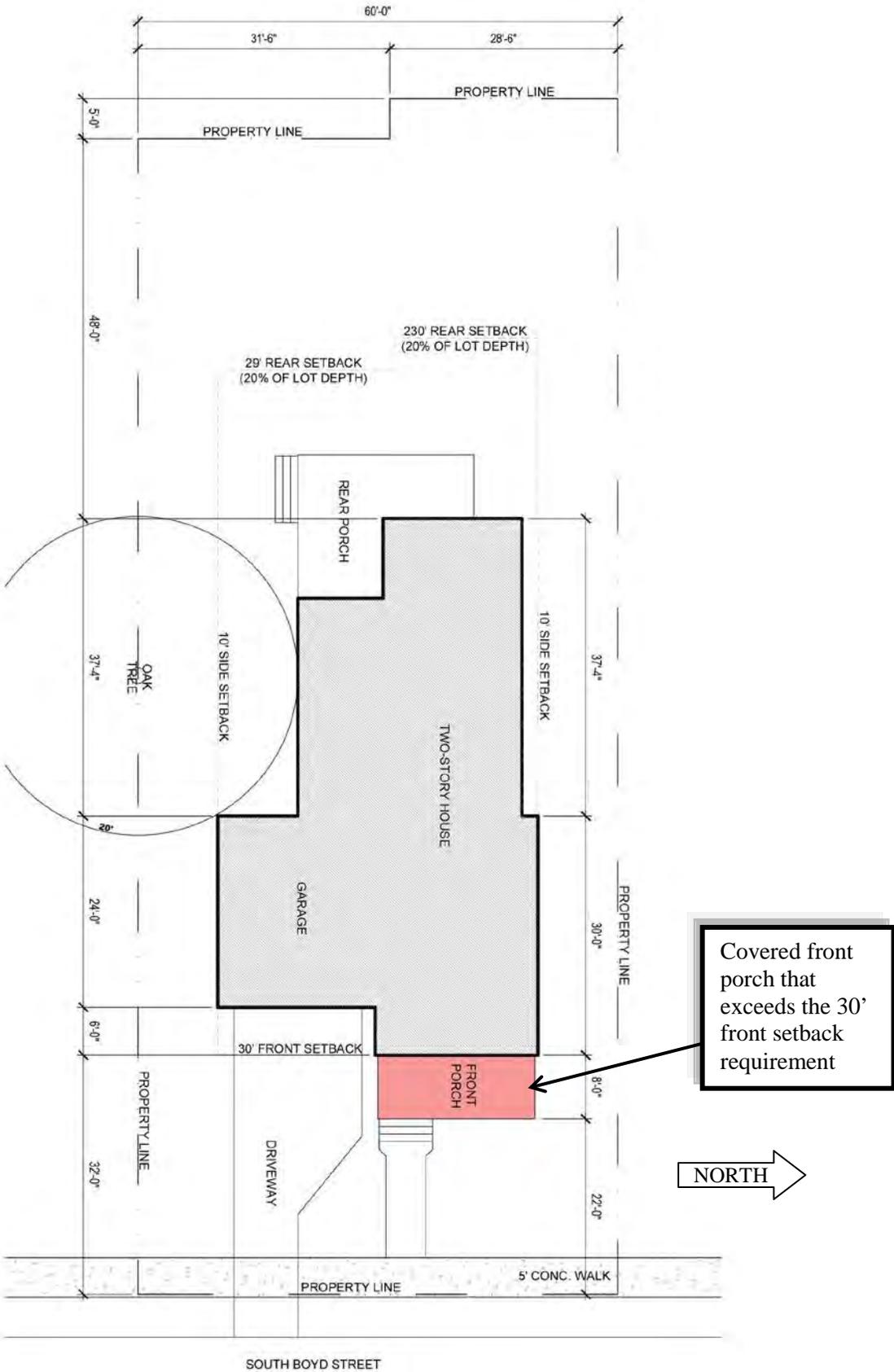
ATTACHMENTS

- Aerial Photo
- Proposed Site Plan
- Proposed Elevations
- Proposed Architectural Style
- Site Photo
- Neighboring Property

AERIAL PHOTO
224 S Boyd St



PROPOSED SITE PLAN
224 S Boyd St



PROPOSED ELEVATIONS
224 S Boyd St



East Elevation



South Elevation

PROPOSED ARCHITECTURAL STYLE
224 S Boyd St



General Massing



Recessed Garage



Double Front Porch

SITE PHOTO
224 S Boyd St



NEIGHBORING PROPERTY
212 S Boyd St



The Subject Property is proposed to have approximately the same front setback.

END OF STAFF REPORT