



**CITY COMMISSION AGENDA
CITY HALL COMMISSION CHAMBERS
300 W. Plant Street**

REGULAR MEETING

JULY 10, 2014

6:30 P.M.

CALL TO ORDER

Determination of a Quorum

Invocation and Pledge of Allegiance

1. APPROVAL OF MINUTES

Regular Meeting of June 26, 2014

2. FIRST READING AND PUBLIC HEARING OF PROPOSED ORDINANCES

A. **Ordinance 14-11:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 0.92± ACRES OF LAND LOCATED AT 426 WEST PLANT STREET, FROM R-NC (RESIDENTIAL-NEIGHBORHOOD COMMERCIAL DISTRICT) TO C-1 (CENTRAL COMMERCIAL DISTRICT); PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE (*postponed June 12, 2014*) **with the second reading and public hearing being scheduled for July 24, 2014** – Community Development Director Williams

B. **Ordinance 14-22:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA PROVIDING FOR THE ANNEXATION OF CERTAIN ADDITIONAL LANDS GENERALLY DESCRIBED AS APPROXIMATELY 38.655 ± ACRES LOCATED AT 17806 MARSH ROAD ON THE SOUTH SIDE OF MARSH ROAD AT THE WESTERN BOUNDARY OF ORANGE COUNTY INTO THE CITY OF WINTER GARDEN FLORIDA; REDEFINING THE CITY BOUNDARIES TO GIVE THE CITY JURISDICTION OVER SAID PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE

C. **Ordinance 14-23:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS 38.655 ± ACRES LOCATED AT 17806 MARSH ROAD ON THE SOUTH SIDE OF MARSH ROAD AT THE WESTERN BOUNDARY OF ORANGE COUNTY FROM ORANGE COUNTY VILLAGE TO CITY URBAN VILLAGE; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE **with the second reading and public hearing being scheduled after review by the State** - Community Development Director Williams

D. **Ordinance 14-24:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA PROVIDING FOR THE ANNEXATION OF CERTAIN ADDITIONAL LANDS GENERALLY DESCRIBED AS APPROXIMATELY 9.527 ± ACRES LOCATED ON THE SOUTH SIDE OF SEIDNER ROAD AT THE WESTERN BOUNDARY OF ORANGE COUNTY INTO THE

CITY OF WINTER GARDEN FLORIDA; REDEFINING THE CITY BOUNDARIES TO GIVE THE CITY JURISDICTION OVER SAID PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE

- E. **Ordinance 14-25:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS 9.527 ± ACRES LOCATED ON THE SOUTH SIDE OF SEIDNER ROAD AT THE WESTERN BOUNDARY OF ORANGE COUNTY FROM ORANGE COUNTY VILLAGE TO CITY URBAN VILLAGE; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE **with the second reading and public hearing being scheduled after the property to the north has been reviewed by the State** - Community Development Director Williams
- F. **Ordinance 14-26:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING APPROXIMATELY 33.79 ± ACRES OF REAL PROPERTY GENERALLY LOCATED AT 562 BEARD ROAD LOCATED SOUTH OF THE FLORIDA TURNPIKE AND EAST OF DANIELS ROAD AT THE SOUTHWEST CORNER OF BEARD ROAD AND 9TH STREET FROM R-1 (SINGLE-FAMILY RESIDENTIAL DISTRICT) TO PUD (PLANNED UNIT DEVELOPMENT DISTRICT); PROVIDING FOR CERTAIN PUD REQUIREMENTS; PROVIDING FOR NON-SEVERABILITY AND AN EFFECTIVE DATE; **staff requests postponement until August 14, 2014** - Community Development Director Williams
- G. **Ordinance 14-29:** AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING SECTIONS 110-56, 110-152, 110-153, 110-154, 110-157 AND 110-162 OF ARTICLE III, DIVISION 1, 4 AND 5 OF CHAPTER 110 OF THE CODE OF ORDINANCES OF THE CITY OF WINTER GARDEN CONCERNING PLATTING REQUIREMENTS; PROVIDING FOR UTILITY EASEMENT DEDICATIONS; AMENDING DEFINITIONS; CLARIFYING THE DEFINITION OF COMMUNITY SUBDIVISION INFRASTRUCTURE AND MAKING OTHER RELATED REVISIONS; PROVIDING FOR ADDITIONAL REQUIRED AND PROHIBITED LANGUAGE FOR DECLARATIONS; PROVIDING FOR CODIFICATION, CONFLICTS, SEVERABILITY, AND AN EFFECTIVE DATE AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING SECTIONS 110-56, 110-152, 110-153, 110-154, 110-157 AND 110-162 OF ARTICLE III, DIVISION 1, 4 AND 5 OF CHAPTER 110 OF THE CODE OF ORDINANCES OF THE CITY OF WINTER GARDEN CONCERNING PLATTING REQUIREMENTS; PROVIDING FOR UTILITY EASEMENT DEDICATIONS; AMENDING DEFINITIONS; CLARIFYING THE DEFINITION OF COMMUNITY SUBDIVISION INFRASTRUCTURE AND MAKING OTHER RELATED REVISIONS; PROVIDING FOR ADDITIONAL REQUIRED AND PROHIBITED LANGUAGE FOR DECLARATIONS; PROVIDING FOR CODIFICATION, CONFLICTS, SEVERABILITY, AND AN EFFECTIVE DATE **with the second reading and public hearing being scheduled for July 24, 2014** - Community Development Director Williams
- H. **Ordinance 14-30:** AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING SECTION 102-1 OF CHAPTER 102 OF THE CODE OF ORDINANCES OF THE CITY OF WINTER GARDEN TO CLARIFY CERTAIN DEFINITIONS AND TO ADD A DEFINITION FOR DIGITAL BILLBOARDS; AMENDING SECTION 102-92 OF CHAPTER 102 OF THE CODE OF ORDINANCES OF THE CITY OF

WINTER GARDEN TO PROHIBIT DIGITAL BILLBOARDS EXCEPT UNDER LIMITED CONDITIONS AS A SPECIAL EXCEPTION AND PURSUANT TO A REPLACEMENT AND RELOCATION PLAN; CREATING SECTION 102-94 OF CHAPTER 102 OF THE CODE OF ORDINANCES OF THE CITY OF WINTER GARDEN PROVIDING FOR REPLACEMENT AND RELOCATION AGREEMENTS FOR BILLBOARDS AND DIGITAL BILLBOARDS, FOR SPECIAL EXCEPTION RESTRICTIONS AND REGULATIONS GOVERNING DIGITAL BILLBOARDS; PROVIDING FOR CODIFICATION, CONFLICTS, SEVERABILITY, AND AN EFFECTIVE DATE; **staff requests postponement to a date uncertain** - Community Development Director Williams

3. **REGULAR BUSINESS**

A. **Community Development Block Grant (CDBG) Matters** - David Fox, Consultant

- I. Public workshop on Fair Housing
- II. Results of possible conflicts of interest as determined by the Florida Department of Community Affairs Small Cities CDBG Program
- III. Applicant ranking for approval

B. Recommendation to approve Florida Hospital (Adventist Health System/Sunbelt, Inc.) Phase A Site Plan, subject to conditions recommended by staff - Community Development Director Williams

4. **MATTERS FROM PUBLIC** (*Limited to 3 minutes per speaker*)

5. **MATTERS FROM CITY ATTORNEY** – Kurt Ardaman

6. **MATTERS FROM CITY MANAGER** – Mike Bollhoefer

7. **MATTERS FROM MAYOR AND COMMISSIONERS**

ADJOURN to a Regular Meeting on July 24, 2014 at 6:30 p.m. in City Hall Commission Chambers, 300 W. Plant Street, 1st floor

NOTICE: In accordance with Florida Statutes 286.0105, if any person decides to appeal any decision made by said body with respect to any matter considered at such meeting, he/she will need a record of the proceedings and, for that purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The City of Winter Garden does not prepare or provide such record.

	Those needing assistance to participate in any of these proceedings should contact the City Clerk's Office at least 48 hours in advance of the meeting (407) 656-4111 x2254.		Help for the hearing impaired is available through the Assistive Listening System. Receivers can be obtained at the meeting from the Information Technology Department (407) 656-4111 x5455.
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CITY OF WINTER GARDEN

CITY COMMISSION REGULAR MEETING MINUTES

June 26, 2014

A **REGULAR MEETING** of the Winter Garden City Commission was called to order by Mayor Rees at 6:30 p.m. at City Hall, 300 West Plant Street, Winter Garden, Florida. The invocation and Pledge of Allegiance were given.

Present: Mayor John Rees, Commissioners Robert Olszewski and Colin Sharman

Absent: Commissioners Bob Buchanan and Kent Makin

Also Present: City Manager Mike Bollhoefer, City Attorney Kurt Ardaman, City Clerk Kathy Golden, Assistant City Manager - Public Services Don Cochran, Assistant City Manager - Administrative Services Frank Gilbert, Community Development Director Ed Williams, Finance Director Laura Zielonka, Fire Chief Matt McGrew, Police Chief George Brennan, Economic Development Director Tanja Gerhartz, Recreation Director Jay Conn, and West Orange Times Reporter Peter M. Gordon

1. **APPROVAL OF MINUTES**

Motion by Commissioner Olszewski to approve regular meeting minutes of June 12, 2014, as submitted. Seconded by Commissioner Sharman and carried unanimously 3-0.

2. **PRESENTATION**

Proclamation 14-07: Water Safety Awareness Month was read and presented by Mayor Rees.

3. **SECOND READING AND PUBLIC HEARING OF PROPOSED ORDINANCES**

A. **Ordinance 14-20:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA PROVIDING FOR THE ANNEXATION OF CERTAIN ADDITIONAL LANDS GENERALLY DESCRIBED AS APPROXIMATELY 3.412 ± ACRES LOCATED AT 17901 MARSH ROAD ON THE NORTH SIDE OF MARSH ROAD AT THE WESTERN BOUNDARY OF ORANGE COUNTY INTO THE CITY OF WINTER GARDEN FLORIDA; REDEFINING THE CITY BOUNDARIES TO GIVE THE CITY JURISDICTION OVER SAID PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE

B. **Ordinance 14-21:** AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS 3.412± ACRES OF LAND LOCATED AT 17901 MARSH ROAD ON THE NORTH SIDE OF MARSH ROAD AT THE WESTERN BOUNDARY OF ORANGE COUNTY

FROM ORANGE RURAL TO CITY URBAN VILLAGE; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE

City Attorney Ardaman read Ordinance 14-20 and 14-21 by title only. Community Development Director Williams stated that this is voluntary annexation and a future land use map amendment designation. This has been reviewed by staff and the Planning and Zoning Board and both recommend approval.

Mayor Rees opened the public hearing; hearing and seeing none, he closed the public hearing.

Motion by Commissioner Sharman to adopt Ordinance 14-20 and 14-21. Seconded by Commissioner Olszewski and carried unanimously 3-0.

- C. **Ordinance 14-28:** AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF WINTER GARDEN, FLORIDA VACATING DRAINAGE AND UTILITY EASEMENTS OVER THE SOUTHERN FIVE FEET OF LOT 6 AND THE NORTHERN FIVE FEET OF LOT 7, LESS THE WESTERN TEN FEET AND LESS THE EASTERN FIVE FEET THEREOF, WINTER GARDEN COMMERCE CENTER PHASE I, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 72, PAGES 133 AND 134 OF THE PUBLIC RECORDS OF ORANGE COUNTY (LOCATED AT 695 AND 711 GARDEN COMMERCE PARKWAY, WINTER GARDEN, FLORIDA) OWNED BY LOUIS L HUNTLEY ENTERPRISES, INC.; PROVIDING FOR AN EFFECTIVE DATE AND RECORDING (Thermo King)

City Attorney Ardaman read Ordinance 14-28 by title only. Community Development Director Williams stated that this applicant has purchased two lots which have a joint lot line and easements down the middle. He noted that this hearing is to remove that center lot line, combine the two lots into one, and remove the easements. Staff has reviewed this item and recommends approval.

Mayor Rees opened the public hearing; hearing and seeing none, he closed the public hearing.

Motion by Commissioner Olszewski to adopt Ordinance 14-28. Seconded by Commissioner Sharman and carried unanimously 3-0.

4. **REGULAR BUSINESS**

- A. **Recommendation to approve bids and award contract to DeWitt Excavating, Inc. for Avalon Road and State Road 50 Improvements Project for a total project amount of \$192,271.75, that includes a ten percent contingency**

Assistant City Manager / Public Services Cochran stated that staff requests approval of the bids submitted and award the contract for the Avalon Road and State Road 50 improvements project. He noted that on June 13, 2014, the City received bids for this

project with DeWitt Excavating being the lowest qualified bidder at \$174,792.50. The engineer of record recommends DeWitt Excavating as the low bidder. They have also stated that the company has resources to complete the job satisfactorily. Staff recommends the approval of the bid and the awarding of the contract to DeWitt Excavating, Inc. with a ten percent contingency, bringing the total amount of the project to \$192,271.75.

Commissioner Sharman asked about only receiving two bidders for this contract. Mr. Cochran offered that he is unaware of why only two companies responded and speculated the possibility that because the City's bid manual allowed less than 21 days to place a bid. It may have been missed in the newspaper. City Manager Bollhoefer noted that the City expedited this project because it needed to be completed before school started. Commissioner Sharman noted that he was curious because when the industry picks up and bidders begin answering with a no bid because they are too busy, it means that prices will start to increase.

Motion by Commissioner Olszewski to approve bids and award contract to DeWitt Excavating, Inc. for Avalon Road and State Road 50 Improvements Project for a total project amount of \$192,271.75 that includes a ten percent contingency. Seconded by Commissioner Sharman and carried unanimously 3-0.

5. **MATTERS FROM PUBLIC** - There were no items.
6. **MATTERS FROM CITY ATTORNEY** – There were no items.
7. **MATTERS FROM CITY MANAGER**

City Manager Bollhoefer noted that he had distributed to the City Commission information on repair costs to Zanders Park. He noted that there has been some vandalism at the park and staff would like to repair the items. Heavy duty equipment will be brought in and the cost will be \$6,990.00. He noted that this item will be included in the interim budget but wants approval to start right away.

Motion by Commissioner Olszewski to approve making repairs in Zanders Park for up to \$6,990.00.

Commissioner Sharman asked if a wish list was required. Mr. Bollhoefer replied that he generally has people request everything they want and staff looks at what is absolutely critical. He noted that the other two items will be addressed at regular budget. Commissioner Sharman noted that he is okay with this but wanted to know what a vandal resistant water fountain is. Mr. Bollhoefer noted that there is nothing that is vandal proof, but it is harder to destroy.

Motion was seconded by Commissioner Sharman and carried unanimously 3-0.

8. **MATTERS FROM MAYOR AND COMMISSIONERS**

Commissioner Sharman stated that he attended a recent West Orange Chambers function and thanked Commissioner Olszewski for representation for the City of Winter Garden. He also noted that everything has been quiet in District 4.

City Manager Bollhoefer clarified the action taken on the downtown market (*426 W. Plant Street*) item addressed at last Commission meeting. He noted that there was no additional cash grants offered for the building. The Commission agreed to pay items that are for the public good as has been done in other places in the downtown area; for instance, it will be for sidewalks and lights.

Mayor Rees invited everyone to attend the July 4th kid's parade and asked that they come and have fun.

The meeting adjourned at 6:48 p.m.

APPROVED:

Mayor John Rees

ATTEST:

City Clerk Kathy Golden, CMC

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Ed Williams, Community Development Director

Via: City Manager Mike Bollhoefer

Date: July 1, 2014

Meeting Date: July 10, 2014

Subject: 426 W. Plant Street - REZONING
PLANT STREET MARKET
PARCEL IDs #23-22-27-2888-05-021

Issue: Proposal to rezone the property located at 426 West Plant Street from R-NC to C-1.

Discussion: Proposal to rezone the property located at 426 West Plant Street from R-NC to C-1.

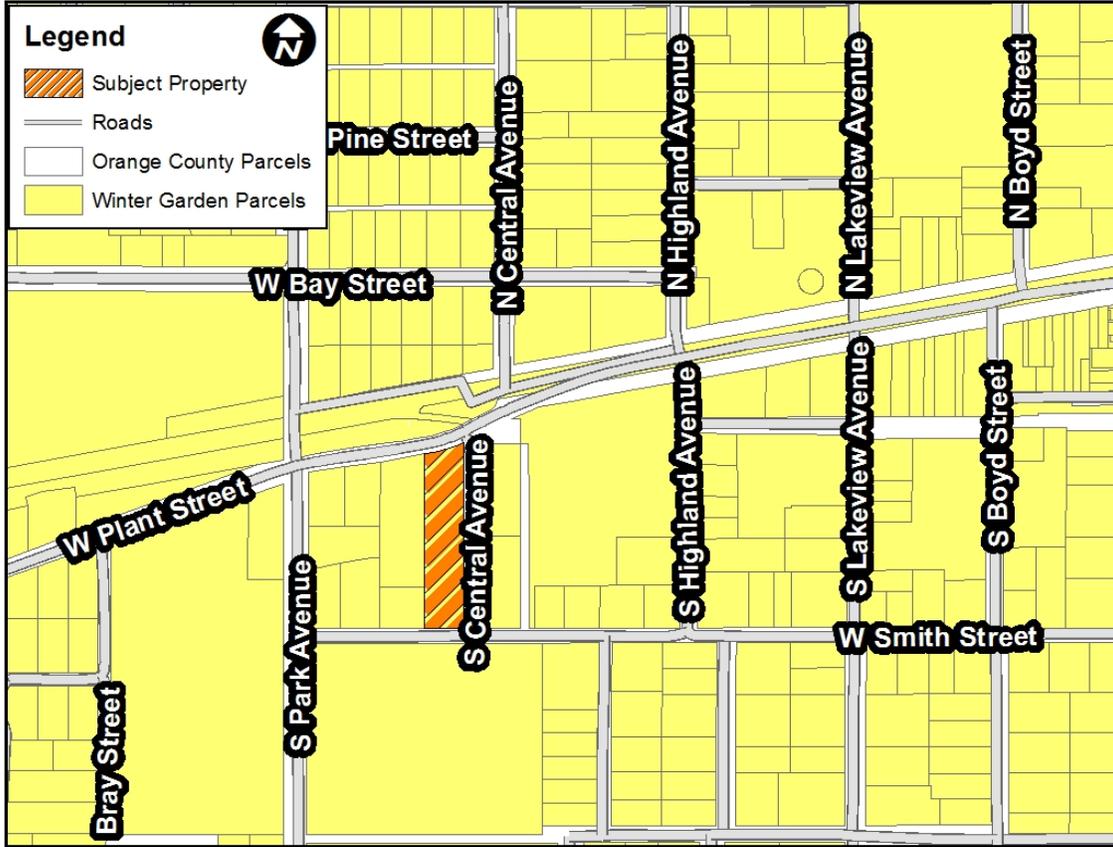
Recommended Action: City Staff recommend approval of Ordinance 14-11 rezoning 426 W. Plant Street from R-NC to C-1 with second reading to be scheduled for July 24, 2014.

Attachment(s)/References:

Location Map
Staff Report
Ordinance 14-11

LOCATION MAP

426 W Plant Street



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

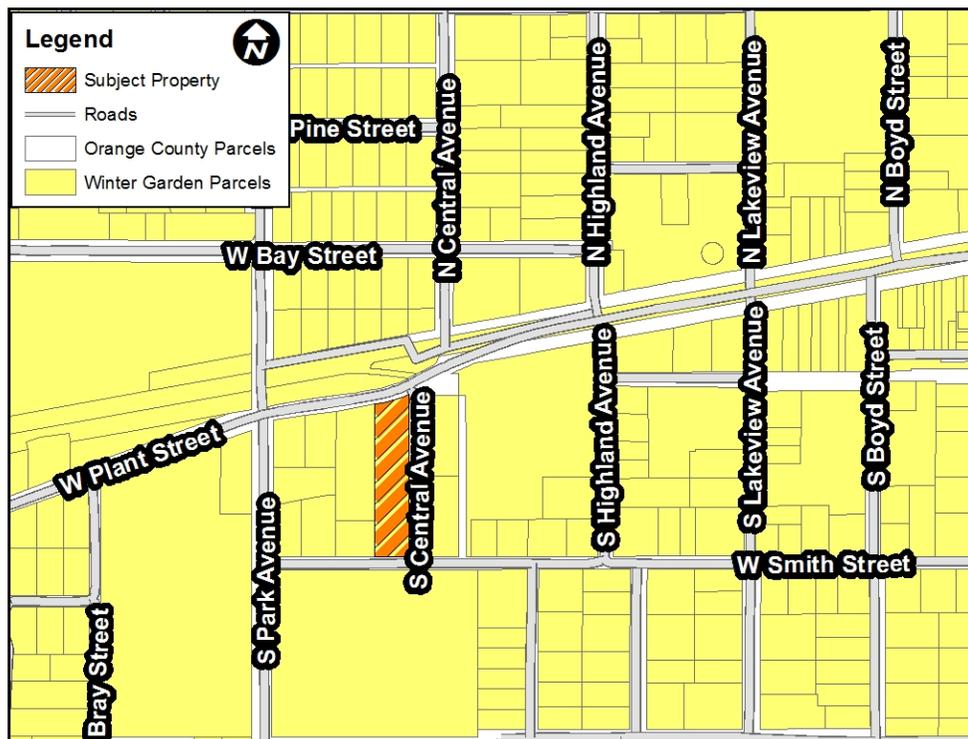
TO: PLANNING AND ZONING BOARD
PREPARED BY: LAURA SMITH, SENIOR PLANNER
DATE: JUNE 30, 2014
SUBJECT: REZONING
426 W. Plant Street (PLANT STREET MARKET)
PARCEL ID # 23-22-27-2888-05-021

APPLICANT: City of Winter Garden

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property, generally located at the southwest corner of the intersection of South Central Avenue and W. Plant Street at 426 W. Plant Street, is approximately .92± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The City, acting as applicant, is requesting to rezone .92± acre property which is located within the City of Winter Garden and carries a Future Land Use Designation of TD (Traditional Downtown) on the Future Land Use Map of the City's Comprehensive Plan from R-NC (Residential Neighborhood Commercial District) to C-1 (Central Commercial District).

EXISTING USE

The subject property contains 3 structures built in 1973 which have previously been used for apartments, but have been vacant for approximately six months. The buildings are all two stories and have a combine total square footage of 18,530 square feet.

ADJACENT LAND USE AND ZONING

The properties located to the north of the subject property are single family residences zoned R-2 in the City of Winter Garden. The properties located to the east and west of the subject property include a commercial office zoned R-NC and a single-family residence zoned R-NC. The property located to the south of the subject property is a city park zoned R-NC.

PROPOSED USE

The City has coordinated with the property owner to obtain approval from the Architectural Review and Historic Preservation Board to demolish the buildings and build a new 11,500 SF building with high ceilings to incorporate an artisan market facing Plant Street, a microbrewery located in the back of the building along Smith Street, and a tap room located in the middle of the building. There will be several outdoor patio areas. One of which will be situated directly on Plant Street to encourage pedestrian and bicycle activity. There will also be outdoor patio areas along the east side of the building taking advantage of the large oak trees that are located along Central Avenue.

SUMMARY

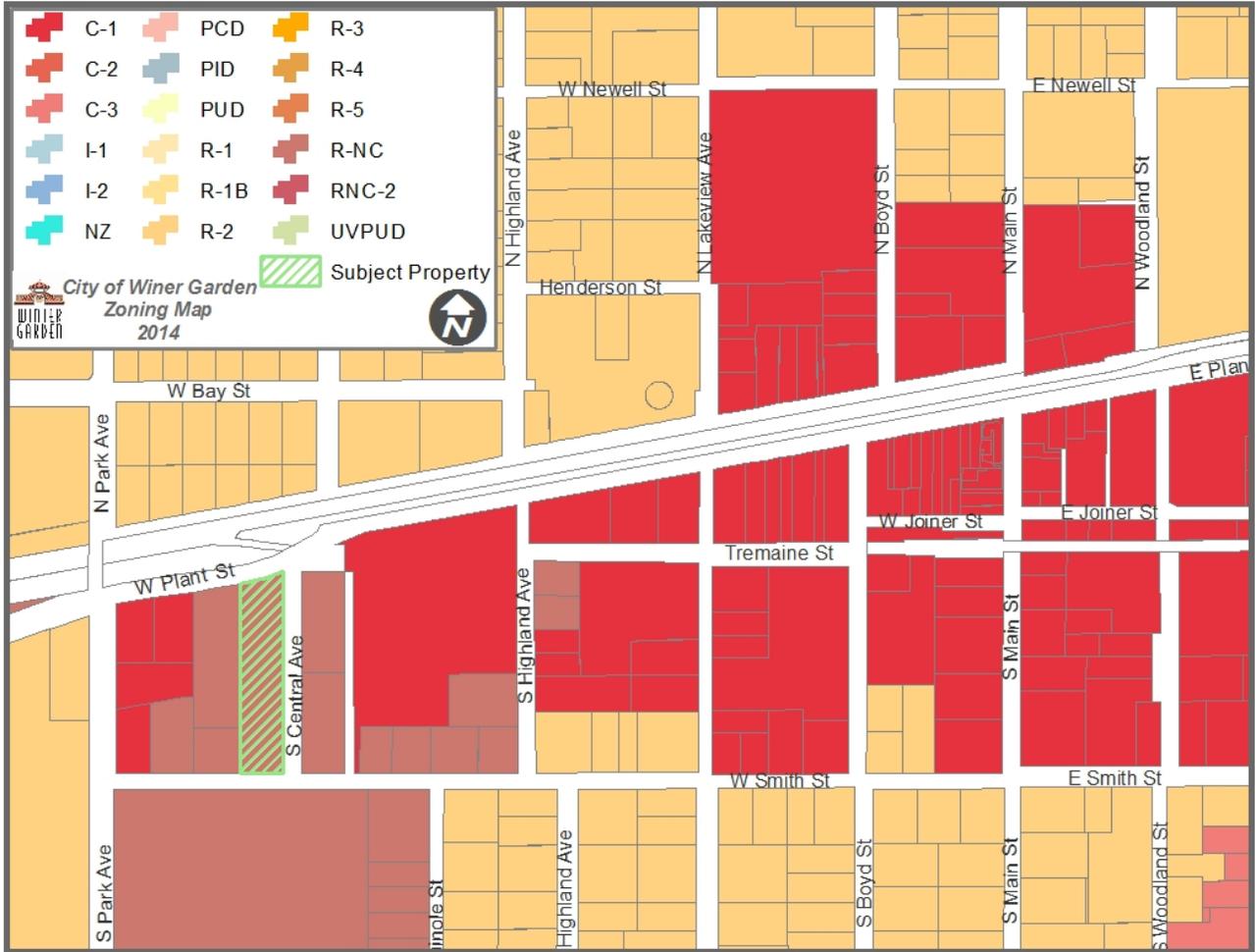
Staff recommends approval of the proposed Ordinance. Rezoning the subject property from R-NC to C-1 is consistent with the City's Comprehensive Plan and surrounding property uses.

MAPS

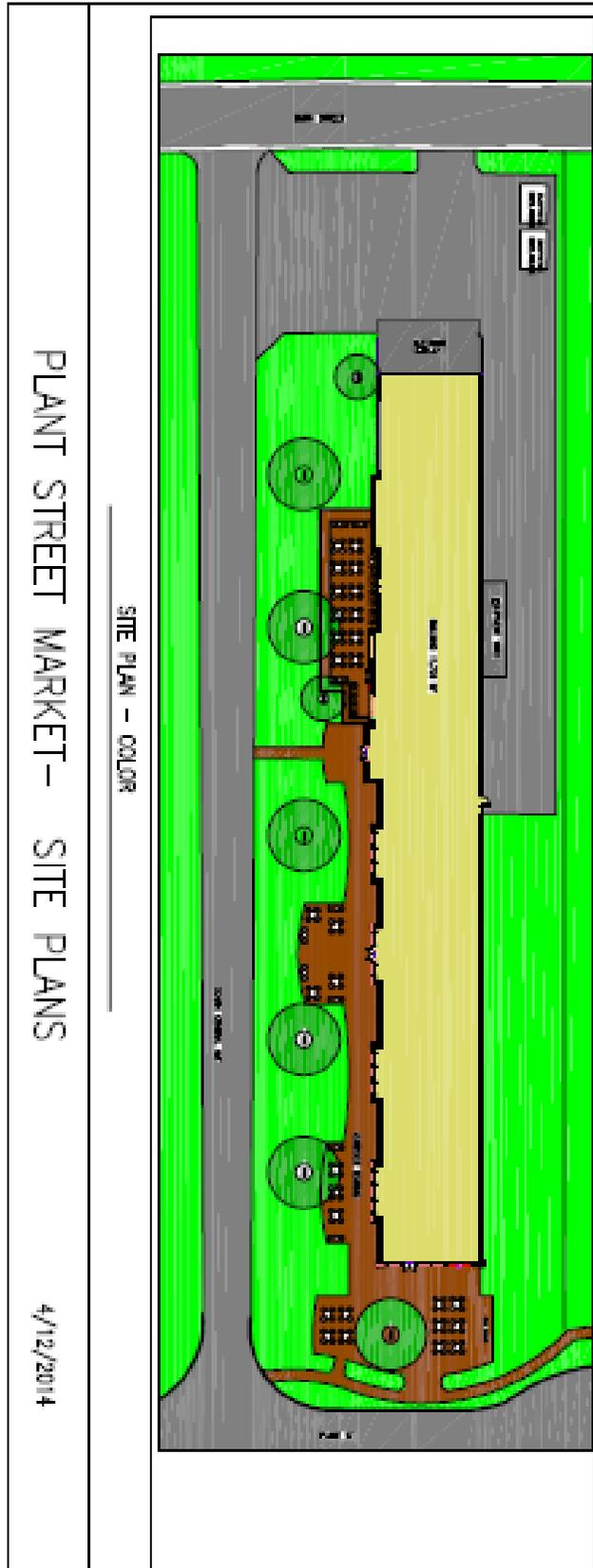
AERIAL PHOTO
426 W. Plant Street



ZONING MAP
426 W. Plant Street



**ARHP BOARD APPROVED SITE LAYOUT
426 W. Plant Street**



ARHP BOARD APPROVED EXTERIOR ALTERATION
426 W. Plant Street

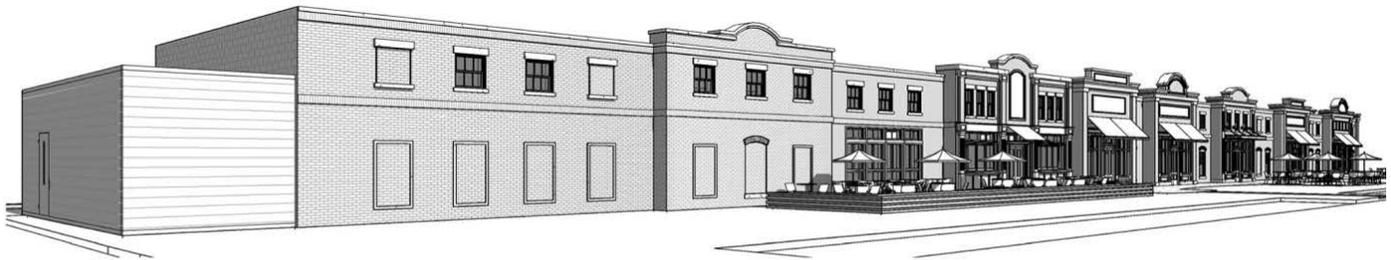


PLANT STREET PERSPECTIVE





CROOKED CAN BREWERY PERSPECTIVE



SOUTH CENTRAL PERSPECTIVE

END OF STAFF REPORT

ORDINANCE 14-11

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 0.92± ACRES OF LAND LOCATED AT 426 WEST PLANT STREET, FROM R-NC (RESIDENTIAL-NEIGHBORHOOD COMMERCIAL DISTRICT) TO C-1 (CENTRAL COMMERCIAL DISTRICT); PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Commission has the authority to regulate uses and zoning within its jurisdictional boundaries pursuant to Article VIII, § 2(b) of the Florida Constitution and Chapter 163 and 166, Florida Statutes;

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the rezoning approved by this Ordinance is consistent with the City of Winter Garden Comprehensive Plan; and

WHEREAS, further, the City Commission finds that based on competent, substantial evidence in the record, the rezoning approved by this Ordinance meets all applicable criteria for rezoning the Property to C-1 Central Commercial District contained within the City of Winter Garden Comprehensive Plan and the Code of Ordinances; therefore

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: Rezoning. The above "Whereas" clauses constitute findings by the City Commission. After due notice and public hearing, the zoning classification of real property legally described on Exhibit "A," is hereby rezoned from R-NC Residential-Neighborhood Commercial District to C-1 Central Commercial District in the City of Winter Garden, Florida.

SECTION 2: Zoning Map. The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION 3: Non-Severability. Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 4: Effective Date. This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2014.

SECOND READING AND PUBLIC HEARING: _____, 2014.

ADOPTED this _____ day of _____, 2014, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

KATHY GOLDEN, City Clerk

Exhibit "A"

LEGAL DESCRIPTION

PARCEL ID#: 23-22-27-2888-05-021

FRIES PLAT OF WINTER GARDEN E/16 LOT 2 (LESS W 105 FT) BLK E; being the same property as described by that certain warranty deed recorded at Official Records Book 10516, Page 5861, Public Records of Orange County, Florida.

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Ed Williams, Community Development Director

Via: City Manager Mike Bollhoefer

Date: July 3, 2014 **Meeting Date:** July 10, 2014

Subject: 17806 Marsh Road (Annexation & FLU Amendment)
Fischer Spears Property Annexation
Ordinance 14-22
Ordinance 14-23
PARCEL ID# 06-23-27-4288-08-350

Issue: The applicant is requesting Annexation and Future Lands Use designation on property located at 17806 Marsh Road.

Discussion: The City encourages infill of its jurisdictional limits through voluntary annexation of enclaves. The subject properties make up a 38.655 ± acre enclave located on the south side of Marsh Road at the western boundary of Orange County. The applicant has requested Annexation into the City and Amendment to the Future Land Use Map of the City's Comprehensive Plan to designate the property as Urban Village. (See attached Staff Report).

Recommended Action: Staff recommends approval of Ordinance 14-22 and Ordinance 14-23. The second reading will be scheduled after the proposed ordinances have been transmitted and reviewed by the Florida Department of Economic Opportunity.

Attachment(s)/References:

Location Map
Ordinance 14-22
Ordinance 14-23
Staff Report

Legend



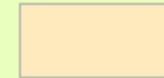
NOT TO SCALE



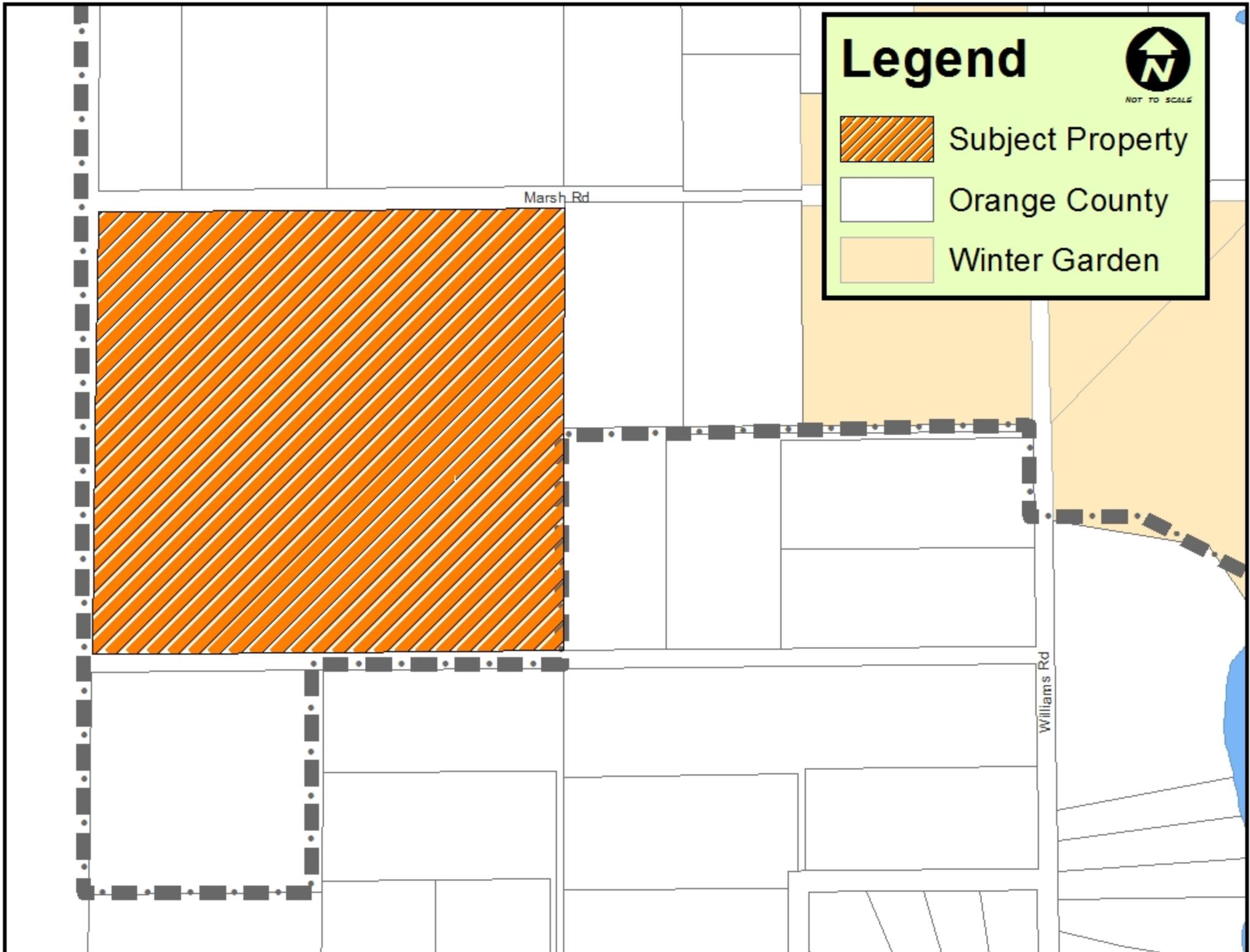
Subject Property



Orange County



Winter Garden



ORDINANCE 14-22

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA PROVIDING FOR THE ANNEXATION OF CERTAIN ADDITIONAL LANDS GENERALLY DESCRIBED AS APPROXIMATELY 38.655 ± ACRES LOCATED AT 17806 MARSH ROAD ON THE SOUTH SIDE OF MARSH ROAD AT THE WESTERN BOUNDARY OF ORANGE COUNTY INTO THE CITY OF WINTER GARDEN FLORIDA; REDEFINING THE CITY BOUNDARIES TO GIVE THE CITY JURISDICTION OVER SAID PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner of the land, generally described as approximately 38.655 ± acres located at 17806 Marsh Road on the south side of Marsh Road at the western boundary of Orange County and legally described in Section 2 of this Ordinance, which land is reasonably compact and contiguous to the corporate limits of the City of Winter Garden, Florida (“City”), has, pursuant to the prerequisites and standards set forth in § 171.044, Fla. Stat., petitioned the City Commission for voluntary annexation;

WHEREAS, the petition for voluntary annexation referenced herein bears the signatures of all owners of the property or properties described in Section 2 of this Ordinance (*i.e.*, the property or properties to be annexed); and

WHEREAS, the City has determined that the property described in Section 2 of this Ordinance is located in an unincorporated area of the County and that annexation of such property will not result in the creation of an enclave.

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: *Annexation.* That the City Commission through its Planning and Zoning Board has conducted an investigation to determine whether the described property meets the prerequisites and standards set forth in Chapter 171, Fla. Stat. and has held a public hearing and said petition and made certain findings.

SECTION 2: *Description of Area Annexed.* That, after said public hearing and having found such petition meets said prerequisites and standards, the property legally defined in ATTACHMENT “A” and graphically shown on the attached map shall be annexed into the City of Winter Garden, Florida.

SECTION 3: *Effect of Annexation.* That the City of Winter Garden, Florida, shall have all of the power, authority, and jurisdiction over and within the land as described in Section 2 hereof, and the inhabitants thereof, and property therein, as it does and have over its present corporate limits and laws, ordinances, and resolutions of said City shall

apply and shall have equal force and effect as if all territory had been part of said City at the time of the passage of such laws, ordinances, and resolutions.

SECTION 4: *Apportionment of Debts and Taxes.* Pursuant to § 171.061, Fla. Stat., the area annexed to the City shall be subject to all taxes and debts of the City upon the effective date of annexation. However, the annexed area shall not be subject to municipal ad valorem taxation for the current year if the effective date of the annexation falls after the City levies such tax.

SECTION 5: *Instructions to Clerk.* Within seven (7) days following the adoption of this Ordinance, the City Clerk or his/her designee is directed to file a copy of this ordinance, including ATTACHMENT "A" hereto, with the clerk of the circuit court and the chief administrative officer of Orange County as required by § 171.044(3), Fla. Stat.

SECTION 6: *Severability.* Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

SECTION 7: *Effective Date.* This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2014.

SECOND READING AND PUBLIC HEARING: _____, 2014.

ADOPTED this _____ day of _____, 2014, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

KATHY GOLDEN, City Clerk

ATTACHMENT "A"

LEGAL DESCRIPTION

DESCRIPTION:

LOTS 35H THROUGH 38H, LESS THE NORTH 15 FEET OF LOTS 35H AND 36H FOR ROAD RIGHT OF WAY, LAKE AVALON GROVES REPLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK H, PAGE 81 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF SECTION 6, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA; THENCE RUN S00°50'50"W ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 30.01 FEET; THENCE LEAVING SAID WEST LINE RUN N89°28'15"E, 25.01 FEET TO THE POINT OF BEGINNING, SAID POINT ALSO BEING ON THE WEST LINE OF LOT 36H, LAKE AVALON GROVES REPLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK H, PAGE 81 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE CONTINUE N89°28'15"E ALONG THE SOUTH LINE OF MARSH ROAD, 1324.45 FEET TO THE EAST LINE OF LOT 35H OF SAID LAKE AVALON GROVES REPLAT; THENCE RUN S00°03'00"W 1261.65 FEET TO THE SOUTHEAST CORNER OF LOT 38H OF SAID LAKE AVALON GROVES REPLAT; THENCE RUN S89°21'12"W 1342.08 FEET TO THE SOUTHWEST CORNER OF LOT 37H OF SAID LAKE AVALON GROVES REPLAT; THENCE RUN N00°50'50"E 1264.70 FEET TO THE POINT OF BEGINNING.

CONTAINING 38.655 ACRES, MORE OR LESS.

ORDINANCE 14-23

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS 38.655 ± ACRES LOCATED AT 17806 MARSH ROAD ON THE SOUTH SIDE OF MARSH ROAD AT THE WESTERN BOUNDARY OF ORANGE COUNTY FROM ORANGE COUNTY VILLAGE TO CITY URBAN VILLAGE; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, on the 13th of June, 1991, the City Commission of the City of Winter Garden adopted Ordinance 91-16 which adopted a new Comprehensive Plan for the City of Winter Garden, and on the 24th of June, 2010, the City Commission of the City of Winter Garden adopted Ordinance 10-19 readopting and amending the Comprehensive Plan for the City of Winter Garden;

WHEREAS, the owner of that certain real property generally described as 38.655 ± acres located at 17806 Marsh Road on the south side of Marsh Road at the western boundary of Orange County, and legally described in ATTACHMENT "A" (the "Property") has petitioned the City to amend the Winter Garden Comprehensive Plan to change the Future Land Use classification from Orange County Village to City Urban Village; and

WHEREAS, the City of Winter Garden's Local Planning Agency and City Commission have conducted the prerequisite advertised public hearings pursuant to Chapter 163, Florida Statutes, regarding the adoption of this ordinance; now, therefore,

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION I. *FLUM Amendment.* The City of Winter Garden hereby amends the Future Land Use Map of the City of Winter Garden Comprehensive Plan by designating the aforesaid Property to City Urban Village as set forth in ATTACHMENT "B".

SECTION II. *Effective Date.* Provided that the Property described herein is annexed into the City of Winter Garden pursuant to Ordinance 14-22, this Ordinance shall become effective 31 days after adoption, unless the Ordinance is timely challenged pursuant to § 163.3187(5), Fla. Stat., in which case, the Ordinance shall not be effective until the state land planning agency or the Administrative Commission, respectively, issues a final order determining that the adopted Ordinance is in compliance.

SECTION III. Severability. Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

FIRST READING AND PUBLIC HEARING: _____, 2014.

SECOND READING AND PUBLIC HEARING: _____, 2014.

ADOPTED this _____ day of _____, 2014, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

KATHY GOLDEN, City Clerk

ATTACHMENT "A"

LEGAL DESCRIPTION

DESCRIPTION:

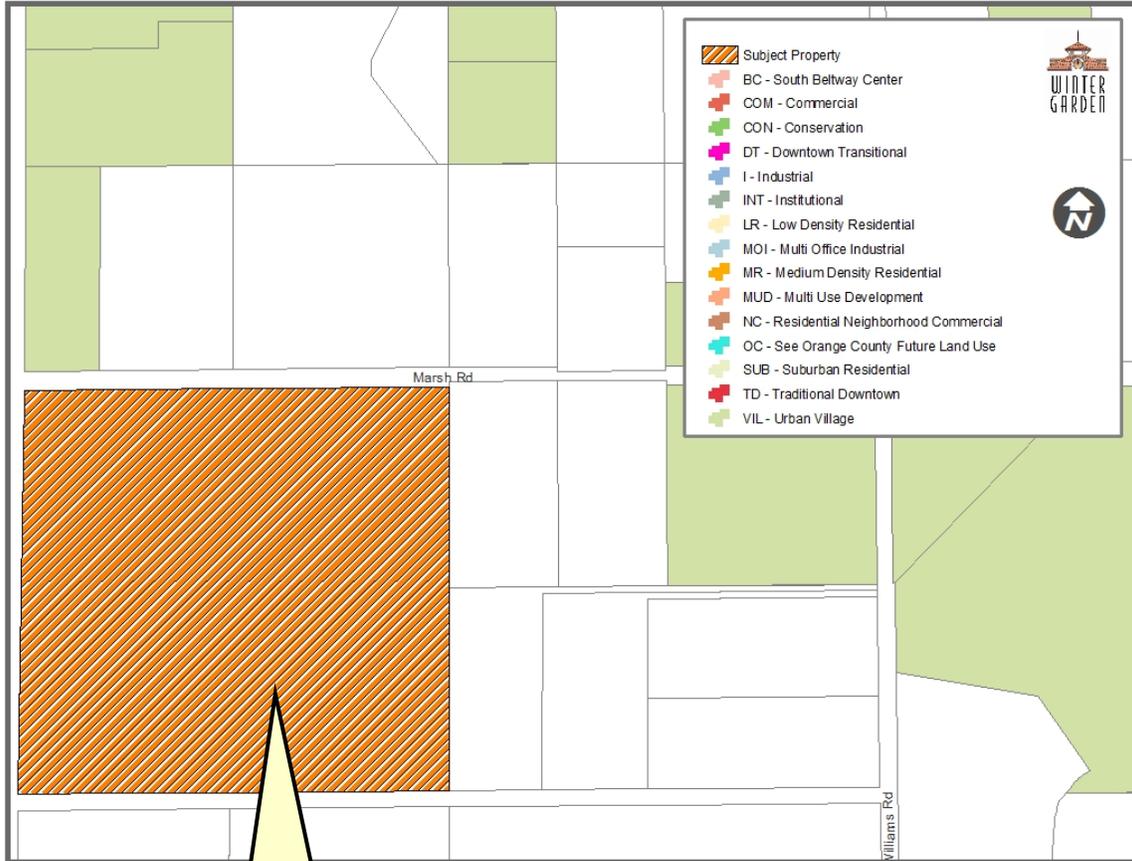
LOTS 35H THROUGH 38H, LESS THE NORTH 15 FEET OF LOTS 35H AND 36H FOR ROAD RIGHT OF WAY, LAKE AVALON GROVES REPLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK H, PAGE 81 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF SECTION 6, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA; THENCE RUN S00°50'50"W ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 30.01 FEET; THENCE LEAVING SAID WEST LINE RUN N89°28'15"E, 25.01 FEET TO THE POINT OF BEGINNING, SAID POINT ALSO BEING ON THE WEST LINE OF LOT 36H, LAKE AVALON GROVES REPLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK H, PAGE 81 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE CONTINUE N89°28'15"E ALONG THE SOUTH LINE OF MARSH ROAD, 1324.45 FEET TO THE EAST LINE OF LOT 35H OF SAID LAKE AVALON GROVES REPLAT; THENCE RUN S00°03'00"W 1261.65 FEET TO THE SOUTHEAST CORNER OF LOT 38H OF SAID LAKE AVALON GROVES REPLAT; THENCE RUN S89°21'12"W 1342.08 FEET TO THE SOUTHWEST CORNER OF LOT 37H OF SAID LAKE AVALON GROVES REPLAT; THENCE RUN N00°50'50"E 1264.70 FEET TO THE POINT OF BEGINNING.

CONTAINING 38.655 ACRES, MORE OR LESS.

ATTACHMENT "B"

FUTURE LAND USE MAP

17806 Marsh Road



Subject property changed from Orange County Village to City Urban Village

CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

TO: PLANNING AND ZONING BOARD

PREPARED BY: STEVE PASH, SENIOR PLANNER

DATE: July 7, 2014

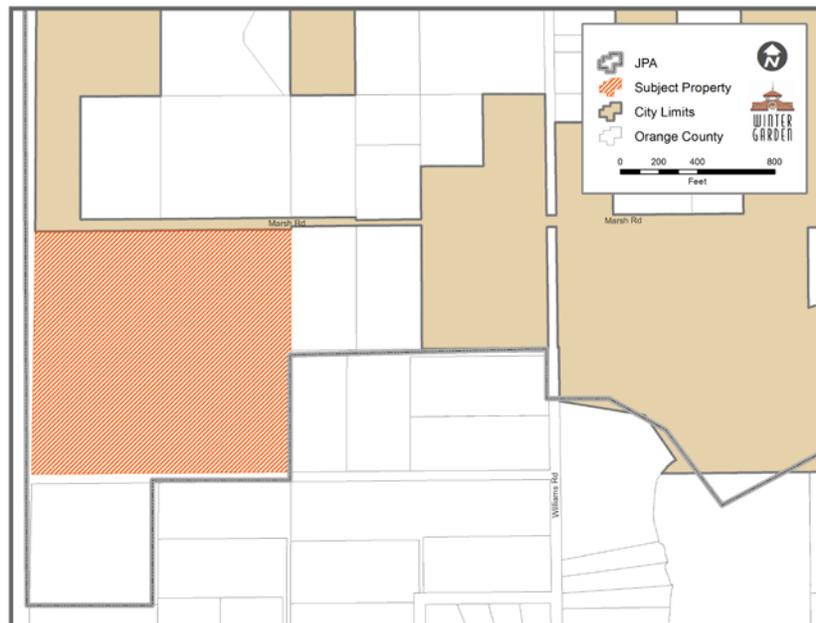
SUBJECT: ANNEXATION/FUTURE LAND USE MAP AMENDMENT
FISCHER SPEARS PROPERTY (38.655 +/- ACRES)
Parcel ID # 06-23-27-4288-08-350 – 17806 Marsh Road

APPLICANT: Fischer Everette H Family Limited Partnership 2/3 Int, Spears Charles E
Spears Ann 1/3 Int

INTRODUCTION

The purpose of this report is to evaluate the proposed annexation and future land use map amendment for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located on the south side of Marsh Road at the western boundary of Orange County and is approximately 38.655 +/- acres. The map below depicts the location of the property within the City's jurisdictional limits:



The applicant has requested annexation into the City and amendment to the Future Land Use Map (FLUM) of the City's Comprehensive Plan to designate the property as Urban Village.

In accordance with the City's Comprehensive Plan, permitted uses within the Urban Village land use include single family homes and churches and schools. The zoning classifications that are consistent with the Urban Village land use designation include Urban Village PUD and INT.

The City endorses infill of its jurisdictional limits through voluntary annexation of enclaves. The elimination of enclaves through voluntary annexation furthers the goals, objectives, and policies of the City's Comprehensive Plan..

The City's Comprehensive Plan policy for the future land use designation of Urban Village states:

Policy 1-1.2.12: Urban Village. Properties designated with the Urban Village land use category are required to be developed at a floor area ratio not greater than 0.3, and a residential density not greater than 4 dwelling units per acre, except in the Village Center where the residential density shall be not greater than 12 units per acre. This land use designation is limited to those 658 ± acres identified on Figure 1.2. These parcels are located within the JPA-6 area as shown on Exhibit —B|| of the Sixth Amendment to the Restated Interlocal Agreement for Joint Planning Area Between Orange County and the City of Winter Garden, Dated January 24, 2007 and were formally part of the Horizon West development in unincorporated Orange County that proposed the same type of development. Development in this area shall be characterized by a community Village structure that includes a Village, Village Center, and neighborhoods that may vary in size to facilitate recreation and pedestrian traffic while preserving natural systems and shall follow the development program below:

Use	Acres	Amount
Residential	531 ±	2,140
Commercial	20 ±	115,000 Sq Ft
Natural	107 ±	N/A

Notes: All parcel acreages and natural delineations are estimated.

Actual determination of acreage shall be made at time of the PUD rezoning.

Development in this land use shall also be subject to the regulations found in the Urban Village PUD zoning designation. The zoning classifications that is consistent with the Urban Village land use designation is the Urban Village PUD and INT.

EXISTING USE

The property is mainly planted pines and has been used for agricultural uses.

ADJACENT LAND USE AND ZONING

To the north of the property are two properties that are developed as single family homes, one of

which was recently annexed into the City and another property that is planted pines. To the south is a property with an orange grove (being annexed into the City of Winter Garden) and a lot with a single family home in unincorporated Orange County with A-1 zoning. To the east are two lots with single family homes, zoned A-1, and located in unincorporated Orange County. To the west of the property is an orange grove, located in Lake County.

PROPOSED USE

There is no current proposal to develop the property and the agricultural use will remain. When the owner decides to develop the property, they will be required to submit an application for Urban Village Planned Unit Development.

PUBLIC FACILITY ANALYSIS

The property's primary point of transportation access is from Marsh Road. The existing property access is in several locations along Marsh Road, and any future connections will be analyzed when they submit for the UVPUD.

The City will provide potable water, reclaimed water, and sewer service to the property. When the property is developed, the owners will be required to install these facilities to the property.

The City will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents including building permits. The property will be served by both Orange County Fire and Rescue and the City Fire Department under the First Response system.

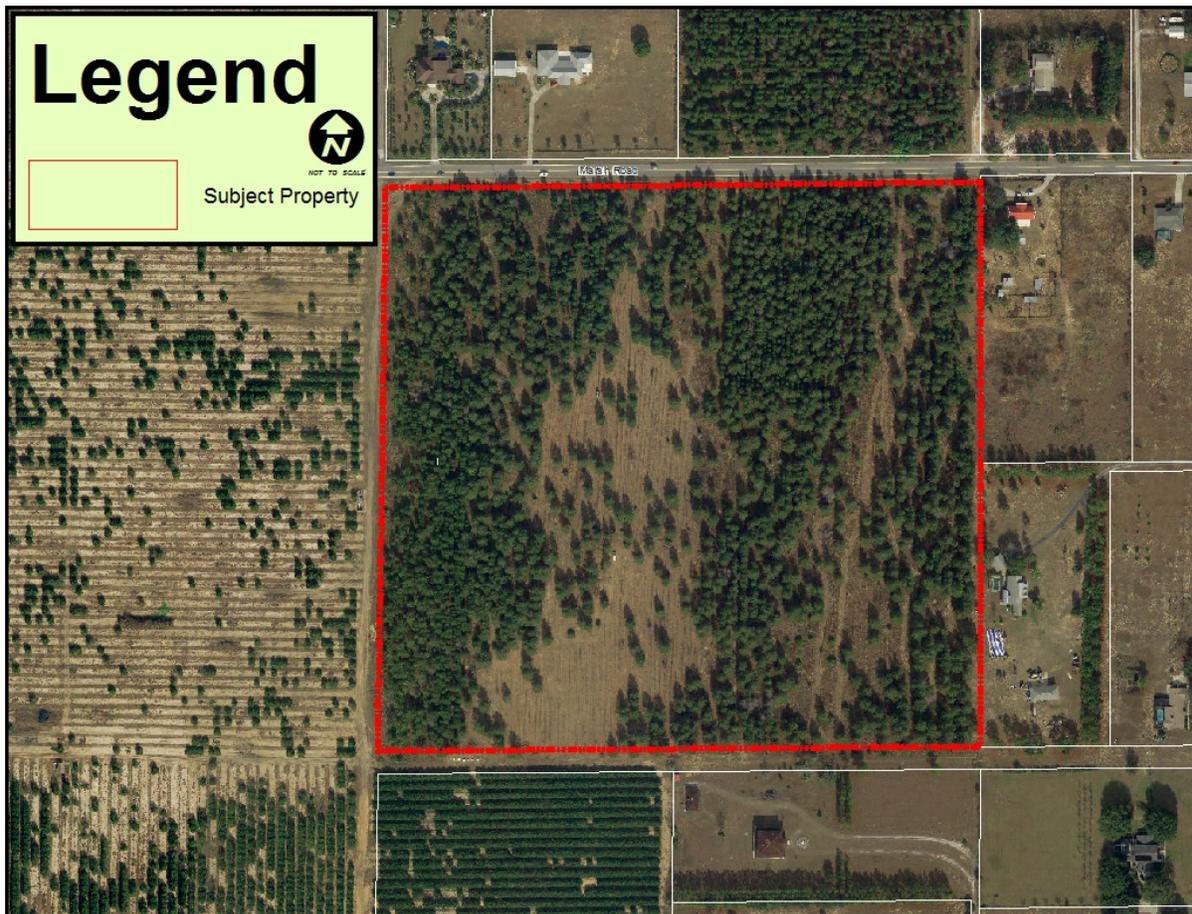
SUMMARY

The City Planning Department has reviewed the proposed ordinances and recommends approval.

MAPS

AERIAL PHOTO

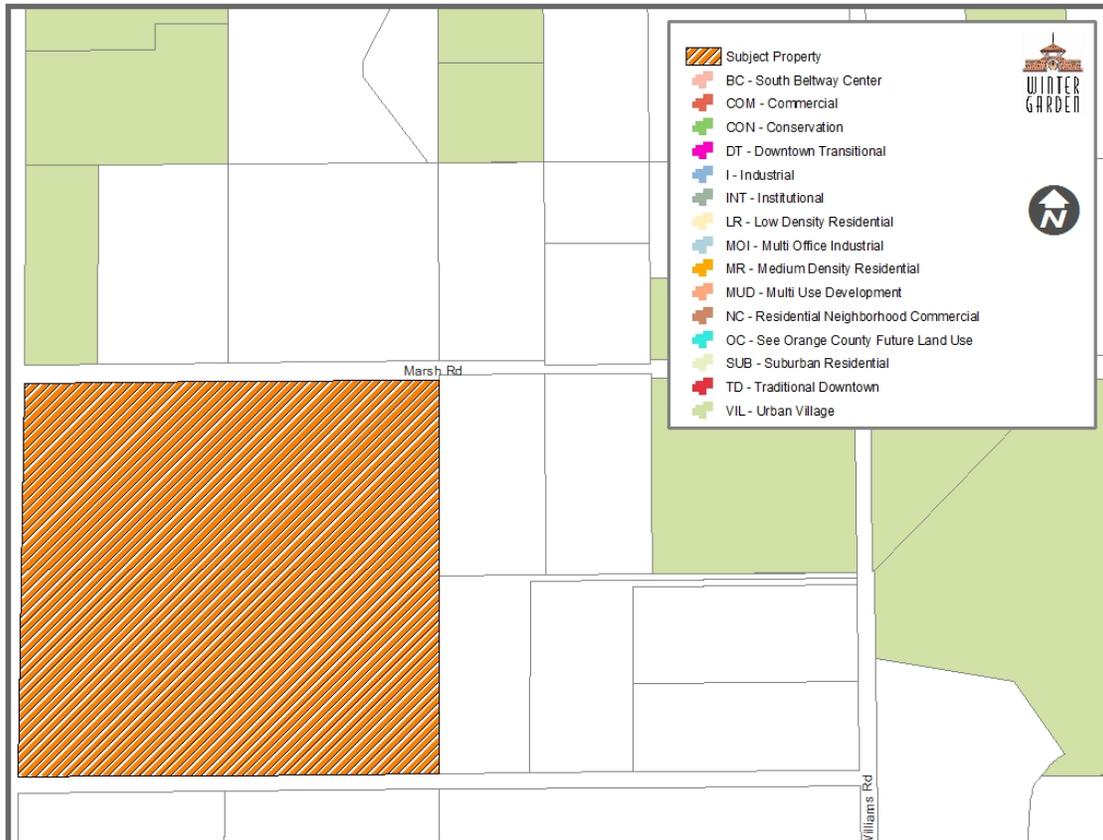
17806 Marsh Road



**WINTER GARDEN
FUTURE LAND USE MAP**

EXISTING

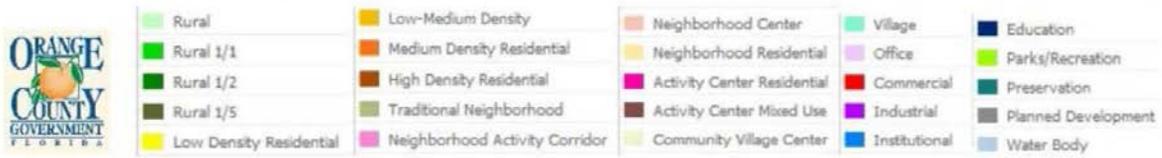
17806 Marsh Road



**ORANGE COUNTY
 FUTURE LAND USE MAP**

EXISTING

16846, 17000, & 17166 Marsh Road

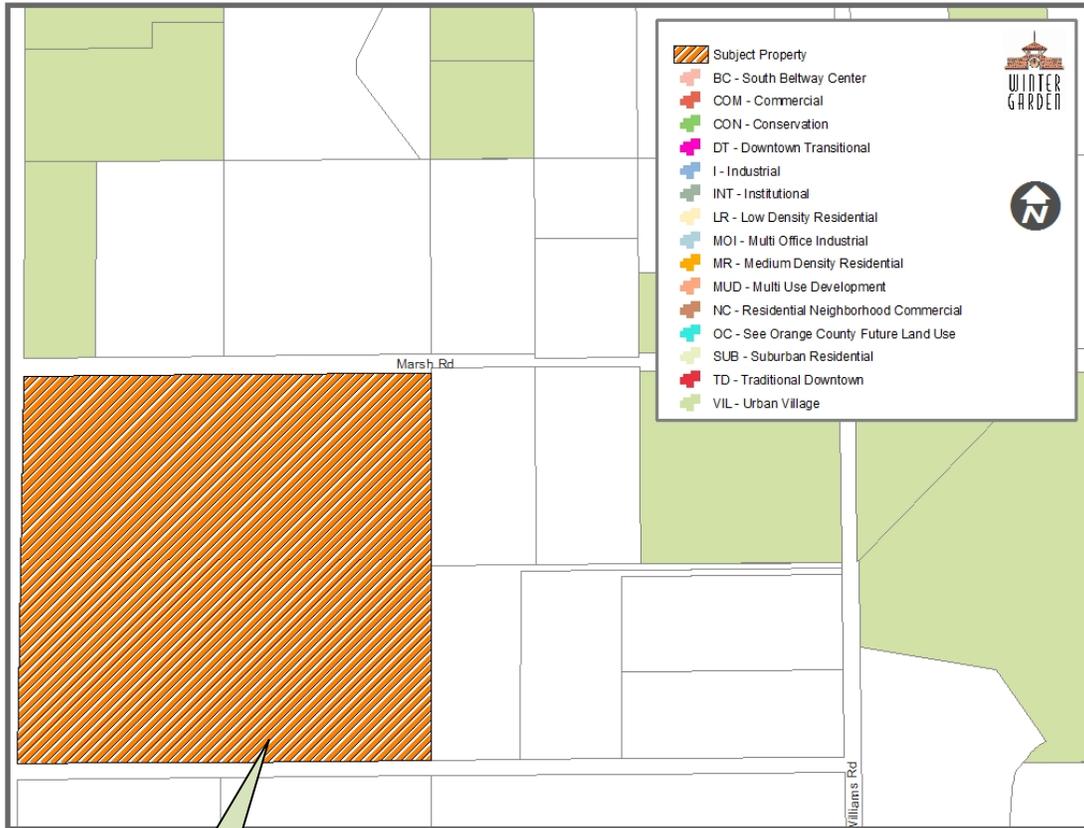


WINTER GARDEN

FUTURE LAND USE MAP

PROPOSED

17806 Marsh Road



Proposed Urban
Village Land Use
Designation

**WINTER GARDEN
ZONING MAP**

CURRENT

17806 Marsh Road



END OF STAFF REPORT

Legend



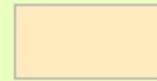
NOT TO SCALE



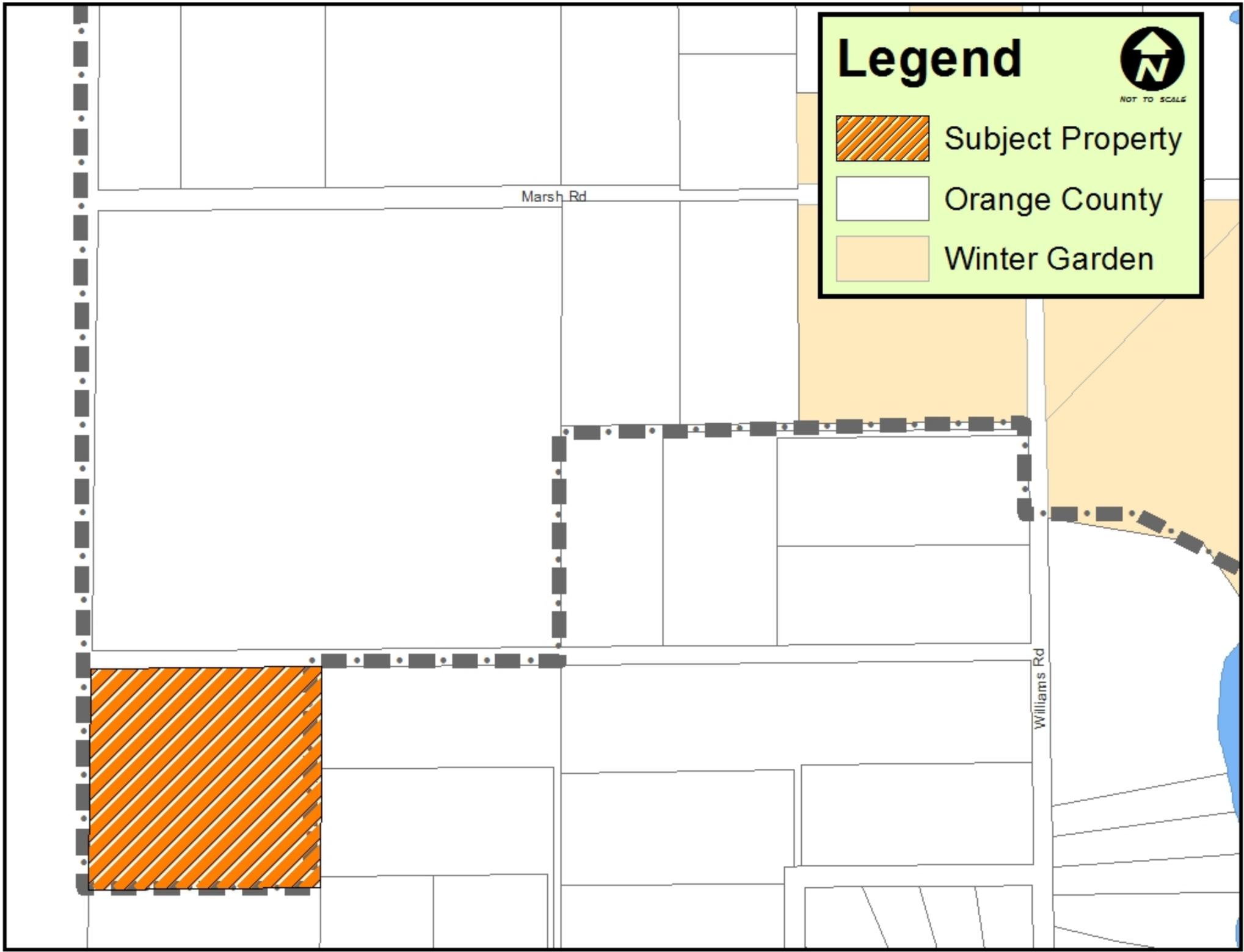
Subject Property



Orange County



Winter Garden



ORDINANCE 14-24

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA PROVIDING FOR THE ANNEXATION OF CERTAIN ADDITIONAL LANDS GENERALLY DESCRIBED AS APPROXIMATELY 9.527 ± ACRES LOCATED ON THE SOUTH SIDE OF SEIDNER ROAD AT THE WESTERN BOUNDARY OF ORANGE COUNTY INTO THE CITY OF WINTER GARDEN FLORIDA; REDEFINING THE CITY BOUNDARIES TO GIVE THE CITY JURISDICTION OVER SAID PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner of the land, generally described as approximately 9.527 ± acres located on the south side of Seidner Road at the western boundary of Orange County and legally described in Section 2 of this Ordinance, which land is reasonably compact and contiguous to the corporate limits of the City of Winter Garden, Florida (“City”), has, pursuant to the prerequisites and standards set forth in § 171.044, Fla. Stat., petitioned the City Commission for voluntary annexation;

WHEREAS, the petition for voluntary annexation referenced herein bears the signatures of all owners of the property or properties described in Section 2 of this Ordinance (*i.e.*, the property or properties to be annexed); and

WHEREAS, the City has determined that the property described in Section 2 of this Ordinance is located in an unincorporated area of the County and that annexation of such property will not result in the creation of an enclave.

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: *Annexation.* That the City Commission through its Planning and Zoning Board has conducted an investigation to determine whether the described property meets the prerequisites and standards set forth in Chapter 171, Fla. Stat. and has held a public hearing and said petition and made certain findings.

SECTION 2: *Description of Area Annexed.* That, after said public hearing and having found such petition meets said prerequisites and standards, the property legally defined in ATTACHMENT “A” and graphically shown on the attached map shall be annexed into the City of Winter Garden, Florida.

SECTION 3: *Effect of Annexation.* That the City of Winter Garden, Florida, shall have all of the power, authority, and jurisdiction over and within the land as described in Section 2 hereof, and the inhabitants thereof, and property therein, as it does and have over its present corporate limits and laws, ordinances, and resolutions of said City shall apply and shall have equal force and effect as if all territory had been part of said City at

the time of the passage of such laws, ordinances, and resolutions.

SECTION 4: *Apportionment of Debts and Taxes.* Pursuant to § 171.061, Fla. Stat., the area annexed to the City shall be subject to all taxes and debts of the City upon the effective date of annexation. However, the annexed area shall not be subject to municipal ad valorem taxation for the current year if the effective date of the annexation falls after the City levies such tax.

SECTION 5: *Instructions to Clerk.* Within seven (7) days following the adoption of this Ordinance, the City Clerk or his/her designee is directed to file a copy of this ordinance, including ATTACHMENT "A" hereto, with the clerk of the circuit court and the chief administrative officer of Orange County as required by § 171.044(3), Fla. Stat.

SECTION 6: *Severability.* Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

SECTION 7: *Effective Date.* This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2014.

SECOND READING AND PUBLIC HEARING: _____, 2014.

ADOPTED this _____ day of _____, 2014, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

KATHY GOLDEN, City Clerk

ATTACHMENT "A"

LEGAL DESCRIPTION

DESCRIPTION:

LOT 60H, LAKE AVALON GROVES REPLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK H, PAGE 81 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF SECTION 6, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA; THENCE RUN S00°50'50"W ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, 1344.78 FEET; THENCE LEAVING SAID WEST LINE RUN N89°21'12"E, 25.01 FEET TO THE POINT OF BEGINNING, SAID POINT ALSO BEING THE NORTHWEST CORNER OF LOT 60H, LAKE AVALON GROVES REPLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK H, PAGE 81 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE CONTINUE N89°21'12"E, 658.86 FEET TO THE NORTHEAST CORNER OF SAID LOT 60H; THENCE RUN S00°26'49"W, 628.48 FEET TO THE SOUTHEAST CORNER OF SAID LOT 60H; THENCE RUN S89°27'04"W, 663.22 FEET TO THE SOUTHWEST CORNER OF SAID LOT 60H; THENCE RUN N00°50'50"E, 627.45 FEET TO THE POINT OF BEGINNING.

CONTAINING 9.527 ACRES, MORE OR LESS.

ORDINANCE 14-25

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS 9.527 ± ACRES LOCATED ON THE SOUTH SIDE OF SEIDNER ROAD AT THE WESTERN BOUNDARY OF ORANGE COUNTY FROM ORANGE COUNTY VILLAGE TO CITY URBAN VILLAGE; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, on the 13th of June, 1991, the City Commission of the City of Winter Garden adopted Ordinance 91-16 which adopted a new Comprehensive Plan for the City of Winter Garden, and on the 24th of June, 2010, the City Commission of the City of Winter Garden adopted Ordinance 10-19 readopting and amending the Comprehensive Plan for the City of Winter Garden;

WHEREAS, the owner of that certain real property generally described as 9.527 ± acres located on the south side of Seidner Road at the western boundary of Orange County, and legally described in ATTACHMENT "A" (the "Property") has petitioned the City to amend the Winter Garden Comprehensive Plan to change the Future Land Use classification from Orange County Village to City Urban Village; and

WHEREAS, the City of Winter Garden's Local Planning Agency and City Commission have conducted the prerequisite advertised public hearings pursuant to Chapter 163, Florida Statutes, regarding the adoption of this ordinance; now, therefore,

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION I. *FLUM Amendment.* The City of Winter Garden hereby amends the Future Land Use Map of the City of Winter Garden Comprehensive Plan by designating the aforesaid Property to City Urban Village as set forth in ATTACHMENT "B".

SECTION II. *Effective Date.* Provided that the Property described herein is annexed into the City of Winter Garden pursuant to Ordinance 14-24, this Ordinance shall become effective 31 days after adoption, unless the Ordinance is timely challenged pursuant to § 163.3187(5), Fla. Stat., in which case, the Ordinance shall not be effective until the state land planning agency or the Administrative Commission, respectively, issues a final order determining that the adopted Ordinance is in compliance.

SECTION III. Severability. Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

FIRST READING AND PUBLIC HEARING: _____, 2014.

SECOND READING AND PUBLIC HEARING: _____, 2014.

ADOPTED this _____ day of _____, 2014, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

KATHY GOLDEN, City Clerk

ATTACHMENT "A"

LEGAL DESCRIPTION

DESCRIPTION:

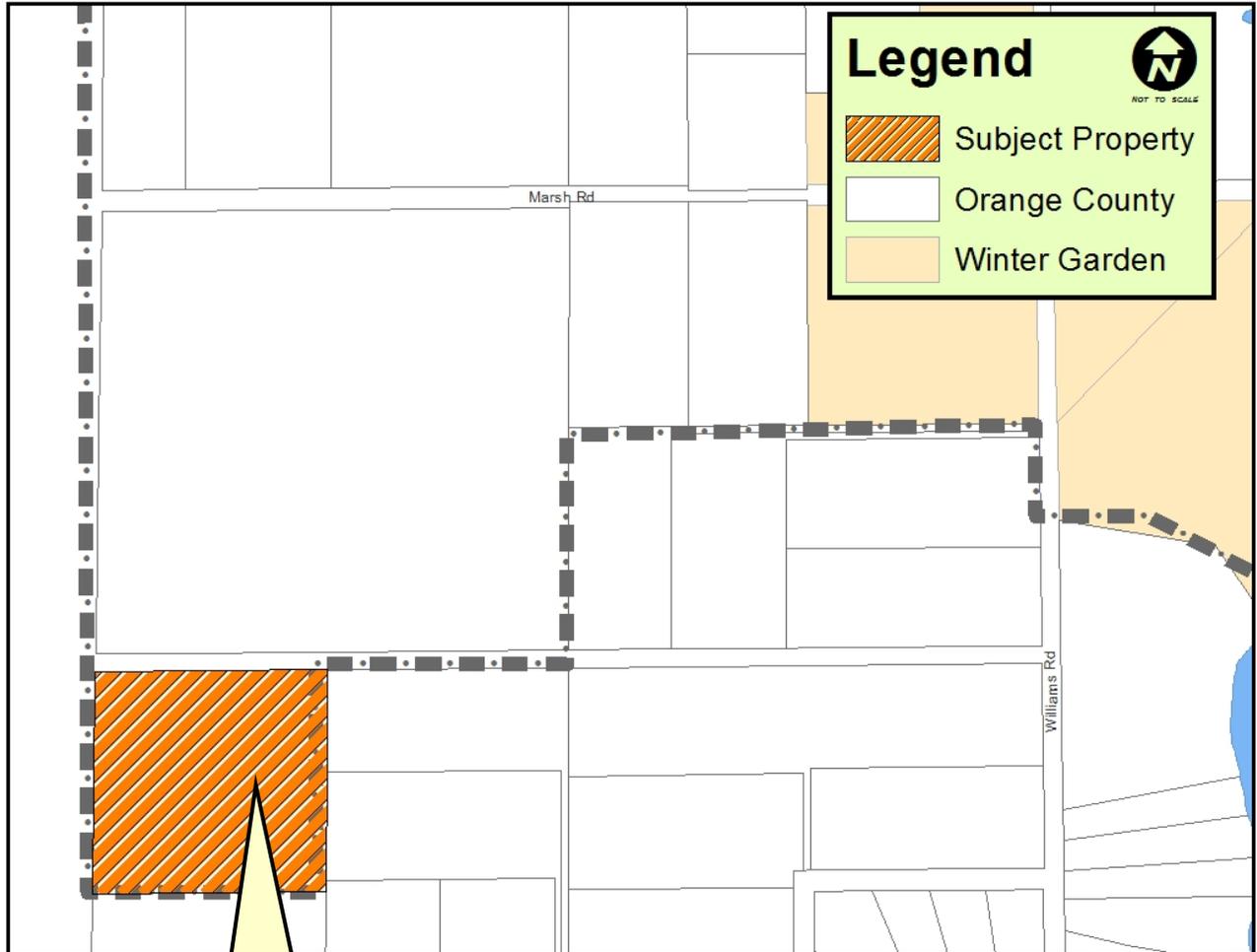
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CONTAINING 9.527 ACRES, MORE OR LESS.

ATTACHMENT "B"

FUTURE LAND USE MAP

Seidner Road



Subject property changed from Orange County Village to City Urban Village

CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

TO: PLANNING AND ZONING BOARD

PREPARED BY: STEVE PASH, SENIOR PLANNER

DATE: JULY 7, 2014

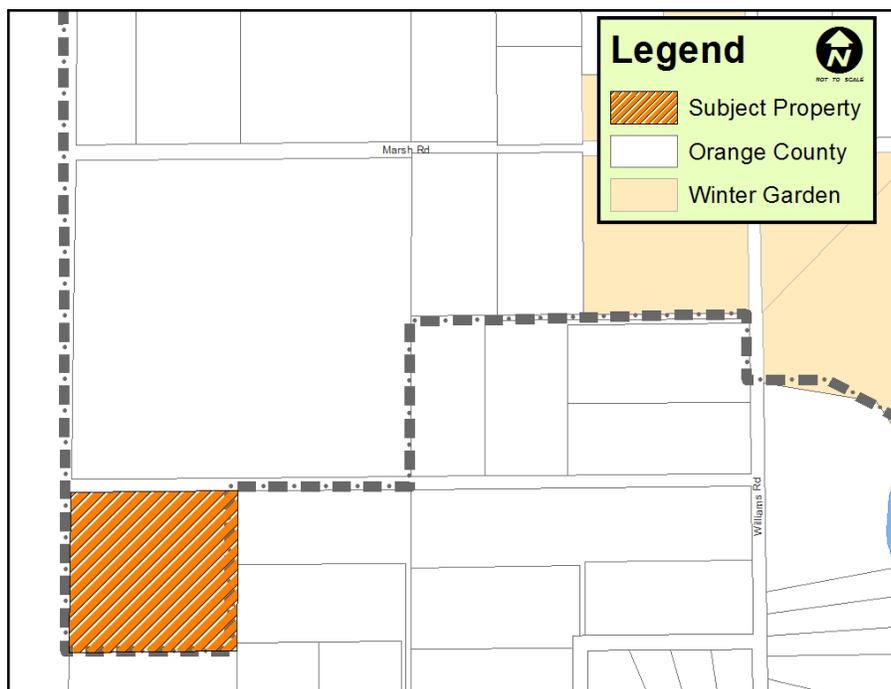
SUBJECT: ANNEXATION/FUTURE LAND USE MAP AMENDMENT
MCKINNON GROVES – SEIDNER ROAD (9.527 +/- ACRES)
Parcel ID # 06-23-27-4288-08-600 – Seidner Road

APPLICANT: MCKINNON GROVES, LLLP

INTRODUCTION

The purpose of this report is to evaluate the proposed annexation and future land use map amendment for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located on the south side of Seidner Road at the western boundary of Orange County and is approximately 9.527 +/- acres. The map below depicts the location of the property within the City's jurisdictional limits:



The applicant has requested annexation into the City and amendment to the Future Land Use Map (FLUM) of the City's Comprehensive Plan to designate the property as Urban Village.

In accordance with the City's Comprehensive Plan, permitted uses within the Urban Village land use include single family homes and churches and schools. The zoning classifications that are consistent with the Urban Village land use designation include Urban Village PUD and INT.

The City endorses infill of its jurisdictional limits through voluntary annexation of enclaves. The elimination of enclaves through voluntary annexation furthers the goals, objectives, and policies of the City's Comprehensive Plan..

The City's Comprehensive Plan policy for the future land use designation of Urban Village states:

Policy 1-1.2.12: Urban Village. Properties designated with the Urban Village land use category are required to be developed at a floor area ratio not greater than 0.3, and a residential density not greater than 4 dwelling units per acre, except in the Village Center where the residential density shall be not greater than 12 units per acre. This land use designation is limited to those 658 ± acres identified on Figure 1.2. These parcels are located within the JPA-6 area as shown on Exhibit —B|| of the Sixth Amendment to the Restated Interlocal Agreement for Joint Planning Area Between Orange County and the City of Winter Garden, Dated January 24, 2007 and were formally part of the Horizon West development in unincorporated Orange County that proposed the same type of development. Development in this area shall be characterized by a community Village structure that includes a Village, Village Center, and neighborhoods that may vary in size to facilitate recreation and pedestrian traffic while preserving natural systems and shall follow the development program below:

Use	Acres	Amount
Residential	531 ±	2,140
Commercial	20 ±	115,000 Sq Ft
Natural	107 ±	N/A

Notes: All parcel acreages and natural delineations are estimated.

Actual determination of acreage shall be made at time of the PUD rezoning.

Development in this land use shall also be subject to the regulations found in the Urban Village PUD zoning designation. The zoning classifications that is consistent with the Urban Village land use designation is the Urban Village PUD and INT.

EXISTING USE

The property is agricultural land that is planted with citrus trees.

ADJACENT LAND USE AND ZONING

To the north of the property is a property that contains planted pines, is being annexed into the City, and is proposed to have Urban Village Future Land Use. To the south is agricultural land in

unincorporated Orange County with A-1 zoning. To the east is a single-family home with A-1 zoning, located in Orange County. To the west of the property is agricultural land located in Lake County.

PROPOSED USE

The owners plan to continue using the property as a citrus farm. When the owner decides to develop the property, they will be required to submit an application for Urban Village Planned Unit Development.

PUBLIC FACILITY ANALYSIS

The existing property access is along Seidner, and any future connections will be analyzed when they submit for the UVPUD.

The City's potable water, reclaimed water, and sewer service can be installed by the property owner or a future owner when they want to develop in the future.

The City will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents including building permits. The property will be served by both Orange County Fire and Rescue and the City Fire Department under the First Response system.

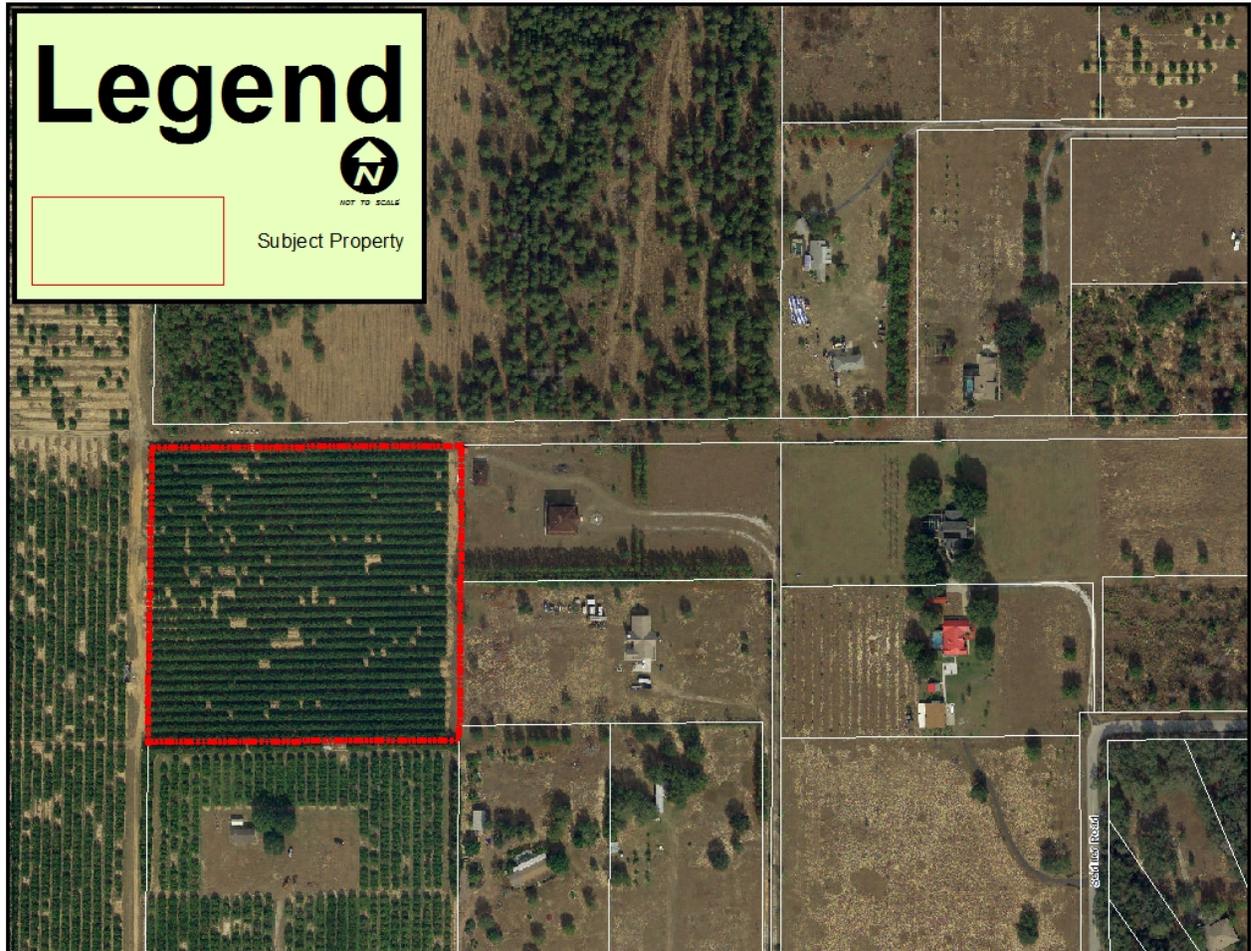
SUMMARY

The City Planning Department has reviewed the proposed ordinances and recommends approval.

MAPS

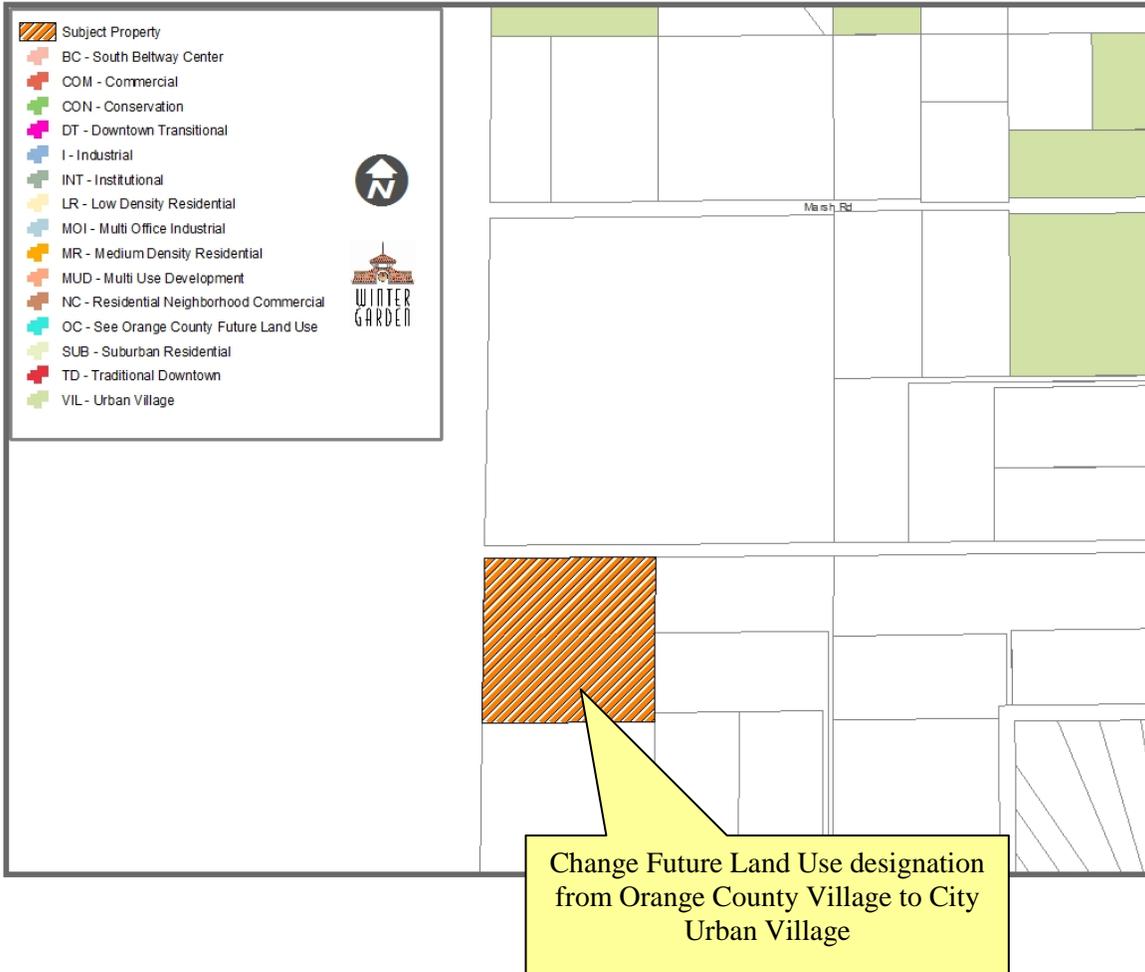
AERIAL PHOTO

Seidner Road



WINTER GARDEN FUTURE LAND USE MAP

Seidner Road



WINTER GARDEN ZONING MAP

Seidner Road



Change Zoning from
Orange County A-1 to
City NZ (No Zoning)

END OF STAFF REPORT

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Ed Williams, Community Development Director

Via: City Manager Mike Bollhoefer

Date: July 3, 2014 **Meeting Date:** July 10, 2014

Subject: 562 BEARD ROAD
BEARD ROAD SUBDIVISION
ORDINANCE 14-26
PARCEL ID# 26-22-27-0000-00-092

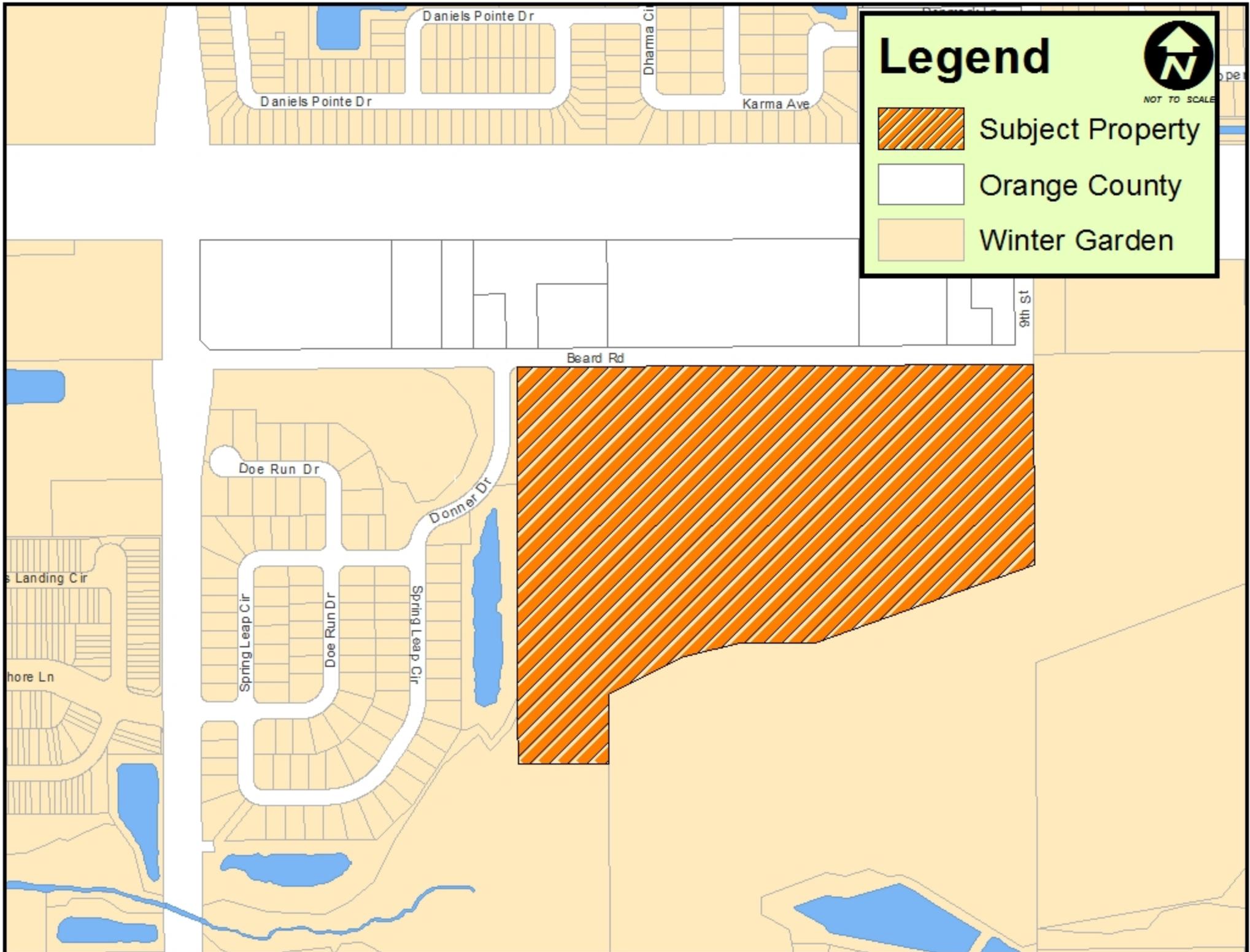
Issue: Applicant is requesting to rezone 33.79 +/- Acres of land. The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation R-1 and is designated Low Density Residential on the Future Land Use Map of the Comprehensive Plan.

Discussion:
The applicant is requesting to rezone the subject property from City R-1 to City PUD to develop the property with 77 single-family homes. The request is consistent with the Code of Ordinances, the City's Comprehensive Plan, and the surrounding property uses. (See attached Staff Report).

Recommended Action:
Staff recommends tabling Ordinance 14-26, rezoning 33.79 +/- acres located at 562 Beard Road until the August 24, 2014 meeting.

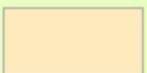
Attachment(s)/References:

Location Map
Ordinance 14-26
Staff Report



Legend

NOT TO SCALE

-  Subject Property
-  Orange County
-  Winter Garden

Daniels Pointe Dr

Dharma Ct

Karma Ave

Daniels Pointe Dr

Beard Rd

9th St

Doe Run Dr

Donner Dr

Spring Leap Cir

Doe Run Dr

Spring Leap Cir

Landing Cir

Shore Ln

ORDINANCE 14-26

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING APPROXIMATELY 33.79 ± ACRES OF REAL PROPERTY GENERALLY LOCATED AT 562 BEARD ROAD LOCATED SOUTH OF THE FLORIDA TURNPIKE AND EAST OF DANIELS ROAD AT THE SOUTHWEST CORNER OF BEARD ROAD AND 9TH STREET FROM R-1 (SINGLE-FAMILY RESIDENTIAL DISTRICT) TO PUD (PLANNED UNIT DEVELOPMENT DISTRICT); PROVIDING FOR CERTAIN PUD REQUIREMENTS; PROVIDING FOR NON-SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, the owner of that certain real property generally described as 33.79 ± acres of land located at 562 Beard Road located south of the Florida Turnpike and east of Daniels Road at the southwest corner of Beard Road and 9th Street, and legally described in Section 1 of this ordinance has petitioned the City to rezone said property from City R-1 Single-Family Residential District to the City's PUD Planned Unit Development District zoning classification, therefore;

WHEREAS, further, the City Commission finds that based on competent, substantial evidence in the record, the rezoning approved by this Ordinance meets all applicable criteria for rezoning; and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the adoption of this Ordinance and the proposed development of the Property is consistent with the City of Winter Garden Comprehensive Plan, and the City of Winter Garden Code of Ordinances; therefore,

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION I. *Rezoning. The above "Whereas" clauses constitute findings by the City Commission. After due notice and public hearing, the zoning classification of the Property, as described in Exhibit "A" attached hereto, is hereby rezoned from Single-Family Residential District (R-1) to Planned Unit Development (PUD) in the City of Winter Garden, Florida subject to the following conditions, provisions and restrictions:*

- a. Conceptual Plan- All development on the Property must substantially conform to the requirements identified in the Roper Subdivision PUD Development Plan attached hereto as Exhibit "B." Should any conflict be found between this Ordinance and the Roper Subdivision PUD Development Plan attached hereto as Exhibit "B", then the standards and conditions established by this Ordinance shall control.

- b. Zoning- Unless specifically noted elsewhere in Exhibit “B” attached hereto, all residential development on the Property must comply with the general zoning requirements of the R-1 Single Family Residential District for any structures, including but not limited to swimming pools, screen rooms accessory structures and buildings that are developed on the Property.
1. Prohibited Uses- Retail uses, Townhomes and Condominiums.
- c. Staff Conditions- All development on the Property must comply with the following conditions:
1. Beard Road improvements: At the developer’s expense, Beard Road shall be improved along the full project frontage to include 24 foot pavement width, 2’ wide concrete curb & gutter or 12” flush ribbon curb as is determined appropriate by the City Engineer, 5’ wide concrete sidewalk, streetlights meeting dark skies requirements, etc. per City Standards. Turn lane(s) on Beard Road at the access points into the Project are required unless waived by the City after further review and evaluation of traffic study and plans to be submitted by the Developer. Developer shall convey or caused to be conveyed in fee simple ownership to the City, at no cost to the City, such portions of the Property as may be necessary to accommodate such Beard Road improvements.
 2. Utilities: At the developer’s expense, utilities shall be installed and extended in accordance with Section 78-2, City Code. A 10” water main shall be extended for the full project frontage on Beard Road from its current terminus at Donner Drive. Reuse main (8” minimum) shall be extended from Daniels Road for the full project frontage (the two existing 12” reuse mains on Beard Road are transmission mains and do not have sufficient distribution pressure). Sanitary force main shall be designed and extended to the property unless a gravity sanitary design can be found feasible – coordinate with Public Services Utilities.
 3. 100 year flood zone/Wetlands: An overlay of the 100 year floodplain appears to encroach farther into the property than shown on the plan. A LOMR shall be filed with FEMA as a condition of final plat approval for any areas requiring fill within the 100 year flood zone. Fill within the 100 year flood zone will only be allowed if compensating storage is provided. Future plan submittals shall include 100 year floodplain, topography, and wetlands delineation.
 4. A fully engineered site plan, meeting all City requirements shall be reviewed and approved by the City prior to any construction. Permits or exemptions from SJRWMD and FDEP will be required. FDEP NPDES NOI will also be required if any disturbed area is over 1.0 acre.

5. All irrigation shall be metered and connected to the reclaimed water mains within the development. Coordinate with Utilities Department on location and size of reclaimed water mains, etc. All irrigation lines within the City's right-of-way shall be purple color.
6. Provide conceptual drainage plan and geotechnical report with preliminary plat submittal.
7. Plans indicate that the project will be gated. If gated, the streets will be private and maintained by the HOA. While portions of the right-of-way may be dedicated to the City, maintenance of special pavements, landscaping, hardscaping, etc. shall be performed by the HOA under a R/W maintenance agreement.
8. All proposed easements shall be 30' minimum width for sanitary, water and storm; improvements shall be centered within the easement. Common areas not abutting right-of-way shall include a minimum 20' wide tract (not easement) for access and maintenance.
9. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
10. All work shall conform to City of Winter Garden standards and specifications.
11. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
12. The Owner's/Developer's Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
13. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The applicant should note that if approval is granted, the City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction

shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.

14. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of site or building permits.

SECTION II: General Requirements.

- a. Developer's Agreement- A Developer's Agreement shall be drafted, approval obtained and recorded prior to approval of Preliminary Plat of the Property and prior to the issuance of any site or building permits. The Developer's Agreement shall include, but is not limited to the following: project phasing, Beard Road improvements, lift station construction and tract conveyance, utilities extension and upsizing, internal roadways and utility lines, right-of-way conveyances, bonding requirements for public infrastructure improvements, and adherence to all City Codes and Standards.
- b. Stand Alone Clause- Each phase of development of the Property must operate as an individual unit in that each particular phase will be able to stand-alone in the event that no other phase is developed.
- c. Land Development Approvals and Permits- This Ordinance does not require the City to issue any permit or approval for development, construction, preliminary plat, final plat, building permit, or other matter by the City relating to the Property or the project or any portion thereof. These and any other required City development approvals and permits shall be processed and issued by the City in accordance with procedures set forth in the City's Code of Ordinances and subject to this Ordinance.
- d. Amendments- Minor amendments to this Ordinance will be achieved by Resolution of the City Commission of the City of Winter Garden. Major amendments to this Ordinance will require approval of the City Commission of the City of Winter Garden by Ordinance.
- e. Expiration- Expiration of this PUD shall be governed in accordance with Section 118-830, City of Winter Garden Code of Ordinances. Time extensions may be granted in accordance with Section 118-829, City of Winter Garden Code of Ordinances.

SECTION III: Rezoning. After due notice and public hearing, the zoning classification of real property legally described on ATTACHMENT "A," is hereby rezoned from City R-1 Single-Family Residential District to City PUD Planned Unit Development District in the City of Winter Garden, Florida.

SECTION IV: Zoning Map. The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION V: Non-Severability. Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION VI: Effective Date. This Ordinance shall become effective upon adoption at its second reading..

SECTION III. *Severability.* Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

FIRST READING AND PUBLIC HEARING: _____, 2014.

SECOND READING AND PUBLIC HEARING: _____, 2014.

ADOPTED this _____ day of _____, 2014, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

KATHY GOLDEN, City Clerk

ATTACHMENT "A"

LEGAL DESCRIPTION

PARCEL ID#: 26-22-27-0000-00-029

That part of the NE 1/4 of the SE 1/4 of Section 26, Township 22 South, Range 27 East, Orange County, Florida, lying north of Canal. The NW 1/4 of the SE 1/4 of Section 26, Township 22 South, Range 27 East, Orange County, Florida, LESS West 1054.79 feet thereof. Less also the 30 feet of both of the above tracts for road, described as follows: (Parent Tract Description taken from Official Records Book 9992, Page 1216, Public Records of Orange County, Florida.)

Commence at the Northeast corner of the Northeast 1/4 of the Southeast 1/4 of Section 26, Township 22 South, Range 27 East, Orange County, Florida and a point on the North boundary of COBBLESTONE OF WINTER GARDEN as described and recorded in Plat Book 65, Pages 70 through 74, Public Records of Orange County, Florida, thence South 00 degrees 20 minutes 59 seconds East 30.00 feet along the East boundary of said Southeast 1/4 and the North Boundary of said Plat Book 65, Pages 70 through 74 to a point on the South right of way line of Beard Road per Official Records Book 9992, Page 1216, Public Records of Orange County, Florida for the POINT OF BEGINNING; thence continue South 00 degrees 20 minutes 59 seconds East 630.44 feet along the East boundary of said Southeast 1/4 and the North Boundary of said Plat Book 65, Pages 70 through 74; thence South 70 degrees 19 minutes 23 seconds West 734.78 feet along said North boundary; thence North 89 degrees 40 minutes 37 seconds West 235.82 feet along said North boundary; thence South 76 degrees 19 minutes 23 seconds West 178.83 feet along said North boundary; thence South 63 degrees 19 minutes 23 seconds West 266.69 feet along said North boundary to a point on the East boundary of the Northwest 1/4 of the Southeast 1/4 of said Section 26; thence South 00 degrees 15 minutes 59 seconds East 217.60 feet along said North boundary and said East boundary of the Northwest 1/4 of the Southeast 1/4 to a point on the East boundary of said DEERFIELD PLACE as described and recorded in Plat Book 57, Pages 119 through 121, Public Records of Orange County, Florida; thence South 89 degrees 47 minutes 08 seconds West 287.75 feet along said East boundary to a point on the West boundary of the West 1054.79 feet of the Northwest 1/4 of the Southeast 1/4 of said Section 26; thence North 00 degrees 10 minutes 57 seconds West 1247.54 feet along said East boundary of Plat Book 57, Pages 119 through 121 and said West boundary of the West 1054.79 feet of the Northwest 1/4 of the Southeast 1/4 to a point on the aforesaid South right of way line of Beard Road; thence North 89 degrees 39 minutes 34 seconds East 1626.64 feet along said right of way line to the Point of Beginning.

CONTAINING: 33.785 acres, more or less.

**NOTICE OF PUBLIC HEARING
CITY OF WINTER GARDEN, FLORIDA**

Pursuant to the Florida Statutes, notice is hereby given that the City of Winter Garden Planning and Zoning Board will, on June 2, 2014 at 6:30 p.m. or as soon after as possible, hold a public hearing in the City Commission Chambers located at 300 West Plant Street, Winter Garden, Florida in order to consider the adoption of the following ordinance(s):

ORDINANCE 14-26

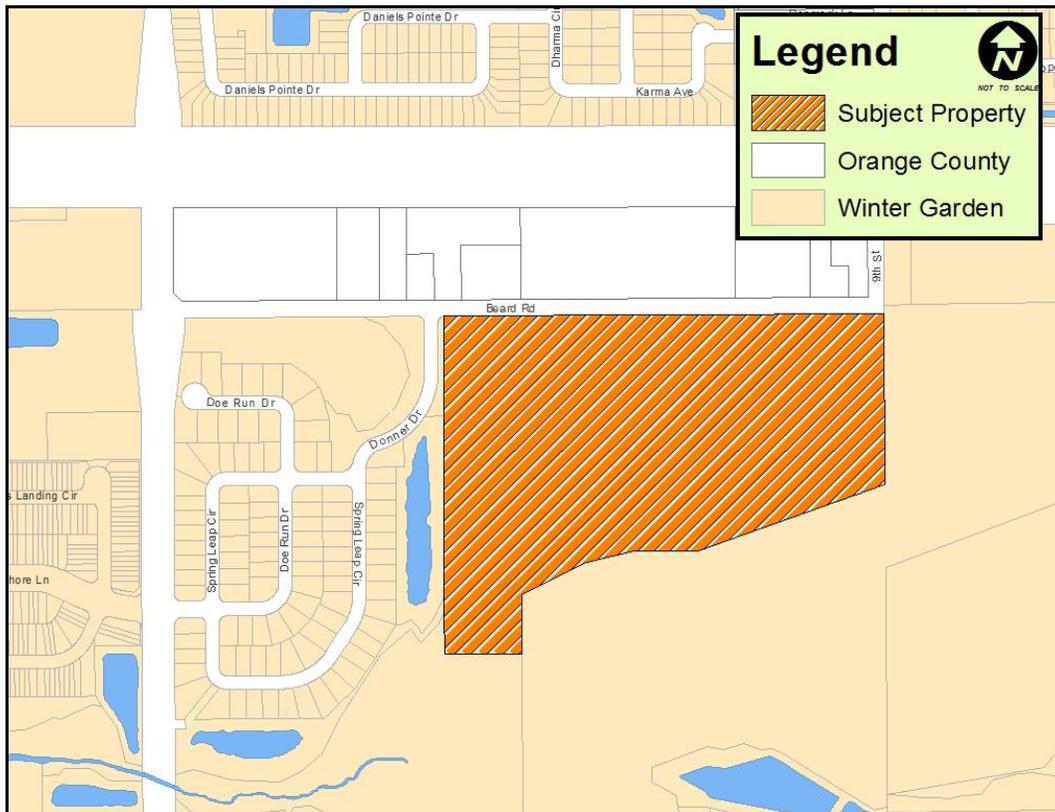
AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING APPROXIMATELY 33.79 ± ACRES OF REAL PROPERTY GENERALLY LOCATED AT 562 BEARD ROAD LOCATED SOUTH OF THE FLORIDA TURNPIKE AND EAST OF DANIELS ROAD AT THE SOUTHWEST CORNER OF BEARD ROAD AND 9TH STREET FROM R-1 (SINGLE-FAMILY RESIDENTIAL DISTRICT) TO PUD (PLANNED UNIT DEVELOPMENT DISTRICT); PROVIDING FOR CERTAIN PUD REQUIREMENTS; PROVIDING FOR NON-SEVERABILITY AND AN EFFECTIVE DATE.

Following the Planning & Zoning Board meeting, the City Commission of the City of Winter Garden will hold a public hearing in the City Commission Chambers located at 300 W. Plant Street, Winter Garden, FL on June 12, 2014 and June 26, 2014 at 6:30 p.m., or as soon after as possible, to also consider the adoption of the ordinances.

Copies of the proposed ordinance(s) (which includes the legal description in metes and bounds of the proposed site) may be inspected by the public between the hours of 8:00 a.m. and 5:00 p.m. Monday through Friday of each week, except for legal holidays, at the Planning & Zoning Division in City Hall, 300 West Plant Street, Winter Garden, Florida. For more information, please call Steve Pash at 656-4111 ext. 2292.

Interested parties may appear at the meetings and be heard with respect to the proposed ordinance(s). Written comments will be accepted before or at the public hearings. Persons wishing to appeal any decision made by the Planning and Zoning Board at such hearing will need a record of the proceedings and for such purpose you may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is based. The City does not provide this verbatim record. Persons with disabilities needing special accommodations to participate in this public hearing should contact the City Clerk's Office at (407) 656-4111 at least 48 hours prior to the meeting.

LOCATION MAP



LEGAL DESCRIPTION

THAT PART OF THE NE 1/4 OF THE SE 1/4 OF SECTION 26, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, LYING NORTH OF CANAL THE NW 1/4 OF THE SE 1/4 OF SECTION 26, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, LESS WEST 1054.79 FEET THEREOF. LESS ALSO THE 30 FEET OF BOTH OF THE ABOVE TRACTS FOR ROAD.

PRELIMINARY DEVELOPMENT PLAN

FOR:

ROPER SUBDIVISION

RESIDENTIAL PLANNED UNIT DEVELOPMENT

SEC OF BEARD ROAD
& DONNER DRIVE
CITY OF WINTER GARDEN, FL

PARCEL I.D. NUMBER 26-22-27-0000-00-029

PREPARED FOR:



9102 SOUTHPARK CENTER LOOP #100
ORLANDO, FL 32019
PH : (407) 587-3497

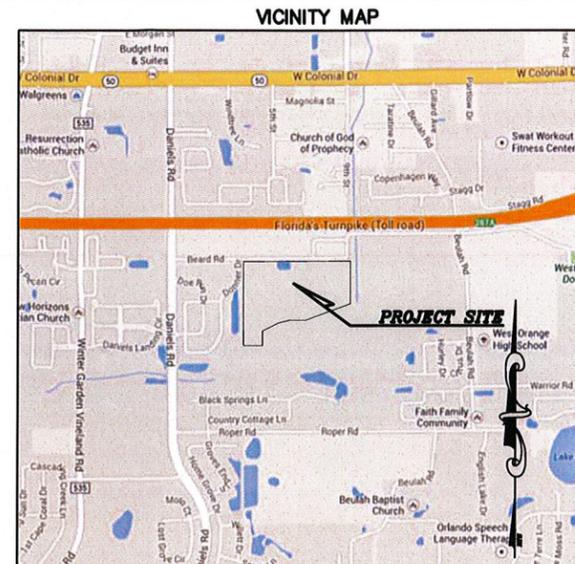
PREPARED BY:



1700 NORTH ORANGE AVENUE
SUITE 400
ORLANDO, FLORIDA 32804
PHONE (407) 898-7858
FAX (407) 898-1488

Beard Road - 562
ROPER PROPERTY
PUD / REZONING (3rd Rev 03/21/14)
Adalee J. Roper Trust
26-22-27-0000-00-029

Community Development
Planning & Zoning
MAR 21 2014
Received By: PH13-068



ROPER SUBDIVISION DEVELOPMENT PLAN

SHEET INDEX

SHEET TITLE	SHEET NO.
COVER SHEET	PD-1
PDP	PD-2
TYPICAL PRODUCT LAYOUTS & OPTIONS	PD-3
SCHEMATICS PLAN	SC-01 TO SC-06

CIVIL DISCIPLINE ONLY P.E. CERT. OF AUTHORIZATION # 0007350	JOB NO 1011.000 DATE 03/21/2014
SHEET PD-1	

REVISION NOTE:

REVISION CLOUDS PROVIDED TO ASSIST THE CONTRACTOR. ONLY THE LATEST REVISION IS SHOWN. OTHER PLAN CHANGES MAY BE NECESSARY AS A RESULT OF THIS REVISION WHICH MAY NOT BE CLOUDED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THIS PLAN SET IN ITS ENTIRETY TO ENSURE ALL PLAN CHANGES ARE ACCOUNTED FOR, INCLUDING PREVIOUS REVISIONS, AND CHANGES TO OTHER PLAN SHEETS AS A RESULT OF THE REVISIONS SHOWN.

REVISIONS:

DATE	DESCRIPTION
1	
2	
3	

SEAN C. FORTIER, P.E.
FLORIDA REGISTRATION 68396
NOT VALID FOR CONSTRUCTION
UNLESS SIGNED IN THIS BLOCK

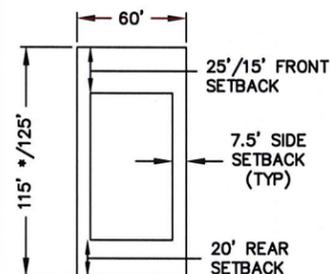
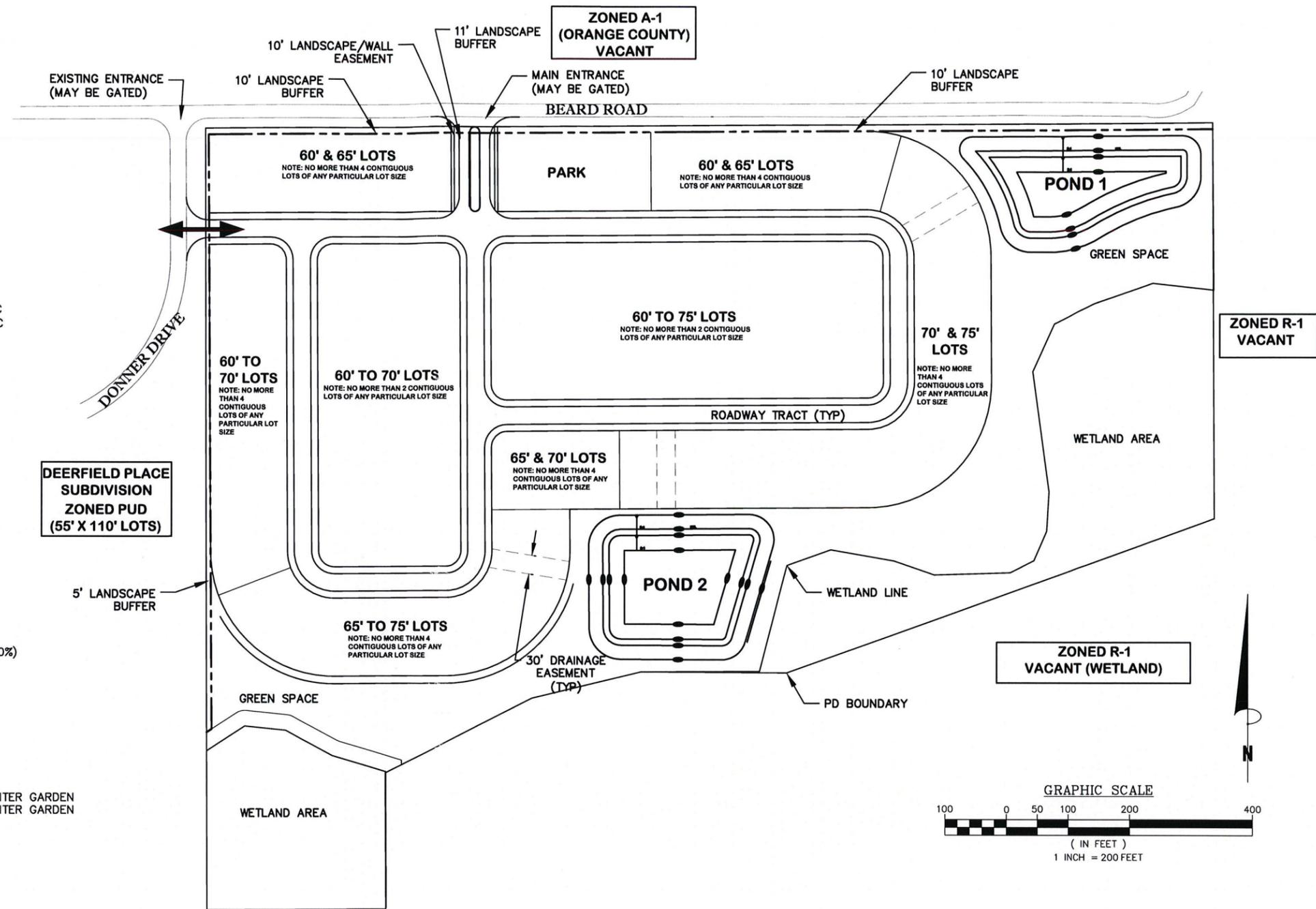
DEVELOPMENT TEAM:

DEVELOPER KB HOME ORLANDO 9102 SOUTHPARK CENTER LOOP #100 ORLANDO, FLORIDA 32019 PHONE: (407) 587-3497	ENGINEER KELLY, COLLINS & GENTRY, INC. 1700 NORTH ORANGE AVENUE, SUITE 400 ORLANDO, FLORIDA 32804 PHONE: (407) 898-7858 FAX: (407) 898-1488
SURVEYOR JONES, WOOD & GENTRY, INC. 2800 EAST ROBINSON STREET ORLANDO, FLORIDA 32803 PHONE: (407) 898-7780	LANDSCAPE ARCHITECT LAND RESOURCE DESIGN GROUP 1700 NORTH ORANGE AVENUE, SUITE 400 ORLANDO, FLORIDA 32804 PHONE: (407) 898-7838 EXT 117

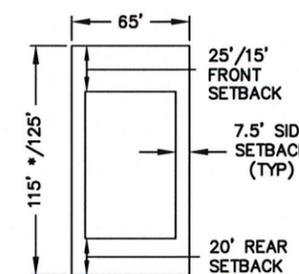
SECTION 26 TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA

DEVELOPMENT DATA

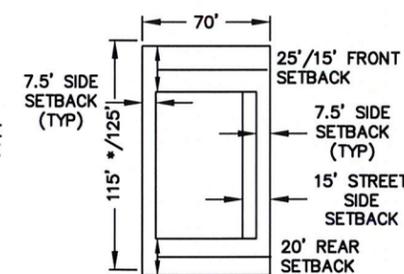
LAND USE:	TIMBERLAND (EXISTING) SINGLE FAMILY RESIDENTIAL (PROPOSED)
FUTURE LAND USE:	LR-LOW DENSITY RESIDENTIAL (6 DU/AC)
ZONING:	R-1 (EXISTING) PUD (PROPOSED)
AREAS:	TOTAL PROJECT AREA 33.79 AC WETLANDS 5.35 AC GROSS DEVELOPMENT AREA (GDA) 28.44 AC (TOTAL PROJECT AREA LESS WETLANDS) ROAD RIGHTS OF WAY 2.41 AC RETENTION AREA 2.54 AC NET DEVELOPMENT AREA 23.49 AC (GROSS DEVELOPMENT AREA LESS ROAD R/W & RETENTION AREA)
SITE DATA:	TOTAL SINGLE FAMILY UNITS 77 UNITS GROSS RESIDENTIAL DENSITY 2.71 DU/AC NET RESIDENTIAL DENSITY 3.28 DU/AC MINIMUM LIVING AREA (UNDER HEAT/AC) 1800 SF
MINIMUM LOT SIZE:	60' WIDTH < 25% 65' WIDTH < 32% 70' WIDTH > 28% 75' WIDTH > 15% *PERCENTAGE OF TOTAL LOTS IN PUD MINIMUM 115' DEPTH MINIMUM 6,875 SF LOT AREA
BUILDING SETBACKS:	FRONT YARD 25'/15'* REAR YARD 20' PD BOUNDARY 25' SIDE YARD 7.5' STREET SIDE YARD 15' POOL SIDE & REAR YARD 5' MAXIMUM BUILDING HEIGHT 30' *15' MINIMUM IF GARAGE RECESSED MIN 10' OR SIDE LOADED
OPEN SPACE:	PROVIDED: PARK AREA: 0.71 AC LANDSCAPE BUFFER: 0.40 AC RETENTION AREA: 2.54 AC GREEN SPACE TRACT AREA: 4.76 AC TOTAL: 8.41 AC (30%)
RECREATION FACILITIES:	REQUIRED: 5% X GDA*: 1.42 AC PROVIDED: PARK AREA: 0.71 AC* *PAYMENT WILL BE MADE TO THE CITY RECREATION FUND TO MAKE UP THE SHORTFALL.
UTILITY PROVIDERS:	WATER: CITY OF WINTER GARDEN WASTEWATER: CITY OF WINTER GARDEN
MAINTENANCE:	COMMON AREAS TO BE MAINTAINED BY HOA



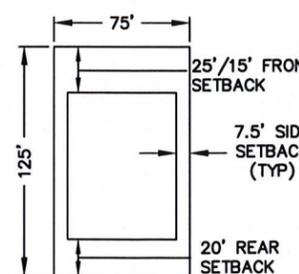
TYPICAL 60' LOT LAYOUT
N.T.S



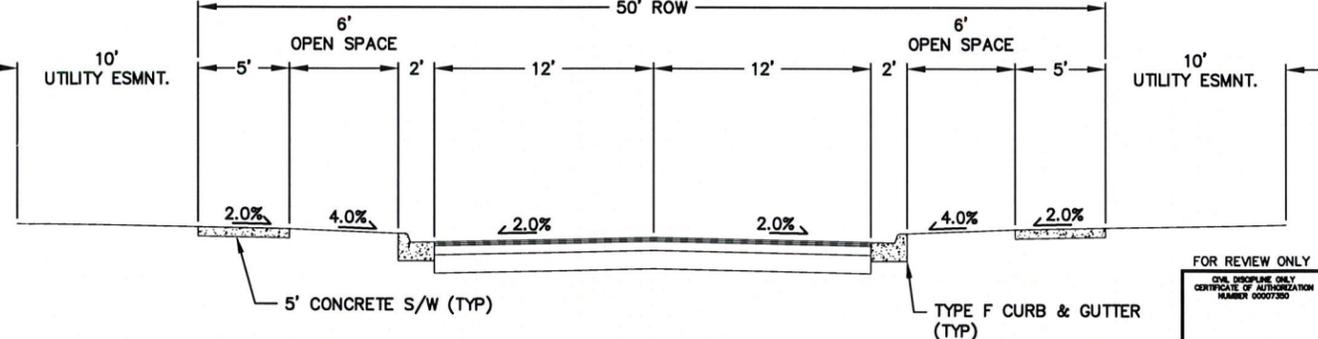
TYPICAL 65' LOT LAYOUT
N.T.S



TYPICAL 70' LOT LAYOUT
N.T.S



TYPICAL 75' LOT LAYOUT
N.T.S



ROADWAY TYPICAL SECTION
N.T.S

FOR REVIEW ONLY
SEAN C. PORTER, P.E.
FLORIDA REGISTERED ENGINEER
CERTIFICATE OF AUTHORIZATION
NUMBER 0007280
DATE: 03/21/14
SHEET PD-2

KCG
KELLY, COLLINS & GENTRY, INC.
1700 NORTH ORANGE AVENUE, SUITE 400
ORLANDO, FLORIDA 32804
(407) 586-1668 FAX (407) 586-1668

REVISION

DATE

PREPARED FOR:
KB HOME ORLANDO
9102 SOUTH PARK CENTER LOOP #100
ORLANDO, FL 32019

PROJECT:
ROPER
SUBDIVISION
RESIDENTIAL PUD

PRELIMINARY
DEVELOPMENT PLAN

DRAWN: SPD
DESIGN: SCF
CHECKED: SHG
JOB NO.: 1011.000
DATE: 03/21/14
SHEET PD-2

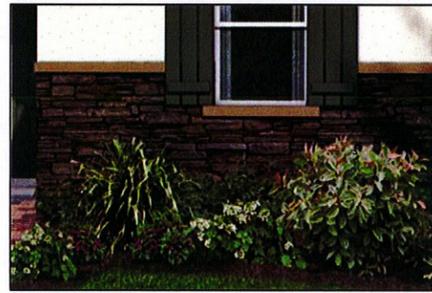
PRODUCT OPTIONS
CONTIGUOUS BUILDING
PRODUCTS: MAX 3

PAVER DRIVEWAYS: 100%



TYPICAL PAVER DRIVEWAY

STONE FRONT ELEVATIONS: MIN 50%



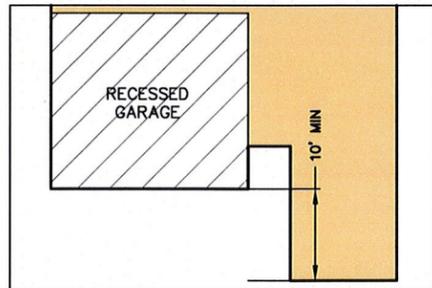
TYPICAL STONE FACADE

FRONT PORCH: MIN 50%
PORCH DEPTH: MIN 6'



TYPICAL PORCH LAYOUT

RECESSED GARAGE: 100%
MIN. GARAGE RECESS: 10'



TYPICAL RECESSED GARAGE LAYOUT

		LOT WIDTHS			
		60'	65'	70'	75'
BUILDING PAD WIDTHS	38'				
	40'				
	42'				
	45'				
	50'				

FOR REVIEW ONLY
ONE COPY ONLY
CERTIFICATE OF AUTHORIZATION
NUMBER 00007300

SEAN C. PORTER, P.L.C.
FLORIDA REGISTRATION NUMBER
NOT VALID FOR CONSTRUCTION
UNLESS SIGNED IN THIS BLOCK

KELLY,
COLLINS &
GENTRY, INC.
1700 NORTH ORANGE AVENUE, SUITE 400
ORLANDO, FLORIDA 32804
(407) 886-7500 FAX (407) 886-1488

KCG

NO.	DATE	REVISION
6		
5		
4		
3		
2		
1		

PREPARED FOR:
KB HOME ORLANDO
9102 SOUTH PARK CENTER LOOP #100
ORLANDO, FL 32019

PROJECT:
ROPER
SUBDIVISION
RESIDENTIAL PUD

TYPICAL PRODUCT
LAYOUTS & OPTIONS

DRAWN: GFR
DESIGN: SCF
CHECKED: SHG
JOB NO.: 1911.000
DATE: 03/21/14

SHEET
PD-3

CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

TO: PLANNING AND ZONING BOARD
PREPARED BY: STEVE PASH, SENIOR PLANNER
DATE: JUNE 2, 2014
SUBJECT: REZONING – BEARD ROAD SUBDIVISION
562 Beard Road (33.79+/- ACRES)
PARCEL ID # 26-22-27-0000-00-029

APPLICANT: Adalee J. Roper Trust

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property, located south of the Florida Turnpike and east of Daniels Road at the southwest corner of Beard Road and 9th Street is approximately 33.79 ± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits.



The applicant is requesting to rezone 33.79 ± acres of land. The subject property is located within

the City of Winter Garden municipal limits, and carries the zoning designation R-1 (Single Family Residential). The subject property is designated LR- Low Density Residential on the Future Land Use Map of the City's Comprehensive Plan (see attached map).

EXISTING USE

The subject property is currently used for agricultural purposes (planted pines).

ADJACENT LAND USE AND ZONING

The properties located to the north of the subject property are vacant or developed with single-family homes, located in un-incorporated Orange County with A-1 Zoning. The properties located to the south and east are vacant wetlands that are owned by the neighboring single-family HOA's, located in the City with PUD and R-1 Zoning. The properties located to the west are single family residential homes within the City of Winter Garden with PUD Zoning.

PROPOSED USE

The applicant proposes to develop the 33.79 ± acre site into a residential planned unit development with 5.35 ± acres of wetlands, 2.54 ± acres of ponds, and the remaining area (25.9 ± acres) will contain 77 single-family dwelling units (minimum 1,800 square feet) on lots ranging in size from 60'x115' to 75'x115' (see Exhibit B Ordinance 14-26). The proposed lot size mixture is:

Lot Size	% of lots
75'x115'	> 15%
70'x115'	> 28%
65'x115'	< 32%
60'x115'	< 25%

The proposed subdivision will be a gated community with gross density proposed at 2.71 dwelling units per acre, the LR-Low Density Residential Future Land Use Designation allows up to 6 dwelling units per acre. Under the existing R-1 Zoning District, the property is vested for 78 units.

The proposed subdivision will contain an active recreational park (tot-lot, gazebo, and outdoor fitness equipment). The proposed park is 0.71 acres, which does not meet the minimum required 5% of the gross developable area (1.42 acres). The developer will be required to contribute the value of the 0.71 acres into the City Park fund.

The proposed development will contain lot widths that are less than required by the R-1 Zoning District, but larger than the minimum lot width in the Dearfield Subdivision located on the east side of the subject property.

PUBLIC FACILITY ANALYSIS

Potable Water, Reclaimed Water, and Wastewater Services

The proposed residential development will be served by and required to connect to City of

Winter Garden water, wastewater, and reclaimed water which are available and have adequate capacity to serve the proposed residential development. At such time that the property is developed, all necessary utility lines will be extended and connections made, all extension and connection costs shall be borne by the property owner.

Stormwater

The stormwater retention/detention facilities designed to service the proposed development will meet or exceed the LOS Standards stated in Policy 4-1.1.1 of the Public Facilities Element included in the City of Winter Garden Comprehensive Plan. In addition, the stormwater facilities will be designed in accordance with St. Johns River Water Management District and City of Winter Garden requirements.

Common Recreation and Open Space

Section 118-923 (b) states that in no case shall there be less than 5% of the total developable area set aside for active, dry-land recreational uses (1.42 acres). The proposed park is 0.71 acres and will have a gazebo with outdoor cooking equipment, a tot lot, outdoor fitness equipment, and an open area. In order to meet the minimum required park area, they will be required to donate money to the Recreation Fund to purchase the additional required 0.71 acres of park area.

All of the common recreation and open space will be maintained by a homeowner's association and available to the residents. The developer shall establish a homeowner's association in accordance with Chapter 720, Florida Statutes and having governing documents in compliance with Chapter 110 of the City of Winter Garden Code of Ordinances.

Transportation

The developer is in the process of working with the neighboring subdivision (Deerfield Place) to connect the two neighborhoods and provide better access to Daniels Road. The current configuration is based on Dearfield Place approving the proposed connection. If the connection is not approved, the property will need to be redesigned and may require Board approval.

Other Services

The City will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents including building permits. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department under the First Response System.

SUMMARY

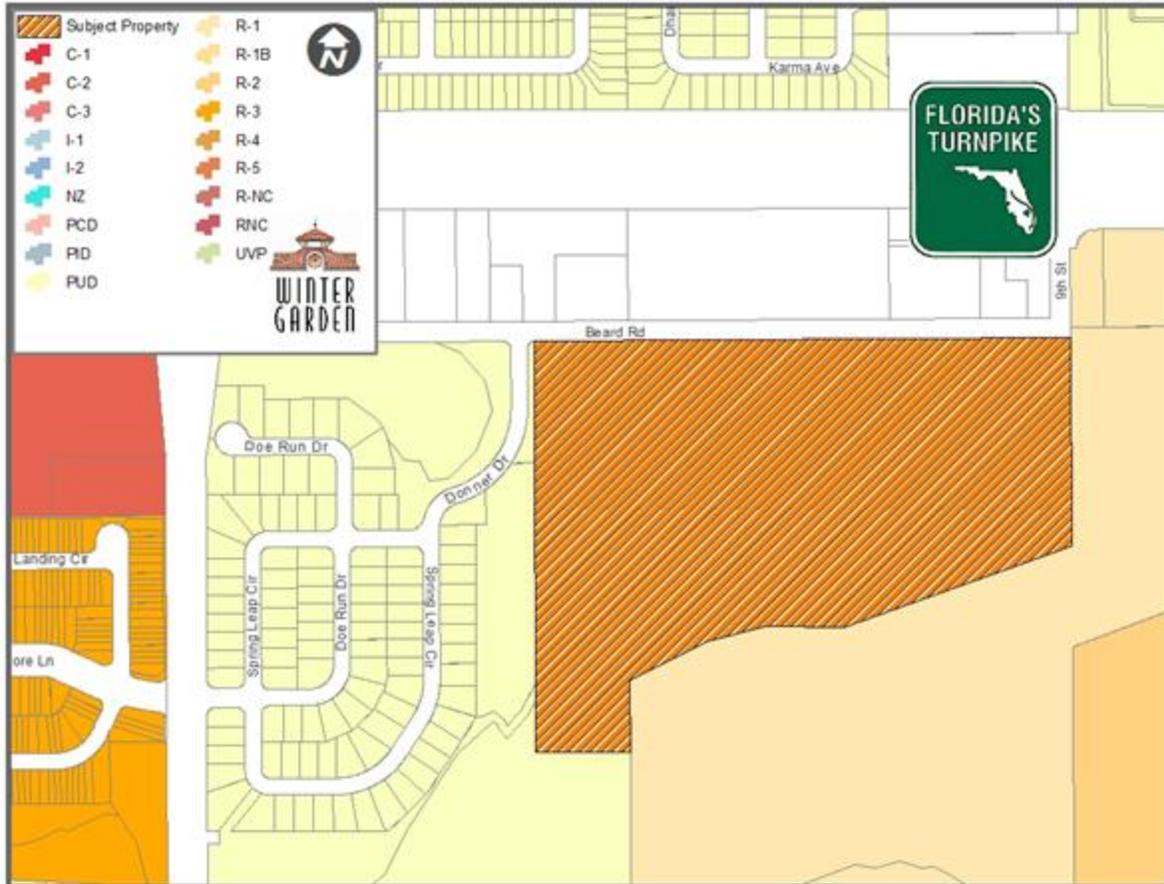
Staff recommends approval of the proposed Ordinance rezoning the subject property from City R-1 to City PUD. The rezoning is consistent with the Future Land Use Map of the City's Comprehensive. The proposed PUD is consistent with surrounding development in the area and is compatible with the uses in the surrounding area. The proposed development of the subject property is consistent with the goals, objectives and policies of the City's Comprehensive Plan and land development regulations.

MAPS

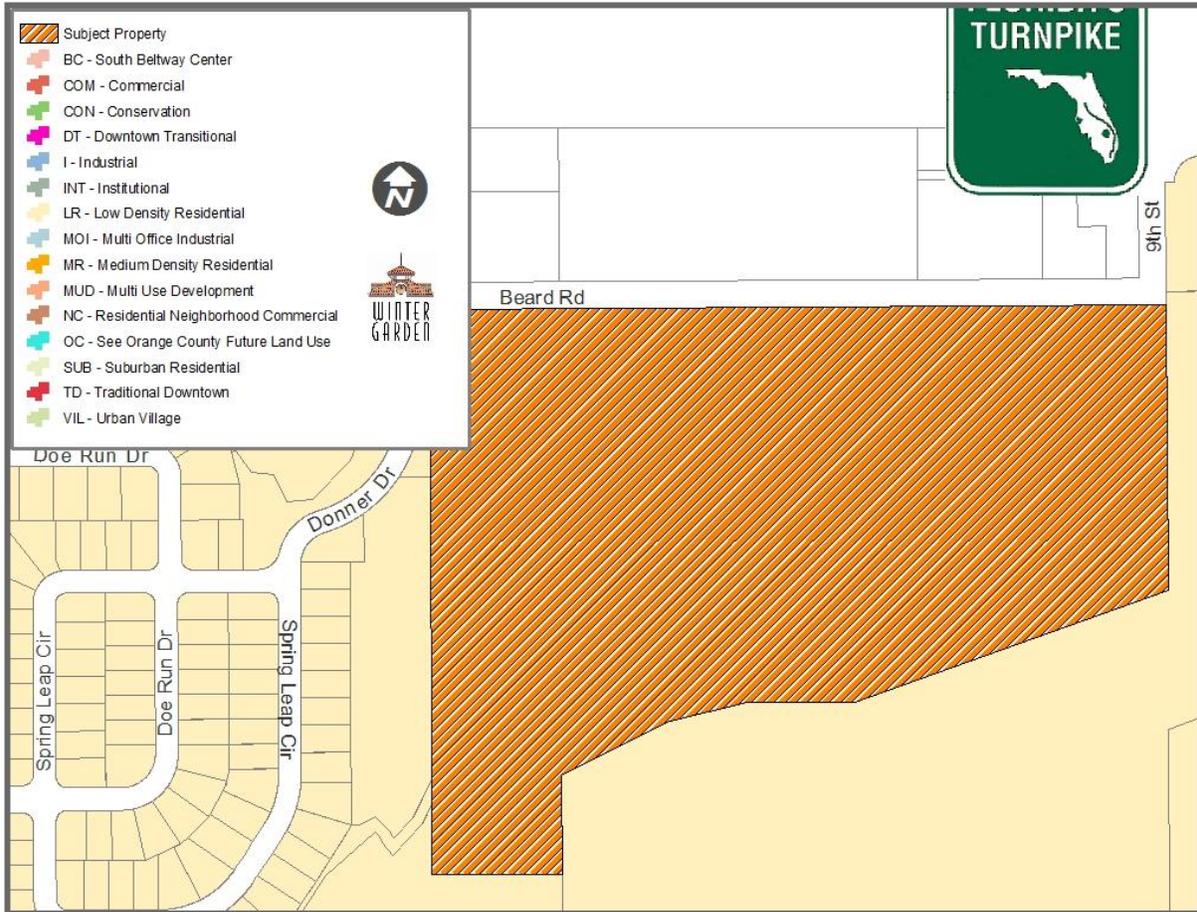
**AERIAL PHOTO
562 BEARD ROAD SUBDIVISION**



ZONING MAP 562 BEARD ROAD SUBDIVISION



FUTURE LAND USE MAP 562 BEARD ROAD SUBDIVISION



END OF STAFF REPORT

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Ed Williams, Community Development Director

Via: City Manager Mike Bollhoefer

Date: July 3, 2014 **Meeting Date:** July 10, 2014

Subject: Chapter 110 Amendment (Code Amendment)
Ordinance 14-29

Issue:
Amending Sections 110-56, 110-152, 110-153, 110-154, 110-157 and 110-162 of Article III, Division 1, 4 and 5 of Chapter 110 of the Code of Ordinances of the City of Winter Garden.

Discussion:
An Ordinance of the City Commission of the City of Winter Garden, Florida amending Sections 110-56, 110-152, 110-153, 110-154, 110-157 and 110-162 of Article III, Division 1, 4 and 5 of Chapter 110 of the Code of Ordinances of the City of Winter Garden concerning platting requirements; providing for utility easement dedications; amending definitions; clarifying the definition of community subdivision infrastructure and making other related revisions; providing for additional required and prohibited language for declarations.

Recommended Action:
Staff recommends approval of ordinance 14-29 amending Sections 110-56, 110-152, 110-153, 110-154, 110-157 and 110-162 of Article III, Division 1, 4 and 5 of Chapter 110 of the Code of Ordinances of the City of Winter Garden with the second reading scheduled for July 24, 2014.

Attachment(s)/References:

Ordinance 14-29

ORDINANCE 14-29

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING SECTIONS 110-56, 110-152, 110-153, 110-154, 110-157 AND 110-162 OF ARTICLE III, DIVISION 1, 4 AND 5 OF CHAPTER 110 OF THE CODE OF ORDINANCES OF THE CITY OF WINTER GARDEN CONCERNING PLATTING REQUIREMENTS; PROVIDING FOR UTILITY EASEMENT DEDICATIONS; AMENDING DEFINITIONS; CLARIFYING THE DEFINITION OF COMMUNITY SUBDIVISION INFRASTRUCTURE AND MAKING OTHER RELATED REVISIONS; PROVIDING FOR ADDITIONAL REQUIRED AND PROHIBITED LANGUAGE FOR DECLARATIONS; PROVIDING FOR CODIFICATION, CONFLICTS, SEVERABILITY, AND AN EFFECTIVE DATE.

WHEREAS, the City Commission desires to amend the final plat approval requirements of Article III, Division 1, 4 and 5 of Chapter 110, City of Winter Garden Code of Ordinances to provide for utility easement dedications, amend definitions pertaining to platting requirements, clarify the definition of community subdivision infrastructure and make other related revisions, and to include additional prohibited and required provisions for declarations; and

WHEREAS, the City Commission finds it to be in the best interest of the public health, safety and welfare to make the revisions to Chapter 110, City of Winter Garden Code of Ordinances in the manner specified in this Ordinance.

NOW, THEREFORE, BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA, AS FOLLOWS:

Section 1: **Authority.** The City of Winter Garden has the authority to adopt this Ordinance pursuant to Article VIII of the Constitution of the State of Florida and Chapter 166, Florida Statutes.

Section 2: **Adoption.** Section 110-56 of Article III, Division 1 of Chapter 110 of the City of Winter Garden Code is amended to read as follows (words that are ~~stricken out~~ are deletions; words that are underlined are additions; provisions not included are not being revised):

Sec. 110-56. Definitions.

Community subdivision infrastructure or “community subdivision infrastructure improvements” means all structures and real property improvements to be ultimately owned or

maintained by the subdivision HOA, including without limitation, all stormwater management systems, sod and landscaping within stormwater retention and detention areas, roadways, gates, walls, streetlights, street and traffic signs, sidewalks, docks, pools, clubhouses and other structures or real property improvements on common areas (or common property), but excluding playground equipment and sod and landscaping not within stormwater detention or retention areas. ~~subdivision infrastructure not dedicated to the use of the public or the city and which may include, but is not limited to, roadways, street lights, drainage systems (which includes, without limitation, stormwater detention/retention areas and underdrains), sidewalks, and other improvements and facilities.~~

Homeowners' association or HOA means a mandatory community association as contemplated by Chapter 720, Fla. Stat. in which the owners of all lots, blocks, and tracts within the residential subdivision are required by the terms of the declaration to be members, ~~as contemplated by F.S. (2003) § 720.301(7),~~ with the ability and duty to impose and collect on assessments. This definition includes homeowners' associations or property owners' associations formed pursuant to Chapter 720, Fla. Stat. governing residential, commercial or mixed-use subdivisions.

~~*Private amenities* means those lands and improvements, not considered subdivision infrastructure, which are retained for private use by the HOA or owners of lots within the subdivision, including, but not limited to, entrance and exit gates, walls, swimming pools, clubhouses, parks, landscaping, irrigation, signs, conservation areas, and other recreation areas.~~

Section 3: Adoption. Section 110-152 of Article III, Division 4 of Chapter 110 of the City of Winter Garden Code is amended to read as follows (words that are ~~stricken out~~ are deletions; words that are underlined are additions; provisions not included are not being revised):

Sec. 110-152. Final plats; application, supplementary materials, documentation, contents and data required for final approval.

The final plat, application, and other materials required by subparagraphs (b) and (c) of section 110-151 shall, where applicable, at a minimum, comply with and include the following:

(1) Unless otherwise provided for in this article, the final subdivision plat shall comply with the requirements of F.S. Ch. 177, as may be amended from time to time. The final subdivision plat shall be drawn in ink on tracing cloth on sheets as required for filing for record in the county and shall be at a scale of 100 feet to one inch or larger. Where more than one sheet must be used to accurately portray the lands subdivided, an index or key map must be included and each sheet must show the particular number of that sheet and the total number of sheets included, as well as clearly labeled matchlines to show where other sheets match or adjoin. For large subdivisions the final plat may be submitted for approval progressively in contiguous sections satisfactory to the planning and zoning board. In addition to the requirements of F.S. Ch. 177, referenced above, the final plat shall show, depict, or otherwise provide for the following:

a. Primary control points, approved by the city engineer, or descriptions and ties to such control points, to which all dimensions, angles, bearings, and similar data on the plat shall be referred.

b. Tract boundary lines, right-of-way lines of streets, easements and other rights-of-way, and property lines of residential lots and other sites, with accurate dimensions, bearing or deflection angles; and radii, arcs and central angles of all curves.

c. As applicable, the exact location, dimensions, name, identification, purpose, and description of public streets, private roadways, public and private alleys, rights-of-way, waterways, tracts, common areas, parks, public and private areas, playgrounds or other similar uses, reservations, easements or rights-of-way, blocks, lots and significant sites within the subdivision, with accurate dimensions, bearing or deflecting angles and radii, area and central angles, chord bearing and distance, tangent distance and length of all curves where appropriate. All interior excepted parcels as described in the description of the lands being subdivided shall be clearly indicated and labeled "Not a part of this plat."

d. Location, dimensions and purpose of any proposed easements and existing easements identified in the title opinion or certification required by this article below shall be shown on the plat or in the notes or legend, and their intended use shall be clearly stated. Where easements are not coincident with property lines, they must be labeled with bearings and distances tied to the principal lot, tract, or right-of-way.

e. Number to identify each lot or site. All lots shall be numbered either by progressive numbers or, if in blocks, progressively numbered in each block, and the blocks progressively numbered or lettered, except that blocks in numbered additions bearing the same name may be numbered consecutively throughout the several additions.

f. Purpose for which sites, other than residential lots, are dedicated or reserved.

g. ~~Reserved.~~ The plat shall dedicate, in a form approved by the city attorney and in locations, size and dimensions acceptable to the public services department and city engineer, utility easements necessary to provide utility services to the lots and tracts within the subdivision. Such utility easements should be granted, at the city's option, either to the city or to the city and the public. The city's rights in such easement areas shall be superior to all others and no utilities or other improvements shall be permitted to conflict or interfere with the city's utility improvements within such utility easement areas. The city shall only be responsible for the maintenance of utilities it accepts and/or installs within utility easements. The plat shall not contain reservations of utility easements in favor of the developer or the HOA which could be used for the purpose of mandating, restricting or controlling the selection of utility service providers providing utility services to lots within the subdivision. The city shall have the authority to permit and regulate the use of utility easements dedicated on any plat to the city, the public or to the city and the public by utility service providers for utility purposes, including for the placement, operation, maintenance, replacement and repair of utilities. For the purposes of this article, the term "utility service providers" includes without limitation, entities providing water, sewer, reclaimed water, cable, internet, electric, gas, or telephone utilities or services.

h. Location and description of monuments.

i. Reserved.

j. All contiguous properties shall be identified by subdivision title, plat book, and page, and date of recording, or, if unplatted, land shall be so designated. If the subdivision platted is a part or the whole of a previously recorded subdivision, sufficient ties shall be shown to controlling lines appearing on the earlier plat to permit an overlay to be made; the fact of its being a replat shall be stated as a subtitle under the name of the plat on each sheet included. The subtitle must state the name of the subdivision being replatted and the appropriate recording reference.

k. Every plat offered for recording must be prepared by a Florida registered professional surveyor and mapper. The plat must be signed and sealed by that professional surveyor and mapper, who must state on the plat that the plat was prepared under his or her direction and supervision and that the plat complies with all of the survey requirements of F.S. Pt. I of Ch. 177, and chapter 110 of the Winter Garden Code of Ordinances. Every plat must also contain the printed name and registration number of the professional surveyor and mapper directly below the statement required by this paragraph, along with the printed name, address, and certificate of authorization number of the legal entity, if any. A professional surveyor and mapper practicing independently of a legal entity must include his or her address.

l. Dedication of the plat to the public and the city for the uses and purposes stated thereon including in the plat notes by the owner or owners of record of lands to be subdivided. The dedication must be executed by all persons, corporations, or entities whose signature would be required to convey the record fee simple title to the lands being dedicated in the same manner in which deeds are required to be executed. All mortgagees having a record interest in the lands subdivided shall execute, in the same manner in which deeds are required to be executed, either the dedication contained on the plat or a separate instrument joining in, consenting to, and ratifying the plat and all dedications and reservations thereon.

m. Each plat shall show a description of the lands subdivided, and the description shall be the same in the title certification. The description must be so complete that from it, without reference to the plat, the starting point and boundary can be determined.

n. In all cases, the letter size and scale used shall be of sufficient size to show all detail. The scale shall be both stated and graphically illustrated by a graphic scale drawn on every sheet showing any portion of the lands subdivided. The name of the plat shall be shown in bold legible letters, as stated in F.S. § 177.051. The name of the subdivision shall be shown on each sheet included. The name of the professional surveyor and mapper or legal entity, along with the street and mailing address and phone number, must be shown on each sheet included. A prominent "north arrow" shall be drawn on every sheet included showing any portion of the lands subdivided. The bearings or azimuth reference shall be clearly stated on the face of the plat in the notes or legend, and, in all cases, the bearings used shall be referenced to some well-established and monumented line. The date of preparation shall be provided on the face of the plat.

o. When a subdivision provides screening walls, landscaping, sidewalks, or other amenities within the public right-of-way and such is acceptable to the city in the city's sole discretion, a license agreement shall be required between the city, the developer and/or the homeowners association and such license agreement shall be referenced on the plat. Such license agreement shall be reviewed by the city as part of the preliminary plat process. Unless otherwise provided

for in the license agreement, the developer and the HOA, jointly and severally, shall be responsible for the maintenance and repair of any such amenities constructed in the public right-of-way, and in no event shall the city be prohibited from removing such amenities within the public right-of-way in its sole and absolute discretion (such removal being at the cost of the developer and HOA, jointly and severally).

p. A statement of approval of the plat by the city.

q. The section, township, and range shall appear immediately under the name of the plat on each sheet included, along with the name of the city, county, and state.

r. As applicable, the following statements shall appear on the face of the plat in the "notes" section:

1. "The homeowners association, as owner of the subdivision infrastructure not otherwise dedicated to the public use or the City of Winter Garden, common properties, and amenities, and the individual lot owners to extent of their interest in the foregoing, shall release, defend, indemnify and hold the City of Winter Garden, other governmental entities and public utilities harmless from any and all costs, expenses, suits, demands, liabilities, damages, injuries (including death), or otherwise including attorney's fees and costs of suit, in connection with the reasonable use of said subdivision infrastructure, common areas, or amenities, or said parties' maintenance thereof, or said parties' exercise of rights permitted in the declaration of the homeowners association, this plat, or as otherwise permitted by law."

2. "The lots within this subdivision are governed by a mandatory homeowners association requiring the payment of fees and with the power to assess the lots. The homeowners association is the owner of and/or responsible for the maintenance, repair, and replacement of all private areas, drainage systems, including without limitation, the retention/detention areas and underdrains, common properties, private roads, screening walls, and such other subdivision infrastructure not otherwise dedicated to the public use or the City of Winter Garden, including, without limitation, Tracts _____ and _____ and the improvements thereon. Every lot owner within this subdivision must be a member of the homeowners association. Failure to pay such fees or assessments shall result in the attachment of a lien on the property of the owner which fails to pay such fees or assessments by the homeowners association, which may result in the foreclosure of said property."

3. "The City of Winter Garden shall have the right, but not the obligation, to access, maintain, repair, replace and otherwise care for or cause to be cared for, any and all private areas, drainage systems, including without limitation, the retention/detention areas and underdrains, common properties, private roads, screening walls, and such other subdivision infrastructure not otherwise dedicated to the public use or the City of Winter Garden, including, without limitation, Tracts _____ and _____ and the improvements thereon. In the event any or all of the said areas, systems, improvements, properties or areas are not maintained, repaired, or replaced in accordance with the standards of the City of Winter Garden Code of Ordinances, good engineering practices, or become a nuisance or in the event the City of Winter Garden exercises its aforementioned right, each of the lot owners of the subdivision are hereby ultimately

responsible for payment of the cost of maintenance, repair, replacement and care provided by the City of Winter Garden or its contractors and agents, plus administrative costs and attorneys' fees and costs incurred by the City of Winter Garden. If said costs are not paid within 15 days of invoicing, then said costs shall constitute a lien on the property of the owners which fail to pay such costs and may be enforced, without limitation, by foreclosure, special assessments, or as may otherwise be permitted by law. This right, and the City of Winter Garden's exercise of said right, shall not impose any obligation on the City of Winter Garden to maintain, repair, replace, or otherwise care for said private areas, drainage systems, including without limitation, the retention/detention areas and underdrains, common properties, private roads, screening walls, and such other subdivision infrastructure not otherwise dedicated to the public use or the City of Winter Garden, including, without limitation, Tracts _____ and _____ and the improvements thereon."

4. "All platted utility easements shall also be easements for the construction, installation, maintenance, and operation of cable television services; provided, however, no such construction, installation, maintenance, and operation of cable television services shall interfere with the facilities and services of an electric, telephone, gas, or other public utility. In the event a cable television company damages the facilities of a public utility, it shall be solely responsible for the damages. This paragraph shall not apply to those private easements granted to or obtained by a particular electric, telephone, gas, or other public utility. Further, such construction, installation, maintenance, and operation shall comply with the National Electrical Safety Code as adopted by the Florida Public Service Commission."

5. "NOTICE: This plat, as recorded in its graphic form, is the official depiction of the subdivided lands described herein and will in no circumstances be supplanted in authority by any other graphic or digital form of the plat. There may be additional restrictions that are not recorded on this plat that may be found in the public records of this county."

6. If applicable: "The homeowners association shall enter into a license agreement with the city, where additional right-of-way has been dedicated or right-of-way will be utilized for the purpose of providing landscaping, additional areas for sidewalks, walls, or other amenities, and shall be responsible for the installation and maintenance of all landscape areas that are located in the public right-of-way."

7. For subdivisions with private roads or alleys, then the following, or substantially similar statement: "There is hereby granted and dedicated to the City of Winter Garden and other public service and emergency service providers, a non-exclusive easement over and through Tract ____ (Private Right-of-Way) and any other privately owned internal roads, alleys, paved areas and sidewalks for vehicular and pedestrian ingress and egress access for the purpose of providing public and emergency services to the subdivision, including but not limited to, postal, fire protection, police protection, emergency medical transportation, code enforcement, garbage, utilities and other public and emergency services."

(2) A certificate shall be issued by the city engineer certifying that the subdivider has complied with one of the following alternatives:

a. All improvements have been installed in accord with the requirements of this section and with the action of the planning and zoning board giving conditional approval of the preliminary plat; or

b. ~~An original performance guarantee as described in subsection (7) bond, irrevocable letter of credit, cash deposits, or certificate check has been delivered to the city, posted, which is available to the city, and in sufficient amount to ensure such completion of all required improvements, said amount being at least equal to 120 percent of the estimated cost of completion.~~

(3) When the subdivider proposes to regulate land use within the subdivision or when required pursuant to this chapter, an executed original declaration, or amendment thereto, in recordable form, providing for the requirements of this chapter shall be required and subject to review by the city attorney for compliance with the provisions of this article.

(4) An original "Affidavit Certifying an Absence of Reserve Strips," in recordable form, executed by the developer and preparing surveyor.

(5) Unless provided for on the plat, an original joinder and consent to dedication, in recordable form, executed by all mortgage holders and such other parties, having a record interest in the land to be platted. Said joinder and consent must be executed in the same manner in which deeds are required to be executed, joining in, consenting to and ratifying the plat and all dedications, reservations, restrictions and covenants thereon.

(6) An original joinder and consent to the declaration, in recordable form, executed by all mortgage holders and such other parties having a record interest in the land to be platted. Said joinder and consent must be executed in the same manner in which deeds are required to be executed, joining in, consenting to and ratifying the declaration and all dedications, reservations, restrictions and covenants therein.

(7) If applicable, an original performance guarantee in the form of a bond; or a performance guarantee agreement secured by an irrevocable letter of credit or cash deposit in favor of and acceptable to the city. Said guarantee shall, at a minimum, be in the amount of one hundred ~~twenty~~ (120) percent of the construction cost of the required subdivision improvements to be completed and guarantee the proper and timely completion of all unfinished public and private infrastructure improvements, including, but not limited to, its materials, workmanship, structural integrity, and functionality to the satisfaction and approval of the city.

(8) An original maintenance guarantee in the form of a bond; or a maintenance guarantee agreement secured by an irrevocable letter of credit or cash deposit in favor of and acceptable to the city. ~~Subject to approval by the city engineer, said~~ maintenance guarantee may be provided after final plat approval if the plat is approved based on the delivery of the performance guarantee under subsection (7). ~~but before issuance of the certificate of occupancy.~~ Said maintenance guarantee shall, at a minimum, be in the amount of 20 percent of the construction cost of (i) the required subdivision improvements to be dedicated or conveyed to the city, (ii) the offsite public infrastructure improvements constructed or installed by the developer, and (iii) the private community subdivision infrastructure improvements. The maintenance guarantee shall

provide for the developer's guarantee of all such improvements, including its materials, workmanship, structural integrity, and functionality and require developer's repair, replacement and correction of damage and defects to such improvements for at least a period of two years from the date of final acceptance by the city. The developer's delivery to the city of the maintenance guarantee shall occur prior to the city engineer's issuance of a certificate of completion for such improvements, unless otherwise agreed to by the city engineer, but in no event shall any certificate of occupancy be issued until such maintenance guarantee is provided. Further, ~~P~~prior to the city engineer issuing a certificate of completion for such improvements, the developer shall cause the design engineer of record to provide a signed and sealed certification to the city that all subdivision improvements to be dedicated or conveyed to the city, offsite public infrastructure improvements, and private community subdivision infrastructure improvements constructed or installed by the developer have been completed in accordance with approved design and construction plans. The city engineer may allow segments of internal sidewalks adjacent to each lot to be constructed as a precondition to the issuance of a certificate of occupancy for each individual dwelling unit, provided that prior to and as a pre-condition of turnover of the Association, the developer shall fully complete all sidewalks within the subdivision.

(9) An original "Statement of Lien Settlement - Requirement For Current Year Of Payable Taxes, Tax Sale, and Capital Improvements" from the Orange County Property Appraiser's Office showing that all due taxes have been paid in full and all tax certificates, if any, against the land have been redeemed.

(10) As may be applicable, executed original instruments of conveyance in recordable form as to such property and improvements which are required to be conveyed to the HOA and the city from the developer, along with executed partial release of mortgages. Fee simple ownership of all rights-of-way, lift station tracts and other lands to be used for public purposes, but excluding dedicated easements, should be conveyed to the city by warranty deed, unless otherwise specified by the city. Fee simple ownership of all common area tracts should be conveyed to the applicable homeowners association by quit claim deed, unless otherwise specified by the city. Mortgagees shall execute partial release of mortgages concerning all tracts and lands conveyed in fee simple either to the homeowners' association or the city and such partial releases shall be recorded in the public records concurrently with the recording of the corresponding deeds.

(11) A title opinion of an attorney at law licensed in Florida or a certification by an abstractor or a title company, along with referenced documents, showing that record title to the land as described and shown on the plat is in the name of the persons, persons, corporation, or entity executing the dedication. The title opinion or certification shall also show all mortgages, easements, or encumbrances not satisfied or released of record nor otherwise terminated by law. An update of said title opinion or certification, certified to the city and the offices of the city attorney and the city surveyor, must be provided within 30 days of final plat recording. All documents referenced in said title opinion or certification, and update thereof, shall also be provided for review by the city.

(12) A construction cost estimate shall be submitted, which provides the estimated cost of installing all improvements. Such estimates shall be based upon recent bid information. As an

alternative, bids of two reputable contractors, or a copy of an executed contract, for the installation of the improvements may be submitted.

(13) Payment of required recording costs, fees, deposits and costs as may be applicable or required pursuant to the code, and other applicable laws, ordinances, and regulations.

(14) A phase I environmental site assessment (ESA) must be conducted in accordance with the latest edition of the American Society for Testing and Materials (ASTM) standard E-1527 (Phase I ESA Process). The city will require a specified minimum off-site search distance of one-quarter mile. The minimum search distance may include areas outside the adjoining properties and shall be measured from the nearest property boundary. The ESA must be performed and signed by a Florida registered professional engineer or geologist who is able to demonstrate competence (i.e., education and previous experience) in producing ESA reports.

A previous phase I ESA may be used if it meets or exceeds the requirement of ASTM E-1527 (except as modified herein) and if the conditions of the property and area surrounding the property are not likely to have changed materially since the previous phase I ESA. Should more than one year have passed since the completion of the last phase I ESA, a current site reconnaissance and records review will be required at a minimum. All supplemental phase I ESA documents must also be signed by a Florida licensed engineer or geologist.

The results shall be provided to the city prior to acceptance of any lands to be dedicated to the city. Should environmental conditions requiring any remedial activity, monitoring or regulatory action be identified as a result of the ESA(s), the city will not accept any dedications of such land until the conditions on the land are fully addressed to the satisfaction of the city and all applicable regulatory agencies.

(15) Such other agreements, certificates, endorsements, affidavits, documentation, engineering drawings, and data as may be deemed necessary to ensure conformity with the requirements of this chapter, the code, and other applicable laws, ordinances, and regulations.

Section 4: Adoption. Sections 110-153, 110-154, 110-157 and 110-162 of Article III, Division 5 of Chapter 110 of the City of Winter Garden Code are amended to read as follows (words that are ~~stricken out~~ are deletions; words that are underlined are additions; provisions not included are not being revised):

Sec. 110-153. Homeowners association.

(1) Prior to final plat approval and, in the case of a gated community, prior to the closure or operation of the gates, a residential subdivision or commercial subdivision which is subject to the provisions of this division shall establish a mandatory homeowners' (or property owners') association in accordance with the requirements of this division, and a declaration (or in the event of an existing recorded declaration, an amendment thereto) must be approved by the city.

A certificate of good standing or such other evidence to determine the status of the HOA shall be submitted to the city as part of the final plat approval process.

(2) Unless otherwise approved by the city, simultaneous with the recording of the plat the developer shall cause to be conveyed to the HOA such land and improvements for which the HOA shall have the responsibility for maintaining and repairing, including the community subdivision infrastructure.

(3) A residential subdivision or commercial subdivision (or any combination thereof) shall be subject to the provisions of this division when:

(1)a. The responsibility to maintain certain areas, ~~private amenities, or community~~ subdivision infrastructure ~~or improvements~~ within the subdivision is to be shared by the lot owners, or where common areas will exist; or

(2)b. Any of the community subdivision infrastructure, ~~including, but not limited to, roadways, street lights, drainage systems (which includes, without limitation, stormwater detention/retention areas and underdrains), sidewalks, or certain other subdivision infrastructure and improvements are~~ is to be owned or maintained privately; or

(3)c. A gated community is sought to be established.

As long as one or more of the matters set forth in subsections (a), (b) or (c) exists, this division applies to the subdivision regardless of whether such subdivision has public or private roads, or is gated or un-gated.

Sec. 110-154. Declaration

A declaration, or an amendment thereto, which, at a minimum, sets forth the responsibilities and obligations for the maintenance, repair and replacement of the community subdivision infrastructure, common areas and private amenities and such other matters as provided in this division shall be required and submitted to the city prior to final plat approval and, in the case of a gated community, prior to the closure or operation of the gates. The declaration, or amendment thereto, shall be recorded simultaneously with the subdivision plat. The terms of the declaration, or amendment thereto, shall be to the city's satisfaction, legally sufficient and enforceable to, at a minimum, accomplish, provide or otherwise ensure or disclose the provisions of this division. An existing executed and recorded declaration for a subdivision shall be amended, in a form acceptable to the city attorney, to come into compliance with the current version of this division as condition to a final plat approval covering any phase of a subdivision to be platted after the execution and recording of the original declaration, so that an amended declaration incorporating the current requirements of this division governs previously platted phases, current and future phases. Notwithstanding the foregoing, the exclusion of said provisions within the declaration, or amendment thereto, shall not operate as a condition precedent to city's ability to enforce the requirements of this chapter. Further, nothing in this section shall preclude the declaration, or amendment thereto, from addressing other matters so long as the substance of each part of the declaration, or amendment thereto, is not inconsistent with the requirements of

this chapter or any other applicable code reference or state law. The declaration, or amendment thereto, shall, as applicable:

(1) Establish the point at which the developer must turn over control of the HOA consistent with definition of same provided in section 110-56

(2) Provide for the preparation of an initial community subdivision infrastructure report and compliance with the provisions of section 110-155, including developer's requirements prior to turnover.

(3) Provide for the preparation of a subsequent community subdivision infrastructure report and compliance with the provisions of section 110-156

(4) Include the following or similar statement: "Property owners within the subdivision shall receive no discount in property taxes or any other tax or fee because of the retention or private ownership of the community subdivision infrastructure."

(5) Include the following or similar statement: "The City of Winter Garden shall have the right, but not the obligation, to access, maintain, repair, replace and otherwise care for or cause to be cared for, any and all private areas, drainage systems, including without limitation, the retention/detention areas and underdrains, common properties, private roads, screening walls, and such other subdivision infrastructure not otherwise dedicated to the public use or the City of Winter Garden, including, without limitation, Tracts ___; and ___; and the improvements thereon. In the event any or all of the said areas, systems, improvements, properties or areas are not maintained, repaired, or replaced in accordance with the standards of the City of Winter Garden Code of Ordinances, good engineering practices, or become a nuisance or in the event the City of Winter Garden exercises its aforementioned right, each of the lot owners of the subdivision are hereby ultimately responsible for payment of the cost of maintenance, repair, replacement and care provided by the City of Winter Garden or its contractors and agents, plus administrative costs and attorneys' fees and costs incurred by the City of Winter Garden. If said costs are not paid within 15 days of invoicing, then said costs shall constitute a lien on the property of the owners which fail to pay such costs and may be enforced, without limitation, by foreclosure, special assessments, or as may otherwise be permitted by law. This right, and the City of Winter Garden's exercise of said right, shall not impose any obligation on the City of Winter Garden to maintain, repair, replace, or otherwise care for said private areas, drainage systems, including without limitation, the retention/detention areas and underdrains, common properties, private roads, screening walls, and such other subdivision infrastructure not otherwise dedicated to the public use or the City of Winter Garden, including, without limitation, Tracts ___; and ___; and the improvements thereon."

(6) Provide for the consequences resulting from a default with the provisions of the declaration, or amendment thereto, or the provisions of this chapter by the HOA or developer as set forth in section 110-159

(7) Provide that any transfer of any portion or component of the community subdivision infrastructure (including the property on which the said community subdivision infrastructure is

located) to the city or other governmental entity is prohibited without the concurrence of the city or governmental entity and the owners of two-thirds (or such higher percentage as the declaration may provide) of the platted lots.

(8) Require the establishment, funding and maintenance of an HOA account for annual routine maintenance and repair of the community subdivision infrastructure (referred to in this division as the "routine-community subdivision infrastructure-maintenance account"), and impose the restrictions and requirements set forth in section 110-157 regarding that account. Provide for the developer's obligation to ensure adequate funding of HOA routine-community subdivision infrastructure-maintenance account required by section 110-157 until turnover of the HOA. Provide that developer/declarant shall continue to have responsibility to ensure proper maintenance of the community subdivision infrastructure until turnover occurs.

(9) Require the establishment, funding and maintenance of an HOA account for major capital repair and replacement of the subdivision's roads, curbing, sidewalks, stormwater drainage systems, and walls, etc. (referred to in this division as the "capital-community subdivision infrastructure reserve account"), and impose the restrictions and requirements set forth in section 110-157 regarding that account. Provide for the developer's obligation to ensure adequate funding of HOA capital-community subdivision infrastructure reserve account required by section 110-157 until turnover of the HOA.

(10) Include the following or similar statement: "The association and the lot and unit owners are responsible for assessing, collecting and reserving sufficient funds to operate, maintain, repair and replace common properties and subdivision infrastructure improvements. The City of Winter Garden shall not be liable or responsible for the maintenance, repair and replacement of private subdivision property and infrastructure improvements."

(11) Include the following or similar statement: "It is prohibited to alter the grade of or original drainage plan for any parcel, lot or tract, or change in the direction of, obstruct, or retard the flow of surface water drainage, or alter or remove of any berm, pipe, ditch, weir, manhole, swale, and stormwater collection, storage and conveyance system unless expressly authorized by the City of Winter Garden. This provision shall be considered a restrictive covenant in favor of and enforceable by the City of Winter Garden and in the event of a violation of this provision, the City of Winter Garden shall have the right to obtain injunctive relief, seek damages, and assess fines and liens in the amount of the cost to remedy the prohibited action (including administrative costs and attorneys' fees and costs) against the violating person or entity and any property owned by such violating person or entity; provided however, such right shall not limit the City of Winter Garden's other available enforcement actions permitted by law or equity."

(12) For subdivisions with private roads or alleys, include the following or similar statement: "There is hereby created, granted and reserved for the benefit of the City of Winter Garden and other public service and emergency service providers, a non-exclusive easement over, under and through the private subdivision roads and alleys for vehicular and pedestrian ingress and egress access for the purpose of providing public and emergency services to the common property and lots, including but not limited to, postal, fire protection, police protection, emergency medical transportation, code enforcement, garbage, utilities and other public and emergency services."

(13) Provide that the HOA may not be dissolved and that no portion of the declaration, or amendment thereto, pertaining to the requirements of this chapter may be amended without the written consent of the city.

(14) Shall not contain any provisions that would circumvent the purpose and intent of any requirement of this chapter, any condition of a development order issued by the city, or any other applicable ordinance as determined by the city manager or his/her designee, including without limitation, any statement of protest of provisions required by this division or any provision impeding or restricting the HOA or the city's access to courts or rights and remedies against the developer in the event of developer's (or declarant's) default of its obligations and responsibilities under this chapter or to the HOA or city (or any combination thereof). This subsection does not prohibit the incorporation by reference of applicable statutes of limitation set forth in Florida Statutes, if any, or voting requirements as may be expressly required of the HOA by Florida Statutes, if any.

(15) Shall not contain any provision providing for a mandatory pre-litigation claims process, arbitration proceeding, or pre-suit mediation procedure in order for the city, the HOA, or any lot owner to make or bring claims, lawsuits or administrative proceedings against the developer (or declarant) or any home builder, except for the incorporation of any provision that is specifically set forth in and required by Florida Statutes.

(16) Shall not contain, unless expressly required by Florida Statutes, any provision providing for: (i) HOA to make payments or reimbursements to the developer (or declarant); (ii) the assessment of lot owners for the benefit or reimbursement of the developer (or declarant); or (iii) lot owners to make payments to pay for, in whole or part, the original construction cost of community subdivision infrastructure improvements required to be constructed by the developer (or declarant) or its successors and assigns as set forth in any development order or permit. This subsection does not prohibit provisions concerning the assessment of lot owners by the HOA concerning the cost to operate, maintain, reconstruct, repair, replace or remodel community subdivision infrastructure improvements.

(17) Shall not contain any provision prohibited by Florida Statutes.

(18) Shall not contain any provision reserving upon the developer (or declarant) or the HOA the authority to restrict individual lot owners' choice of utility service provider(s), including by way of example, but not limitation, through the reservation of the right to sell, lease, or grant licenses, permits or franchises over, under and through the subdivision property to utility service providers for service to the lots. This subsection does not prohibit provisions allowing for the HOA to select utility service providers to service common areas and common properties owned by the HOA.

(19) Provide that the declaration provisions required by this division, referencing the city, or required as a condition of any development order issued by the city shall not be removed or amended without the prior written consent of the city manager or his/her designee. Provide that the declaration shall not be amended to add any provisions prohibited by this division without the written consent of the city manager or his/her designee. Provide that declaration provisions

required (or prohibited) by this division or required as a condition of any development order issued by the city shall be considered a restrictive covenant in favor of and enforceable by the city.

(20) Provide that tracts owned by the city within the subdivision are exempt from the provisions of the declaration, and that the city shall not be subject to enforcement, regulation or assessment under the declaration or by the HOA, declarant, or any owner by virtue of the city's ownership of tracts or easements conveyed or dedicated to the city, or for any other basis. Provide that no provision of the declaration shall restrict or prohibit the city or any other applicable government authority from enforcement of their respective laws, ordinances, rules and regulations (as they may be amended from time to time) against the declarant, HOA, any lot owner or others.

(21) Provide for other such terms as may be required as a condition of any development order issued by the city, including by way of example but not limitation, provisions relating to HOA maintenance of retaining walls, drainage swales and improvements or other improvements on a lot(s) benefiting more than that lot(s).

Sec. 110-157. Homeowners association required accounts for maintenance, repair and reserves.

At a minimum, the requirements, restrictions, terms, conditions, and limitations provided for in this section with respect to the accounts required for the maintenance and repair of the community subdivision infrastructure and the monies on deposit in those accounts shall be established and maintained by each HOA.

(1) *Required HOA asset accounts.* The HOA must create, deposit monies into, retain in perpetuity, and replenish from time to time the following accounts, which are referred to in this article collectively as the "required HOA accounts":

- a. A routine-community subdivision infrastructure-maintenance account; and
- b. A capital-community subdivision infrastructure reserve account.;

~~e. This division does not require the establishment of accounts for either routine maintenance or the capital repair and replacement of private amenities not related to the community subdivision infrastructure, but such accounts may be required by the declaration or as may be established at the discretion of the HOA. However, except as otherwise provided for in this section, monies within the required HOA accounts may not be utilized for the maintenance, repair or replacement of the private amenities.~~

Each of the foregoing accounts must be asset accounts kept separate and apart from all other funds and accounts of the HOA, and for accounting purposes the HOA may not commingle these accounts, either with each other or with other funds and accounts of the HOA. However, notwithstanding the foregoing, the monies in the above accounts may be commingled with monies in other HOA accounts for banking and investment purposes, and may be pooled with other HOA monies in a common investment program, so long as the financial books and records

of the HOA account for these monies separately and apart from all other HOA monies and keep such monies earmarked for the purposes set forth below. All earnings from the investment of monies in the required HOA accounts shall remain in their respective accounts and shall follow their respective principal.

(2) Use of accounts.

a. Routine-community subdivision infrastructure-maintenance account. Monies on deposit in the routine-community subdivision infrastructure-maintenance account, including any investment earnings, shall be used by the HOA, or by the developer with the written consent of the board of directors of the HOA, only for scheduled maintenance and for unscheduled repair of the roads, drainage system, including, but not limited to, the stormwater detention/retention areas and underdrains, sidewalks, street lights, curbing, bike paths, traffic-control signage and other HOA infrastructure appurtenant to the private roads and drainage systems. If allowed by the declaration, the monies on deposit in the account may also be used for scheduled maintenance and unscheduled maintenance and repair of the entrance and exit gates and their related facilities, but the declaration shall require that the roadways and drainage-system maintenance and repair take priority over the maintenance and repair of the gates and related facilities.

b. Capital-community subdivision infrastructure reserve account. Monies on deposit in the capital-community subdivision infrastructure reserve account, including any investment earnings, shall be used by the HOA for: (i) resurfacing and related reconstruction of the roadways, including alleys, in the subdivision; (ii) major repair, replacement and reconstruction of drainage systems, including, but not limited to, the stormwater detention/retention areas, control structures, underdrains and conveyance systems; and (iii) major repair, replacement and reconstruction of sidewalks, bike paths, curbing, walls, subdivision signage, gates, community clubhouses and pools, and other ~~capital~~ community subdivision infrastructure improvements of the subdivision. Under no circumstances may the monies in the account be expended before the developer conveys the community subdivision infrastructure to the HOA.

(3) Required funding; required assessments.

a. *Routine-community subdivision infrastructure-maintenance account.* The HOA must deposit each year into the routine-community subdivision infrastructure-maintenance account an amount of money sufficient to perform all scheduled maintenance and unscheduled repair of the roads, drainage system, and other community subdivision infrastructure during the subsequent year. The amount deposited, when added to investment earnings, must be no less than the amounts estimated under subsection (5) until the reports required under sections 110-155 and 110-156 are prepared, and thereafter the amount deposited must be no less than the amount recommended by the applicable engineer's report required pursuant to sections 110-155 and 110-156. If the declaration allows maintenance and repair of the entrance and exit gates and their related facilities to be paid from the routine-community subdivision infrastructure-maintenance account, then the deposits each year must be increased by amounts sufficient to cover those costs.

b. *Capital-community subdivision infrastructure reserve account.* The HOA must deposit each year into the capital-community subdivision infrastructure reserve account an amount sufficient

for: (i) the private roads and alleys to be resurfaced and, as related to the resurfacing, reconstructed no less frequently than every 12 years; (ii) the restoration and repair or replacement of the drainage systems, including, but not limited to, the stormwater detention/retention areas control structures, underdrains and conveyance systems, no less frequently than once every ten years; and (iii) the restoration and repair or replacement of all other community subdivision infrastructure, no less frequently than once every 50 years. The amount to be deposited each year into the account must be estimated by the developer and approved by the city prior to issuance of a certificate of completion for the subdivision infrastructure. Deposits to the account must begin in the year in which the city issues its certificate of completion. At the end of each five-year community subdivision infrastructure reporting period pursuant to section 110-156, the HOA shall revise and update the estimated cost to restorate, repair and replace community infrastructure improvements taking into consideration actual costs incurred and expected increases in costs, and shall adjust the amount of its annual deposits to the account accordingly.

c. Required assessments. The obligation to collect and pay assessments shall commence as of the date on which the city issues its certificate of completion for the infrastructure improvements for the subdivision. However, if no plat has been recorded as of that date, the obligation to collect and pay assessments shall commence as of the date the plat is recorded in the public records of Orange County, Florida. In the case of the conversion of an existing subdivision to a gated community, the city shall determine the appropriate commencement dates on a case by case basis. The HOA shall impose and collect assessments against each platted lot in the subdivision, including lots owned or controlled by the developer and by any builder, without exception. The assessments must be uniform and equitable and must be imposed and collected in amounts sufficient, when added to investment earnings and other available revenues of the HOA, if any, to make all required deposits to each of the required HOA accounts.

Notwithstanding the foregoing, if in the opinion of the city engineer the community subdivision infrastructure has substantially deteriorated at the time a plat is approved, the city may require an additional payment of assessments by the developer to address the loss of useful life of the deteriorated community subdivision infrastructure.

(4) *Financial reports and other requirements.* Each year the HOA shall cause a financial report of the required HOA accounts to be performed and prepared, and a copy of the report shall be submitted to each owner of property in the subdivision and the city within the time frame required under the "financial reporting" requirements of F.S. ch. 720. At a minimum, the report shall confirm the existence of each of the required HOA accounts and report the amounts of deposits into and expenditures from the account during the period year, along with an itemization of the expenditures from the required HOA accounts. Finally, the financial report shall disclose whether any of the required HOA accounts has on deposit less than the amount required under the declaration.

(5) *Initial account funding and developer's obligations.* From the recording of the plat and up to the point in time when turnover of control of the HOA occurs, the developer and its successors in interest, shall remain personally obligated to ensure that adequate funding of the HOA accounts required by this section is provided, that the financial reporting requirements of this section are

met and that the community subdivision infrastructure is being properly maintained. Prior to the issuance of a certificate of completion for the community subdivision infrastructure, the developer shall be required to fund the capital-community subdivision infrastructure reserve account in an amount sufficient cover two-year's estimated deposits for such account and fund the routine-community subdivision infrastructure-maintenance account in an amount sufficient to cover one-year's estimated deposits for such account. For purposes of establishing deposits by the developer required under this subsection, deposit amounts shall be supported by a licensed engineer's evaluation of the community subdivision infrastructure's economic life and cost estimate for maintenance and replacement of such infrastructure provided to the city at the developer's expense and such is subject to the review and approval by the city engineer.

(6) Original construction costs. Developer and home builders and their respective successors and assigns in interest are prohibited from using HOA funds or the assessment of lot owners in order to finance, fund, or make reimbursements concerning the original construction cost of community subdivision infrastructure required to be constructed as set forth in any development order(s) or permit(s). This subsection does not prohibit the assessment of lot owners by the HOA concerning the cost to operate, maintain, reconstruct, repair, replace or remodel community subdivision infrastructure improvements after their original construction and completion as determined by the city pursuant to applicable certificate(s) of completion, certificate(s) of occupancy or other form of inspection approval(s).

Sec. 110-162. Developer liability.

Until such time as turnover of control of the HOA has occurred and the developer has conveyed to the HOA such land and improvements for which the HOA shall have the responsibility for maintaining and repairing, including the community subdivision infrastructure, the developer shall remain jointly and severally liable, to the city, along with the HOA, for the maintenance and repair of the community subdivision infrastructure, ~~common areas and private amenities within the subdivision~~, for the adequate funding of the HOA accounts required by section 110-157 and for otherwise ensuring compliance with the provisions of this division. ~~By way of example and not limitation, all maintenance and repair of roads, sidewalks, street lighting and the drainage system, including the stormwater detention/retention areas and underdrains, are the responsibility of the developer, except as provided in this section.~~ If turnover occurs and the obligations of the developer under this division have not been met, the rights of the city, HOA, any of the HOA's members, and any and all owners of land within the subdivision to enforce the requirements of this division against the developer shall survive the turnover, with the prevailing party to be entitled to attorneys' fees and costs against the non-prevailing party. Venue for any such enforcement action shall be in the Ninth Judicial Circuit of Florida, in Orange County, Florida.

SECTION 5: Codification: Sections 2, 3 and 4 of this Ordinance shall be codified and made part of the City of Winter Garden Code of Ordinances.

SECTION 6: Control: In the event of a conflict or conflicts between this ordinance and other ordinances, this ordinance controls to the extent of the conflict.

SECTION 7: Severability: It is the intent of the City Commission of the City of Winter Garden, and is hereby provided, that if any section, subsection, sentence, clause, phrase or provision of this Ordinance is held to be invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall be construed as to render invalid or unconstitutional the remaining provisions of this Ordinance.

SECTION 8: Effective Date: This Ordinance shall become effective upon adoption at its second reading.

FIRST READING: _____, 2014.

SECOND READING: _____, 2014.

ADOPTED this _____ day of _____, 2014, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

KATHY GOLDEN, City Clerk

ORDINANCE 14-30

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING SECTION 102-1 OF CHAPTER 102 OF THE CODE OF ORDINANCES OF THE CITY OF WINTER GARDEN TO CLARIFY CERTAIN DEFINITIONS AND TO ADD A DEFINITION FOR DIGITAL BILLBOARDS; AMENDING SECTION 102-92 OF CHAPTER 102 OF THE CODE OF ORDINANCES OF THE CITY OF WINTER GARDEN TO PROHIBIT DIGITAL BILLBOARDS EXCEPT UNDER LIMITED CONDITIONS AS A SPECIAL EXCEPTION AND PURSUANT TO A REPLACEMENT AND RELOCATION PLAN; CREATING SECTION 102-94 OF CHAPTER 102 OF THE CODE OF ORDINANCES OF THE CITY OF WINTER GARDEN PROVIDING FOR REPLACEMENT AND RELOCATION AGREEMENTS FOR BILLBOARDS AND DIGITAL BILLBOARDS, FOR SPECIAL EXCEPTION RESTRICTIONS AND REGULATIONS GOVERNING DIGITAL BILLBOARDS; PROVIDING FOR CODIFICATION, CONFLICTS, SEVERABILITY, AND AN EFFECTIVE DATE.

WHEREAS, the City Commission desires to allow a limited number of billboards and digital billboards within the City; and

WHEREAS, it is the policy of the State of Florida to encourage municipalities, counties, and other governmental entities and sign owners to enter into relocation and reconstruction agreements that allow governmental entities to undertake public projects and accomplish public goals without the expenditure of public funds while allowing the continued maintenance of private investment in signage as a medium of commercial and noncommercial communication; and

WHEREAS, municipalities, counties, and all other governmental entities are specifically empowered to enter into relocation and reconstruction agreements on whatever terms are agreeable to the sign owner and the municipality, county, or other governmental entity involved and to provide for relocation and reconstruction of signs by agreement, ordinance, or resolution. As used in this ordinance, a “relocation and reconstruction agreement” means a consensual, contractual agreement between a sign owner and a municipality, county, or other governmental entity for either the reconstruction of an existing sign or the removal of a sign and construction of a new sign to substitute for the sign removed; and

WHEREAS, the City Commission finds that any billboards and digital billboards allowed within the City must conform to certain limitations and restrictions to mitigate negative impacts on aesthetics, traffic, and residential areas; and

WHEREAS, the City Commission finds that it is in the best interest of the health, safety and welfare of the citizens of the City to encourage the removal or relocation of certain billboards in the City and to provide for enhancements to all billboard locations; and

WHEREAS, the City Commission finds that digital billboards, due to animated displays, lighting, potential for distracting drivers and disrupting residential areas must be reasonably regulated to protect the health, safety and welfare of the City's citizens and businesses, as well as drivers and other interests within the City; and

WHEREAS, to protect and improve highway safety, views, aesthetics, and business/investment, the conversion of billboards or billboard signs to digital billboards or digital billboards should be accomplished via relocation and reconstruction agreement with the City;

NOW, THEREFORE, BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA, AS FOLLOWS:

Section 1: **Adoption.** Section 102-1 of the City of Winter Garden Code is amended to revise definitions for *billboard or billboard sign and off-premises sign and create a definition for digital billboard as follows:* (words that are ~~stricken out~~ are deletions; words that are underlined are additions):

Billboard or billboard sign means any sign in excess of 64 square feet of copy area on its own structure or on a building which provides to the observer information of any kind concerning any activity that takes place on property other than that where the sign is located, but excluding digital billboards.

Digital billboard means any sign in excess of 64 square feet of copy area on its own structure or on a building which provides to the observer information of any kind concerning any activity that takes place on property other than that where the sign is located and provides information to the observer in an electronic manner that utilizes an LED display or other similar light-emitting or backlight electronic display technology.

Off-premises sign means any sign relating to commodities, accommodations, services, or any other activities on premises other than the premises upon which the sign is located. Digital billboards shall not be considered off-premises signs.

Section 2: **Adoption.** Section 102-92 of the City of Winter Garden Code is amended to read as follows (words that are ~~stricken out~~ are deletions; words that are underlined are additions):

Sec. 102-92. Prohibited signs.

The following types of signs are prohibited in all districts:

- (1) Any sign placed on public property, including the right-of-way, unless authorized by the city commission.

- (2) Any sign which obstructs a fire escape or window, door or opening used as a means of ingress or egress or which prevents free passage across a roof; and no sign shall be attached in any manner to a fire escape nor shall any sign be placed in a manner that will interfere with any opening required for ventilation.
- (3) Signs which simulate emergency vehicles, traffic control signals or devices, or which simulate directional, informational and warning signs erected by government or a governmental agency, or by any railroad, public utility or similar agency.
- (4) Billboards, billboard signs, and digital billboards, regardless of zoning district; provided digital billboards may be allowed as expressly authorized in Section 102-94 of this Chapter. Those billboard signs legally erected in the city prior to June 11, 1987, or legally erected within the unincorporated county prior to annexation into the city will be allowed to remain as nonconforming signs which cannot be rebuilt or replaced if greater than 50 percent of the sign structure or value is destroyed. When the cost of materials to repair or replace the sign exceed 50 percent of the physically depreciated value of the structural materials in the sign immediately prior to the destruction, the criteria of this subsection will be deemed to have been met, and the sign may not be replaced or repaired. For billboard signs not legally in place prior to June 11, 1987, an amortization period ending December 31, 1994, is provided within which period the sign must be removed. Failure to comply with this subsection will result in a violation of this chapter for the property owner and the sign owner. This subsection shall not apply to billboard signs and structures preexisting along federal aid primary highways in the city. However, if a federal aid primary highway is later converted to a nonfederal aid highway, this subsection shall apply to billboards along such highway, becoming effective the first day upon which the highway becomes a nonfederal aid primary highway. No new billboard signs or structures shall be erected in the city. The city commission shall have the authority to grant a ~~variance~~ special exception to this subsection subject to the requirements of Section 102-94 and Sections 118-96 through 118-102 to this subsection in those instances where an existing legally nonconforming billboard sign is being eliminated and being replaced with another billboard sign or digital billboard that the city commission finds less obtrusive, improves the aesthetic character of the city, provides other benefits to the city, or is and placed in a more desirable location.
- (5) The use of scroll, travel and/or dynamic frame effect in changeable and/or electronic message center signs as defined in section 102-1, in an area zoned commercial or industrial.
- (6) Animated signs and flashing signs, this is not intended to prohibit changeable signs, as defined in section 102-1

- (7) Signs affixed to unlicensed motor vehicles where the vehicle is parked in a location visible from a public right-of-way.
- (8) Signs of any type wherein such signs obstruct in any way ingress or egress to or from a structure.
- (9) Signs projecting over a street or road, except for special events when approved by the city commission.
- (10) Additional signs on any property containing a sign that does not conform to this article.
- (11) All other signs not identified in this chapter.
- (12) The tacking, pasting or otherwise affixing of signs of a miscellaneous character to the walls of buildings, on trees, poles, posts, fences or other structures.
- (13) No sign, permanent or temporary, shall be erected or placed so that it interferes with a clear sight triangle distance per Florida Department of Transportation (FDOT) design standards.
- (14) Portable signs.
- (15) Signs on trailer frames with or without mounted wheels.
- (16) Vehicle signs or signs on or attached to vehicles which have a total copy area in excess of ten square feet, when the vehicle is not regularly used in the conduct of the business and (a) is visible from a street right-of-way within one hundred feet of the vehicle, and (b) is parked for more than two consecutive hours within one hundred feet of any street right-of-way. A vehicle shall not be considered "regularly used in the conduct of the business" if the vehicle is used primarily for advertising, or for the purpose of advertising.
- (17) Flashing, animated, rotating, moving or revolving signs, whirligig devices, inflatable signs and tethered balloons, pennants, ribbons, streamers, spinners, and other similar types of attention-getting devices except for changeable signs when in compliance with the applicable regulations of this chapter.
- (18) Signage used on bus transit shelters within the right-of-way.
- (19) Any sign located on the seat or back of a bench or seat placed on or adjacent to a public right-of-way.
- (20) Traffic sign replica.

- (21) Snipe signs.
- (22) Banner signs used as permanent signage.
- (23) Commercial off-premises signs.
- (24) Neon signs, luminous tube lights, light-emitting tubes and/or neon type signs. The planning director may review and approve the use of neon signs, luminous tube lights, light-emitting tubes and/or neon type signs for properties or buildings located within a commercial district on a case by case basis where substantial historical evidence of the application of neon signs, luminous tube lights, light-emitting tubes and/or neon type signs has been provided.

Section 3: Adoption. New section 102-94 of the City of Winter Garden Code is hereby created as follows (words that are ~~stricken out~~ are deletions; words that are underlined are additions):

Secs. 102-94~~5~~—102-125. Reserved.

Section 102-94. Replacement and Relocation of Billboard Signs; Digital Billboards.

It is the policy the of the city to encourage owners of non-conforming signs to enter into relocation and reconstruction agreements that allow the city to accomplish the public goals of ensuring highway safety without the expenditure of public funds while allowing the continued maintenance of private investment in signage as a medium of commercial and noncommercial communication.

- (a) Billboard Signs. Existing non-conforming billboard signs may be eliminated and replaced with a billboard sign in accordance with Section 102-92(4) and other applicable provisions of Chapter 102 upon the City Commission’s approval of, and pursuant to, a relocation and reconstruction agreement, provided the following additional minimum requirements are met:

(1) A relocation and reconstruction proposal must be submitted to the city reflecting the proposed relocation and reconstruction including, without limitation, identification of the dimensions, characteristics, and locations of the billboard(s) to be removed and relocated; plans and drawings reflecting the dimensions, characteristics, and locations of the billboard to be constructed or reconstructed; the planned sequence of relocation and reconstruction; and any data or other documentation establishing compliance with the provisions of this Section 102-94 and other relevant portions of the Code for the new location of the billboard or digital billboard. The billboard or billboards designated for removal must be completely removed prior to

the commencement of construction of the billboard to be constructed or reconstructed;

(2) Architectural, structural and engineering plans for the billboard sign to be constructed and a site plan reflecting the layout where the billboard will be located must be submitted to the city;

(3) Submission to the city of drawings, documentation and other information reflecting the visibility and view corridors for the proposed billboard along the abutting roads and highways and from residential areas exposed to the proposed billboard sign;

(4) Submittal to the city of the written permission of the owner of the proposed location for the billboard sign;

(5) Submittal to the city of a landscaping plan that complies with sections 114-33 and 114-34 of Chapter 114 of this Code and a plan to mitigate obstructions and negative impacts of, and to enhance the benefits of, the billboard sign;

(6) Submittal to the city of a certification in a notarized statement that the relocation and reconstruction of the new billboard or billboards complies with all requirements under Chapter 479, Florida Statutes, as such may be amended from time to time; and

(7) A relocation and reconstruction agreement which shall, at minimum, identify the billboard signs to be replaced and the details regarding the proposed billboard sign and incorporated landscaping and other requirements for the proposed billboard sign and site.

(b) *Digital Billboards.* This section provides for the elimination of existing billboard signs in the city in exchange for the city's approval of a digital billboard in the city. Existing non-conforming billboard signs may be eliminated and replaced with a digital billboard in accordance with Section 102-92(4) and other applicable provisions of Chapter 102 upon the City Commission's approval of, and pursuant to, a relocation and reconstruction agreement, provided the additional minimum requirements set forth herein are met. The relocation and reconstruction agreement shall include provisions granting the city use and access to the digital billboard for displays and messages for emergencies or other urgent displays or messages, including, but not limited to Amber and other alerts, hurricane or other emergency warnings. The agreement shall allow for city displays and messages on the digital billboard for an agreed number of times each day of operation for public service announcements subject to City Commission approval.

(1) No more than five (5) digital billboards are allowed in the city, and at all times, there shall exist a ratio of at least two (2) billboards per every one (1) digital billboard within the city;

(2) Digital billboards are not allowed without approval as a special exception in accordance with the criteria set forth in Chapter 118, Article II, Division 3 of this Code;

(3) Digital billboards shall only be allowed at locations proximate to the city boundaries along the State Highway System, the interstate highway system, or federal-aid primary highway system. One digital billboard shall be allowed proximate to an intersection of major roadways near the center of the city;

(4) No digital billboard shall be allowed unless the City Commission has approved a relocation and reconstruction agreement involving the proposed digital billboard, which agreement and sign shall meet the requirements in Section 102-94(a)(1)-(7);

(5) Digital billboards shall additionally comply with the following:

A. The digital billboard copy area shall change no more frequently than once every eight (8) seconds and the time to change from one display or message to the next shall not exceed one second;

B. Digital billboards must be equipped with a device that measures ambient light and continuously monitors and automatically adjusts the brightness level of the billboard display or message based on ambient light conditions consistent with the restrictions contained herein. As a condition of operating a digital billboard within the city, owners and operators of digital billboards shall allow and cooperate with the city to periodically test the brightness level of digital billboards as specified herein;

C. The maximum brightness level for a digital billboard display or message shall not exceed 0.2 (two tenths) foot-candles over ambient light levels when measured within 150 feet of the face of the digital billboard. Digital billboard display or message brightness may be measured as follows:

i. At least 30 minutes following sunset, a foot candle meter shall be used to obtain an ambient light measurement of the digital billboard location. This measurement shall be made when the digital billboard display or message is off or displaying black copy. The measurement shall be made with the meter aimed directly at the copy area at 150 feet from the copy area;

ii. The digital billboard display or message shall then be turned on to full white copy and another measurement with the meter shall be taken at the same location as where the off/black measurement was taken;

iii. If the difference between the readings is 0.2 foot candles or less, the brightness is acceptable; and

iv. The sign shall have a default mechanism or setting that will cause the sign to turn off or show a “full black” image if a visible malfunction or failure occurs.

(6) Digital billboards shall not be configured to resemble warnings or danger signals except as may be authorized by the city pursuant to the relocation and reconstruction agreement.

(7) Consecutive messages are prohibited when the second message or display answers a textual question posed on the prior message or display, continues or completes a sentence started on the prior message or display, or continues or completes a story line started on the prior message or display. Nothing in this subsection shall prohibit consecutive messages or displays by the same advertiser or consecutive messages or displays for the same product provided that the second of such advertisements does not answer a textual question posed in the first advertisement, continue or complete a sentence started in a prior message or display, or continue or complete a story line started on a prior message or display.

(8) Displays and messages shall contain only static messages with no flashing scintillating, varying light intensity, or other movement or the appearance of, movement, or the appearance or optical illusion of movement.

(c) Spacing Requirement. The minimum spacing between digital billboards and between billboards and digital billboards with faces visible from the same driving direction shall be 2,500 feet. This distance shall be measured from the nearest point of the sign as projected to the centerline of the roadway upon which the sign is intended to be viewed to the nearest point of the other sign as measured to its closest point as projected to the centerline along the same roadway.

(d) Maximum Height. No billboard sign or digital billboard shall exceed 30 feet in height above the crown of the adjacent roadway, not to exceed a maximum of 60 feet above ground level.

(e) Size of Copy Area. The maximum size of the copy area of any billboard sign or digital billboard shall not exceed 672 square feet and the minimum shall be at least 300 square feet.

(f) Tandem or Stacked Billboards Prohibited. Any double-faced billboard having back to back surface display areas, no part of which is more than two feet apart, is considered to be a single billboard; however, structures having more than one surface display area which are tandem (side-by-side) or stacked (one above the other) are considered two billboards and are prohibited.

(g) Construction. Any billboard or digital billboard authorized under this section shall be constructed that such will withstand all wind and vibration forces that can reasonably be expected to occur in the vicinity and comply with all applicable building codes. All billboards and digital billboards shall be maintained so as to assure proper alignment of structure, continued structural soundness, and continued legibility of the message displayed thereupon

SECTION 4: Codification: Sections 1 through 3 of this Ordinance shall be codified and made part of the City of Winter Garden Code of Ordinances.

SECTION 5: Control and Supplemental Authority: In the event of a conflict or conflicts between this ordinance and other ordinances, this ordinance shall control to the extent such conflict exists. This Ordinance and the codification of provisions in this Ordinance do not preclude the City's use of relocation and reconstruction agreements as otherwise allowed by Florida law.

SECTION 6: Severability: It is the intent of the City Commission of the City of Winter Garden that if any section, subsection, sentence, clause, phrase or provision of this Ordinance is held to be invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not be construed as to render invalid or unconstitutional the remaining provisions of this Ordinance.

SECTION 7: Effective Date: This Ordinance shall become effective upon adoption at its second reading.

FIRST READING: _____, 2014.

SECOND READING AND PUBLIC HEARING: _____, 2014.

ADOPTED this _____ day of _____, 2014, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

John Rees, Mayor/Commissioner

ATTEST:

KATHY GOLDEN, City Clerk

DRAFT

**THE CITY OF WINTER GARDEN
AGENDA ITEM**

From: Tanja Gerhartz, Economic Development Director

Via: Mike Bollhoefer, City Manager

Date: June 30, 2014 **Meeting Date:** July 10, 2014

Subject: City of Winter Garden Fair Housing Workshop

Discussion:

The City of Winter Garden is required to hold a Fair Housing Workshop at a City Commission meeting.

This meeting has been noticed in the West Orange Times. David Fox, the City's CDBG consultant, will conduct the workshop.

Recommended Action:

No action is required by the City Commission.

**THE CITY OF WINTER GARDEN
AGENDA ITEM**

From: Tanja Gerhartz, Economic Development Director

Via: Mike Bollhoefer, City Manager

Date: June 30, 2014 **Meeting Date:** July 10, 2014

Subject: Community Development Block Grant (CDBG) Housing Grant Possible Conflicts of Interest

Discussion:

The State requires that all possible conflicts of interest be identified in a public meeting. A description of those possible conflicts are noted below:

1. Mark Jones is the Building Official for the City of Winter Garden, his parents (Applicants #22) George and Lois Jones residing at 302 South Lakeview Avenue, Winter Garden, Florida have applied to have their home rehabilitated under the City's CDBG Housing Grant.

Roger Doherty, Planning Manager with the Florida Department of Community Affairs Small Cities CDBG Program has determined that there is no conflict of interest because Mark Jones is not involved with the client approval process.

2. Citizens Advisory Task Force Board Member Xerxes Snell is the Pastor of the Church that (Applicant #9) Annie Noble residing at 754 Klondike Street , Winter Garden, Florida attends.

Roger Doherty, Planning Manager with the Florida Department of Community Affairs Small Cities CDBG Program has determined that this does not meet the statutory definition of a voting conflict.

3. John Kirby is on the Citizens Advisory Task Force Board, one of his clients is the son of (Applicants #22) George and Lois Jones residing at 302 South Lakeview Avenue, Winter Garden, Florida.

Roger Doherty, Planning Manager with the Florida Department of Community Affairs Small Cities CDBG Program has determined that this does not meet the statutory definition of a voting conflict.

No other possible conflicts have been noted by the City Commission, Citizens Advisory Task Force (CATF) or City Employees involved with the processing of CDBG Housing Applicants.

Recommended Action: Read aloud possible conflicts of interest and DEO's determination of possible conflict.

THE CITY OF WINTER GARDEN

AGENDA ITEM

From: Tanja Gerhartz, Economic Development Director

Via: Mike Bollhoefer, City Manager

Date: June 30, 2014 **Meeting Date:** July 10, 2014

Subject: Community Development Block Grant (CDBG) Applicant Ranking List Approval

Discussion:

The CDBG Housing Rehabilitation Applicants have been ranked according to the City of Winter Garden CDBG Housing Assistance Plan:

Priority will be given to applicants in the following order:

1. Very low income (30% of Median income) homeowners will be given priority over low moderate income (50% of Median Income) homeowners.
2. Low to Moderate income (50% of Median income) homeowners will be given priority over low moderate income (80% of Median Income) homeowners.
3. Disabled and/or handicapped head of household.
4. Head of Household is over 62 years of age.
5. Households with large families (five or more).
6. Households with small families (four or less).

The applicant ranking list attached was recommended to the Commission for approval by the Winter Garden Citizens Advisory Task Force at their June 9, 2014 meeting.

Recommended Action: Approval of CDBG Applicant Ranking List as provided.

Attachments: CDBG Applicant Ranking List

CITY OF WINTER GARDEN
PRELIMINARY CDBG HOUSING RANKING

Priority will be given to applicants in the following order:

1. Very low income (30% of Median income) homeowners will be given priority over low moderate income (50% of Median Income) homeowners.
2. Low to Moderate income (50% of Median income) homeowners will be given priority over low moderate income (80% of Median Income) homeowners.
3. Disabled and/or handicapped head of household.
4. Head of Household is over 62 years of age.
5. Households with large families (five or more).
6. Households with small families (four or less).

Name Address	VLI 0% - 30%	LMI 50% 31% - 50%	LMI 80% 51% - 80%	Handicapped Head of Household	Over 62 Head of Household	Large Family 5 or more people	Small Family 1-4 people
1. Mattie Wilson 1050 Lincoln Terrace Received 1/13/14	X			X	X		X
2. Eva Coleman 1060 Lincoln Terrace Received 1/10/14	X				X		X
3. Roene Shaw 1009 Mildred Dixon Way Received 1/13/14	X				X		X
4. Juanita & Ramsey Davidson 110 S. Lakeview Avenue Received 2/24/14	X				X		X
5. Yvette Pack 646 Bethune Avenue Received 1/10/14	X						X
6. Hellen Merchant 501 9 th Street Received 1/22/14		X		X	X		X
7. Susie Lee Riley 1040 Mildred Dixon Way Received 2/10/14		X		X	X		X
8. Annie Mullins 770 Klondike Street Received 2/24/14		X		X	X		X
9. Annie Noble 754 Klondike Street Received 2/24/14		X		X	X		X

Name Address	VLI 0% - 30%	LMI 50% 31% - 50%	LMI 80% 51%- 80%	Handicapped Head of Household	Over 62 Head of Household	Large Family 5 or more people	Small Family 1-4 people
10. Patricia Vernosky 500 Seminole Street Received 2/28/14		X		X	X		X
11. Gullermo Calo 662 Bethune Avenue Received 1/10/14		X		X			X
12. Jessie & Francis Williams 1160 Maxey Drive Received 2/10/14		X			X		X
13. Wellington Johnson 1040 E. Bay street Received 2/10/14		X			X		X
14. Jessie Jr & Jessie Mae Williams 1100 E. Bay Street Received 2/20/24		X			X		X
15. Deborah Melton 408 S. Woodland Street Received 2/26/14		X				X	
16. Jacqueline Brown Kemp 1046 Mildred Dixon Way Received 1/13/14		X					X
17. Michelle Ford Gentry 562 S. Boyd Street Received 2/3/14		X					X
18. Mary Taylor 228 11 th Street Received 2/7/14		X					X
19. Patricia Oliver 638 Bethune Avenue Received 1/10/14			X	X	X		X
20. Doris Braswell 514 S Main Street Received 2/14/14			X	X	X		X
21. Lula Lowery & Bettie Moore 1090 Lincoln Terrace Received 2/14/14			X	X	X		X
22. George & Lois Jones 302 S. Lakeview Ave Received 2/19/14			X	X	X		X
23. William Spears 510 S Main Street Received 2/21/14			X	X	X		X
24. James Crockett Sr. 134 W Vining St Received 2/24/14			X	X	X		X

Name Address	VLI 0% - 30%	LMI 50% 31% - 50%	LMI 80% 51% - 80%	Handicapped Head of Household	Over 62 Head of Household	Large Family 5 or more people	Small Family 1-4 people
25. Mildred Holt 908 E. Bay Street Received 1/23/14			X		X		X
26. Prince & Mattie Hopkins 20 Center Street Received 2/24/14			X		X		X
27. Georgia Wise 1065 Maxey Received 2/26/14			X		X		X
28. Ethel Lane 1145 Maxey Drive Received 2/27/14			X		X		X
29. Richard Sederland 155 S. Main Street Received 2/28/14			X		X		X
30. Michael & Karen Torrez 428 S. Main Street Received 2/20/14			X			X	
31. Terence L. Knight 324 S. Woodland Street Received 2/24/14			X			X	
32. Terrye Haggins-Jackson 1110 Lincoln Terrace Received 2/11/14			X				X
33. Ursula Keith 1233 S. Park Ave Received 2/13/14			X				X
34. Shannon Surgent 1150 E. Bay Street Received 2/14/14			X				X
35. Kenneth B. Morris 425 S. Woodland Street Received 2/27/14			X				X

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Ed Williams, Community Development Director

Via: City Manager Mike Bollhoefer

Date: July 2, 2014

Meeting Date: July 10, 2014

Subject: Florida Hospital of Winter Garden (SITE PLAN)
Adventist Health System/Sunbelt, Inc
PARCEL ID# 35-22-27-9398-01-110 & 35-22-27-9398-00-002

Issue:

The applicant is seeking Site Plan approval to construct Phase A of the Florida Hospital of Winter Garden project which will include a 26,208 square foot Emergency Department and 71,207 square feet of Medical Office.

Discussion:

The applicant is seeking approval of the Phase A Site Plan for the Florida Hospital of Winter Garden project. Phase A of the project includes an Emergency Department, Medical Office, portions of off-site road improvements, walls and landscaping, on-site parking and helipad.

Recommended Action:

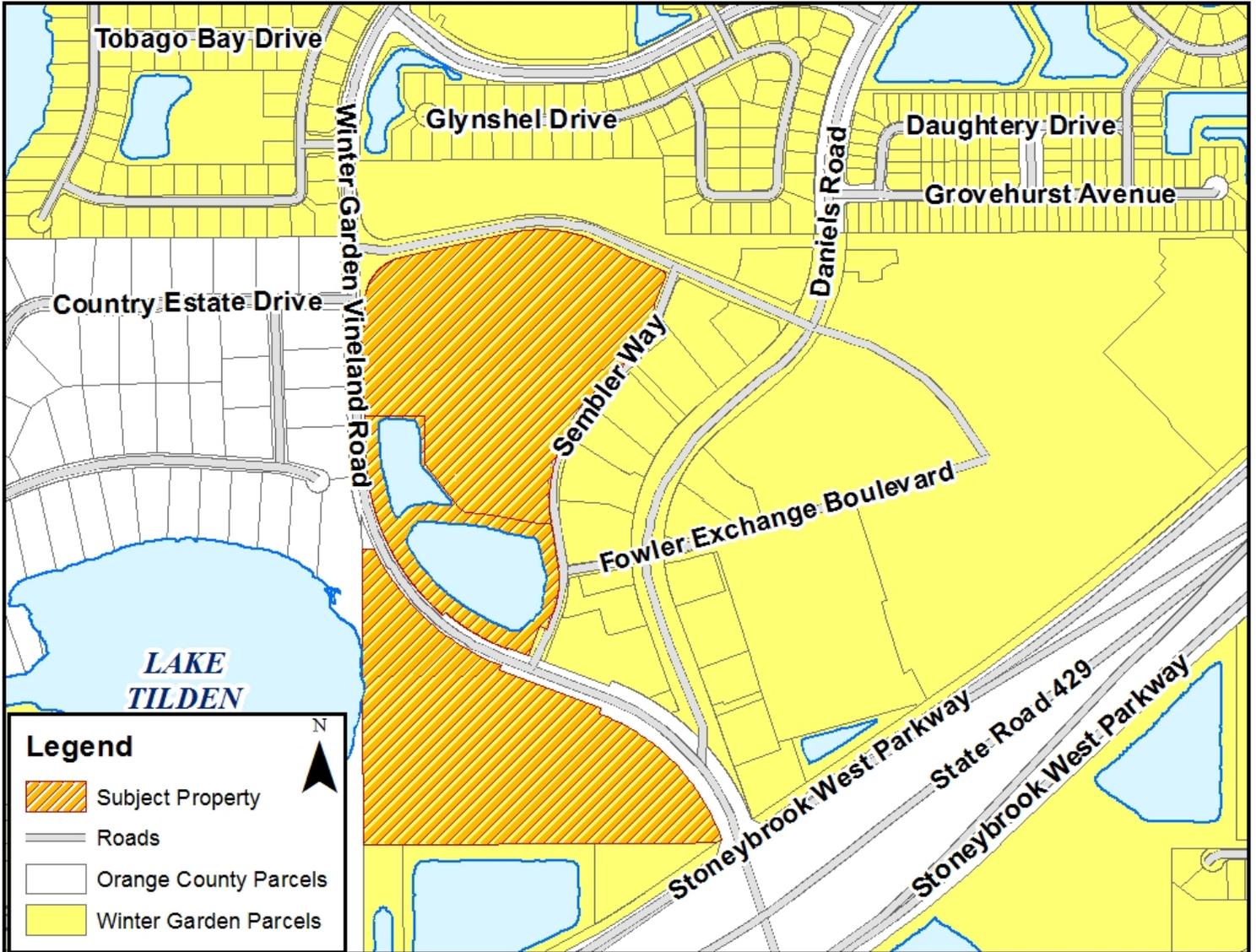
Staff recommends approval of the Site Plan subject to the conditions referenced in the attached Staff Report.

Attachment(s)/References:

Location Map
Staff Report
Site Plan

LOCATION MAP

Florida Hospital of Winter Garden



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

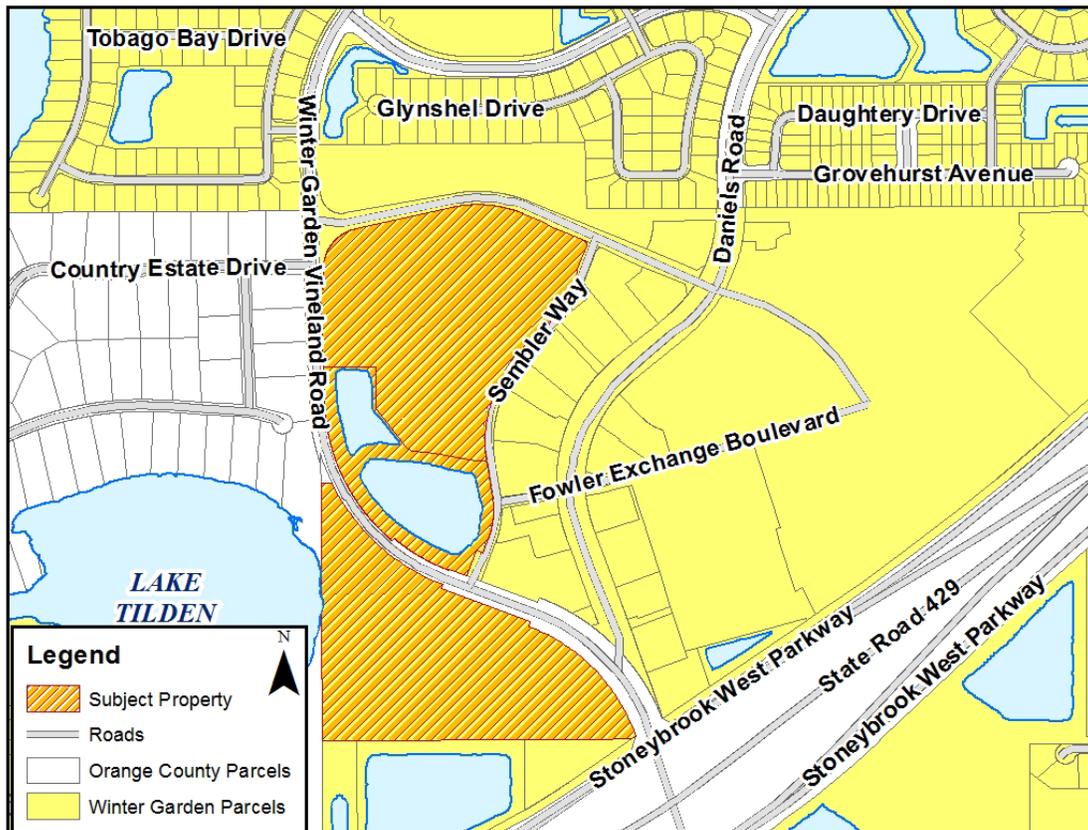
TO: CITY COMMISSION
PREPARED BY: LAURA SMITH, SENIOR PLANNER
DATE: JULY 2, 2014
SUBJECT: SITE PLAN
Florida Hospital of Winter Garden (34.36 +/- ACRES)
PARCEL ID # 35-22-27-9398-01-110 & 35-22-27-9398-00-002

APPLICANT: Lennie Arnold, PE – Littlejohn Engineering Associates

INTRODUCTION

The purpose of this report is to evaluate the proposed Site Plan for Florida Hospital of Winter Garden for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is generally located north of the Western Beltway and east of County Road 535, commonly known as Winter Garden Village at Fowler Groves within the City of Winter Garden. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is seeking Site Plan approval to construct Phase A of the Florida Hospital of Winter Garden project which will include a 26,208 square foot Emergency Department and 71,207 square feet of Medical Office. The Site Plan includes construction of parking facilities, access points, walls and landscaping, portions of off-site improvements and helipad.

EXISTING USE

The 34.36 +/- acre portion of the Winter Garden Village at Fowler Groves property that is the subject property is currently vacant unimproved land with the exception of approximately 10 +/- acres which contains a stormwater retention pond.

ADJACENT LAND USE AND ZONING

The subject property is bordered on the north by the Stonecrest residential subdivision zoned PUD in the City of Winter Garden, the east by the Winter Garden Village at Fowler Groves commercial site zoned PCD in the City of Winter Garden and the Western Beltway (SR 429), the west by the Country Lake Estates residential subdivision zoned R-CE in Orange County, and the south by an agricultural use property zoned R-1 in the City of Winter Garden.

PROPOSED USE

The applicant is seeking approval of the Phase A Site Plan for the Florida Hospital of Winter Garden project. Phase A of the project includes an Emergency Department, Medical Office, portions of off-site road improvements, walls and landscaping, on-site parking and helipad.

PUBLIC FACILITY ANALYSIS

Infrastructure in the form of water, sewer, and reclaimed water systems are available to support the proposed development.

SUMMARY

City Staff recommend approval of the proposed Site Plan for Phase A of the Florida Hospital of Winter Garden project subject to the following conditions:

1. The estimated transportation impact fees for Phase A before discounts of any impact fee credits are:
 - 71,207 sqft Medical Office @ \$13,279 per 1,000 sqft = \$945,557.75
 - 26,208 sqft Emergency Dept. @ \$4,391 per 1,000 sqft = \$115,079.33

\$1,060,637.08
2. Vehicle stacking is sufficient along/from Sembler Way. If, at any time during construction and/or operation of the emergency room, medical office and/or hospital, that access does not work the hospital shall:
 - Hire off-duty police officers to direct traffic into and out of site during peak demand periods
 - Submit mitigation, road improvement to solve the condition.

3. The following road improvements are required to be constructed by Florida Hospital as part Phase A:
 - Provide a second northbound left turn lane at Daniels Road and Fowler Groves Boulevard and extend the northbound left turn lane at Daniels Road and Fowler Groves Boulevard.
 - Widen Fowler Groves Boulevard to 4-lanes (11' wide lanes) from the main entrance of the Hospital Project to Daniels Road, and include a new dedicated eastbound right turn lane at Daniels Road.
 - Extend the northbound left turn lane at the mall entrance and Daniels Road (Hess Station).
 - Construct 10' wide bike path/sidewalk on the north side of Stoneybrook West Parkway from CR 545 to Daniels Road.
4. Sheet C2.1, Demolition Note #11 – Several specimen trees to be provided along south and Country Lake Estate property, on site trees may be relocated there.
5. Any water wells located on future pond site shall require capping and closure permits prior to construction of future pond.
6. Concrete wash-out area has not been shown or labeled on site plan. Location must be approved by City Staff prior to construction of any kind on site.
7. Finished floor elevation after grading is 129 feet; this is 3 feet above Fowler Grove Blvd elevation, 19 feet above Winter Garden Vineland Road/ CR 535 elevation, and 5 feet above Sembler Way elevation.
8. Documentation stating that DDR Corp. has agreed to joint sign and proposed elevation is required.
9. Signage plan shows 4 signs to be located around the round-a-bout; only 2 signs will be permitted. Signs 5.1 and 5.2 will not be permitted.
10. The horse farm located on the southern property has been demolished; however interior wooden fencing has not been removed. All interior wooden fencing shall be removed and only perimeter fencing retained.
11. Acoustical wall shall be constructed prior to beginning of any other on-site or off-site construction. Acoustical wall location and permitting shall be coordinated directly with the Planning Department.
12. Ambulance drop off area is limited.
13. Ambulance drop off canopy / cover is limited.
14. Number of ambulance parking spaces at ambulance drop off is not sufficient.
15. With regard to the master utility report; at the top of page three, it states that the design head for Sembler Way is 161 feet. It also states that reservoir head used for Fowler Grove Boulevard is 138 feet. Both of these exceed 55 psi. You previously stated in your comment responses that you revised the design pressure and the calculations for this project to 55 psi. Please confirm that the water calculations have been revised to the 55

psi pressure. Does the Master Utility Report that was revised on April 21, 2014 include the revision using 55 psi? The reason for the question is that all of the reports contained in the revised 4/21/14 report are identical to the reports contained in the Master Utility Report signed and sealed on 6/20/2014. Some of the reports indicate junction pressures higher than 55 psi. Not sure how this is achievable if you're starting pressure is 55 psi?

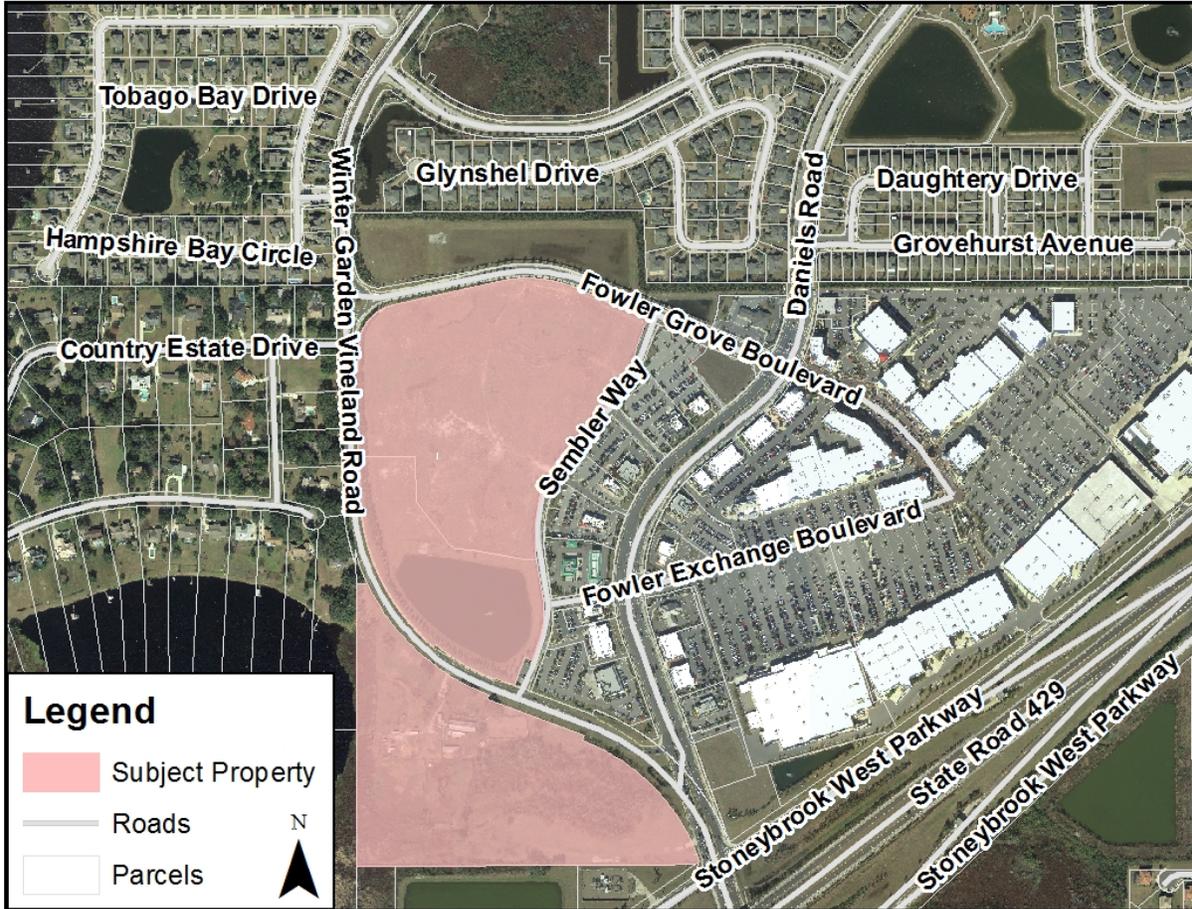
16. Sheet 7.3 and 7.7 are missing from the plan set. Please verify that the plan set is complete with your next submittal.
17. Sembler Way and Tract "B" are noted as a private roadway and stormwater pond, owned and maintained by the Winter Garden Village at Fowler Groves Property Owner's Association. Modifications to that roadway and stormwater pond will require the POA's concurrence. City acknowledges receipt of the POA's letter, but final formal documentation will be required. Also, it will be up to the applicant to deal with the POA and business owners to resolve existing conditions (i.e. sidewalk, etc.) that the City has no record of. Right-of-way Maintenance Agreement shall be executed prior to issuance of the first Certificate of Occupancy and/or Certificate of Completion, and shall include the required Maintenance Guarantee of 20% of the cost of the improvements.
18. Sheet C2.1:
 - All walls and fences will require separate permit issued by the Building Department.
 - FDEP NPDES NOI is required prior to any construction.
19. Sheets C3.0 & C3.2: Temporary Construction Compound is noted and will require a separate site plan and approval from the Building Department once the configuration has been determined.
20. Demo Sheets: A maintenance of traffic plan approved by the City shall be in place prior to any demolition on public or semi-public streets.
21. Sheet C5.3:
 - A separate permit issued by the Building Department will be required for the acoustical fence.
 - All striping and pavement markings on Fowler Groves Boulevard, Sembler Way, and Daniels Road shall be thermoplastic meeting FDOT requirements (not painted as noted several places).
22. Sheet C8.0: The new curb inlet structures Q01 and Q03 on Daniels Road (at Fowler Groves Boulevard) are shown as Type 6's. Based on the existing profile and the existing inlets on the west side of Daniels, should these be Type 5's? Verify.
23. Coordinate with Duke Energy on all power requirements, possible pole relocations, etc. Per discussion at DRC and Applicant's response, the City has authorized Florida Hospital to have Duke proceed with Design #2 per the letter dated May 2, 2014. Applicant needs to provide an update on status.
24. Landscaping shall not encroach on required sight lines at intersections or driveways. Design Engineer has provided certification that FDOT sight distance requirements are being met with signed/sealed plans.

25. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
26. All work shall conform to City of Winter Garden standards, specifications, and ordinances.
27. Fencing, if proposed, shall meet all City requirements for height, type, etc. Chain link fencing shall be vinyl coated per Code.
28. Minimum 5' wide concrete sidewalks shall be constructed along all street frontages pursuant to Code. Existing sidewalks will be checked at completion and any damaged sections shall be replaced.
29. Permits or exemptions shall be provided from SJRWMD and FDEP prior to issuance of site or building permits. Permit modification approval from SJRWMD is acknowledged.

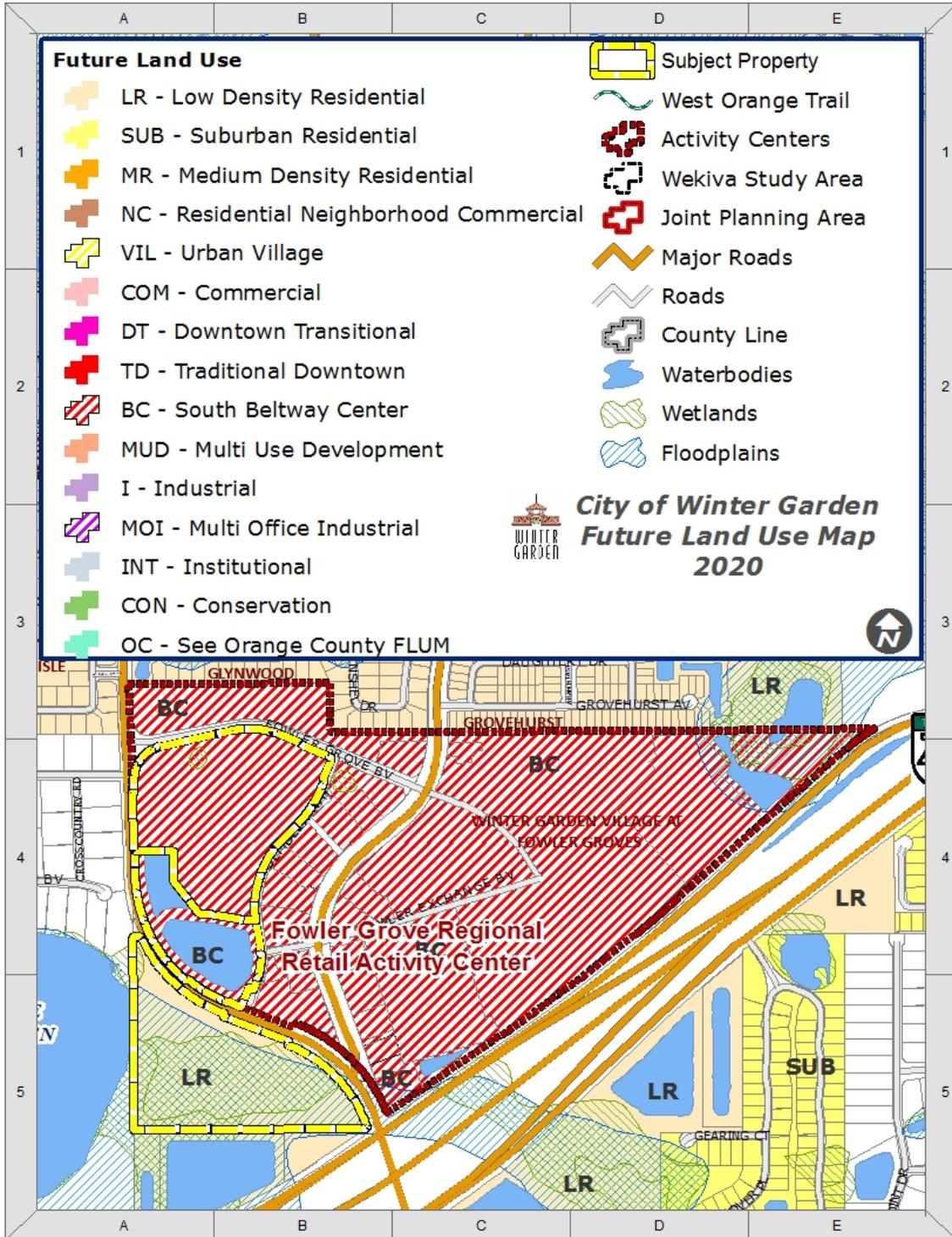
The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
30. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
31. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of site or building permits.
32. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The applicant should note that if approval is granted, the City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.

a) MAPS

AERIAL PHOTO
Subject Property



FUTURE LAND USE MAP
Florida Hospital of Winter Garden Property



END OF STAFF REPORT

FLORIDA HOSPITAL WINTER GARDEN PHASE A

OWNER / DEVELOPER

ADVENTIST HEALTH SYSTEM/SUNBELT, INC
FLORIDA HOSPITAL ACCOUNTING DEPARTMENT
601 E. ROLLINS ST
ORLANDO, FL 32803
P: (407) 303-1166

APPLICANT

LITTLEJOHN ENGINEERING ASSOCIATES, INC.
1615 EDGEWATER DRIVE, SUITE 180
ORLANDO, FLORIDA 32804
P: (407) 975-1273
F: (407) 975-1279
CONTACT: LENNIE ARNOLD, P.E.
E-MAIL: LARNOLD@LEAINC.COM

CONSULTANTS

CIVIL ENGINEER
LITTLEJOHN ENGINEERING ASSOCIATES, INC.
1615 EDGEWATER DRIVE, SUITE 180
ORLANDO, FLORIDA 32804
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ARCHITECT
ESa
2100 WEST END AVENUE, SUITE 1200
NASHVILLE, TN 37203
P: (615) 329-0046

LANDSCAPE ARCHITECT
EDSA
135 WEST CENTRAL BOULEVARD, SUITE 400
ORLANDO, FL 32801
P: (407) 425-3330; F: (407) 425-8058

MEP ENGINEERS
TLC ENGINEERING FOR ARCHITECTURE
255 SOUTH ORANGE AVENUE, SUITE 1600
ORLANDO, FL 32801
P: (407) 841-9050; F: (407) 540-0234

SURVEYORS
CARDNO TBE
402 S. NORTHLAKE BLVD., SUITE 1004
ALTAMONTE SPRINGS, FL 32701
P: (407) 629-7144; F: (407) 629-7146

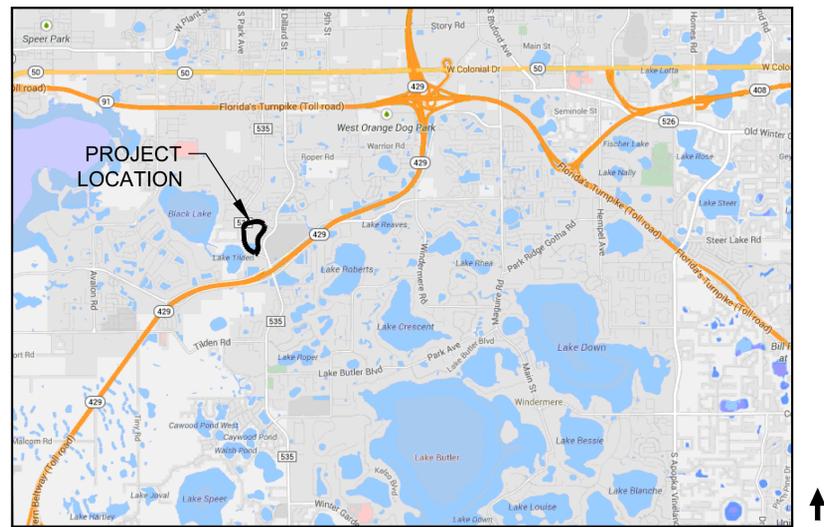
DONALD W. MCINTOSH ASSOCIATES, INC
2200 PARK AVENUE NORTH
WINTER PARK, FL 32789
P: (407) 644-4068

LOCATED AT:

2000 FOWLER GROVES BLVD WINTER GARDEN, FLORIDA

PARCEL ID# 35-22-27-9398-01-110, 35-22-27-9398-00-002
WINTER GARDEN VILLAGE AT FOWLER GROVES PCD
(HOSPITAL PROPERTY)

SITE PLAN RESUBMITTAL JUNE 20, 2014



VICINITY MAP
N.T.S.

SHEET NO.	SHEET NAME
C1.0 - C1.6	EXISTING CONDITIONS
C2.0	SITE DATA NOTES
C2.1	NOTES
C2.2	CITY OF WINTER GARDEN NOTES
C3.0	EROSION CONTROL PLAN
C3.1	EROSION CONTROL DETAILS
C3.2	SITE LOGISTICS PLAN
C4.0 - C4.5*	DEMOLITION PLAN
C5.0 - C5.5	SITE LAYOUT PLAN
C5.7	ROUNDBOUT LAYOUT PLAN
C6.0 - C6.6	GRADING & DRAINAGE PLAN
C7.0 - C7.6*	UTILITY PLAN
C7.7 - C7.8	SANITARY SEWER PROFILE
C8.0	OFF-SITE IMPROVEMENTS
C9.0 - C9.3	DETAILS
C9.4 - C9.9	CITY OF WINTER GARDEN DETAILS

T-2**	SIGNAL QUANTITIES & NOTES
T-3	SIGNALIZATION PLAN
T-4	MAST ARM TABULATION

E1.00	SITE LIGHTING PLAN
SLS-001	DUKE ENERGY OFFSITE PHOTOMETRIC PLAN

*C4.4 & C7.3 HAVE BEEN OMITTED, AS THERE IS NO WORK ON THOSE SHEETS
**T-1 IS AN EXTRANEIOUS COVER SHEET AND HAS BEEN OMITTED

SHEET NO.	SHEET NAME
L01.01	OVERALL PLAN
L01.02	SHEET LAYOUT PLAN
L10.01	HARDSCAPE NOTES
L10.11	FINISH & FURNISHING SCHEDULE
L11.01 - L11.06	HARDSCAPE PLAN
L13.01 - L13.04	HARDSCAPE DETAILS
L40.01	LANDSCAPE NOTES & PLANT SCHEDULE
L40.02	TREE DEMO PLAN
L41.01 - L41.06	TREE PLAN
L43.01 - L43.02	TREE DETAILS
L51.01 - L51.07	SHRUB & GROUND COVER PLAN
L53.01	SHRUB & GROUND COVER DETAILS
L61.01 - L61.06	IRRIGATION PLAN
L62.01	IRRIGATION LEGENDS, NOTES & DETAILS
L71.01 - L71.06	SITE FURNISHING PLAN
L73.01	SITE FURNISHING CUT SHEETS
L-1	CR 535 LANDSCAPE PLAN
L-2	CR 535 LANDSCAPE SECTIONS

S00.00	GENERAL NOTES
S01.01	FOUNDATION PLANS
S13.01	SECTION AND DETAILS

PROJECT INFORMATION

LEGAL DESCRIPTION: LOT 11, BLOCK 1 AND TRACT B, WINTER GARDEN VILLAGE AT FOWLER GROVES, AS RECORDED IN PLAT BOOK 69, PAGES 82 THROUGH 86 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

CONTAINING 34.354 ACRES MORE OR LESS AND BEING SUBJECT TO ANY RIGHTS-OF-WAY, RESTRICTIONS AND EASEMENT OF RECORD.

EXISTING ZONING: PCD
FUTURE ZONING: PCD
FUTURE LAND USE: SOUTH BELTWAY CENTER

SITE ACREAGE: +/- 34.4 ACRES

UTILITY PROVIDERS

WATER & RE-USE WATER
CITY OF WINTER GARDEN
JEFFREY COTTON, DISTRIBUTION SUPERINTENDENT
(407) 656-411 EXT. 5448
JCOTTON@WINTERGARDEN-FL.GOV

WASTE WATER
CITY OF WINTER GARDEN
GARY SAPP, COLLECTION & STORMWATER SUPERINTENDENT
(407) 656-411 EXT. 2500
GSAPP@WINTERGARDEN-FL.GOV

FIRE RESCUE
CITY OF WINTER GARDEN
MATT MCGREW, FIRE CHIEF
(407) 877-5175 EXT. 2293

ELECTRIC
PROGRESS / DUKE ENERGY
CONTACT: RYAN SPEAKS
(407) 772-5314
E-MAIL: RYAN.SPEAKS@DUKE-ENERGY.COM

GAS
LAKE APOPKA NATURAL GAS DISTRICT
EVERETT HOLMES
(407) 656-2734 EXT. 104
EHOLMES@LANGD.ORG

DATA/TELECOMMUNICATIONS
A DATA / TELECOM PROVIDER HAS NOT BEEN SELECTED YET.
FLORIDA HOSPITAL IS CURRENTLY IN NEGOTIATIONS WITH:
- BRIGHOUSE
- CENTURY LINK
- L-3 COMMUNICATIONS

Littlejohn

1615 Edgewater Drive, Suite 180, Orlando, Florida 32804
T: 407.975.1273 F: 407.975.1278 www.littlejohn.com
Nashville | Chattanooga | Decatur | Huntsville | Knoxville | Orlando | Phoenix | Tri-Cities
Leonard E. Arnold, Jr., P.E. 55241
Florida Firm Registration No. 28050

Florida Hospital Winter Garden
Phase A

2000 Fowler Grove Blvd.
Winter Garden, Florida

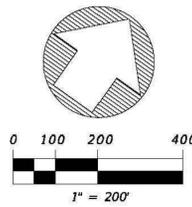
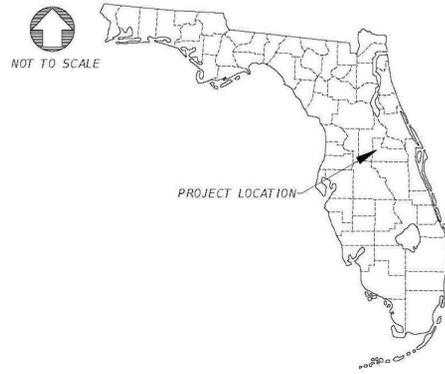
FLORIDA HOSPITAL



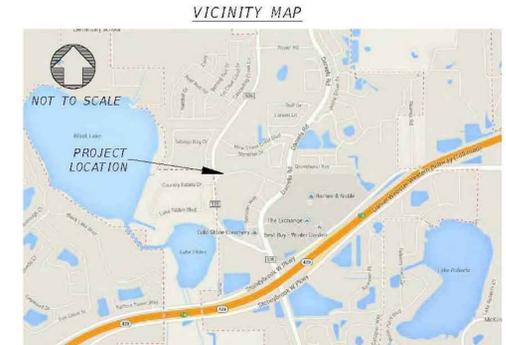
DATE	REVISIONS
6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

C0.0
COVER

TOPOGRAPHIC SURVEY OF FLORIDA HOSPITAL WINTER GARDEN PHASE A SITE



THIS MAP IS INTENDED TO BE DISPLAYED
AT A SCALE OF 1 INCH EQUALS 200 FEET.



KEY SHEET



LEGEND

- BELOW GROUND VAULT
- BOTTOM OF SLOPE/BREAKLINE
- CATCH BASIN
- ⊕ CLEANOUT- SANITARY SEWER
- COCNRETE SLAB
- CM CRAPE MYRTLE
- CURB CUT RAMP
- CURB INLET
- CURBING- BACK
- CURBING- FACE
- CURBING- FLOWLINE
- ⊞ DELINEATOR POST
- DBL DOUBLE
- x-x-x-x- FENCE
- GUTTER INLET
- HEDGES/SHRUBS
- △ IRON ROD AND CAP (IRC)
- LANE LINE
- LIGHT POLE
- MAG MAGNOLIA
- ⊕ MANHOLE- DRAINAGE
- ⊕ MANHOLE- SANITARY SEWER
- ⊕ METER- WATER
- MITERED END SECTION
- △ NAIL AND DISK (NL)
- PAVEMENT
- PLANTER
- ⊕ PUMP
- ⊕ SERVICE CABINET
- SIDEWALK - BACK
- SIDEWALK - FRONT
- ▽ SIGN
- SPILLWAY
- TOP OF BANK/BREAKLINE
- TREE- DECIDUOUS
- TREE- OAK
- * TREE- PALM
- ☆ TREE- PINE
- TREE- UNKNOWN (UNLESS OTHERWISE NOTED)
- TRPL TRIPLE
- ↷ TURN ARROW
- UNK UNKNOWN
- ⊕ VALVE COVER- UNKNOWN
- ⊕ VALVE- UNKNOWN
- WALL
- WATER LINE
- WIRING PULL BOX

SURVEYOR'S NOTES

1. TYPE OF SURVEY: TOPOGRAPHIC SURVEY OF EXISTING GROUND CONDITIONS AND GEOGRAPHIC LOCATIONS OF TREES WITHIN THE PROJECT LIMITS AS DESCRIBED BY THE CLIENT REFERRED TO AS FLORIDA HOSPITAL WINTER GARDEN PHASE A SITE.
2. FIELD SURVEY DATE: FEBRUARY 27, 2014.
3. HORIZONTAL COORDINATES ARE BASED ON AN ASSUMED DATA AND WERE COORDINATES EXTRACTED FROM A COMPUTER AIDED DESIGN AND DRAFTING FILE (CADD) PROVIDED BY THE CLIENT NAMED " PARCEL 7 BNDY-TOP0.dwg". PRIMARY CONTROL POINTS INCLUDE A FOUND NAIL AND DISK STAMPED "LB68 TRAV", REFERRED TO AS "BM1052" (NORTHING=1,524,357.54 FT, EASTING=467,086.31 FT) AND ANOTHER FOUND NAIL AND DISK STAMPED "LB68 TRAV", REFERRED TO AS "BM1049" (NORTHING=1,523,539.67 FT, EASTING=467,267.16 FT).
4. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88); MORE SPECIFICALLY "BM1052" (ELEVATION=126.55 FT) AND "BM1049" (ELEVATION=125.89 FT).
5. ACCURACY STATEMENT: ALL MEASUREMENTS SHOWN WERE PERFORMED WITHIN STRICT ACCORDANCE WITH THE MINIMUM TECHNICAL STANDARDS SET FORTH IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.
6. SURVEY METHOD: DATA WAS COLLECTED UTILIZING POINT TO POINT, REAL TIME KINEMATIC (RTK), GLOBAL POSITIONING SYSTEM (GPS). A BASE STATION WAS SET UP ON POINT "BM1052" USING THE AFOREMENTIONED COORDINATES IN NOTE 3. THEN CONTROL POINTS WERE SET AND DENSIFIED BASED OFF THE PUBLISHED COORDINATE VALUES OF "BM1052". FROM THE SET CONTROL POINTS, CONVENTIONAL TERRESTRIAL SURVEY METHODS WERE USED TO COLLECT TOPOGRAPHIC FEATURES INCLUDING TREES.
7. THE SPECIES OF TRESS SHOWN ON THIS MAP ARE IDENTIFIED TO THE BEST OF THE FIELD TECHNICIAN'S KNOWLEDGE. WE CANNOT GUARANTEE THE CORRECTNESS OF THE SPECIES IDENTIFICATION DUE IN PART BECAUSE WE ARE NOT PROFESSIONAL ARBORISTS, BIOLOGIST, ECOLOGISTS, NOR FORESTERS OR ANY OTHER PROFESSIONAL THAT IDENTIFIES TREE SPECIES.
8. ABBREVIATION LIST AND LEGEND APPEARS ON THE FACE OF THIS SURVEY MAP.
9. ALL MAP FEATURES SHOWN IN GREY ARE FOR REFERENCE PURPOSES ONLY. THE FEATURES WERE LOCATED BY ANOTHER SURVEYOR AND THEIR ACCURACY CANNOT BE VERIFIED BY CARDNO TBE.
10. THIS IS NOT A BOUNDARY SURVEY, NOR RIGHT OF WAY SURVEY, AND WAS NOT BASED ON AN ABSTRACT OF TITLE. RECORD INSTRUMENTS WERE NOT PROVIDED. UNDERGROUND UTILITIES, EASEMENTS AND/OR RESTRICTIONS MAY EXIST.
11. THIS SURVEY IS CERTIFIED TO: FLORIDA HOSPITAL AND LITTLE JOHN ENGINEERING ASSOCIATES.
12. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHERS THAN THE SIGNED PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
13. THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL A FLORIDA PROFESSIONAL SURVEYOR AND MAPPER.

TREE SCHEDULE

TREE TYPE	SIZES (INCHES AND DESCRIPTIONS)							TOTAL
	0-5	>5-10	>10-15	DOUBLES	TRIPLES	CLUSTERS	UNKNOWN SIZE	
CRAPE MYRTLE	1	0	0	0	0	8	0	9
FIR	4	0	0	0	0	1	0	5
HOLLY	5	0	0	0	0	0	0	5
MAGNOLIA	39	26	0	4	7	3	0	79
OAK	21	338	62	0	0	0	2	423
PALM	0	0	1	0	0	0	0	1
PINE	210	175	0	4	0	0	6	395
UNKNOWN	28	10	0	3	5	0	0	46
TOTAL								963

I HEREBY CERTIFY THAT THE SURVEY DEPICTED HERON IS TRUE AND MEETS THE MINIMUM TECHNICAL STANDARDS; SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 172.027, FLORIDA STATUTES.


 MATT LALUZERNE
 PROFESSIONAL SURVEYOR & MAPPER NUMBER 6766
 NOT VALID WITHOUT SIGNATURE AND RAISED SEAL OF THE ABOVE FLORIDA SURVEYOR & MAPPER
 DATE: 03/24/14



402 S. NORTH LAKE BLVD, SUITE 1004
ALTAMONTE SPRINGS, FL 32701
PHONE: (407) 629-7144
LB No.6668

REVISIONS

NO.	DESCRIPTION	BY	DATE

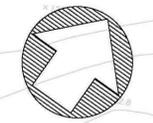
TOPOGRAPHIC SURVEY
OF
FLORIDA HOSPITAL
WINTER GARDEN PHASE A SITE
WINTER GARDEN FLORIDA

SURVEY TASK	BY	DATE	CARDNO TBE JOB #:
FIELD:	CT	02/27/14	CARDNO TBE SURVEY FIELD BOOKS:
OFFICE:	AB	03/10/14	FL-ORL-180
CHECK:	ML	03/19/14	

C1.2

EXISTING
CONDITIONS

**TOPOGRAPHIC SURVEY
OF
FLORIDA HOSPITAL WINTER GARDEN PHASE A SITE**



C1.3

EXISTING
CONDITIONS



402 S. NORTH LAKE BLVD, SUITE 1004
ALTAMONTE SPRINGS, FL 32701
PHONE: (407) 629-7144
LB No.6668

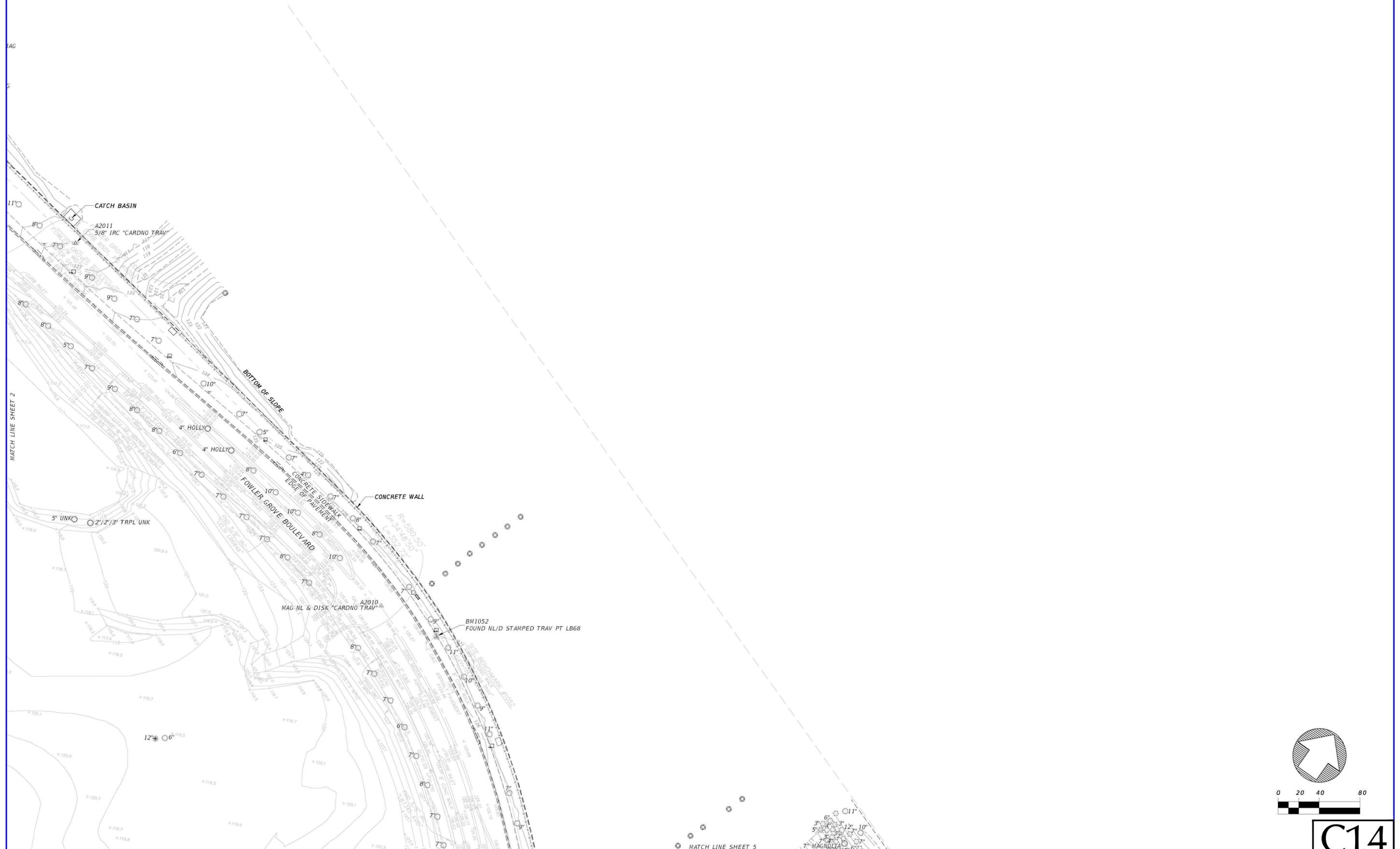
REVISIONS	BY	DATE

TOPOGRAPHIC SURVEY
OF
FLORIDA HOSPITAL
WINTER GARDEN PHASE A SITE
WINTER GARDEN FLORIDA

SURVEY TASK	BY	DATE
FIELD:	CT	02/27/14
OFFICE:	AB	03/10/14
CHECK:	ML	03/19/14

CARDNO TBE JOB #: 06197-001-00
CARDNO TBE SURVEY FIELD BOOKS:
FL-ORL-180

TOPOGRAPHIC SURVEY
OF
FLORIDA HOSPITAL WINTER GARDEN PHASE A SITE



402 S. NORTH LAKE BLVD, SUITE 1004
ALTAMONTE SPRINGS, FL 32701
PHONE: (407) 629-7144
LB No.6668

REVISIONS	BY	DATE

TOPOGRAPHIC SURVEY
OF
FLORIDA HOSPITAL
WINTER GARDEN PHASE A SITE
WINTER GARDEN FLORIDA

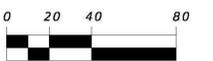
SURVEY TASK	BY	DATE
FIELD:	CT	02/27/14
OFFICE:	AB	03/10/14
CHECK:	ML	03/19/14

CARDNO TBE JOB #: 06197-001-00
CARDNO TBE SURVEY FIELD BOOKS:
FL-ORL-180

C1.4

EXISTING
CONDITIONS

TOPOGRAPHIC SURVEY OF FLORIDA HOSPITAL WINTER GARDEN PHASE A SITE



402 S. NORTH LAKE BLVD, SUITE 1004
ALTAMONTE SPRINGS, FL 32701
PHONE: (407) 629-7144
LB No.6668

REVISIONS	BY	DATE

TOPOGRAPHIC SURVEY
OF
FLORIDA HOSPITAL
WINTER GARDEN PHASE A SITE
FLORIDA

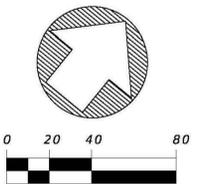
SURVEY TASK	BY	DATE
FIELD:	CT	02/27/14
OFFICE:	AB	03/10/14
CHECK:	ML	03/19/14

CARDNO TBE JOB #: 06197-001-00
CARDNO TBE SURVEY FIELD BOOKS:
FL-ORL-180

C1.5

EXISTING
CONDITIONS

TOPOGRAPHIC SURVEY OF FLORIDA HOSPITAL WINTER GARDEN PHASE A SITE



402 S. NORTH LAKE BLVD, SUITE 1004
ALTAMONTE SPRINGS, FL 32701
PHONE: (407) 629-7144
LB No.6668

REVISIONS	BY	DATE

TOPOGRAPHIC SURVEY
OF
FLORIDA HOSPITAL
WINTER GARDEN PHASE A SITE
FLORIDA

SURVEY TASK	BY	DATE
FIELD:	CT	02/27/14
OFFICE:	AB	03/10/14
CHECK:	ML	03/19/14

CARDNO TBE JOB #: 06197-001-00
CARDNO TBE SURVEY FIELD BOOKS:
FL-ORL-180

C1.6

EXISTING
CONDITIONS

SITE ADDRESS

2000 FOWLER GROVE BOULEVARD
WINTER GARDEN, FLORIDA 34787

PARCEL ID 35-22-27-9398-01-110

SITE DATA (PHASE A)

TOTAL SITE: 34.354 ACRES (1,496,460 SF)
PERVIOUS ACREAGE: 24.286 ACRES (1,057,877 SF)
IMPERVIOUS ACREAGE: 10.069 ACRES (438,583 SF)

INTENSITY (FLOOR AREA RATIO)

MAX. ALLOWED: 1.00
PROPOSED: 0.07

OPEN SPACE RATIO

MIN. ALLOWED: 15.00%
PROPOSED: 70.69%

DEVELOPMENT INFORMATION

MAXIMUM DEVELOPMENT PROGRAM
200 BED HOSPITAL WITH ANCILLARY USES (460,000 SF)
EMERGENCY DEPARTMENT (30,000 SF)
MEDICAL OFFICE (200,000 SF)

PHASE A

97,415 SF TOTAL:
26,208 SF EMERGENCY DEPARTMENT
71,207 SF MEDICAL OFFICE BUILDING

PERMITS REQUIRED FROM OTHER JURISDICTIONS:

SJRWMD - ERP MODIFICATION
FDEP - WATER & WASTEWATER

BUILDING DATA

BUILDING HEIGHT: TOTAL HEIGHT IS MEASURED TO THE ROOF OF THE TOP FLOOR. IT DOES NOT INCLUDE PENTHOUSES, STAIRS TO THE ROOF, SCREEN WALLS OR ENCLOSED MECHANICAL PENTHOUSES. IT DOES NOT INCLUDE PARAPETS UP TO 5 FT IN HEIGHT, AND ARCHITECTURAL FEATURES UP TO A MAXIMUM OF 25 FT ABOVE THE ROOF LEVEL (NON-OCCUPIED).

ZONE	MAXIMUM	PROPOSED (PHASE A)
1	0 FT	0 FT
2A	N/A	0 FT
2B	51 FT (3 STORIES)	0 FT
2C	81 FT (5 STORIES)	0 FT
2D	111 FT (7 STORIES)	61'-4" (4 STORIES)

PARKING CALCULATIONS

REQUIRED PARKING: 2.5 SPACES/BED (HOSPITAL)
4 SPACES/1,000 SF GFA MINIMUM (EMERGENCY DEPARTMENT/MEDICAL OFFICE BUILDING)
5 SPACES/1,000 SF GFA MAXIMUM (EMERGENCY DEPARTMENT/MEDICAL OFFICE BUILDING)

REQUIRED BICYCLE PARKING: 1 RACK (MINIMUM 5 SPACES) PER MAIN ENTRANCE

PHASE A

REQUIRED PARKING: 97,415 SF * 4 SPACES/1,000 SF = 390 SPACES
PROPOSED PARKING: 405 SPACES (16 ACCESSIBLE)
PROPOSED BICYCLE PARKING: 3 RACKS

LANDSCAPE REQUIREMENTS

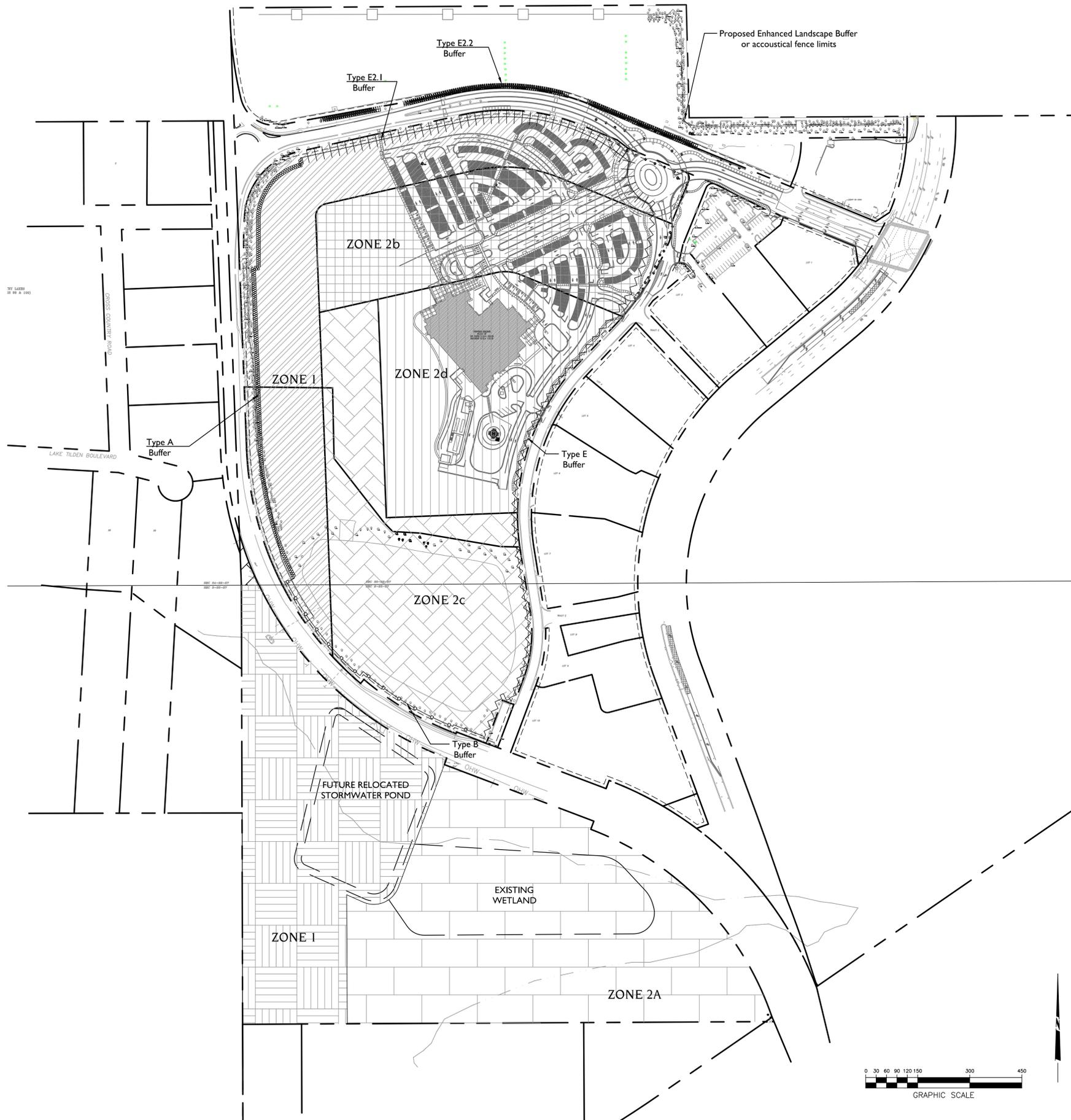
BUFFERS (SEE FIGURE)
TYPE A 40 FT (EXISTING)
TYPE B 15 FT (EXISTING)
TYPE E 10 FT (EXISTING)
TYPE E2.1: 20 FT
TYPE E2.2: 15 FT

NON-SUBSTANTIAL DEVIATIONS (ORDINANCE 12-54)

SECTION 4(16)(g)2.a. 4 LANES ALONG FOWLER GROVES BOULEVARD WILL NOT BE DEVELOPED UNTIL THE MEDIAN OPENING FOR THE TWO DRIVEWAY CONNECTIONS DUE TO THE PROPOSED SINGLE-LANE ROUNDABOUT. TURN LANES WILL BE PROVIDED AS SHOWN IN PCD-19.
SECTION 4(16)(g)2.b. ** INTERSECTION ALONG FOWLER GROVES BOULEVARD NO LONGER PROPOSED. GREEN SPINE ENTRANCE TO HOSPITAL WILL NOW CONNECT TO PROPOSED SINGLE-LANE ROUNDABOUT.

ORDINANCE 12-54 OFF-SITE IMPROVEMENTS (TO BE PERMITTED SEPARATELY)

- RELOCATE EXISTING POND TO ADJACENT PROPERTY.
- THE 10' WIDE BIKE PATH/SIDEWALK (ON THE NORTH SIDE OF STONEYBROOK WEST PARKWAY FROM CR 545 TO DANIELS ROAD) WILL BE DESIGNED AND PERMITTED SEPARATELY IN ORDER TO FOCUS ON THE BUILDING AND SITE WORK FIRST. ONCE PERMITTING FOR THE CURRENT PACKAGE IS COMPLETE, DESIGN AND PERMITTING WILL COMMENCE FOR THE BIKE PATH.



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Florida Hospital Winter Garden Phase A
2000 Fowler Grove Blvd.
Winter Garden, Florida



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5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

C2.0
SITE DATA NOTES

G:\Projects\2013\20130603 (dwg)\Construction\20130603_C2-0_NOT.dwg-C2-0 - 3:58pm landerson

GENERAL NOTES

- THE PARCEL IDS ARE 35-22-27-9398-01-110 AND 35-22-27-9398-00-002.
- BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY DONALD W. MCINTOSH ASSOCIATES DATED 12/17/13. LITTLEJOHN ENGINEERING ASSOCIATES AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.
- THE SITE LAYOUT IS BASED ON REFERENCE POINTS AS NOTED.
- THE CONTRACTOR SHALL CHECK ALL EXISTING CONDITIONS, (i.e. INVERTS, UTILITY ROUTINGS, UTILITY CROSSINGS, AND DIMENSIONS) IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ENGINEER.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL CALL NATIONAL ONE CALL (811) 72 HOURS PRIOR TO PROCEEDING WITH ANY EXCAVATION.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY OF WINTER GARDEN AND FDOT CODES AND RECEIVE APPROVAL WHERE NECESSARY BEFORE CONSTRUCTION.
- EXISTING PAVEMENT OF PUBLIC ROADWAYS SHALL BE PATCHED IN ACCORDANCE WITH CITY OF WINTER GARDEN AND FDOT STANDARDS WHEREVER UTILITY INSTALLATION REQUIRES REMOVAL OF THE EXISTING PAVEMENT. COORDINATE PAVEMENT TRENCHING LOCATIONS WITH SITE CIVIL, PLUMBING AND ELECTRICAL PLANS.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. SLIGHT FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY.
- DIMENSIONS ARE TO FACE OF CURB AND/OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- CONCRETE FOR CURBS AND SIDEWALKS SHALL BE 3500 PSI CONCRETE.
- ANY WORK UNACCEPTABLE TO THE OWNER'S REPRESENTATIVE OR TO THE CITY OF WINTER GARDEN SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- ACCESSIBLE RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:12. GRADES WITHIN ACCESSIBLE SPACES SHALL BE MAXIMUM 2% IN ALL DIRECTIONS.
- CURBS SHALL BE PARALLEL TO THE CENTERLINE OF DRIVES. THE CURB SHALL BE PLACED ONLY AFTER HAVING ALL BREAK POINTS (PC & PT OF CURVES) LOCATED AT THE FACE OF CURB OR AT A CONSISTENT OFFSET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION AND CONSTRUCTION ISSUED BY AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS OF CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
- THE CONTRACTOR SHALL PAVE IN THE DIRECTION OF TRAFFIC.
- THE CONTRACTOR SHALL COLD PLANE IN THE DIRECTION OF TRAFFIC.
- THE CONTRACTOR WILL BE REQUIRED TO ADJUST GRADES OF INTERSECTING STREETS, ALLEYS, PUBLIC ENTRANCES AND PRIVATE DRIVES AS DIRECTED BY THE ENGINEER.
- ALL ROADWAY AND SIDEWALK CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF WINTER GARDEN AND FDOT.
- ALL CONSTRUCTION MATERIALS AND INSTALLATION SHALL CONFORM TO CITY OF WINTER GARDEN AND STATE DOT REGULATIONS AND SPECIFICATIONS.
- ALL CURBING WILL BE REQUIRED TO ADJUST TO THE GRADES OF INTERSECTING STREETS, ALLEYS, PUBLIC ENTRANCES, AND PRIVATE DRIVES AS DIRECTED BY THE ENGINEER.
- THERMOPLASTIC PAINT IS TO BE USED WITHIN THE RIGHT-OF-WAY, ROUNDABOUT, ON SITE SPINE ROAD (MAIN ENTRY DRIVE) AND THE MAIN ON-SITE LOOP ROAD. ADDITIONALLY, ALL STOP BARS AND CENTER LINE STRIPING ARE TO BE THERMOPLASTIC, BUT THE REMAINDER OF THE ON-SITE STRIPING (PARKING STALL STRIPES, ON SITE CROSSWALKS, ETC) MAY BE APPROVED TRAFFIC PAINT.

DEMOLITION NOTES

- ALL MATERIALS BEING REMOVED AND NOT RELOCATED UNDER THE NEW CONSTRUCTION, INCLUDING TREES AND SHRUBS, SIGNS, UTILITY STRUCTURES, ETC., SHALL BE FIRST OFFERED TO THE OWNER'S REPRESENTATIVE AND IF NOT ACCEPTED SHALL THEN BE PROPERLY DISPOSED OF BY THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL CHARTED AND UNCHARTED UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- THE CONTRACTOR SHALL VERIFY THE LIMITS OF DEMOLITION WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK.
- IN AREAS WHERE EXISTING PAVEMENT, WALKS, OR CURBS ARE TO BE REMOVED, SAW CUT TO PROVIDE A CLEAN EDGE. COORDINATE EXTENT OF PAVEMENT DEMOLITION WITH THE LIMIT OF NEW IMPROVEMENTS ON THE SITE LAYOUT PLAN & UTILITY INSTALLATION.
- CONTRACTOR SHALL COORDINATE PHASING OF THE DEMOLITION WITH THE OWNER'S REPRESENTATIVE AND LOCAL GOVERNING AGENCY PRIOR TO BEGINNING WORK. DISRUPTION OF EXISTING UTILITY SERVICES AND TRAFFIC PATTERNS SHALL BE MINIMIZED TO THE EXTENT POSSIBLE AND INITIATED ONLY AFTER APPROVAL BY THE LOCAL GOVERNING AGENCY AND THE UTILITY COMPANIES.
- CAVITIES LEFT BY STRUCTURE REMOVAL SHALL BE SUITABLY BACKFILLED AND COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL USE WATER SPRINKLING AND OTHER SUITABLE METHODS AS NECESSARY TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL NECESSARY TO ACCOMPLISH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL PRESERVE AND PROTECT SURVEY CONTROL POINTS AND SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY DISTURBED CONTROL POINTS.
- EXISTING LIGHT STANDARDS BEING REMOVED SHALL BE FIRST OFFERED TO THE OWNER PRIOR TO DISPOSING OF THEM. COORDINATE LIGHTING DEMOLITION AND LAYOUT WITH THE ELECTRICAL DRAWINGS.
- RELOCATION OF EXISTING PLANT MATERIALS SHALL BE COORDINATED WITH THE OWNER AND RELOCATED TO A DESIGNATED AREA ON SITE.
- NO UTILITY OR STORM SEWER LINES SHALL BE DEMOLISHED UNTIL THE NEW LINES HAVE BEEN INSTALLED AND ARE PLACED INTO OPERATION.
- THE CONTRACTOR SHALL INCORPORATE INTO HIS WORK ANY ISOLATION VALVES OR TEMPORARY PLUGS REQUIRED TO CONSTRUCT NEW UTILITY LINES AND DEMOLISH EXISTING UTILITY LINES.
- EXISTING IRRIGATION LINES LIE WITHIN THE AREA AFFECTED BY THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL REWORK THE EXISTING IRRIGATION SYSTEMS IN ACCORDANCE WITH DIRECTIVES NOTED ON THE LANDSCAPE PLAN. SERVICE SHALL BE MAINTAINED DURING CONSTRUCTION TO THE LANDSCAPED AREAS CURRENTLY IRRIGATED.

SITE UTILITY NOTES

- THE PARCEL IDS ARE 35-22-27-9398-01-110 AND 35-22-27-9398-00-002.
- THE SANITARY SEWER SHALL BE OF THE MATERIAL INDICATED ON THE PLAN. POLYVINYLCHLORIDE (PVC) SHALL BE (SDR26).
- ALL WATER LINES, SEWER LINES, AND APPURTENANCES SHALL BE OF MATERIALS AND CONSTRUCTION THAT CONFORM TO THE CITY OF WINTER GARDEN STANDARDS AND SPECIFICATIONS. WATER AND REUSE SHALL BE C-900 PVC, DR-18. ALL REUSE PIPE SHALL BE PURPLE IN COLOR.
- PROVIDE A MINIMUM 36" OF COVER OVER ALL WATER LINES.
- THE CONTRACTOR SHALL MAINTAIN 10 FEET HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER LINES. WHERE THESE CRITERIA CANNOT BE MET, THE CONTRACTOR SHALL MAINTAIN 18" VERTICAL SEPARATION BETWEEN WATER AND SEWER LINES.
- THE CONTRACTOR SHALL FIELD VERIFY THE EXACT HORIZONTAL AND VERTICAL LOCATION OF EXISTING MANHOLES OR SANITARY SEWER LINES AT THE POINT OF CONNECTION PRIOR TO THE COMMENCEMENT OF ORDERING OF MATERIALS AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES DO NOT CONFLICT WITH SANITARY SEWERS, SANITARY SEWER SERVICES, STORM SEWERS, OR ANY OTHER UTILITY OR STRUCTURE, EXISTING OR PROPOSED.
- THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL NOTIFY EACH INDIVIDUAL UTILITY OWNER OF HIS PLAN OF OPERATION IN THE AREA OF THE UTILITIES. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT THE UTILITY OWNERS AND REQUEST THEM TO PROPERLY LOCATE THEIR RESPECTIVE UTILITY ON THE GROUND. THIS NOTIFICATION SHALL BE GIVEN AT LEAST THREE (3) BUSINESS DAYS PRIOR TO COMMENCEMENT OF OPERATIONS AROUND THE UTILITY.
- BEFORE CONNECTIONS ARE MADE INTO EXISTING UTILITIES, THE NEW LINES ARE TO BE FLUSHED AND TESTED BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY OF WINTER GARDEN WATER AND SEWER DEPARTMENT SPECIFICATIONS.
- ALL TRENCHES CUT IN EXISTING ROADS OR DRIVES SHALL UTILIZE A CLEAN SAW CUT AND SHALL BE BACKFILL (100%) TO FINAL SUBGRADE WITH #57 STONE. REPAIR ROADS PER LOCAL AGENCY REQUIREMENTS.
- REPAIR ALL DAMAGE TO EXISTING FEATURES (i.e. DRIVES, ROADS, YARDS, LANDSCAPING, ETC...) TO PRE-CONSTRUCTION CONDITION.
- THE CONTRACTOR SHALL PROVIDE ALL HORIZONTAL AND VERTICAL BENDS TO ATTAIN THE ALIGNMENT INDICATED ON THE PLANS. PROVIDE VERTICAL BENDS WHERE NECESSARY TO ALLOW WATER LINES TO PASS UNDER OR OVER OTHER UTILITY LINES. (ALL BENDS AND BRACES NEEDED MAY NOT BE ACTUALLY SHOWN). PROVIDE BRACING AND/OR RODDING AT ALL BENDS AND TEES AS REQUIRED BY WATER DEPARTMENT.
- REDUCED PRESSURE BACKFLOW PREVENTER (RPBP) OR DUAL CHECK WILL BE REQUIRED ON ALL TESTS AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE WATER DEPARTMENT.
- COORDINATE THE EXACT LOCATION OF ALL UTILITIES ENTERING THE BUILDING WITH THE PLUMBING PLANS.
- THE CONTRACTOR SHALL VERIFY REQUIRED PIPE LENGTHS, EXISTING PIPE MATERIAL AND SIZES AS SHOWN ON PLANS.
- REPAIR EXISTING PAVEMENT, CURBS, WALKS, LANDSCAPING, ETC. THAT ARE DAMAGED BY CONSTRUCTION ACTIVITIES TO A LIKE NEW CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- THE PROPOSED GAS LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL GAS COMPANY BY THE CONTRACTOR.
- THE PROPOSED ELECTRIC LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL ELECTRIC COMPANY BY THE CONTRACTOR.
- THE PROPOSED TELEPHONE LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL TELEPHONE COMPANY BY THE CONTRACTOR.
- WHERE DRAINAGE OR UTILITY LINES OCCUR IN PROPOSED FILL AREAS, THE FILL MATERIAL IS TO BE PLACED AND COMPACTED TO (98%) OF MAXIMUM DRY DENSITY PRIOR TO INSTALLATION OF DRAINAGE OR UTILITY LINES. FILL IS TO BE INSPECTED BY A PROFESSIONAL GEOTECHNICAL ENGINEER TESTING FIRM EMPLOYED BY THE OWNER. RESULTS OF THE TEST SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE. CONTRACTOR TO PAY FOR ANY RETESTING.
- THE CONTRACTOR SHALL ADJUST THE ALIGNMENT OF THE WATER LINES (HORIZONTALLY AND/OR VERTICALLY) TO ALLOW THE REQUIRED BRACING AT BENDS AND TEES.
- EXISTING CASTINGS LOCATED IN FILL/CUT AREAS SHALL BE ADJUSTED TO ENSURE THAT THE TOP OF CASTING IS FLUSH WITH THE FINISHED GRADE.
- THE INSIDE AND OUTSIDE OF ALL MANHOLES SHALL BE COATED WITH BITUMINOUS PAINT.
- THE CONTRACTOR WILL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED TO WORK OVER AND AROUND THE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO FURNISH SUCH EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER.
- PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR CONTACTING OWNERS OF ALL AFFECTED UTILITIES IN ORDER TO DETERMINE THE EXTENT TO WHICH UTILITY RELOCATIONS AND/OR ADJUSTMENTS WILL HAVE UPON THE SCHEDULE OF WORK FOR THE PROJECT. WHILE SOME WORK MAY BE REQUIRED "AROUND" UTILITY FACILITIES THAT WILL REMAIN IN PLACE, OTHER UTILITY FACILITIES MAY NEED TO BE ADJUSTED CONCURRENTLY WITH THE CONTRACTOR'S OPERATIONS.
- ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY THE CORING AND RESILIENT SEAL METHOD.
- FIRE HYDRANT ASSEMBLIES INCLUDE THE APPROPRIATE SIZED TEE, 6" LINE TO HYDRANT, 6" GATE VALVE (WITH VALVE BOX), AND FIRE HYDRANT (WITH KICKER). HYDRANTS SHALL BE INSTALLED AT LOCATIONS SHOWN ON THE PLANS.
- CONTRACTOR SHALL MARK THE LOCATION OF ALL NEW PVC LINES WITH #10 WIRE AND WARNING TAPE.
- SIAMSE STAND PIPE TO BE GALVANIZED STEEL.
- ALL FIRE LINES SHALL BE INSTALLED BY A SPRINKLER CONTRACTOR LICENSED IN THE STATE OF THE PROJECT.

SITE GRADING & EROSION CONTROL NOTES

- THE DISTURBED AREA FOR THIS PROJECT IS APPROXIMATELY 24.03 ACRES.
- THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO COMMUNITY PANEL NO. 12095C0215F OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR ORANGE COUNTY, FLORIDA, WITH AN EFFECTIVE DATE OF SEPTEMBER 25, 2009. CONSTRUCT SILT BARRIERS BEFORE BEGINNING GRADING OPERATIONS.
- SOD OR SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETED, UNLESS OTHERWISE INDICATED. CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- PROVIDE TEMPORARY CONSTRUCTION ACCESS(ES) AT THE POINT(S) WHERE CONSTRUCTION VEHICLES EXIT THE CONSTRUCTION AREA. MAINTAIN PUBLIC ROADWAYS FREE OF TRACKED MUD AND DIRT.
- THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF THE STORM DRAIN CONNECTIONS AT THE BUILDING WITH THE PLUMBING PLANS.
- THE CONTRACTOR SHALL CHECK ALL EXISTING GRADES AND DIMENSIONS IN THE FIELD PRIOR TO BEGINNING WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- THE CONTRACTOR SHALL ADJUST THE CASTINGS OF ALL NEW AND EXISTING STRUCTURES TO MATCH PROPOSED FINISH GRADES.
- THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION AND CONSTRUCTION ISSUED BY AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS OF CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
- PROPOSED CONTOUR LINES AND SPOT ELEVATIONS ARE THE RESULT OF AN ENGINEERED GRADING DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO DRAINAGE AND MOVEMENT OF MATERIALS. SHOULD THE CONTRACTOR HAVE ANY QUESTION OF THE INTENT OR ANY PROBLEM WITH THE CONTINUITY OF GRADES, THE ENGINEER SHALL BE CONTACTED IMMEDIATELY.
- ALL CUT AND FILL SLOPES SHALL BE 3 HORIZONTAL TO 1 VERTICAL OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS.
- ALL PIPES UNDER EXISTING PAVED AREAS SHALL BE BACKFILLED TO THE TOP OF SUBGRADE WITH CRUSHED STONE.
- MINIMUM GRADE ON ASPHALT OR CONCRETE PAVING SHALL BE 1.0%. THE MAXIMUM GRADES WITHIN ACCESSIBLE SPACES SHALL BE 2% IN ANY DIRECTION.
- CONTRACTOR SHALL CONFORM TO ALL APPLICABLE CODES AND OBTAIN APPROVAL AS NECESSARY BEFORE BEGINNING CONSTRUCTION.
- ALL EARTHWORK, INCLUDING THE EXCAVATED SUBGRADE AND EACH LAYER OF FILL, SHALL BE MONITORED AND APPROVED BY A QUALIFIED GEOTECHNICAL ENGINEER, OR HIS REPRESENTATIVE.
- IF ANY SPRINGS OR UNDERGROUND STREAMS ARE EXPOSED DURING CONSTRUCTION PERMANENT FRENCH DRAINS MAY BE REQUIRED. THE DRAINS SHALL BE SPECIFIED AND LOCATED DURING CONSTRUCTION AS REQUIRED BY THE CONDITIONS WHICH ARE ENCOUNTERED, AND SHALL BE APPROVED BY THE ENGINEER.
- THIS GRADING & DRAINAGE PLAN IS NOT A DETERMINATION OR GUARANTEE OF THE SUITABILITY OF THE SUBSURFACE CONDITIONS FOR THE WORK INDICATED. A GEOTECHNICAL SOILS REPORT HAS BEEN PREPARED AND IS AVAILABLE FROM THE OWNER. DETERMINATION OF THE SUBSURFACE CONDITIONS FOR THE WORK INDICATED IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL TAKE SPECIAL CARE TO COMPACT FILL SUFFICIENTLY AROUND AND OVER ALL PIPES, STRUCTURES, VALVE STEMS, ETC., INSIDE THE PROPOSED PAVED AREAS TO AVOID SETTLEMENT. ANY SETTLEMENT DURING THE WARRANTY PERIOD SHALL BE RESTORED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- IN NO CASE SHALL SLOPE, HEIGHT, SLOPE INCLINATION, OR EXCAVATION DEPTH, INCLUDING TRENCH CONSTRUCTION, EXCEED THOSE SPECIFIED IN LOCAL, STATE AND FEDERAL REGULATIONS, SPECIFICALLY THE CURRENT OSHA HEALTH AND SAFETY STANDARDS FOR EXCAVATIONS (29 CFR PART 1926) SHALL BE FOLLOWED.
- DO NOT DISTURB VEGETATION OR REMOVE TREES EXCEPT WHEN NECESSARY FOR GRADING PURPOSES.
- STRIP TOPSOIL FROM ALL CUT AND FILL AREAS AND STOCKPILE UPON COMPLETION OF GENERAL GRADING OVER ALL DISTURBED AREAS, TO A MINIMUM DEPTH OF 6". CONTRACTOR SHALL SUPPLY ADDITIONAL TOP SOIL IF INSUFFICIENT QUANTITIES EXIST ON SITE.
- TOP OF GRATE ELEVATIONS AND LOCATION OF COORDINATES FOR DRAINAGE STRUCTURES SHALL BE AS SHOWN ON THE DETAIL, UNLESS NOTED OTHERWISE. THE GRATES SHALL SLOPE LONGITUDINALLY WITH THE PAVEMENT GRADES.
- ALL DRAINAGE CONSTRUCTION MATERIALS AND INSTALLATION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL GOVERNING AGENCY.
- POSITIVE DRAINAGE SHALL BE ESTABLISHED AS THE FIRST ORDER OF WORK AND SHALL BE MAINTAINED AT ALL TIMES DURING AND AFTER CONSTRUCTION. SOIL SOFTENED BY PERCHED WATER IN FOUNDATION AND PAVEMENT AREAS MUST BE UNDERCUT AND REPLACED WITH SUITABLE FILL MATERIALS APPROVED BY THE GEOTECHNICAL ENGINEER. GROUNDWATER INFILTRATION INTO EXCAVATIONS SHOULD BE EXPECTED, AND THE WATER SHALL BE REMOVED USING GRAVITY DRAINAGE OR PUMPING.
- REINFORCED CONCRETE STORM DRAINAGE PIPE SHALL BE CLASS III, WALL "B".
- FILL SLOPES 3:1 AND GREATER SHALL BE PLACED AND COMPACTED 5' BEYOND PROPOSED LIMITS AND THEN EXCAVATED BACK TO THE PROPOSED LOCATION.
- THE CONTRACTOR SHALL PROVIDE AN ASBLUT SURVEY STAMPED BY A LICENSED SURVEYOR IN THE SAME STATE OF THE PROJECT OF ALL PUBLIC STORM SYSTEMS AND ONSITE DETENTION PONDS AND WATER QUALITY MEASURES VERIFYING COMPLIANCE WITH DESIGN DOCUMENTS.
- ALL FILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT. THIS MATERIAL SHALL BE PLACED IN LIFTS DIRECTED BY THE GEOTECHNICAL ENGINEER AND COMPACTED AS SPECIFIED BY THE GEOTECHNICAL ENGINEER (TO 98% STANDARD PROCTOR / MODIFIED PROCTOR).
- THE LOCATION OF ALL DIVERSION SWALES AND DITCHES SHALL BE FIELD ADJUSTED TO AVOID TREES AS POSSIBLE. THE CONTRACTOR SHALL WALK THE ALIGNMENT OF THESE SWALES AND DITCHES IN THE FIELD TO VERIFY AVOIDANCE OF TREES.
- SEDIMENT REMOVED FROM SEDIMENT CONTROL STRUCTURES IS TO BE PLACED AT A SITE APPROVED BY THE ENGINEER. IT SHALL BE TREATED IN A MANNER SO THAT THE AREA AROUND THE DISPOSAL SITE WILL NOT BE CONTAMINATED OR DAMAGED BY THE SEDIMENT IN THE RUN-OFF. COST FOR THIS TREATMENT IS TO BE INCLUDED IN PRICE BID FOR EARTHWORK. THE CONTRACTOR SHALL OBTAIN THE DISPOSAL SITE AS PART OF THIS WORK.
- STOCKPILED TOPSOIL OR FILL MATERIAL IS TO BE TREATED SO THE SEDIMENT RUN-OFF WILL NOT CONTAMINATE SURROUNDING AREAS OR ENTER NEARBY STREAMS.
- ANY SITE USED FOR DISPOSAL AND/OR STOCKPILE OF ANY MATERIAL SHALL BE PROPERLY PERMITTED FOR SUCH ACTIVITY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT ALL REQUIRED PERMITS ARE SECURED FOR EACH PROPERTY UTILIZED. A COPY OF THE APPROVED PERMIT MUST BE PROVIDED TO THE INSPECTOR PRIOR TO COMMENCEMENT OF WORK ON ANY PROPERTY. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR REMOVING ANY ILLEGALLY PLACED MATERIAL AT HIS OWN EXPENSE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO WASTE EXCESS EARTH MATERIAL OFF SITE AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL FIRST OFFER THE EXCESS MATERIAL TO THE OWNER. IF NOT ACCEPTED BY THE OWNER, THE CONTRACTOR SHALL DISPOSE OF EARTH MATERIAL OFF SITE. IT SHALL ALSO BE THE CONTRACTOR'S RESPONSIBILITY TO IMPORT SUITABLE MATERIAL (AT NO ADDITIONAL COST TO THE OWNER) FOR EARTHWORK OPERATIONS IF SUFFICIENT AMOUNTS OF EARTH MATERIAL ARE NOT AVAILABLE ON SITE.
- SEGMENTAL WALLS SHALL BE PROVIDED BY THE CONTRACTOR AS A DESIGN BUILD. WALL DESIGN PLANS STAMPED BY A REGISTER ENGINEER IN THE STATE OF THE PROJECT SHALL BE SUBMITTED TO THE ENGINEER AS A SHOP DRAWING. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY ADDITIONAL GEOTECHNICAL INFORMATION NECESSARY TO PROPERLY DESIGN THE WALL.

EROSION CONTROL NOTES:

- EROSION PREVENTION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATION BEGINS AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORKDAY BUT MUST BE REPLACED AT THE END OF THE WORKDAY.
- THE FOLLOWING RECORDS SHALL BE MAINTAINED ON OR NEAR SITE: THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR; THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE; THE DATES WHEN STABILIZATION MEASURES ARE INITIATED; INSPECTION RECORDS AND RAINFALL RECORDS.
- THE CONTRACTOR SHALL MAINTAIN A RAIN GAUGE AND DAILY RAINFALL RECORDS AT THE SITE OR USE A REFERENCE SITE FOR A RECORD OF DAILY AMOUNT OF PRECIPITATION.
- PRE-CONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED OR DISTURBED MORE THAN 10 DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDDED AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED.
- CONSTRUCTION MUST BE SEQUENCED TO MINIMIZE THE EXPOSURE TIME OF GRADED OR DENUDED AREAS.
- SEDIMENT SHOULD BE REMOVED FROM SEDIMENT TRAPS, SILT FENCES, SEDIMENTATION PONDS AND OTHER SEDIMENT CONTROLS AS NECESSARY AND MUST BE REMOVED WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50% OR AS DIRECTED BY OWNERS REPRESENTATIVE.
- THE CONTRACTOR SHALL REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES BEFORE ACCEPTANCE BY LOCAL GOVERNING AGENCY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL REMOVE THE TEMPORARY EROSION AND WATER POLLUTION CONTROL DEVICES ONLY AFTER A SOLID STAND OF GRASS HAS BEEN ESTABLISHED ON GRADED AREAS AND WHEN IN THE OPINION OF THE OWNER'S REPRESENTATIVE, THEY ARE NO LONGER NEEDED.



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Florida Hospital Winter Garden
 Phase A

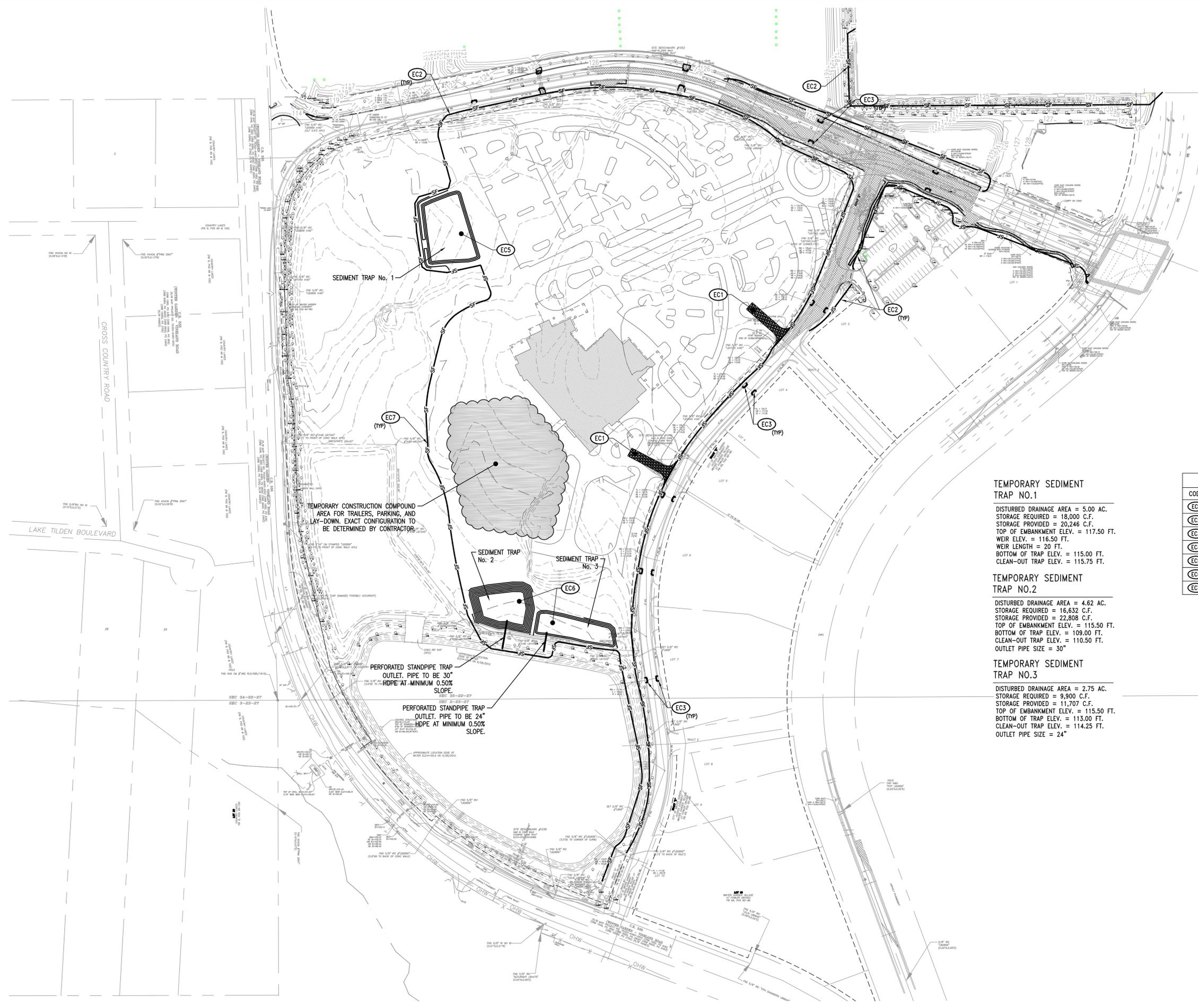
2000 Fowler Grove Blvd.
 Winter Garden, Florida



6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
DATE	REVISIONS
1/10/14	20130603

C2.1
 NOTES

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EROSION CONTROL NOTES:
 1. SEE SHEET C2.1 FOR EROSION CONTROL NOTES.

- PROPOSED FEATURES LEGEND:**
- SF — PROPOSED SILT FENCE
 - — — PROPOSED FILTER SOCK
 - TEMPORARY CONSTRUCTION ENTRANCE
 - LOD — LIMITS OF DISTURBANCE
 - ROCK CHECK DAM
 - INLET PROTECTION
 - TP — TREE PROTECTION

TEMPORARY SEDIMENT TRAP NO.1
 DISTURBED DRAINAGE AREA = 5.00 AC.
 STORAGE REQUIRED = 18,000 C.F.
 STORAGE PROVIDED = 20,246 C.F.
 TOP OF EMBANKMENT ELEV. = 117.50 FT.
 WEIR ELEV. = 116.50 FT.
 WEIR LENGTH = 20 FT.
 BOTTOM OF TRAP ELEV. = 115.00 FT.
 CLEAN-OUT TRAP ELEV. = 115.75 FT.

TEMPORARY SEDIMENT TRAP NO.2
 DISTURBED DRAINAGE AREA = 4.62 AC.
 STORAGE REQUIRED = 16,632 C.F.
 STORAGE PROVIDED = 22,808 C.F.
 TOP OF EMBANKMENT ELEV. = 115.50 FT.
 BOTTOM OF TRAP ELEV. = 109.00 FT.
 CLEAN-OUT TRAP ELEV. = 110.50 FT.
 OUTLET PIPE SIZE = 30"

TEMPORARY SEDIMENT TRAP NO.3
 DISTURBED DRAINAGE AREA = 2.75 AC.
 STORAGE REQUIRED = 9,900 C.F.
 STORAGE PROVIDED = 11,707 C.F.
 TOP OF EMBANKMENT ELEV. = 115.50 FT.
 BOTTOM OF TRAP ELEV. = 113.00 FT.
 CLEAN-OUT TRAP ELEV. = 114.25 FT.
 OUTLET PIPE SIZE = 24"

EROSION CONTROL KEY NOTE

CODE	DESCRIPTION	DTL #—SHT #
EC1	TEMPORARY CONSTRUCTION ENTRANCE	4 / C3.1
EC2	SILT FENCE	2 / C3.1
EC3	INLET PROTECTION	3 / C3.1
EC4	TREE PROTECTION FENCE	1 / C3.1
EC5	STONE OUTLET SEDIMENT TRAP	6 / C3.1
EC6	PERFORATED PIPE OUTLET SEDIMENT TRAP	7 / C3.1
EC7	DIVERSION DITCH	5 / C3.1

811
 Know what's below.
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GRAPHIC SCALE
 0 20 40 60 80 100 200 300

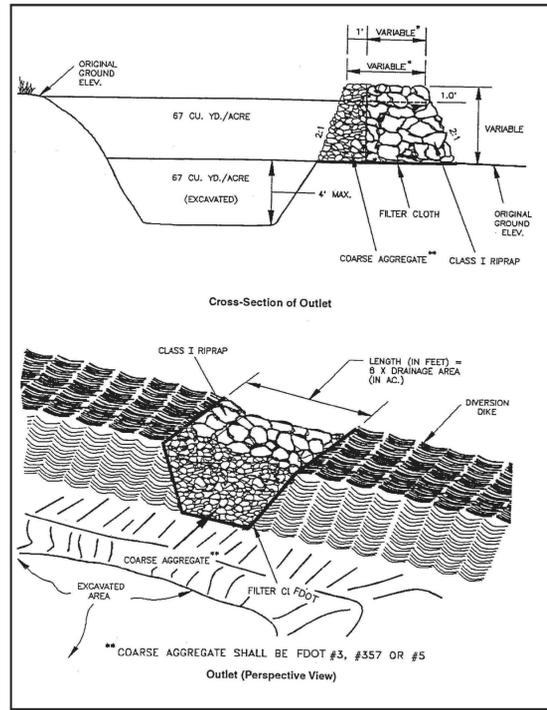
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1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
DATE	REVISIONS
1/10/14	20130603

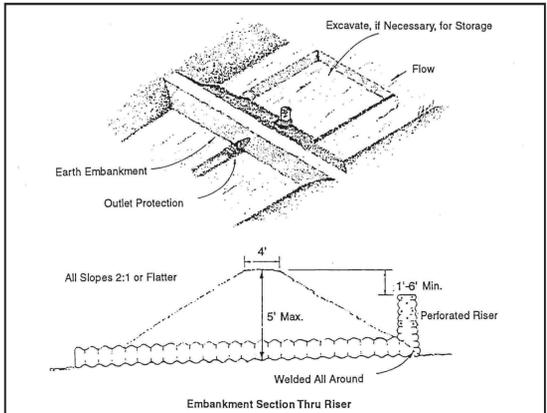
C3.0
 EROSION CONTROL PLAN



SOURCE: NRCS

6 STONE OUTLET SEDIMENT TRAP

NOT TO SCALE



Embankment Section Thru Riser

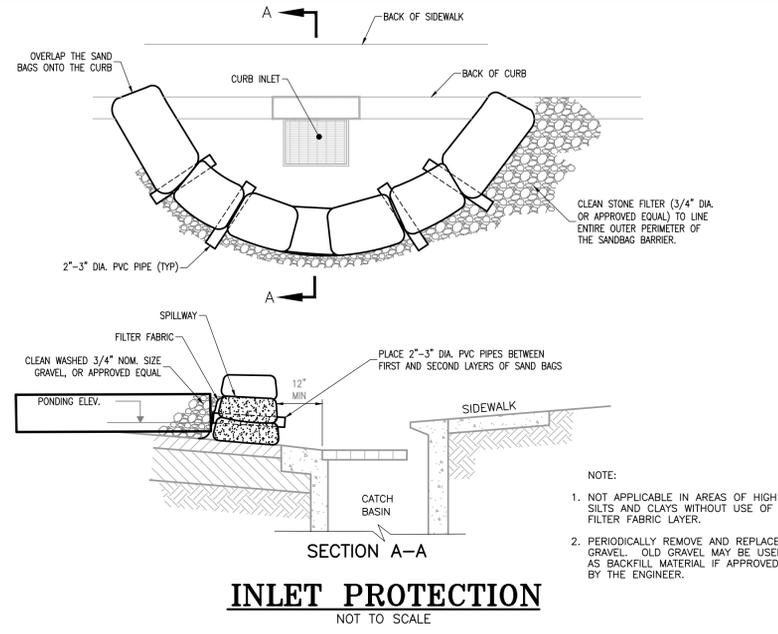
Construction Specifications

- Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The pool area shall be cleared.
- The fill material for the embankment shall be free of roots or other woody vegetation as well as oversized stones, rocks, organic material, or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed.
- Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
- The structure shall be inspected after each rain and repairs made as needed.
- Construction operations shall be carried out in such a manner that erosion and water pollution are minimized.
- The structure shall be removed and area stabilized when the drainage area has been properly stabilized.
- All cut and fill slopes shall be 2:1 or flatter.
- All pipe connections shall be watertight.
- At least the top 2/3 of the riser shall be perforated with 1/2-inch diameter holes spaced 8 inches vertically and 10 - 12 inches horizontally.
- Fill material around pipe spillway shall be hand compacted in 4-inch layers. A minimum of two feet of hand-compacted backfill shall be placed over the pipe spillway before crossing it with construction equipment.

SOURCE: NRCS

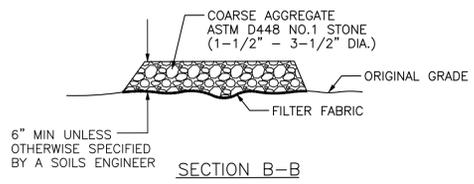
7 PIPE OUTLET SEDIMENT TRAP

NOT TO SCALE



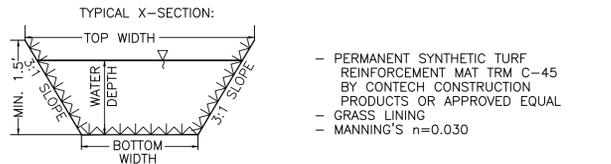
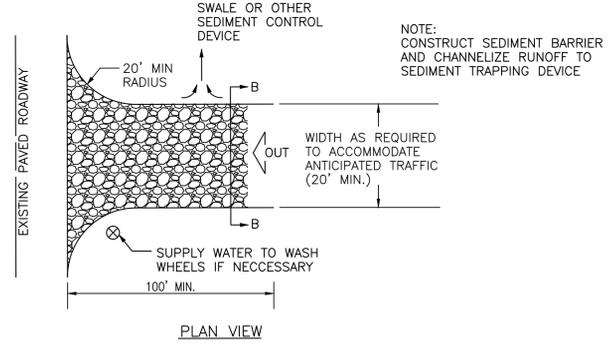
3 INLET PROTECTION

NOT TO SCALE



4 TEMPORARY CONSTRUCTION ENTRANCE

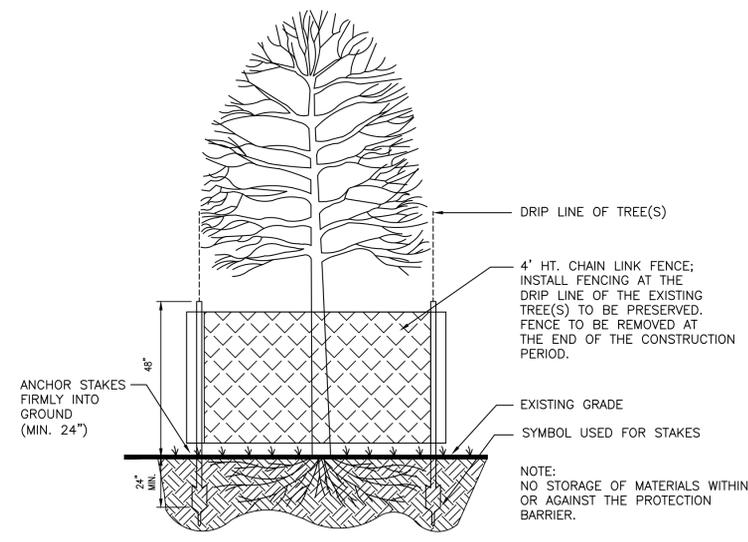
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DIVERSION DITCH:									
DITCH NO.	LENGTH (LIN. FT.)	SLOPE %	TOP WIDTH (FT.)	BOTTOM WIDTH (FT.)	MIN. DEPTH (FT.)	FLOW (CFS)	WATER DEPTH (FT.)	VELOCITY (FT/SEC)	DESTINATION
1	350	8.6	VARIES	2.0	1.5	6.0	0.34	5.8	SEDIMENT BASIN NO. 1
2	200	21.0	VARIES	2.0	1.5	5.1	0.25	7.5	SEDIMENT TRAP NO. 1
3	150	6.7	VARIES	2.0	1.5	5.1	0.32	5.0	SEDIMENT TRAP NO. 1
4	340	12.4	VARIES	3.0	1.5	14.3	0.42	8.1	SEDIMENT BASIN NO. 2
5	420	9.3	VARIES	3.0	1.5	14.3	0.45	7.3	SEDIMENT BASIN NO. 2
6	240	2.5	VARIES	2.0	1.5	6.6	0.50	3.8	SEDIMENT TRAP NO. 2

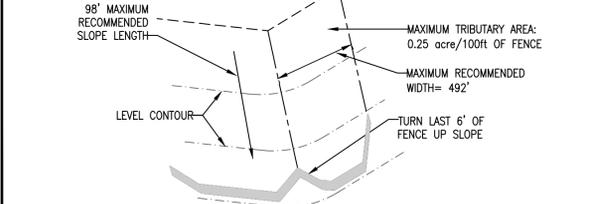
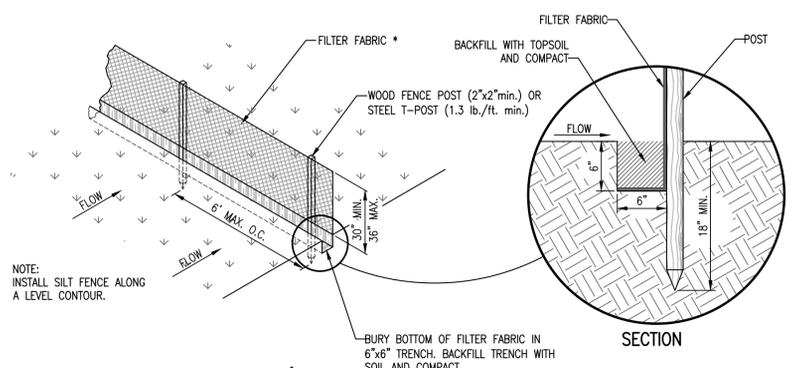
5 DIVERSION DITCH

NOT TO SCALE



1 TREE PROTECTION

NOT TO SCALE



2 SILT FENCE

NOT TO SCALE

SPECIFICATIONS	
Tensile Strength (Lbs. Min.) (1) (ASTM D-4632)	Warp-120 Fill -100
Elongation (%Max.) (ASTM D-4632)	40
AOS (Apparent Opening Size) (Max. Sieve Size) (ASTM D-4751)	#30
Flow Rate (Gal/Min/Sq. Ft.) (GDT-87)	25
Ultraviolet Stability (2) (ASTM D-4632 after 300 hours weathering in accordance with ASTM D-4355)	80
Bursting Strength (PSI Min.) (ASTM D-3786 Diaphragm Bursting Strength Tester)	175
Minimum Fabric Width (Inches)	36

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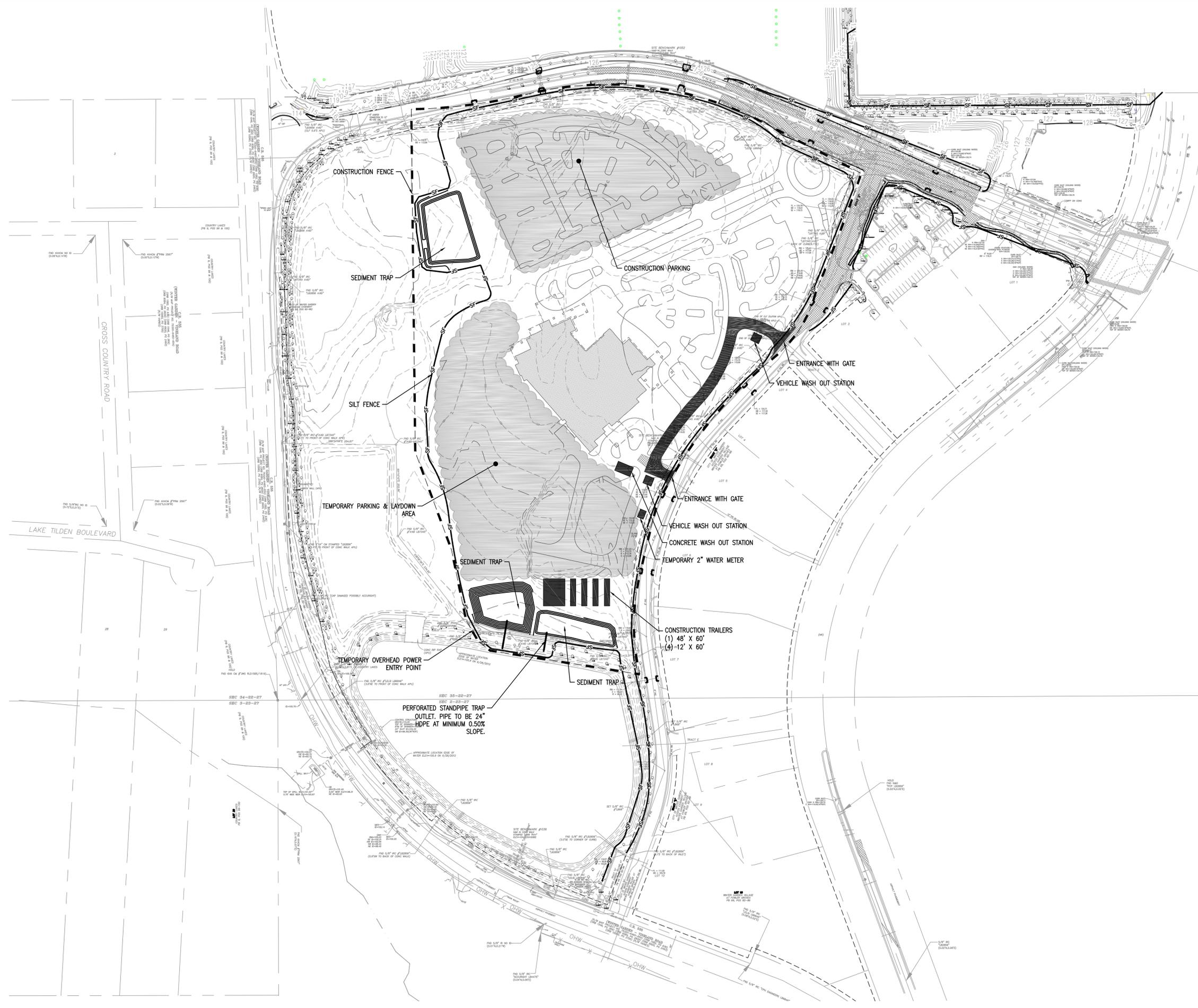
Professional Engineer Seal: LEONARD E. ARNOLD, JR., No. 55241, State of Florida, Professional Engineer

DATE	REVISIONS
6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRG RESUBMITTAL
1/24/14	DRG RESUBMITTAL
1/17/14	DRG RESUBMITTAL

C3.1
 EROSION CONTROL DETAILS

G:\Projects\2013\20130603.dwg Construction\20130603_C3-1 Erosion Control Details Jun 19, 2014 - 4:00pm iamdersen

G:\Projects\2013\20130603.dwg Construction\20130603_C3-0_ER0.dwg-C3-2_Site Logistics Plan Jun 19, 2014 - 5:48pm landerson



WORK HOUR RESTRICTIONS
 1. MONDAY - FRIDAY: 7:00 AM UNTIL 9:00 PM
 2. SATURDAY: 9:00 AM UNTIL 9:00 PM
 3. SUNDAY: NO WORK PERMITTED

IF WORK OUTSIDE THESE HOURS IS DESIRED CONTRACTOR SHALL FORMALLY NOTIFY THE CITY OF WINTER GARDEN A MINIMUM OF 2 WEEKS PRIOR TO DESIRED DATE.

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GRAPHIC SCALE
 0 20 40 60 80 100 200 300

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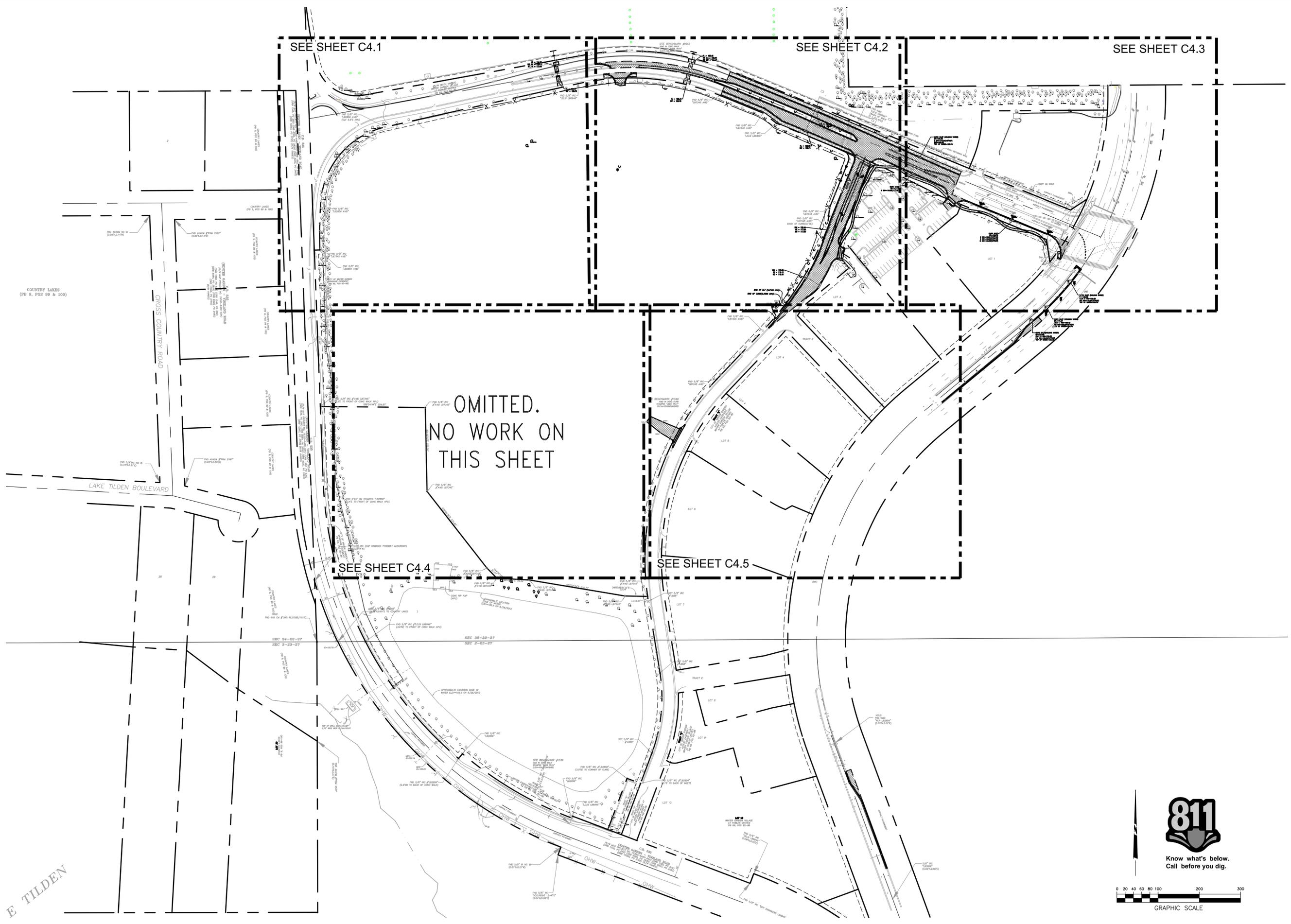
**Florida Hospital Winter Garden
 Phase A**
 2000 Fowler Grove Blvd.
 Winter Garden, Florida



DATE	REVISIONS
6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

C3.2
 SITE LOGISTICS PLAN

G:\Projects\2013\20130603.dwg Construction\20130603_C4-0_DEM.dwg-C4-0 Overall Demo Plan Jun 19, 2014 - 4:10pm landerson



SEE SHEET C4.1

SEE SHEET C4.2

SEE SHEET C4.3

OMITTED.
NO WORK ON
THIS SHEET

SEE SHEET C4.4

SEE SHEET C4.5

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Phase A**
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Winter Garden, Florida



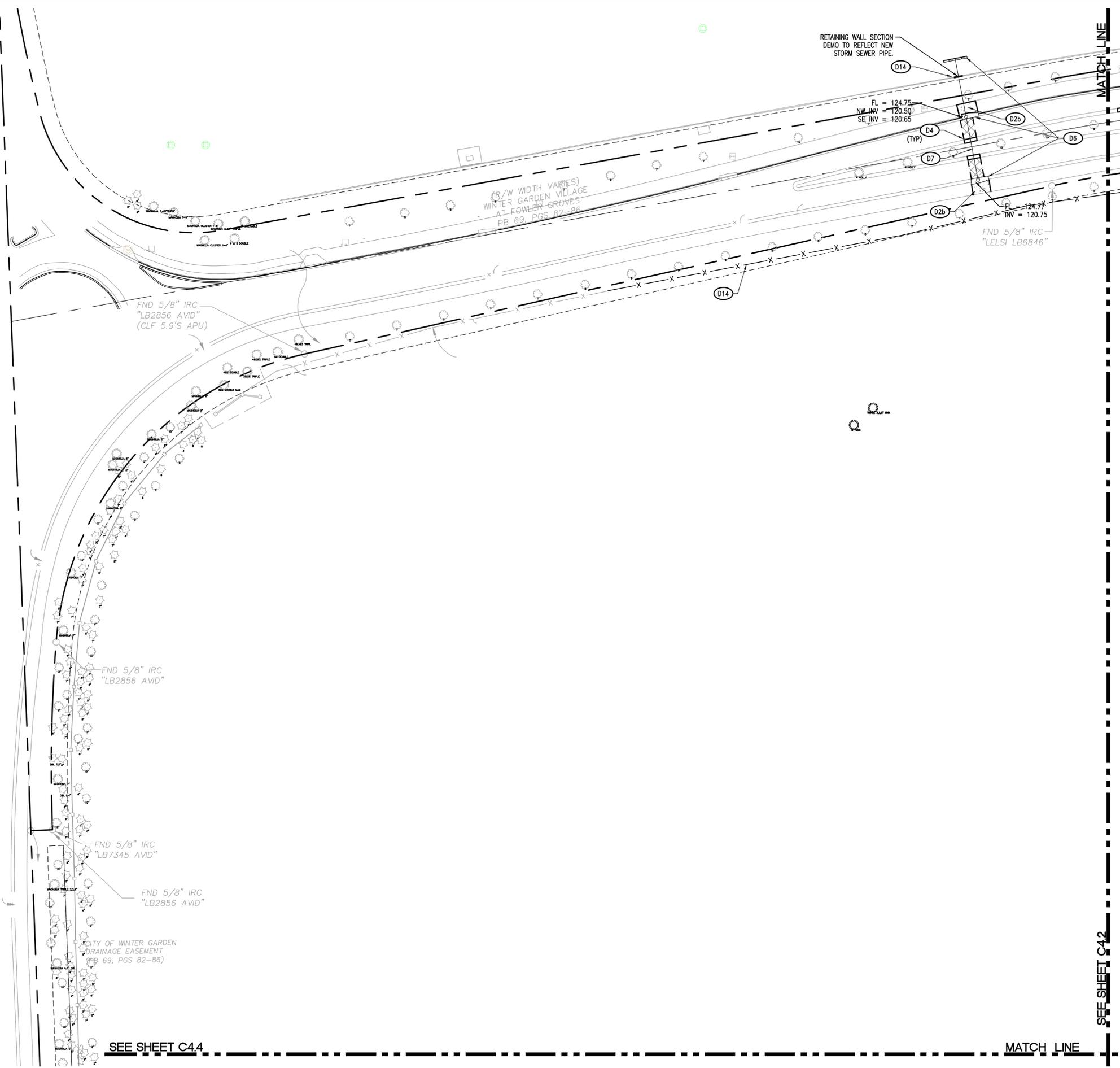
DATE	REVISIONS
6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

C4.0
OVERALL
DEMOLITION
PLAN

G:\Projects\2013\20130603.dwg Construction\20130603_C4-0_DEM.dwg-C4-1 Demo Plan Jun 19, 2014 - 4:10pm ianderson

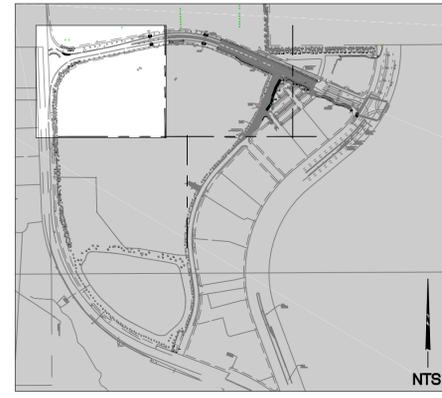
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 (ORB 1546, PG. 259) (ORB 6084, PG. 2829) (ORB 6920, PG. 2493)
 (ORB 10060, PG. 3755) (R/W VARIES)

WINTER GARDEN - VINELAND ROAD
 C.R. 535



DEMOLITION KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
D1	REMOVE EXISTING ASPHALT PAVEMENT	
D2a	REMOVE EXISTING CONCRETE PAVEMENT	
D2b	REMOVE EXISTING CONCRETE SIDEWALK	
D3	REMOVE EXISTING CURB	
D4	EVENLY SAWCUT	
D5	REMOVE EXISTING BUILDING/STRUCTURE	
D6	REMOVE EXISTING DRAINAGE STRUCTURE	
D7	REMOVE EXISTING STORM LINE	
D8	REMOVE EXISTING WATER LINE & APPURTENANCES	
D9	REMOVE EXISTING SANITARY SEWER LINE	
D10	REMOVE EXISTING UTILITY LINE & APPURTENANCES	
D11	EXISTING UTILITY LINE TO BE ABANDONED IN PLACE	
D12	EXISTING FIRE HYDRANT TO BE RELOCATED	
D13	REMOVE EXISTING TREE	
D14	REMOVE EXISTING FENCE	
D15	REMOVE EXISTING GRAVEL DRIVE	

NOTE:
 1. SEE SHEET C2.1 FOR DEMOLITION NOTES



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SEE SHEET C4.2

MATCH LINE

SEE SHEET C4.4

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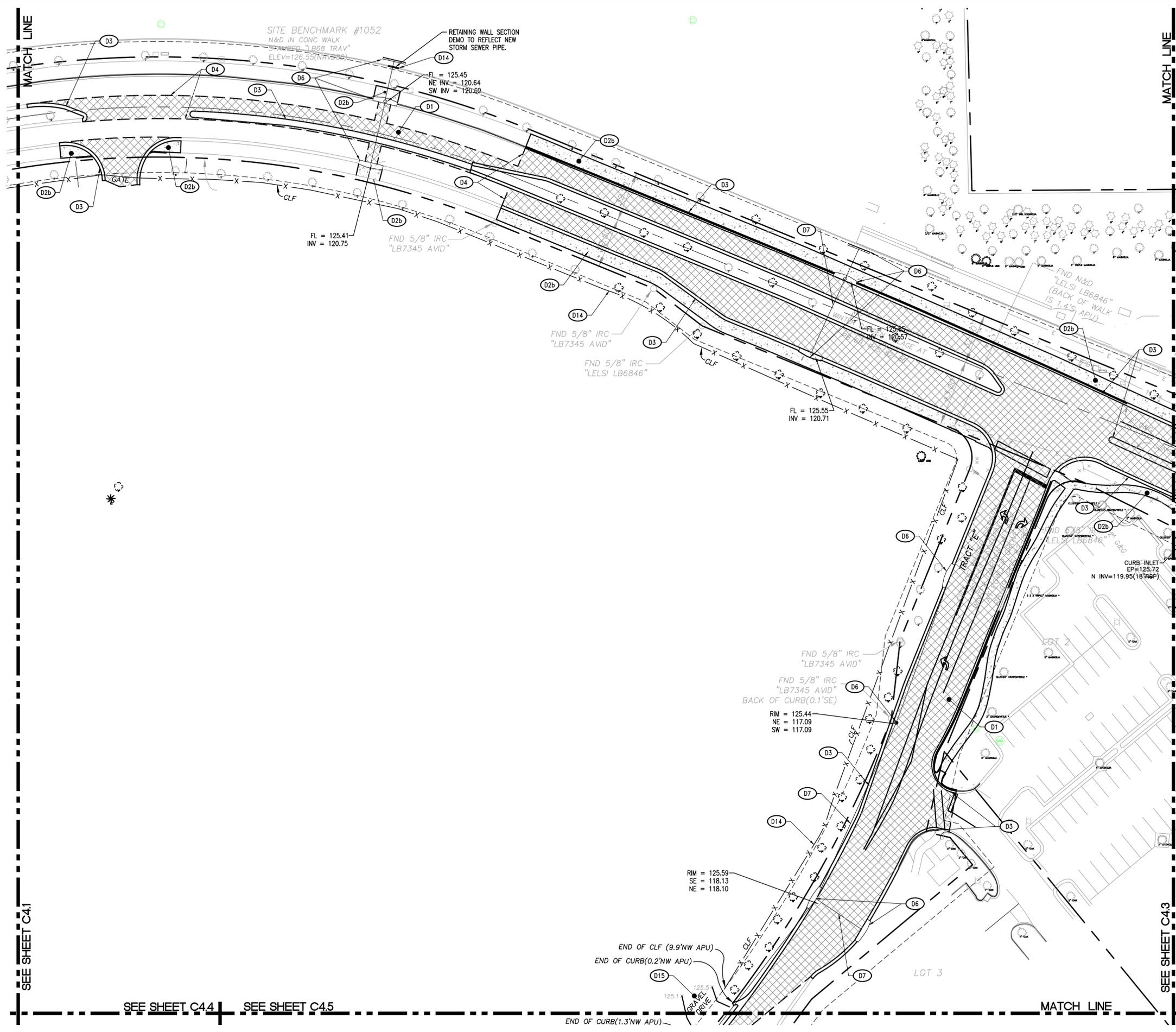
**Florida Hospital Winter Garden
 Phase A
 2000 Fowler Grove Blvd.
 Winter Garden, Florida**



DATE	REVISIONS
6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

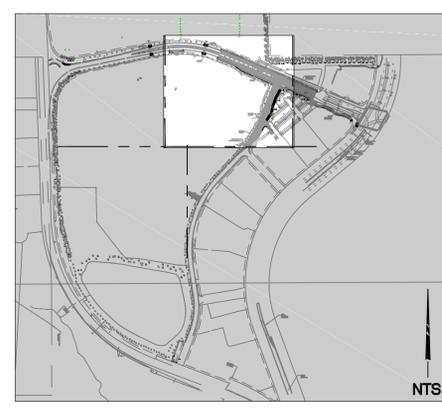
**C4.1
 DEMOLITION
 PLAN**

G:\Projects\2013\20130603.dwg (Construction) 20130603_C4-0_DEM.dwg-C4-2 Demo Plan Jun 19, 2014 - 4:11pm ianderson



DEMOLITION KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
D1	REMOVE EXISTING ASPHALT PAVEMENT	
D2a	REMOVE EXISTING CONCRETE PAVEMENT	
D2b	REMOVE EXISTING CONCRETE SIDEWALK	
D3	REMOVE EXISTING CURB	
D4	EVENLY SAWCUT	
D5	REMOVE EXISTING BUILDING/STRUCTURE	
D6	REMOVE EXISTING DRAINAGE STRUCTURE	
D7	REMOVE EXISTING STORM LINE	
D8	REMOVE EXISTING WATER LINE & APPURTENANCES	
D9	REMOVE EXISTING SANITARY SEWER LINE	
D10	REMOVE EXISTING UTILITY LINE & APPURTENANCES	
D11	EXISTING UTILITY LINE TO BE ABANDONED IN PLACE	
D12	EXISTING FIRE HYDRANT TO BE RELOCATED	
D13	REMOVE EXISTING TREE	
D14	REMOVE EXISTING FENCE	
D15	REMOVE EXISTING GRAVEL DRIVE	

NOTE:
1. SEE SHEET C2.1 FOR DEMOLITION NOTES



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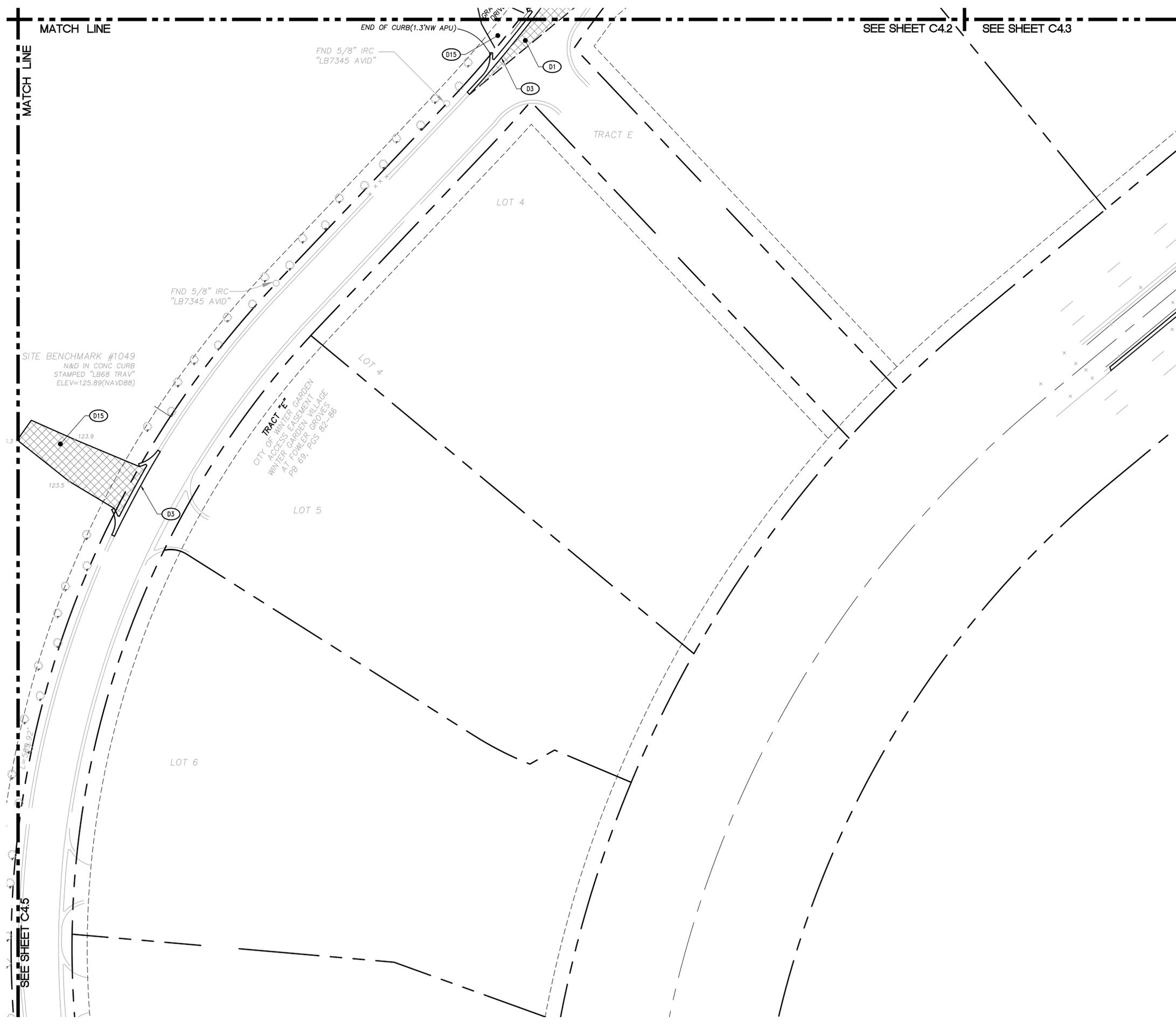
**Florida Hospital Winter Garden
Phase A**
2000 Fowler Grove Blvd.
Winter Garden, Florida



DATE	REVISIONS
6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

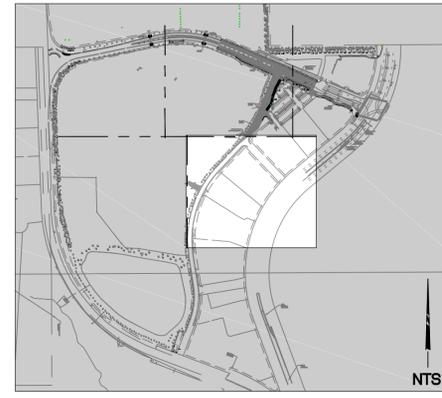
C4.2
DEMOLITION
PLAN

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DEMOLITION KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
D1	REMOVE EXISTING ASPHALT PAVEMENT	
D2a	REMOVE EXISTING CONCRETE PAVEMENT	
D2b	REMOVE EXISTING CONCRETE SIDEWALK	
D3	REMOVE EXISTING CURB	
D4	EVENLY SAWCUT	
D5	REMOVE EXISTING BUILDING/STRUCTURE	
D6	REMOVE EXISTING DRAINAGE STRUCTURE	
D7	REMOVE EXISTING STORM LINE	
D8	REMOVE EXISTING WATER LINE & APPURTENANCES	
D9	REMOVE EXISTING SANITARY SEWER LINE	
D10	REMOVE EXISTING UTILITY LINE & APPURTENANCES	
D11	EXISTING UTILITY LINE TO BE ABANDONED IN PLACE	
D12	EXISTING FIRE HYDRANT TO BE RELOCATED	
D13	REMOVE EXISTING TREE	
D14	REMOVE EXISTING FENCE	
D15	REMOVE EXISTING GRAVEL DRIVE	

NOTE:
1. SEE SHEET C2.1 FOR DEMOLITION NOTES



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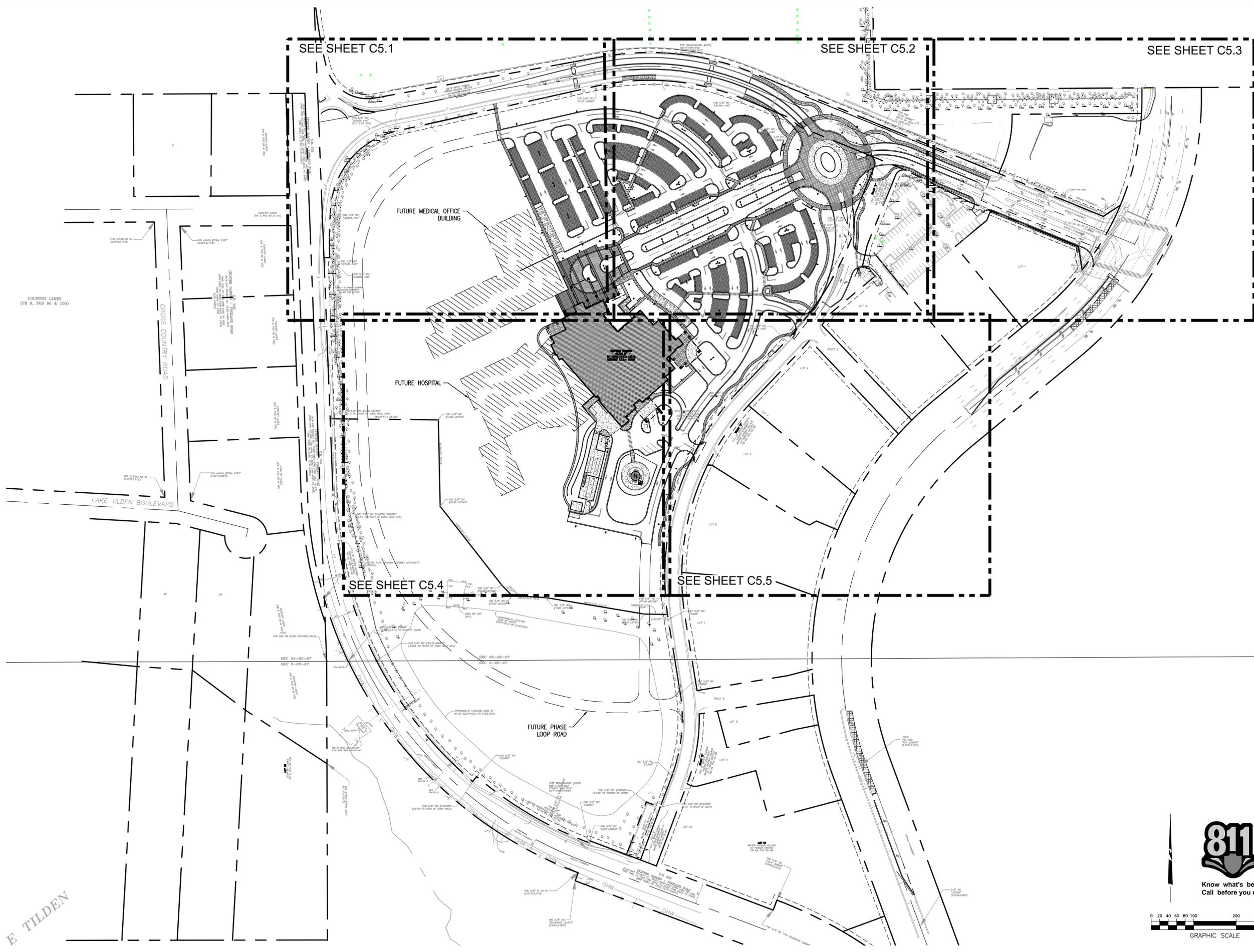
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Phase A
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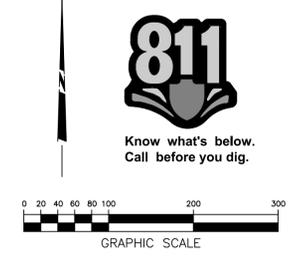
6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
DATE	REVISIONS
1/10/14	20130603

**C4.5
DEMOLITION
PLAN**

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Florida Hospital Winter Garden Phase A
 2000 Fowler Grove Blvd.
 Winter Garden, Florida



DATE	REVISIONS
6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

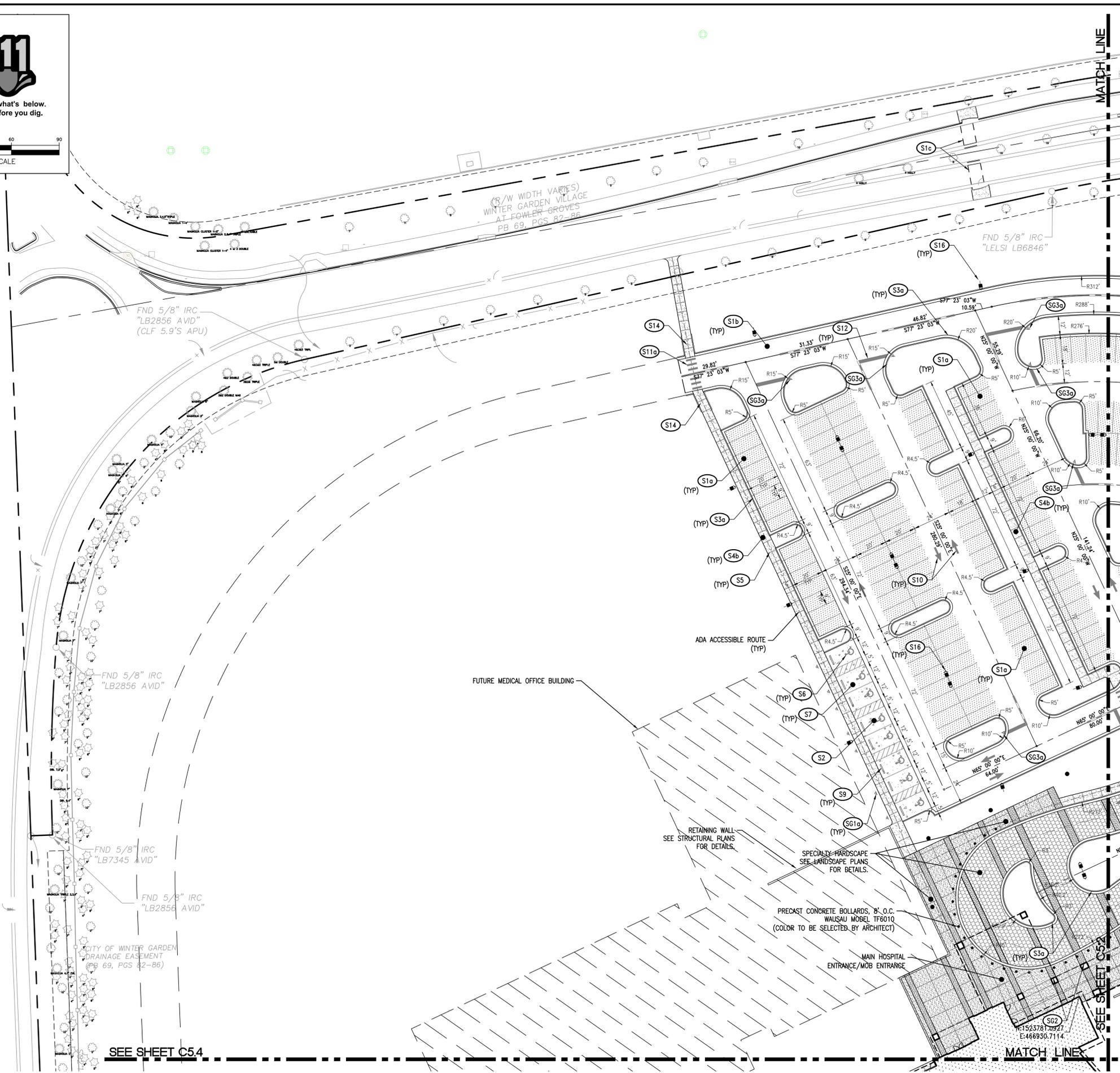
C5.0
 OVERALL SITE LAYOUT PLAN



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WINTER GARDEN - VINELAND ROAD
C.R. 535
PROJECT NO. 753320-6460-634 (TOP 1382, PG 636)
(R/W MAP PROJECT NO. 753320-6460-634) (ORB 1546, PG 269) (ORB 6084, PG 2829) (ORB 6920, PG 2493)
(ORB 1546, PG 269) (ORB 6084, PG 2829) (ORB 6920, PG 2493)
(ORB 10060, PG 3755) (R/W VARIES)



SITE LAYOUT KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
S10	ASPHALT PAVEMENT LIGHT DUTY	1 / C9.0
S1B	ASPHALT PAVEMENT HEAVY DUTY	1 / C9.0
S1c	CITY PAVEMENT	C9.8
S2	CONCRETE PAVEMENT	11 / C9.0
S3a	CONCRETE CURB AND GUTTER (TYPE F)	C9.8
S3b	CONCRETE POST CURB (TYPE D)	C9.8
S3c	CONCRETE EXTRUDED CURB (TYPE D)	C9.8
S3d	CONCRETE EXTRUDED CURB AND GUTTER (TYPE E)	C9.8
S4a	CONCRETE SIDEWALK	C9.7
S4b	CONCRETE WALK AT CURB AND GUTTER	2 / C9.0
S4c	CONCRETE RAMP WITH HANDRAIL	SEE STRUC. PLANS
S5	SIDEWALK JOINTS	1 / C9.2
S6	ACCESSIBLE SYMBOL	6 / C9.0
S7	ACCESSIBLE PARKING AREA	FDOT INDEX 17346
S9	CONCRETE WHEEL STOP	3 / C9.0
S10	DIRECTIONAL ARROW	FDOT INDEX 17346
S11a	PEDESTRIAN CROSSWALK ON SITE	4 / C9.0
S12	24" THERMOPLASTIC STOP BAR	10 / C9.0
S13	CONCRETE STAIRS WITH HANDRAIL/GUARDRAIL	SEE STRUC. PLANS
S14	SIDEWALK TRANSITION	8 / C9.1
S14a	SIDEWALK TRANSITION WITH DETECTABLE WARNING	8 / C9.1, C9.7
S15a	6" WHITE EDGE LINE	FDOT INDEX 17346
S15b	6" WHITE SKIP LINE	FDOT INDEX 17346
S16	SITE LIGHTING	SEE ELEC. PLANS
S61a	ACCESSIBLE PARKING SIGN	5 / C9.0
S62	ACCESSIBLE PASSENGER LOADING/UNLOADING SIGN	2 / C9.1
S63a	"STOP" SIGN (R1-1)	1 / C9.1
S63b	"STOP" SIGN (R1-1) ; "DO NOT ENTER" SIGN (R5-1) OTHER SIDE	1 / C9.1
S63c	"STOP" SIGN (R1-1) ; & "INCOMING TRAFFIC DOES NOT STOP" SIGN	1 / C9.1
S64	"ONE WAY" SIGN (R6-1L)	1 / C9.1
S65	"YIELD" SIGN (R1-2)	1 / C9.1
S66	"ROUNDABOUT DIRECTIONAL" SIGN (R6-4)	1 / C9.1
S67	"PEDESTRIAN CROSSING" SIGN (W11-2) ABOVE A POINTING ARROW PLAQUE (W16-7P)	1 / C9.1

PROPOSED FEATURES LEGEND	
BUILDING	[Pattern]
CONCRETE PAVEMENT	[Pattern]
CONCRETE SIDEWALK	[Pattern]
HEAVY DUTY PAVEMENT	[Pattern]
LIGHT DUTY PAVEMENT	[Pattern]
CITY PAVEMENT	[Pattern]
TACTILE WARNING	[Pattern]
PAINTED STRIPE	[Pattern]
CONCRETE CURB	[Pattern]
CENTERLINE	[Pattern]
ACCESSIBLE ROUTE	[Pattern]

NOTES:
1. SEE SHEET C2.1 FOR GENERAL NOTES.



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 Winter Garden, Florida

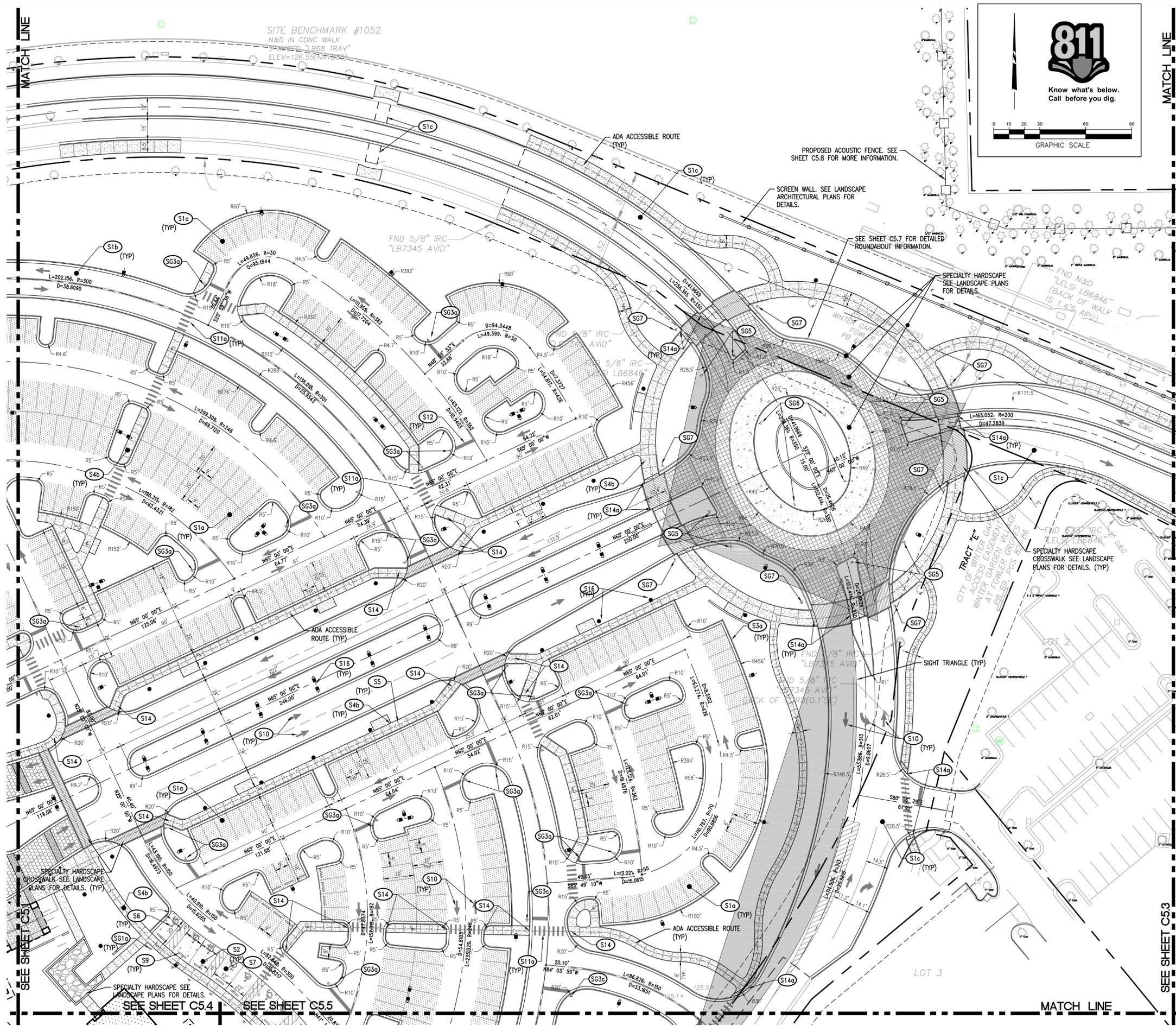


DATE	REVISIONS
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5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DCR RESUBMITTAL
1/24/14	DCR RESUBMITTAL
1/17/14	DCR RESUBMITTAL
1/10/14	20130603

C5.1
 SITE LAYOUT PLAN

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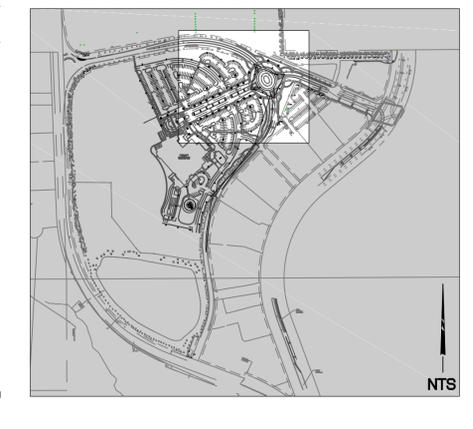
G:\Projects\2013\20130603.dwg Construction 20130603_C5-0_LAY.dwg-C5-2 Site Layout Plan Jun 19, 2014 - 5:35pm landerson



SITE LAYOUT KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
S10	ASPHALT PAVEMENT LIGHT DUTY	1 / C9.0
S1B	ASPHALT PAVEMENT HEAVY DUTY	1 / C9.0
S1c	CITY PAVEMENT	C9.8
S2	CONCRETE PAVEMENT	11 / C9.0
S3a	CONCRETE CURB AND GUTTER (TYPE F)	C9.8
S3b	CONCRETE POST CURB (TYPE D)	C9.8
S3c	CONCRETE EXTRUDED CURB (TYPE D)	C9.8
S3d	CONCRETE EXTRUDED CURB AND GUTTER (TYPE E)	C9.8
S4a	CONCRETE SIDEWALK	C9.7
S4b	CONCRETE WALK AT CURB AND GUTTER	2 / C9.0
S4c	CONCRETE RAMP WITH HANDRAIL	SEE STRUC. PLANS
S5	SIDEWALK JOINTS	1 / C9.2
S6	ACCESSIBLE SYMBOL	6 / C9.0
S7	ACCESSIBLE PARKING AREA	FDOT INDEX 17346
S9	CONCRETE WHEEL STOP	3 / C9.0
S10	DIRECTIONAL ARROW	FDOT INDEX 17346
S11b	PEDESTRIAN CROSSWALK ON SITE	4 / C9.0
S12	24" THERMOPLASTIC STOP BAR	10 / C9.0
S13	CONCRETE STAIRS WITH HANDRAIL/GUARDRAIL	SEE STRUC. PLANS
S14	SIDEWALK TRANSITION	8 / C9.1
S14a	SIDEWALK TRANSITION WITH DETECTABLE WARNING	8 / C9.1, C9.7
S15a	6" WHITE EDGE LINE	FDOT INDEX 17346
S15b	6" WHITE SKIP LINE	FDOT INDEX 17346
S16	SITE LIGHTING	SEE ELEC. PLANS
S61a	ACCESSIBLE PARKING SIGN	5 / C9.0
S62	ACCESSIBLE PASSENGER LOADING/UNLOADING SIGN	2 / C9.1
S63a	"STOP" SIGN (R1-1)	1 / C9.1
S63b	"STOP" SIGN (R1-1) ; "DO NOT ENTER" SIGN (R5-1) OTHER SIDE	1 / C9.1
S63c	"STOP" SIGN (R1-1) ; & "INCOMING TRAFFIC DOES NOT STOP" SIGN	1 / C9.1
S64	"ONE WAY" SIGN (R6-1L)	1 / C9.1
S65	"YIELD" SIGN (R1-2)	1 / C9.1
S66	"ROUNDABOUT DIRECTIONAL" SIGN (R6-4)	1 / C9.1
S67	"PEDESTRIAN CROSSING" SIGN (W11-2) ABOVE A POINTING ARROW PLAQUE (W16-7P)	1 / C9.1

PROPOSED FEATURES LEGEND	
BUILDING	[Pattern]
CONCRETE PAVEMENT	[Pattern]
CONCRETE SIDEWALK	[Pattern]
HEAVY DUTY PAVEMENT	[Pattern]
LIGHT DUTY PAVEMENT	[Pattern]
CITY PAVEMENT	[Pattern]
TACTILE WARNING	[Pattern]
PAINTED STRIPE	[Pattern]
CONCRETE CURB	[Pattern]
CENTERLINE	[Pattern]
ACCESSIBLE ROUTE	[Pattern]

NOTES:
1. SEE SHEET C2.1 FOR GENERAL NOTES.





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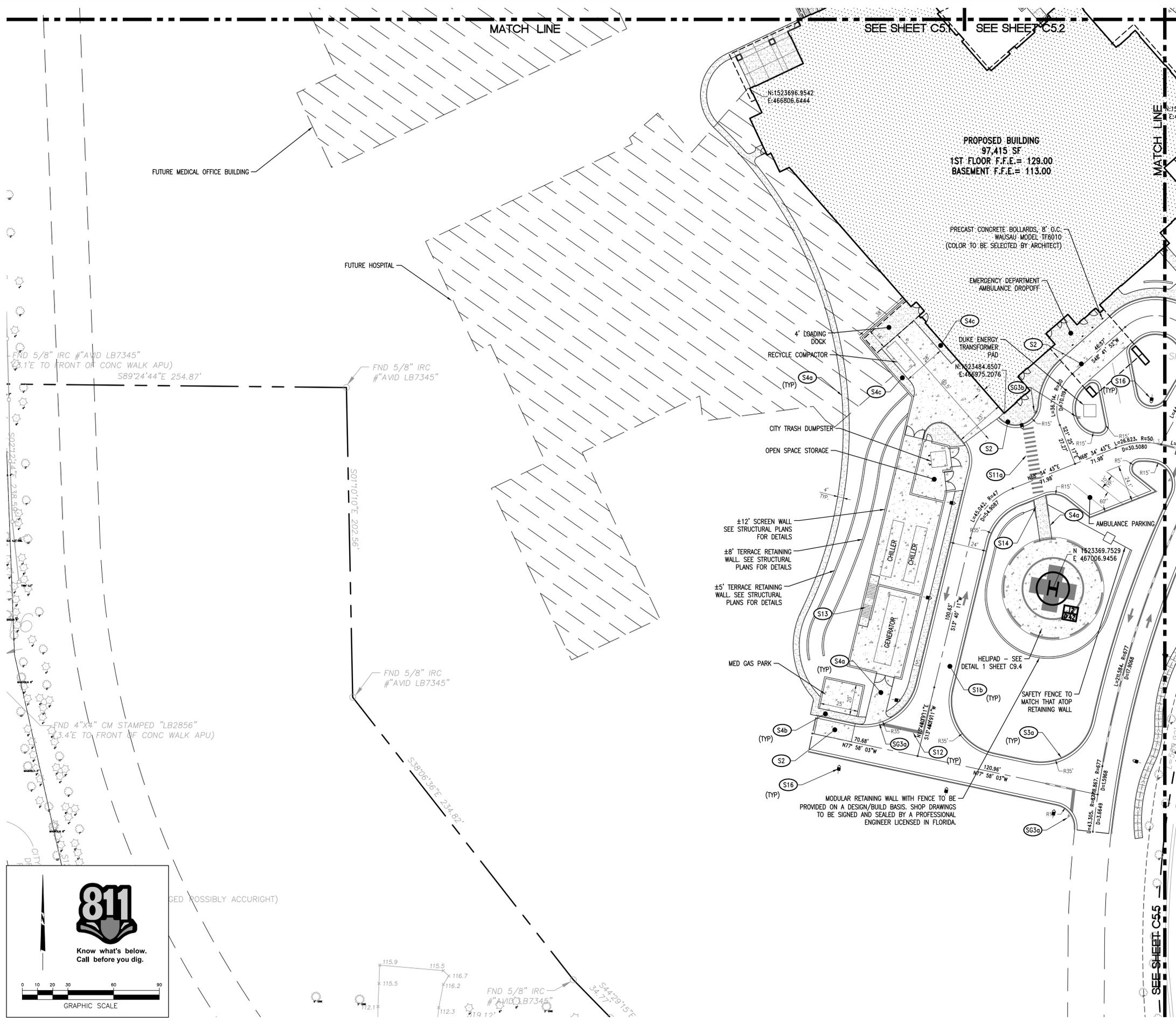


DATE	REVISIONS
6/20/14	SITE PLAN RESUBMITAL
5/5/14	SITE PLAN RESUBMITAL
3/6/14	SITE PLAN SUBMITAL
1/31/14	DRC RESUBMITAL
1/24/14	DRC RESUBMITAL
1/17/14	DRC RESUBMITAL
DATE	REVISIONS
1/10/14	20130603

C5.2

SITE LAYOUT
PLAN

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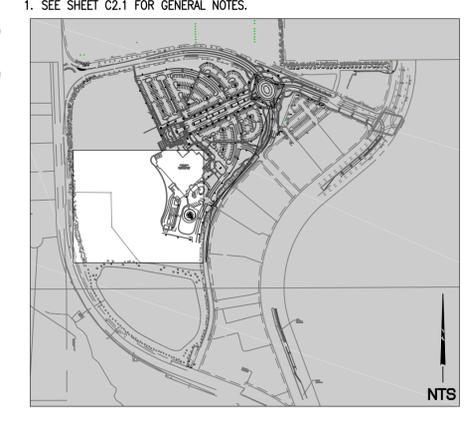
SITE LAYOUT KEY NOTE

CODE	DESCRIPTION	DTL #/SHT #
S10	ASPHALT PAVEMENT LIGHT DUTY	1 / C9.0
S1B	ASPHALT PAVEMENT HEAVY DUTY	1 / C9.0
S1c	CITY PAVEMENT	C9.8
S2	CONCRETE PAVEMENT	11 / C9.0
S3a	CONCRETE CURB AND GUTTER (TYPE F)	C9.8
S3b	CONCRETE POST CURB (TYPE D)	C9.8
S3c	CONCRETE EXTRUDED CURB (TYPE D)	C9.8
S3d	CONCRETE EXTRUDED CURB (TYPE E)	C9.8
S4a	CONCRETE SIDEWALK	C9.7
S4b	CONCRETE WALK AT CURB AND GUTTER	2 / C9.0
S4c	CONCRETE RAMP WITH HANDRAIL	SEE STRUC. PLANS
S5	SIDEWALK JOINTS	1 / C9.2
S6	ACCESSIBLE SYMBOL	6 / C9.0
S7	ACCESSIBLE PARKING AREA	FDOT INDEX 17346
S9	CONCRETE WHEEL STOP	3 / C9.0
S10	DIRECTIONAL ARROW	FDOT INDEX 17346
S11a	PEDESTRIAN CROSSWALK ON SITE	4 / C9.0
S12	24" THERMOPLASTIC STOP BAR	10 / C9.0
S13	CONCRETE STAIRS WITH HANDRAIL/GUARDRAIL	SEE STRUC. PLANS
S14	SIDEWALK TRANSITION	8 / C9.1
S14a	SIDEWALK TRANSITION WITH DETECTABLE WARNING	8 / C9.1, C9.7
S15a	6" WHITE EDGE LINE	FDOT INDEX 17346
S15b	6" WHITE SKIP LINE	FDOT INDEX 17346
S16	SITE LIGHTING	SEE ELEC. PLANS
S61a	ACCESSIBLE PARKING SIGN	5 / C9.0
S62	ACCESSIBLE PASSENGER LOADING/UNLOADING SIGN	2 / C9.1
S63a	"STOP" SIGN (R1-1)	1 / C9.1
S63b	"STOP" SIGN (R1-1) ; "DO NOT ENTER" SIGN (R5-1) OTHER SIDE	1 / C9.1
S63c	"STOP" SIGN (R1-1) ; & "INCOMING TRAFFIC DOES NOT STOP" SIGN	1 / C9.1
S64	"ONE WAY" SIGN (R6-1L)	1 / C9.1
S65	"YIELD" SIGN (R1-2)	1 / C9.1
S66	"ROUNDABOUT DIRECTIONAL" SIGN (R6-4)	1 / C9.1
S67	"PEDESTRIAN CROSSING" SIGN (W11-2) ABOVE A POINTING ARROW PLAQUE (W16-7P)	1 / C9.1

PROPOSED FEATURES LEGEND

BUILDING	[Pattern]
CONCRETE PAVEMENT	[Pattern]
CONCRETE SIDEWALK	[Pattern]
HEAVY DUTY PAVEMENT	[Pattern]
LIGHT DUTY PAVEMENT	[Pattern]
CITY PAVEMENT	[Pattern]
TACTILE WARNING	[Pattern]
PAINTED STRIPE	[Pattern]
CONCRETE CURB	[Pattern]
CENTERLINE	[Pattern]
ACCESSIBLE ROUTE	[Pattern]

NOTES:
 1. SEE SHEET C2.1 FOR GENERAL NOTES.



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 Florida Firm Registration No. 28050

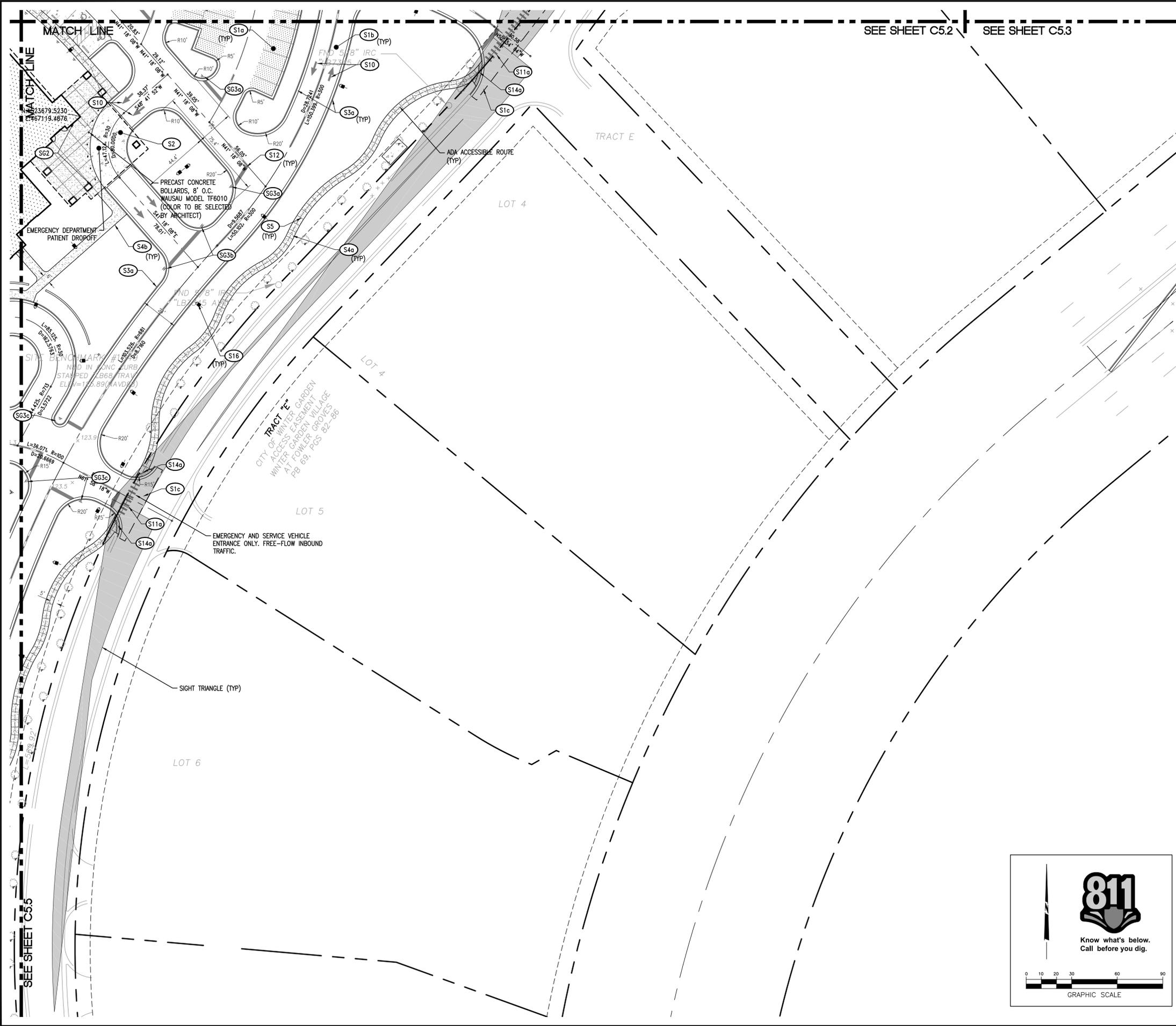
**Florida Hospital Winter Garden
 Phase A
 2000 Fowler Grove Blvd.
 Winter Garden, Florida**



DATE	REVISIONS
6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

**C5.4
 SITE LAYOUT
 PLAN**

G:\Projects\2013\20130603.dwg Construction\20130603_C5-0_LAY.dwg-C5-5 Site Layout Plan Jun 19, 2014 - 5:36pm landerson

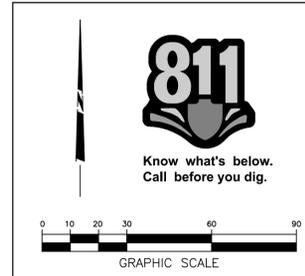


SEE SHEET C5.2 SEE SHEET C5.3

SITE LAYOUT KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
S10	ASPHALT PAVEMENT LIGHT DUTY	1 / C9.0
S11b	ASPHALT PAVEMENT HEAVY DUTY	1 / C9.0
S1c	CITY PAVEMENT	C9.8
S2	CONCRETE PAVEMENT	11 / C9.0
S3a	CONCRETE CURB AND GUTTER (TYPE F)	C9.8
S3b	CONCRETE POST CURB (TYPE D)	C9.8
S3c	CONCRETE EXTRUDED CURB (TYPE D)	C9.8
S3d	CONCRETE EXTRUDED CURB AND GUTTER (TYPE E)	C9.8
S4a	CONCRETE SIDEWALK	C9.7
S4b	CONCRETE WALK AT CURB AND GUTTER	2 / C9.0
S4c	CONCRETE RAMP WITH HANDRAIL	SEE STRUC. PLANS
S5	SIDEWALK JOINTS	1 / C9.2
S6	ACCESSIBLE SYMBOL	6 / C9.0
S7	ACCESSIBLE PARKING AREA	FDOT INDEX 17346
S9	CONCRETE WHEEL STOP	3 / C9.0
S10	DIRECTIONAL ARROW	FDOT INDEX 17346
S11a	PEDESTRIAN CROSSWALK ON SITE	4 / C9.0
S12	24" THERMOPLASTIC STOP BAR	10 / C9.0
S13	CONCRETE STAIRS WITH HANDRAIL/GUARDRAIL	SEE STRUC. PLANS
S14	SIDEWALK TRANSITION	8 / C9.1
S14a	SIDEWALK TRANSITION WITH DETECTABLE WARNING	8 / C9.1; C9.7
S15a	6" WHITE EDGE LINE	FDOT INDEX 17346
S15b	6" WHITE SKIP LINE	FDOT INDEX 17346
S16	SITE LIGHTING	SEE ELEC. PLANS
S61a	ACCESSIBLE PARKING SIGN	5 / C9.0
S62	ACCESSIBLE PASSENGER LOADING/UNLOADING SIGN	2 / C9.1
S63a	"STOP" SIGN (R1-1)	1 / C9.1
S63b	"STOP" SIGN (R1-1) ; "DO NOT ENTER" SIGN (R5-1) OTHER SIDE	1 / C9.1
S63c	"STOP" SIGN (R1-1) ; & "INCOMING TRAFFIC DOES NOT STOP" SIGN	1 / C9.1
S64	"ONE WAY" SIGN (R6-1L)	1 / C9.1
S65	"YIELD" SIGN (R1-2)	1 / C9.1
S66	"ROUNDABOUT DIRECTIONAL" SIGN (R6-4)	1 / C9.1
S67	"PEDESTRIAN CROSSING" SIGN (W11-2) ABOVE A POINTING ARROW PLAQUE (W16-7P)	1 / C9.1

PROPOSED FEATURES LEGEND	
BUILDING	
CONCRETE PAVEMENT	
CONCRETE SIDEWALK	
HEAVY DUTY PAVEMENT	
LIGHT DUTY PAVEMENT	
CITY PAVEMENT	
TACTILE WARNING	
PAINTED STRIPE	
CONCRETE CURB	
CENTERLINE	
ACCESSIBLE ROUTE	

NOTES:
1. SEE SHEET C2.1 FOR GENERAL NOTES.



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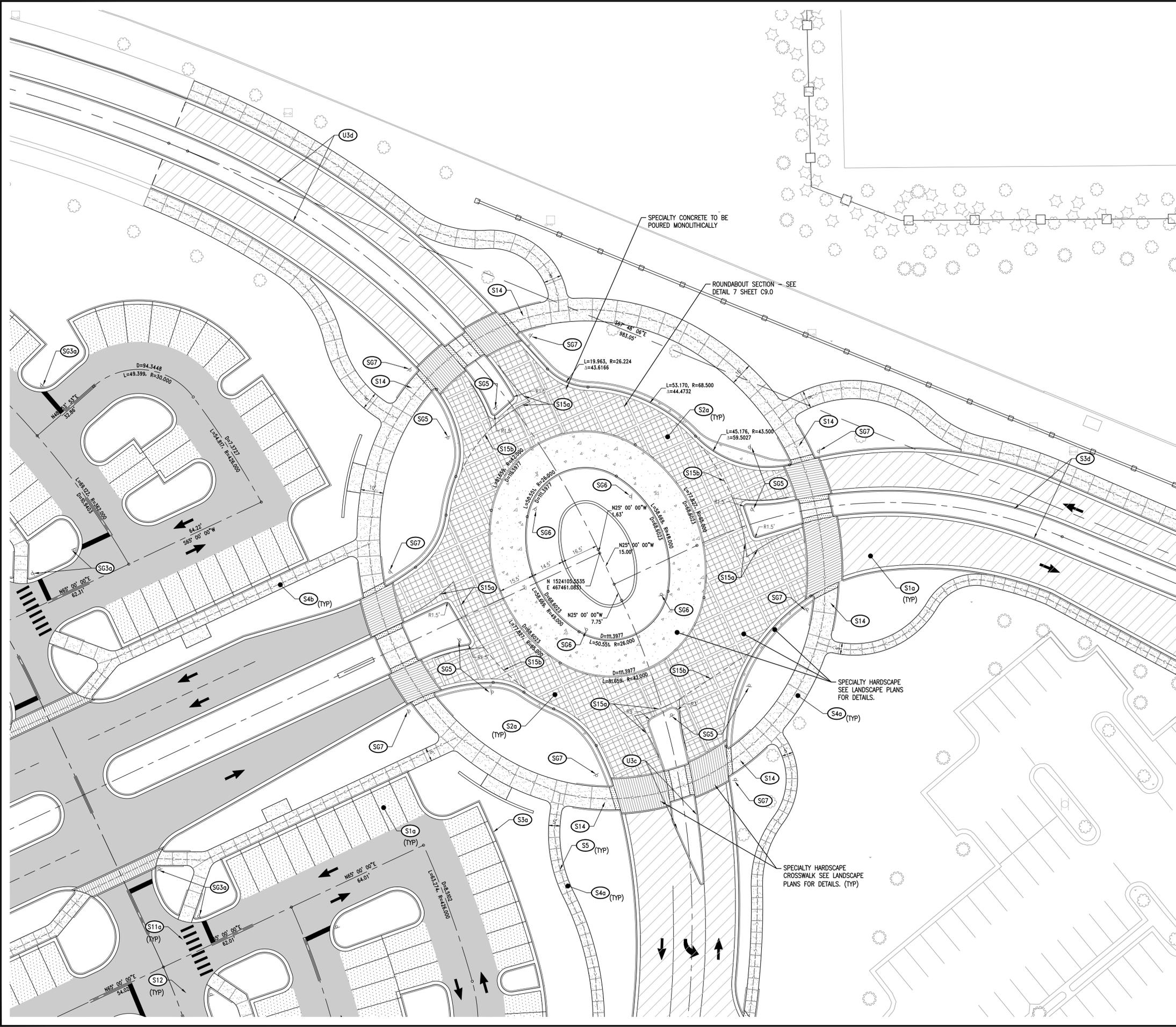
FLORIDA HOSPITAL

Professional Engineer Seal for Leonard E. Arnold, Jr., No. 55241, State of Florida.

DATE	REVISIONS
6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

C5.5
 SITE LAYOUT PLAN

G:\Projects\2013\20130603.dwg Construction\20130603_C5-7_RDBI.dwg-C5-7 Roundabout Layout Plan Jun 19, 2014 - 4:20pm landerson



SITE LAYOUT KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
S10	ASPHALT PAVEMENT LIGHT DUTY	1 / C9.0
S1b	ASPHALT PAVEMENT HEAVY DUTY	1 / C9.0
S2	CONCRETE PAVEMENT	11 / C9.0
S2a	INTEGRAL STAMPED CONCRETE PAVEMENT	7 / C9.0
S3a	CONCRETE CURB AND GUTTER (TYPE F)	FDOT INDEX 300
S3b	CONCRETE POST CURB (TYPE D)	FDOT INDEX 300
S3c	CONCRETE EXTRUDED CURB (TYPE D)	FDOT INDEX 300
S3d	CONCRETE EXTRUDED CURB AND GUTTER (TYPE E)	FDOT INDEX 300
S4a	CONCRETE SIDEWALK	1 / C9.2
S4b	CONCRETE WALK AT CURB AND GUTTER	2 / C9.0
S4c	CONCRETE RAMP WITH HANDRAIL	SEE STRUC. PLANS
S5	SIDEWALK JOINTS	1 / C9.2
S6	ACCESSIBLE SYMBOL	6 / C9.0
S7	ACCESSIBLE PARKING AREA	FDOT INDEX 17346
S8	ACCESSIBLE RAMP WITH DETECTABLE WARNING	FDOT INDEX 304
S9	CONCRETE WHEEL STOP	3 / C9.0
S10	DIRECTIONAL ARROW	FDOT INDEX 17346
S11a	PEDESTRIAN CROSSWALK ON SITE	4 / C9.0
S12	24" PAINTED STOP BAR	10 / C9.0
S13	CONCRETE STAIRS WITH HANDRAIL/GUARDRAIL	SEE STRUC PLANS
S14	SIDEWALK TRANSITION	8 / C9.1
S15a	6" WHITE EDGE LINE	FDOT INDEX 17346
S15b	6" WHITE SKIP LINE	FDOT INDEX 17346
S16a	ACCESSIBLE PARKING SIGN	5 / C9.0
S16b	ACCESSIBLE PASSENGER LOADING/UNLOADING SIGN	2 / C9.1
S16c	"STOP" SIGN (R1-1)	1 / C9.1
S16d	"STOP" SIGN (R1-1) ; "DO NOT ENTER" SIGN (R5-1) OTHER SIDE	1 / C9.1
S17	"ONE WAY" SIGN (R6-1L)	1 / C9.1
S18	"YIELD" SIGN (R1-2)	1 / C9.1
S19	"ROUNDABOUT DIRECTIONAL" SIGN (R6-4)	1 / C9.1
S20	"PEDESTRIAN CROSSING" SIGN (W11-2) ABOVE A POINTING ARROW PLAQUE (W16-7P)	1 / C9.1

PROPOSED FEATURES LEGEND	
BUILDING	
CONCRETE PAVEMENT	
CONCRETE SIDEWALK	
HEAVY DUTY PAVEMENT	
LIGHT DUTY PAVEMENT	
TACTILE WARNING	
PAINTED STRIPE	
CONCRETE CURB	
CENTERLINE	
ACCESSIBLE ROUTE	

- NOTES:
- SEE SHEET C2.1 FOR GENERAL NOTES.
 - SEE LANDSCAPE SHEETS FOR SPECIALTY PAVING COLOR & LOCATION DETAILS.

Florida Hospital Winter Garden Phase A
2000 Fowler Grove Blvd.
Winter Garden, Florida



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5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

C5.7
ROUNDABOUT LAYOUT PLAN

G:\Projects\2013\20130603\dwg\Construction\20130603_C5-8_ACO.dwg-C5-8 Acoustic Fence Plan Jun 19, 2014 - 6:12pm randerson



TREE REMOVAL NOTE:
CONTRACTOR SHALL COORDINATE REQUIRED TREE REMOVAL FOR THE INSTALLATION OF THE FENCE WITH THE CITY OF WINTER GARDEN.

6' VINYL PRIVACY FENCE TO MATCH ACOUSTICAL FENCE IN COLOR, MATERIAL, & APPEARANCE.

TRANSITION FROM ACOUSTIC FENCE TO PRIVACY FENCE.

PROPOSED ACOUSTIC FENCE "ART VINYL BA MODULAR SOUND BARRIER" TO BE 6' TALL, 2.5" THICK, 660 L.F., & TAN IN COLOR



Know what's below. Call before you dig.



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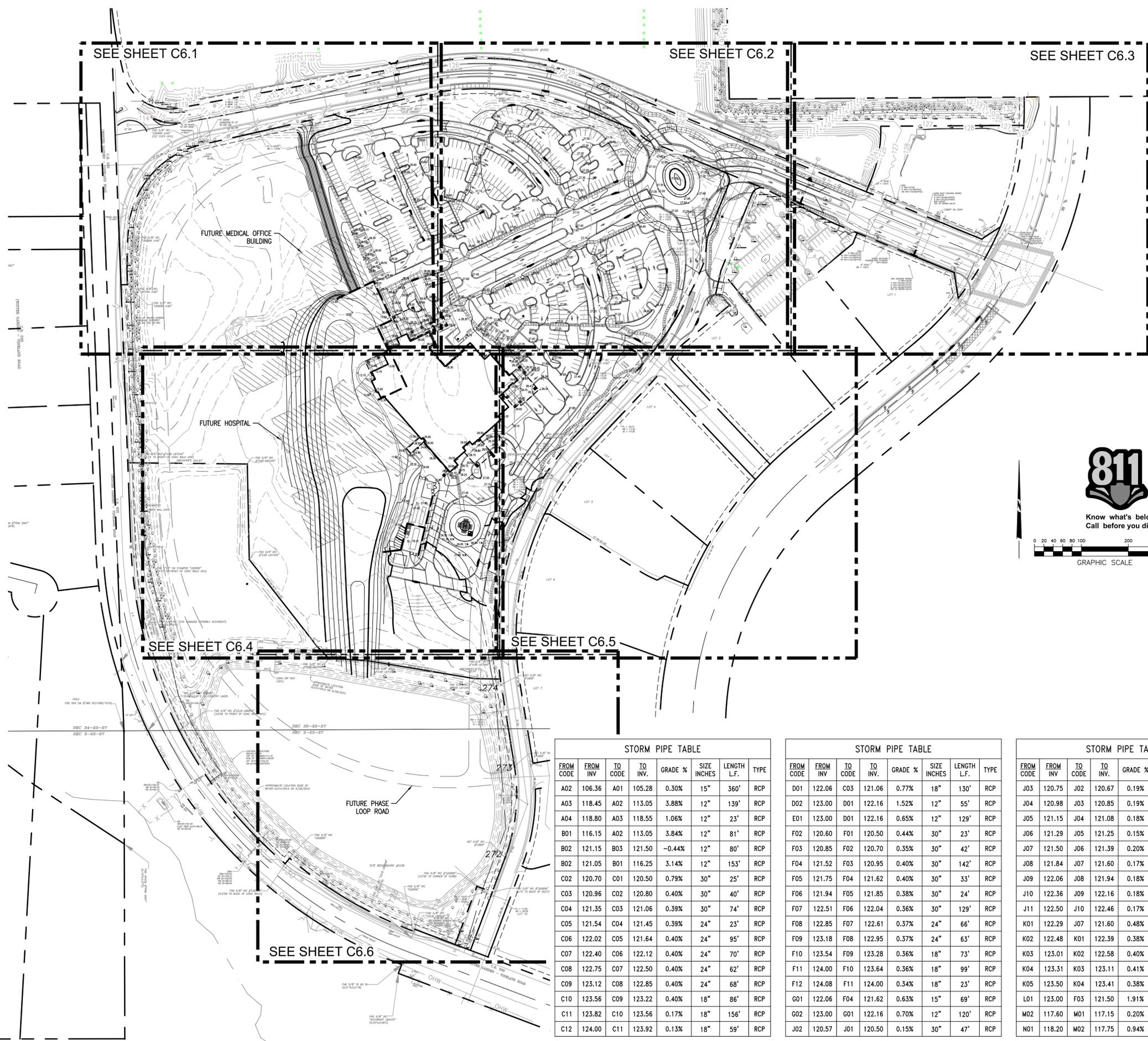


DATE	REVISIONS
6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

C5.8
ACOUSTIC FENCE PLAN

G:\Projects\2013\20130603.dwg Construction\20130603_C6-0_GFA.dwg-C6-0 Overall Grading & Drainage Plan Jun 19, 2014 - 4:01pm andersson

STORM STRUCTURE TABLE				
CODE	DESCRIPTION	EOP	INVERT	DEPTH
A01	BUBBLE-UP STRUCTURE	114.13	104.78	9.35
A02	FDOT TYPE 6 CURB INLET	116.25	106.36	9.89
A03	FDOT TYPE 6 CURB INLET	121.75	118.45	3.30
A04	FDOT TYPE 6 CURB INLET	121.75	118.80	2.95
B01	FDOT TYPE 6 CURB INLET	119.50	116.15	3.35
B02	SINGLE CATCH BASIN	127.90	121.05	6.85
B03	SINGLE CATCH BASIN	124.80	121.50	3.30
C01	HEADWALL	122.71	???	4.37
C02	FDOT TYPE 5R CURB INLET	124.75	120.70	4.05
C03	FDOT TYPE 5L CURB INLET	124.77	120.96	3.81
C04	FDOT TYPE 6 CURB INLET	125.10	121.35	3.75
C05	FDOT TYPE 6 CURB INLET	125.10	121.54	3.56
C06	SINGLE CATCH BASIN	126.50	122.02	4.48
C07	FDOT TYPE 6 CURB INLET	125.80	122.40	3.40
C08	FDOT TYPE 5R CURB INLET	127.00	122.75	4.25
C09	FDOT TYPE 5L CURB INLET	127.00	123.12	3.88
C10	FDOT TYPE 6 CURB INLET	128.00	123.56	4.44
C11	SINGLE CATCH BASIN	128.00	123.82	4.18
C12	CLEANOUT	127.26	124.00	3.26
D01	FDOT TYPE 5R CURB INLET	126.05	122.06	3.99
D02	FDOT TYPE 6 CURB INLET	126.35	123.00	3.35
E01	FDOT TYPE 5L CURB INLET	126.10	123.00	3.10
F01	HEADWALL	122.71	???	4.94
F02	FDOT TYPE 6 CURB INLET	125.45	120.60	4.85
F03	FDOT TYPE 6 CURB INLET	125.41	120.85	4.56
F04	FDOT TYPE 5L CURB INLET	126.20	121.52	4.68
F05	FDOT TYPE 6 CURB INLET	126.20	121.75	4.45
F06	FDOT TYPE 6 CURB INLET	126.20	121.94	4.26
F07	FDOT TYPE 6 CURB INLET	126.05	122.51	3.54
F08	FDOT TYPE 6 CURB INLET	126.10	122.85	3.25
F09	FDOT TYPE 6 CURB INLET	126.10	123.18	2.92
F10	SINGLE CATCH BASIN	126.90	123.54	3.36
F11	CLEANOUT	128.69	124.00	4.69
F12	ROOF DRAIN	129.00	124.08	4.92
G01	FDOT TYPE 5L CURB INLET	126.15	122.06	4.09
G02	FDOT TYPE 5L CURB INLET	126.10	123.00	3.10
J01	HEADWALL	125.40	120.50	4.90
J02	FDOT TYPE 6 CURB INLET	126.25	120.57	5.68
J03	FDOT TYPE 6 CURB INLET	126.25	120.75	5.50
J04	FDOT TYPE 5L CURB INLET	126.05	120.98	5.07
J05	FDOT TYPE 5R CURB INLET	126.05	121.15	4.90
J06	FDOT TYPE 6 CURB INLET	126.15	121.29	4.86
J07	FDOT TYPE 6 CURB INLET	126.15	121.50	4.65
J08	FDOT TYPE 5R CURB INLET	126.20	121.84	4.36
J09	FDOT TYPE 5L CURB INLET	126.00	122.06	3.94
J10	FDOT TYPE 6 CURB INLET	125.30	122.36	2.94
J11	FDOT TYPE 6 CURB INLET	125.30	122.50	2.80
K01	FDOT TYPE 6 CURB INLET	126.30	122.29	4.01
K02	FDOT TYPE 6 CURB INLET	126.30	122.48	3.82
K03	FDOT TYPE 5R CURB INLET	126.20	123.01	3.19
K04	FDOT TYPE 6 CURB INLET	126.35	123.31	3.04
K05	FDOT TYPE 6 CURB INLET	126.25	123.50	2.75
L01	FDOT TYPE 6 CURB INLET	126.20	123.00	3.20
M01	JUNCTION BOX	127.00	117.15	9.85
M02	FDOT TYPE 6 CURB INLET	125.00	123.14	1.86
N01	FDOT TYPE 6 CURB INLET	125.00	123.29	1.71
P01	FDOT TYPE 4 CURB INLET	125.55	???	???
P02	FDOT TYPE 6 CURB INLET	125.50	???	???
P03	FDOT TYPE 6 CURB INLET	126.60	???	???
Q01	FDOT TYPE 6 CURB INLET	125.50	???	???
Q02	FDOT TYPE 6 CURB INLET	125.35	???	???
Q03	FDOT TYPE 6 CURB INLET	125.50	???	???



STORM PIPE TABLE							
FROM CODE	FROM INV.	TO CODE	TO INV.	GRADE %	SIZE INCHES	LENGTH L.F.	TYPE
A02	106.36	A01	105.28	0.30%	15"	360'	RCP
A03	118.45	A02	113.05	3.88%	12"	139'	RCP
A04	118.80	A03	118.55	1.06%	12"	23'	RCP
B01	116.15	A02	113.05	3.84%	12"	81'	RCP
B02	121.15	B03	121.50	-0.44%	12"	80'	RCP
B02	121.05	B01	116.25	3.14%	12"	153'	RCP
C02	120.70	C01	120.50	0.79%	30"	25'	RCP
C03	120.96	C02	120.80	0.40%	30"	40'	RCP
C04	121.35	C03	121.06	0.39%	30"	74'	RCP
C05	121.54	C04	121.45	0.39%	24"	23'	RCP
C06	122.02	C05	121.64	0.40%	24"	95'	RCP
C07	122.40	C06	122.12	0.40%	24"	70'	RCP
C08	122.75	C07	122.50	0.40%	24"	62'	RCP
C09	123.12	C08	122.85	0.40%	24"	68'	RCP
C10	123.56	C09	123.22	0.40%	18"	86'	RCP
C11	123.82	C10	123.56	0.17%	18"	156'	RCP
C12	124.00	C11	123.92	0.13%	18"	59'	RCP

STORM PIPE TABLE							
FROM CODE	FROM INV.	TO CODE	TO INV.	GRADE %	SIZE INCHES	LENGTH L.F.	TYPE
D01	122.06	C03	121.06	0.77%	18"	130'	RCP
D02	123.00	D01	122.16	1.52%	12"	55'	RCP
E01	123.00	D01	122.16	0.65%	12"	129'	RCP
F02	120.60	F01	120.50	0.44%	30"	23'	RCP
F03	120.85	F02	120.70	0.35%	30"	42'	RCP
F04	121.52	F03	120.95	0.40%	30"	142'	RCP
F05	121.75	F04	121.62	0.40%	30"	33'	RCP
F06	121.94	F05	121.85	0.38%	30"	24'	RCP
F07	122.51	F06	122.04	0.36%	30"	129'	RCP
F08	122.85	F07	122.61	0.37%	24"	66'	RCP
F09	123.18	F08	122.95	0.37%	24"	63'	RCP
F10	123.54	F09	123.28	0.36%	18"	73'	RCP
F11	124.00	F10	123.64	0.36%	18"	99'	RCP
F12	124.08	F11	124.00	0.34%	18"	23'	RCP
G01	122.06	F04	121.62	0.63%	15"	69'	RCP
G02	123.00	G01	122.16	0.70%	12"	120'	RCP
J02	120.57	J01	120.50	0.15%	30"	47'	RCP

STORM PIPE TABLE							
FROM CODE	FROM INV.	TO CODE	TO INV.	GRADE %	SIZE INCHES	LENGTH L.F.	TYPE
J03	120.75	J02	120.67	0.19%	30"	42'	RCP
J04	120.98	J03	120.85	0.19%	30"	69'	RCP
J05	121.15	J04	121.08	0.18%	30"	38'	RCP
J06	121.29	J05	121.25	0.15%	30"	26'	RCP
J07	121.50	J06	121.39	0.20%	30"	55'	RCP
J08	121.84	J07	121.60	0.17%	18"	140'	RCP
J09	122.06	J08	121.94	0.18%	12"	66'	RCP
J10	122.36	J09	122.16	0.18%	12"	112'	RCP
J11	122.50	J10	122.46	0.17%	12"	24'	RCP
K01	122.29	J07	121.60	0.48%	18"	144'	RCP
K02	122.48	K01	122.39	0.38%	18"	24'	RCP
K03	123.01	K02	122.58	0.40%	15"	107'	RCP
K04	123.31	K03	123.11	0.41%	12"	49'	RCP
K05	123.50	K04	123.41	0.38%	12"	24'	RCP
L01	123.00	F03	121.50	1.91%	18"	79'	RCP
M02	117.60	M01	117.15	0.20%	24"	227'	RCP
N01	118.20	M02	117.75	0.94%	18"	48'	RCP

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FLORIDA HOSPITAL

Professional Engineer Seal for Leonard E. Arnold, Jr., No. 55241, State of Florida.

DATE	REVISIONS
6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/24/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL

C6.0
 OVERALL
 GRADING &
 DRAINAGE PLAN

STORM STRUCTURE TABLE				
CODE	DESCRIPTION	EOP	INVERT	DEPTH
C01	HEADWALL	122.71	???	4.37
C02	FDOT TYPE 5R CURB INLET	124.75	120.70	4.05
C03	FDOT TYPE 5L CURB INLET	124.77	120.96	3.81
C04	FDOT TYPE 6 CURB INLET	125.10	121.35	3.75
C05	FDOT TYPE 6 CURB INLET	125.10	121.54	3.56
C07	FDOT TYPE 6 CURB INLET	125.80	122.40	3.40
C08	FDOT TYPE 5R CURB INLET	127.00	122.75	4.25
C09	FDOT TYPE 5L CURB INLET	127.00	123.12	3.88
C10	FDOT TYPE 6 CURB INLET	128.00	123.56	4.44
D01	FDOT TYPE 5R CURB INLET	126.05	122.06	3.99
D02	FDOT TYPE 6 CURB INLET	126.35	123.00	3.35
E01	FDOT TYPE 5L CURB INLET	126.10	123.00	3.10

STORM PIPE TABLE							
FROM CODE	FROM INV.	TO CODE	TO INV.	GRADE %	SIZE INCHES	LENGTH L.F.	TYPE
C02	120.70	C01	120.50	0.79%	30"	25'	RCP
C03	120.96	C02	120.80	0.40%	30"	40'	RCP
C04	121.35	C03	121.06	0.39%	30"	74'	RCP
C05	121.54	C04	121.45	0.39%	24"	23'	RCP
C06	122.02	C05	121.64	0.40%	24"	95'	RCP
C07	122.40	C06	122.12	0.40%	24"	70'	RCP
C08	122.75	C07	122.50	0.40%	24"	62'	RCP
C09	123.12	C08	122.85	0.40%	24"	68'	RCP
C10	123.56	C09	123.22	0.40%	18"	86'	RCP
D01	123.82	C10	123.56	0.17%	18"	156'	RCP
D02	123.00	D01	122.16	1.52%	12"	55'	RCP
E01	123.00	D01	122.16	0.65%	12"	129'	RCP

GRADING & DRAINAGE KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
G1	MATCH EXISTING GRADE	
G2	TRANSITION FROM FLUSH CONDITIONS TO 6" CURB OVER 15 FEET	12 / C9.0
S16	SITE LIGHTING	SEE ELEC. PLANS
SEE STORM STRUCTURE TABLE	SINGLE CURB INLET	FDOT INDEX 211
SEE STORM STRUCTURE TABLE	SINGLE CATCH BASIN (TYPE C)	FDOT INDEX 232
SEE STORM STRUCTURE TABLE	CLEANOUT	8 / C9.2
SEE STORM STRUCTURE TABLE	CONCRETE HEADWALL - STRAIGHT	FDOT INDEX 250
SEE STORM STRUCTURE TABLE	JUNCTION MANHOLE	FDOT INDEX 200
SEE STORM STRUCTURE TABLE	BUBBLE-UP STRUCTURE	7 / C9.0

- NOTES:
- SEE SHEET C6.0 FOR STORM PIPE AND STRUCTURE INFORMATION.
 - SEE SHEET C2.1 FOR GRADING & DRAINAGE NOTES.

PROPOSED FEATURES LEGEND	
STORM PIPE & INLET	
SPOT ELEVATION	+ 91.8
PROPOSED CONTOUR	90
DRAINAGE STRUCTURE	
SILT FENCE	SF
TREE PROTECTION	TP TP
INLET PROTECTION	
STRAW BALE FILTER	

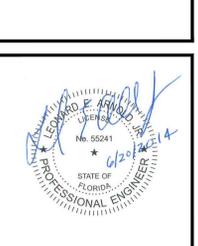


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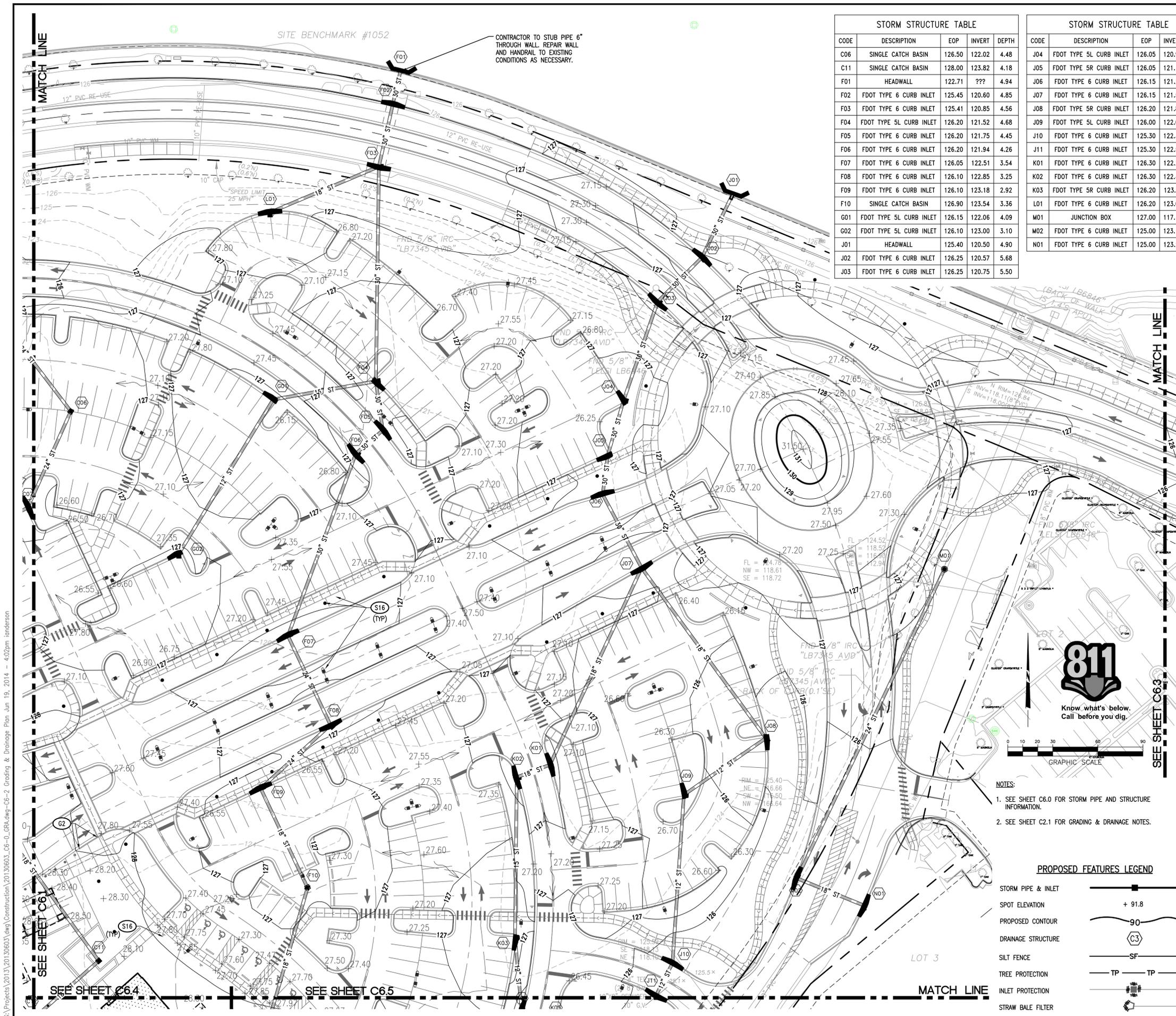
**Florida Hospital Winter Garden
Phase A**
2000 Fowler Grove Blvd.
Winter Garden, Florida



DATE	REVISIONS
6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

C6.1
GRADING & DRAINAGE PLAN

G:\Projects\2013\20130603 (dwg) Construction\20130603_C6-0_GRA.dwg-C6-1_Grading & Drainage Plan Jun 19, 2014 - 4:02pm landerson



STORM STRUCTURE TABLE				
CODE	DESCRIPTION	EOP	INVERT	DEPTH
C06	SINGLE CATCH BASIN	126.50	122.02	4.48
C11	SINGLE CATCH BASIN	128.00	123.82	4.18
F01	HEADWALL	122.71	???	4.94
F02	FDOT TYPE 6 CURB INLET	125.45	120.60	4.85
F03	FDOT TYPE 6 CURB INLET	125.41	120.85	4.56
F04	FDOT TYPE 5L CURB INLET	126.20	121.52	4.68
F05	FDOT TYPE 6 CURB INLET	126.20	121.75	4.45
F06	FDOT TYPE 6 CURB INLET	126.20	121.94	4.26
F07	FDOT TYPE 6 CURB INLET	126.05	122.51	3.54
F08	FDOT TYPE 6 CURB INLET	126.10	122.85	3.25
F09	FDOT TYPE 6 CURB INLET	126.10	123.18	2.92
F10	SINGLE CATCH BASIN	126.90	123.54	3.36
G01	FDOT TYPE 5L CURB INLET	126.15	122.06	4.09
G02	FDOT TYPE 5L CURB INLET	126.10	123.00	3.10
J01	HEADWALL	125.40	120.50	4.90
J02	FDOT TYPE 6 CURB INLET	126.25	120.57	5.68
J03	FDOT TYPE 6 CURB INLET	126.25	120.75	5.50

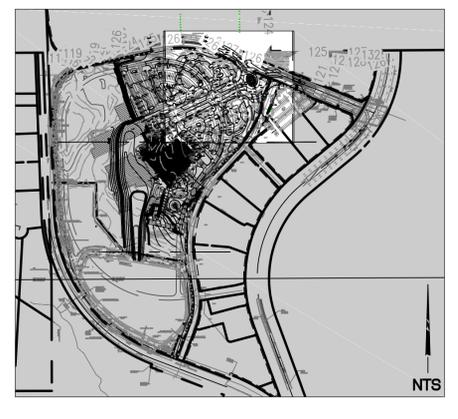
STORM STRUCTURE TABLE				
CODE	DESCRIPTION	EOP	INVERT	DEPTH
J04	FDOT TYPE 5L CURB INLET	126.05	120.98	5.07
J05	FDOT TYPE 5R CURB INLET	126.05	121.15	4.90
J06	FDOT TYPE 6 CURB INLET	126.15	121.29	4.86
J07	FDOT TYPE 6 CURB INLET	126.15	121.50	4.65
J08	FDOT TYPE 5R CURB INLET	126.20	121.84	4.36
J09	FDOT TYPE 5L CURB INLET	126.00	122.06	3.94
J10	FDOT TYPE 6 CURB INLET	125.30	122.36	2.94
J11	FDOT TYPE 6 CURB INLET	125.30	122.50	2.80
K01	FDOT TYPE 6 CURB INLET	126.30	122.29	4.01
K02	FDOT TYPE 6 CURB INLET	126.30	122.48	3.82
K03	FDOT TYPE 5R CURB INLET	126.20	123.01	3.19
L01	FDOT TYPE 6 CURB INLET	126.20	123.00	3.20
M01	JUNCTION BOX	127.00	117.15	9.85
M02	FDOT TYPE 6 CURB INLET	125.00	123.14	1.86
N01	FDOT TYPE 6 CURB INLET	125.00	123.29	1.71

STORM PIPE TABLE							
FROM CODE	FROM INV.	TO CODE	TO INV.	GRADE %	SIZE INCHES	LENGTH L.F.	TYPE
C06	122.02	C05	121.64	0.40%	24"	95'	RCP
C07	122.40	C06	122.12	0.40%	24"	70'	RCP
C11	123.82	C10	123.56	0.17%	18"	156'	RCP
C12	124.00	C11	123.92	0.13%	18"	59'	RCP
F02	120.60	F01	120.50	0.44%	30"	23'	RCP
F03	120.85	F02	120.70	0.35%	30"	42'	RCP
F04	121.52	F03	120.95	0.40%	30"	142'	RCP
F05	121.75	F04	121.62	0.40%	30"	33'	RCP
F06	121.94	F05	121.85	0.38%	30"	24'	RCP
F07	122.51	F06	122.04	0.36%	30"	129'	RCP
F08	122.85	F07	122.61	0.37%	24"	66'	RCP
F09	123.18	F08	122.95	0.37%	24"	63'	RCP
F10	123.54	F09	123.28	0.36%	18"	73'	RCP
F11	124.00	F10	123.64	0.36%	18"	99'	RCP
G01	122.06	F04	121.62	0.63%	15"	69'	RCP
G02	123.00	G01	122.16	0.70%	12"	120'	RCP
J02	120.57	J01	120.50	0.15%	30"	47'	RCP
J03	120.75	J02	120.67	0.19%	30"	42'	RCP
J04	120.98	J03	120.85	0.19%	30"	69'	RCP
J05	121.15	J04	121.08	0.18%	30"	38'	RCP
J06	121.29	J05	121.25	0.15%	30"	26'	RCP
J07	121.50	J06	121.39	0.20%	30"	55'	RCP
J08	121.84	J07	121.60	0.17%	18"	140'	RCP
J09	122.06	J08	121.94	0.18%	12"	66'	RCP
J10	122.36	J09	122.16	0.18%	12"	112'	RCP
J11	122.50	J10	122.46	0.17%	12"	24'	RCP
K01	122.29	J07	121.60	0.48%	18"	144'	RCP
K02	122.48	K01	122.39	0.38%	18"	24'	RCP
K03	123.01	K02	122.58	0.40%	15"	107'	RCP
K04	123.31	K03	123.11	0.41%	12"	49'	RCP
L01	123.00	F03	121.50	1.91%	18"	79'	RCP
M02	117.60	M01	117.15	0.20%	24"	227'	RCP
N01	118.20	M02	117.75	0.94%	18"	48'	RCP

GRADING & DRAINAGE KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
G1	MATCH EXISTING GRADE	
G2	TRANSITION FROM FLUSH CONDITIONS TO 6" CURB OVER 15 FEET	12 / C9.0
S16	SITE LIGHTING	SEE ELEC. PLANS
SEE STORM STRUCTURE TABLE	SINGLE CURB INLET	FDOT INDEX 211
SEE STORM STRUCTURE TABLE	SINGLE CATCH BASIN (TYPE C)	FDOT INDEX 232
SEE STORM STRUCTURE TABLE	CLEANOUT	8 / C9.2
SEE STORM STRUCTURE TABLE	CONCRETE HEADWALL - STRAIGHT	FDOT INDEX 250
SEE STORM STRUCTURE TABLE	JUNCTION MANHOLE	FDOT INDEX 200
SEE STORM STRUCTURE TABLE	BUBBLE-UP STRUCTURE	7 / C9.0

- NOTES:
- SEE SHEET C6.0 FOR STORM PIPE AND STRUCTURE INFORMATION.
 - SEE SHEET C2.1 FOR GRADING & DRAINAGE NOTES.

PROPOSED FEATURES LEGEND	
STORM PIPE & INLET	—■—
SPOT ELEVATION	+ 91.8
PROPOSED CONTOUR	—90—
DRAINAGE STRUCTURE	—C3—
SILT FENCE	—SF—
TREE PROTECTION	—TP— TP
INLET PROTECTION	—■—
STRAW BALE FILTER	—■—



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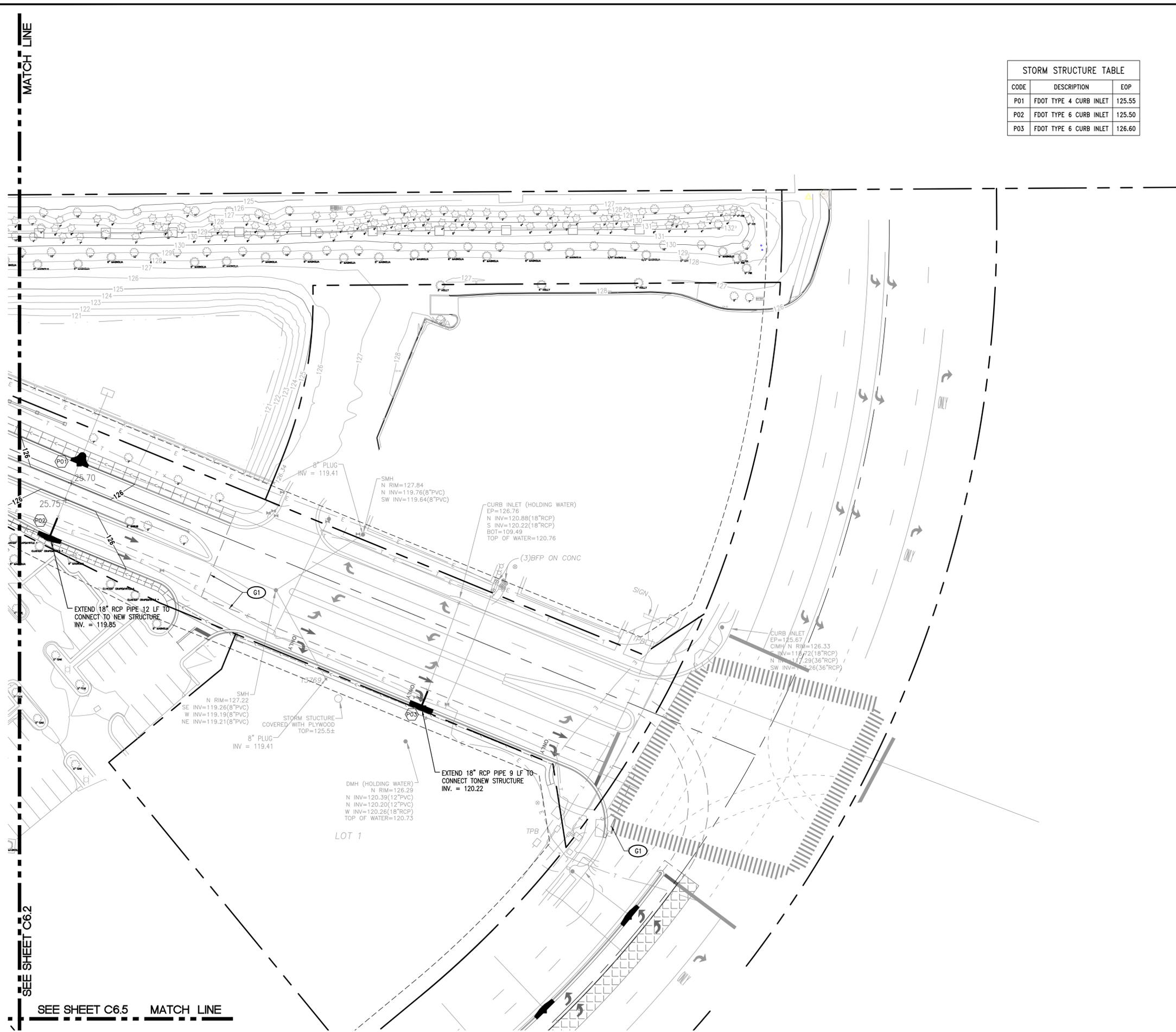
Professional Engineer Seal for Leonard E. Arnold, Jr., No. 55241, State of Florida.

DATE	REVISIONS
6/20/14	SITE PLAN RESUBMITAL
5/5/14	SITE PLAN RESUBMITAL
3/6/14	SITE PLAN SUBMITAL
1/31/14	DRC RESUBMITAL
1/24/14	DRC RESUBMITAL
1/17/14	DRC RESUBMITAL
1/10/14	20130603

C6.2
 GRADING & DRAINAGE PLAN

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G:\Projects\2013\20130603\Construction\20130603_C6-3_GRA.dwg-C6-3 Grading & Drainage Plan Jun 19, 2014 - 4:03pm landerson



STORM STRUCTURE TABLE		
CODE	DESCRIPTION	EOP
P01	FDOT TYPE 4 CURB INLET	125.55
P02	FDOT TYPE 6 CURB INLET	125.50
P03	FDOT TYPE 6 CURB INLET	126.60

GRADING & DRAINAGE KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
G1	MATCH EXISTING GRADE	
G2	TRANSITION FROM FLUSH CONDITIONS TO 6\"/>	

- NOTES:
- SEE SHEET C6.0 FOR STORM PIPE AND STRUCTURE INFORMATION.
 - SEE SHEET C2.1 FOR GRADING & DRAINAGE NOTES.

PROPOSED FEATURES LEGEND	
STORM PIPE & INLET	
SPOT ELEVATION	+ 91.8
PROPOSED CONTOUR	90
DRAINAGE STRUCTURE	
SILT FENCE	SF
TREE PROTECTION	TP TP
INLET PROTECTION	
STRAW BALE FILTER	



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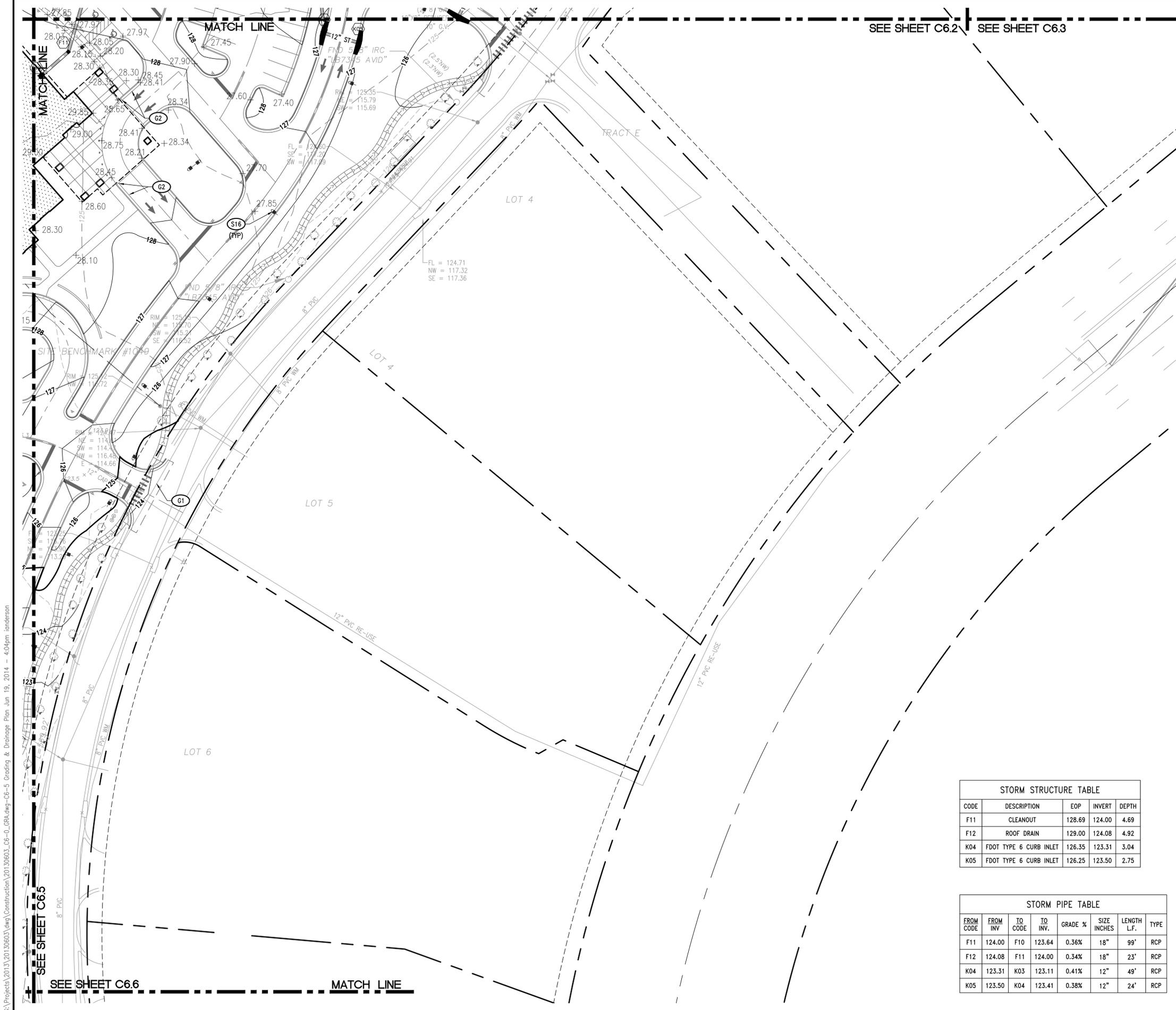
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Professional Engineer Seal for Leonard E. Arnold, Jr., No. 55241, State of Florida.

DATE	REVISIONS
6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL

C6.3
GRADING & DRAINAGE PLAN



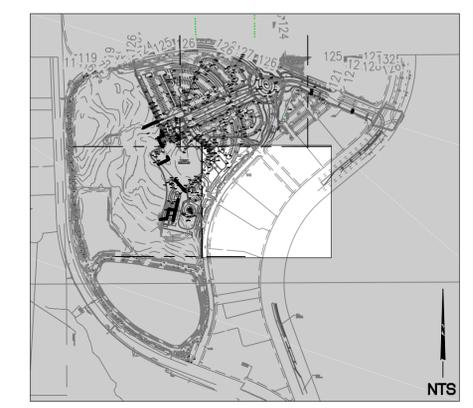
SEE SHEET C6.2 SEE SHEET C6.3

GRADING & DRAINAGE KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
G1	MATCH EXISTING GRADE	
G2	TRANSITION FROM FLUSH CONDITIONS TO 6\"/>	

SEE STORM STRUCTURE TABLE	SINGLE CURB INLET	FDOT INDEX 211
SEE STORM STRUCTURE TABLE	SINGLE CATCH BASIN (TYPE C)	FDOT INDEX 232
SEE STORM STRUCTURE TABLE	CLEANOUT	8 / C9.2
SEE STORM STRUCTURE TABLE	CONCRETE HEADWALL - STRAIGHT	FDOT INDEX 250
SEE STORM STRUCTURE TABLE	JUNCTION MANHOLE	FDOT INDEX 200
SEE STORM STRUCTURE TABLE	BUBBLE-UP STRUCTURE	7 / C9.0

- NOTES:
- SEE SHEET C6.0 FOR STORM PIPE AND STRUCTURE INFORMATION.
 - SEE SHEET C2.1 FOR GRADING & DRAINAGE NOTES.

PROPOSED FEATURES LEGEND	
STORM PIPE & INLET	
SPOT ELEVATION	+ 91.8
PROPOSED CONTOUR	90
DRAINAGE STRUCTURE	
SILT FENCE	SF
TREE PROTECTION	TP TP
INLET PROTECTION	
STRAW BALE FILTER	



STORM STRUCTURE TABLE				
CODE	DESCRIPTION	EOP	INVERT	DEPTH
F11	CLEANOUT	128.69	124.00	4.69
F12	ROOF DRAIN	129.00	124.08	4.92
K04	FDOT TYPE 6 CURB INLET	126.35	123.31	3.04
K05	FDOT TYPE 6 CURB INLET	126.25	123.50	2.75

STORM PIPE TABLE							
FROM CODE	FROM INV.	TO CODE	TO INV.	GRADE %	SIZE INCHES	LENGTH L.F.	TYPE
F11	124.00	F10	123.64	0.36%	18"	99'	RCP
F12	124.08	F11	124.00	0.34%	18"	23'	RCP
K04	123.31	K03	123.11	0.41%	12"	49'	RCP
K05	123.50	K04	123.41	0.38%	12"	24'	RCP

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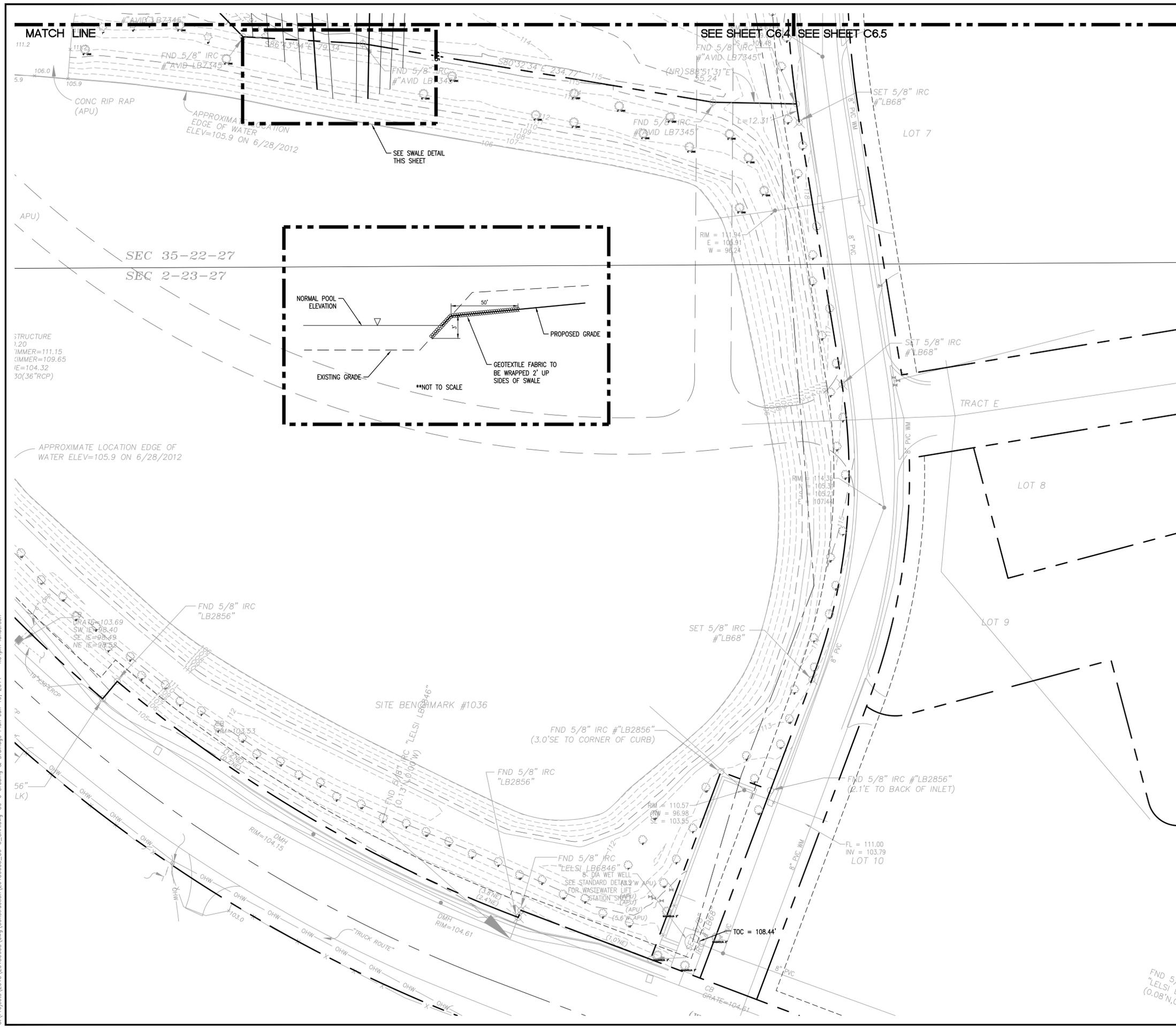
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DATE	REVISIONS
6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

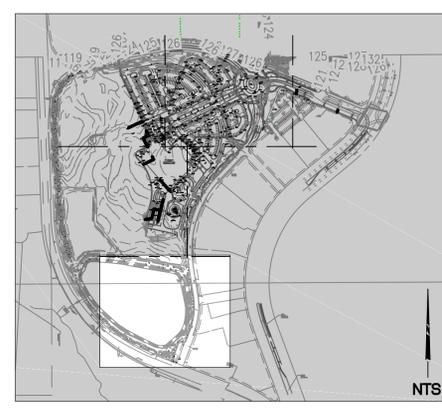
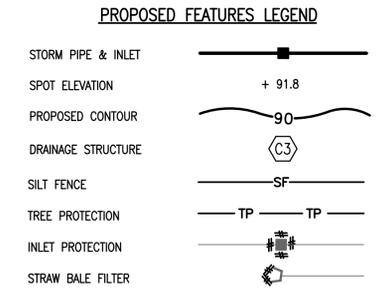
C6.5
GRADING & DRAINAGE PLAN

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GRADING & DRAINAGE KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
G1	MATCH EXISTING GRADE	
G2	TRANSITION FROM FLUSH CONDITIONS TO 6" CURB OVER 15 FEET	12 / C9.0
S16	SITE LIGHTING	SEE ELEC. PLANS
SEE STORM STRUCTURE TABLE	SINGLE CURB INLET	FDOT INDEX 211
SEE STORM STRUCTURE TABLE	SINGLE CATCH BASIN (TYPE C)	FDOT INDEX 232
SEE STORM STRUCTURE TABLE	CLEANOUT	8 / C9.2
SEE STORM STRUCTURE TABLE	CONCRETE HEADWALL - STRAIGHT	FDOT INDEX 250
SEE STORM STRUCTURE TABLE	JUNCTION MANHOLE	FDOT INDEX 200
SEE STORM STRUCTURE TABLE	BUBBLE-UP STRUCTURE	7 / C9.0

- NOTES:
- SEE SHEET C6.0 FOR STORM PIPE AND STRUCTURE INFORMATION.
 - SEE SHEET C2.1 FOR GRADING & DRAINAGE NOTES.



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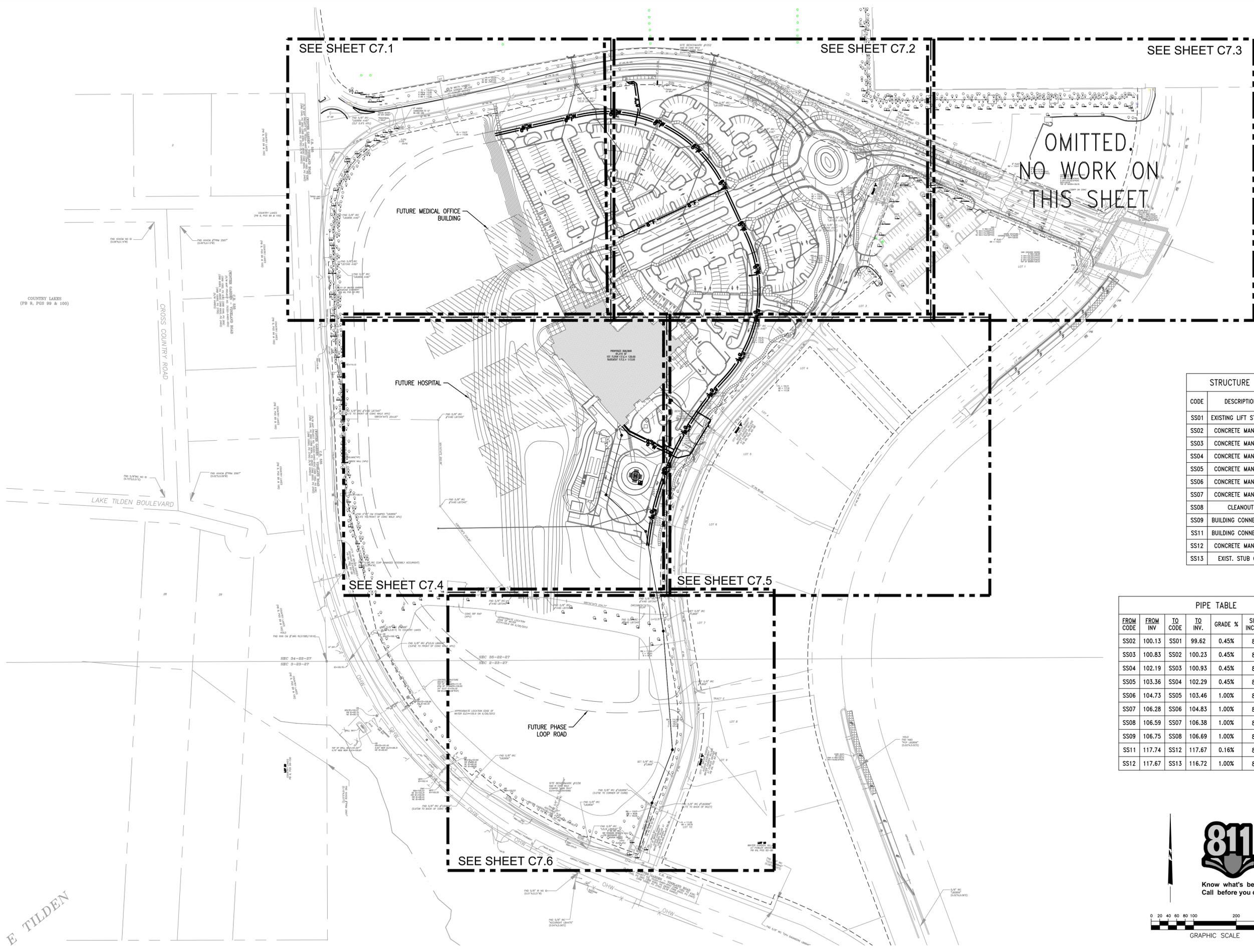


DATE	REVISIONS
6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

C6.6
GRADING & DRAINAGE PLAN

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G:\Projects\2013\20130603.dwg Construction\20130603_C7-0_UTL.dwg-C7-0 Overall Utility Plan Jun 19, 2014 - 4:05pm anderson



STRUCTURE TABLE		
CODE	DESCRIPTION	TOP GRADE
SS01	EXISTING LIFT STATION	108.44
SS02	CONCRETE MANHOLE	111.56
SS03	CONCRETE MANHOLE	113.15
SS04	CONCRETE MANHOLE	117.18
SS05	CONCRETE MANHOLE	120.50
SS06	CONCRETE MANHOLE	119.80
SS07	CONCRETE MANHOLE	128.10
SS08	CLEANOUT	128.05
SS09	BUILDING CONNECTION	107.29
SS11	BUILDING CONNECTION	128.67
SS12	CONCRETE MANHOLE	128.08
SS13	EXIST. STUB OUT	125.59

PIPE TABLE							
FROM CODE	FROM INV.	TO CODE	TO INV.	GRADE %	SIZE INCHES	LENGTH L.F.	TYPE
SS02	100.13	SS01	99.62	0.45%	8"	115	PVC
SS03	100.83	SS02	100.23	0.45%	8"	134	PVC
SS04	102.19	SS03	100.93	0.45%	8"	279	PVC
SS05	103.36	SS04	102.29	0.45%	8"	237	PVC
SS06	104.73	SS05	103.46	1.00%	8"	127	PVC
SS07	106.28	SS06	104.83	1.00%	8"	145	PVC
SS08	106.59	SS07	106.38	1.00%	8"	21	PVC
SS09	106.75	SS08	106.69	1.00%	8"	6	PVC
SS11	117.74	SS12	117.67	0.16%	8"	42	PVC
SS12	117.67	SS13	116.72	1.00%	8"	95	PVC


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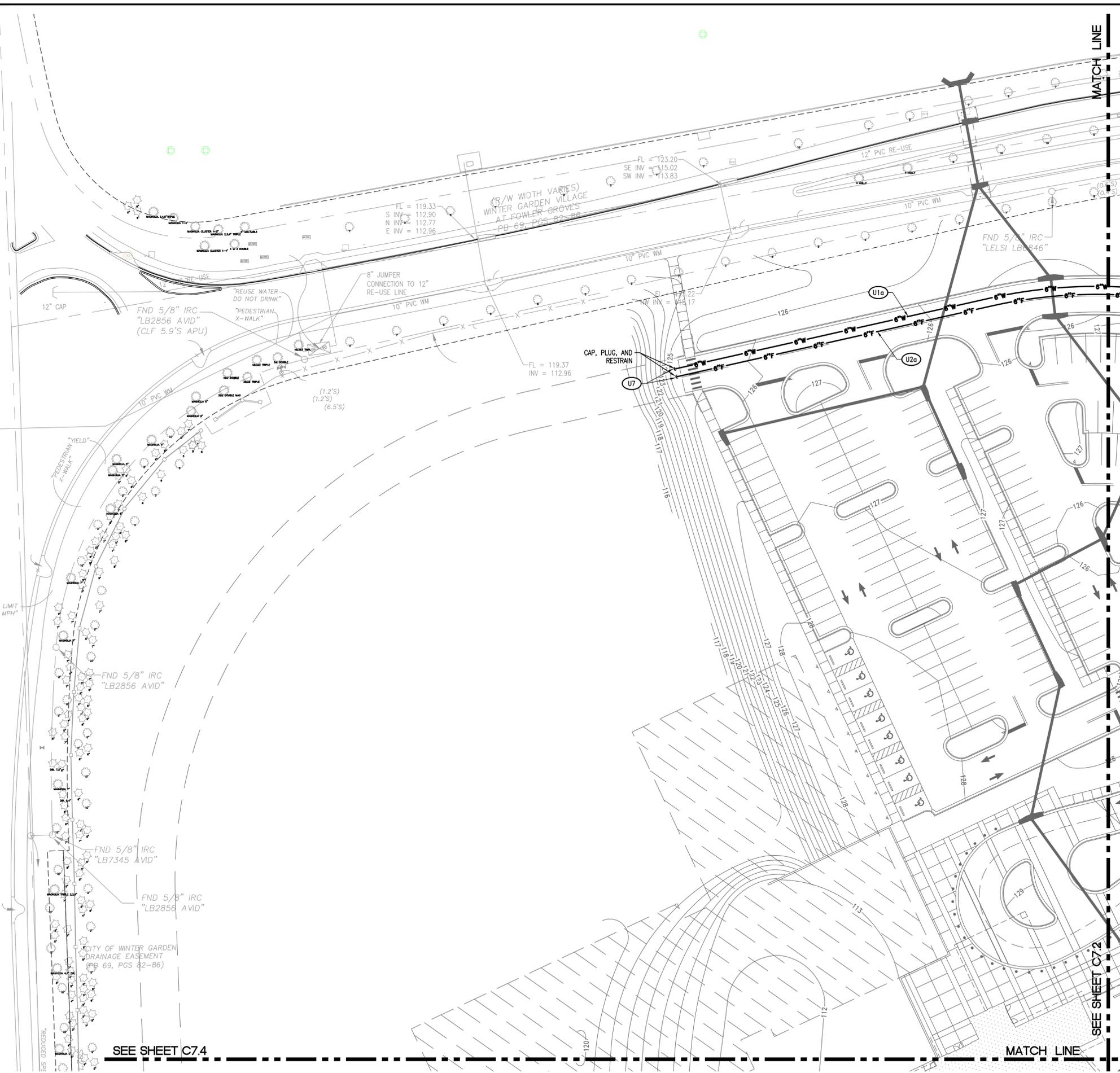


DATE	REVISIONS
6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

C7.0
OVERALL
UTILITY PLAN

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WINTER GARDEN - VINELAND ROAD
 C.R. 535
 (R/W MAP PROJECT NO. 75320-6460-654) (ORB 1582, PG. 636)
 (ORB 259) (ORB 6084, PG. 2829) (ORB 6920, PG. 2493)
 (ORB 1546, PG. 10060, PG. 3755) (R/W VARIES)

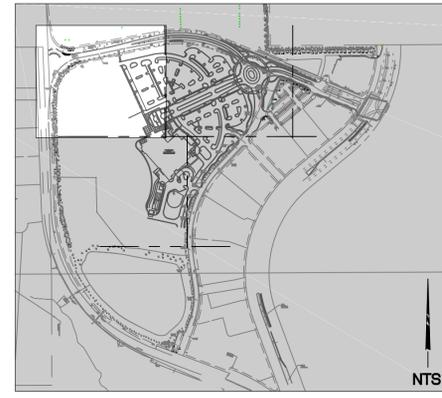


SITE UTILITY KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
U1a	6" PVC WATER LINE	C9.4
U2a	6" PVC FIRE LINE	C9.4
U2b	8" PVC FIRE LINE	C9.4
U3	3" RE-USE IRRIGATION LINE	C9.6
U4a	6" WATER METER AND REDUCED PRESSURE BACKFLOW PREVENTER ASSEMBLY	C9.4
U4b	3" RE-USE METER & BACKFLOW ASSEMBLY	C9.6
U6a	6" DOUBLE DETECTOR CHECK VALVE ASSEMBLY	C9.4
U7	BocT SAMPLE POINT	
U8	POST INDICATOR VALVE	4 / C9.1
U9	FIRE DEPARTMENT CONNECTION	5 / C9.1
U10	FIRE HYDRANT ASSEMBLY	C9.4
U11a	10" WATER VALVE	C9.4
U11b	8" WATER VALVE	C9.4
U11c	6" WATER VALVE	C9.4
U12a	6" X 8" TEE	
U12b	6" X 6" TEE	
U12c	10" X 6" TEE	
U12d	6" X 6" CROSS	
SEE SANITARY TABLE	SANITARY SEWER MANHOLE	C9.5
SEE SANITARY TABLE	SANITARY CLEANOUT	C9.5
SEE SANITARY TABLE	EXISTING LIFT STATION	

- NOTE:
- SEE SHEET C2.1 FOR UTILITY NOTES
 - SEE SHEET C2.2 FOR CITY OF WINTER GARDEN NOTES
 - SANITARY SEWER MAINS AND SERVICES SHALL BE PVC SDR-26
 - ALL WORK DOWNSTREAM OF THE POINT OF SERVICE (POS) SHALL BE PERFORMED BY A FLORIDA LICENSED FIRE SPRINKLER CONTRACTOR.

PROPOSED FEATURES LEGEND

DOMESTIC SERVICE	— W — W —
FIRE SERVICE	— F — F —
GAS LINE	— G — G —
WATER LINE WITH 90° MECHANICAL JOINT	— W — T —
SANITARY SEWER LINE WITH CLEANOUT	— S — ● —
NEW FIRE HYDRANT	— H —
UNDERGROUND ELECTRIC	— UGE — UGE —



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 Florida Firm Registration No. 28050

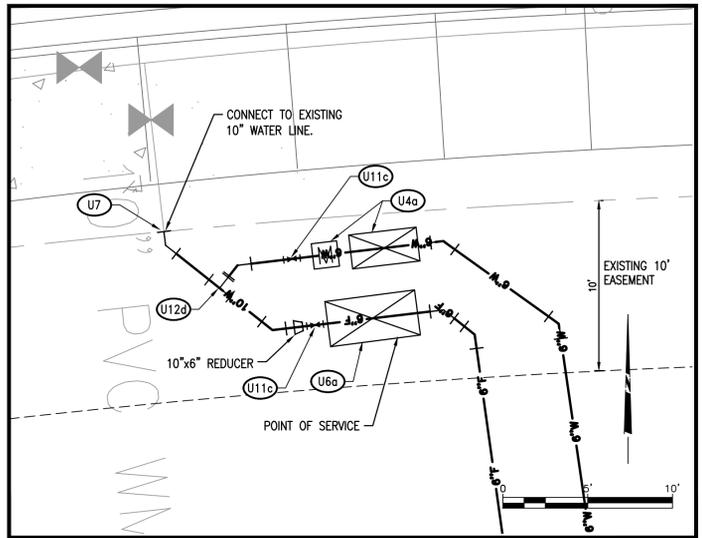
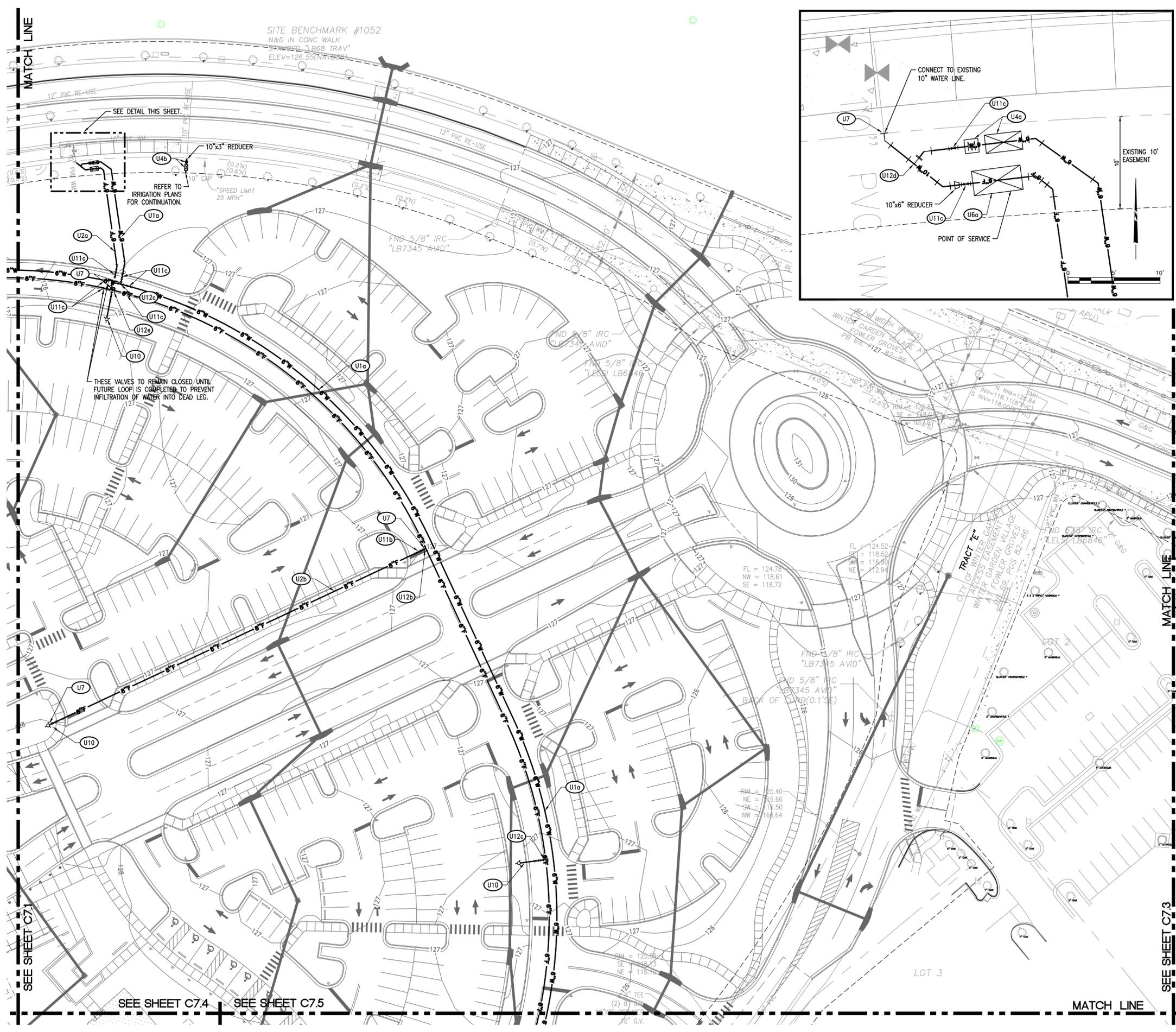
**Florida Hospital Winter Garden
 Phase A
 2000 Fowler Grove Blvd.
 Winter Garden, Florida**



DATE	REVISIONS
6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

C7.1
 UTILITY PLAN

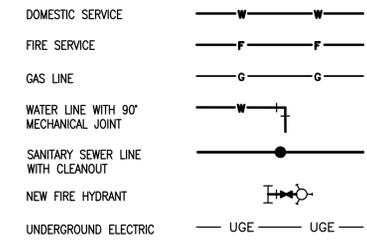
G:\Projects\2013\20130603.dwg Construction\20130603_C7-0_UJT.dwg-C7-2 Utility Plan Jun 19, 2014 - 4:05pm landerson



SITE UTILITY KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
U1a	6" PVC WATER LINE	C9.4
U2a	6" PVC FIRE LINE	C9.4
U2b	8" PVC FIRE LINE	C9.4
U3	3" RE-USE IRRIGATION LINE	C9.6
U4a	6" WATER METER AND REDUCED PRESSURE BACKFLOW PREVENTER ASSEMBLY	C9.4
U4b	3" RE-USE METER & BACKFLOW ASSEMBLY	C9.6
U6a	6" DOUBLE DETECTOR CHECK VALVE ASSEMBLY	C9.4
U7	Bact SAMPLE POINT	
U8	POST INDICATOR VALVE	4 / C9.1
U9	FIRE DEPARTMENT CONNECTION	5 / C9.1
U10	FIRE HYDRANT ASSEMBLY	C9.4
U11a	10" WATER VALVE	C9.4
U11b	8" WATER VALVE	C9.4
U11c	6" WATER VALVE	C9.4
U12a	6" X 8" TEE	
U12b	6" X 6" TEE	
U12c	10" X 6" TEE	
U12d	6" X 6" CROSS	
SEE SANITARY TABLE	SANITARY SEWER MANHOLE	C9.5
SEE SANITARY TABLE	SANITARY CLEANOUT	C9.5
SEE SANITARY TABLE	EXISTING LIFT STATION	

- NOTE:
- SEE SHEET C2.1 FOR UTILITY NOTES
 - SEE SHEET C2.2 FOR CITY OF WINTER GARDEN NOTES
 - SANITARY SEWER MAINS AND SERVICES SHALL BE PVC SDR-26
 - ALL WORK DOWNSTREAM OF THE POINT OF SERVICE (POS) SHALL BE PERFORMED BY A FLORIDA LICENSED FIRE SPRINKLER CONTRACTOR.

PROPOSED FEATURES LEGEND

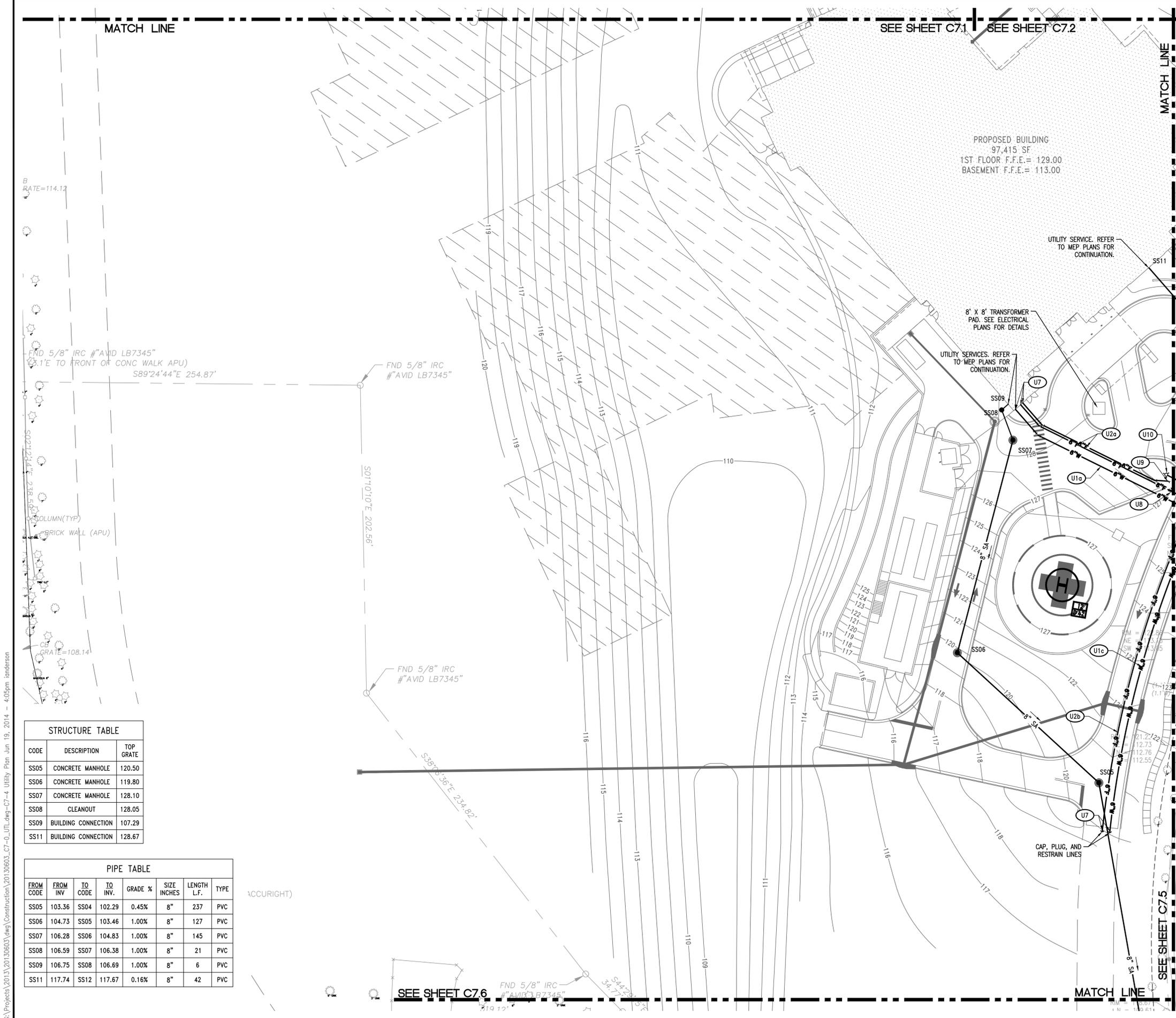


Florida Hospital Winter Garden Phase A
2000 Fowler Grove Blvd.
Winter Garden, Florida



DATE	REVISIONS
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5/5/14	SITE PLAN RESUBMITTAL
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1/31/14	DRG RESUBMITTAL
1/24/14	DRG RESUBMITTAL
1/17/14	DRG RESUBMITTAL
1/10/14	20130603

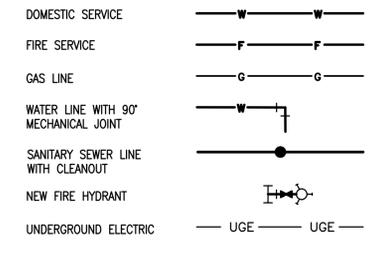
C7.2
UTILITY PLAN



SITE UTILITY KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
U1a	6" PVC WATER LINE	C9.4
U2a	6" PVC FIRE LINE	C9.4
U2b	8" PVC FIRE LINE	C9.4
U3	3" RE-USE IRRIGATION LINE	C9.6
U4a	6" WATER METER AND REDUCED PRESSURE BACKFLOW PREVENTER ASSEMBLY	C9.4
U4b	3" RE-USE METER & BACKFLOW ASSEMBLY	C9.6
U6a	6" DOUBLE DETECTOR CHECK VALVE ASSEMBLY	C9.4
U7	Bact SAMPLE POINT	
U8	POST INDICATOR VALVE	4 / C9.1
U9	FIRE DEPARTMENT CONNECTION	5 / C9.1
U10	FIRE HYDRANT ASSEMBLY	C9.4
U11a	10" WATER VALVE	C9.4
U11b	8" WATER VALVE	C9.4
U11c	6" WATER VALVE	C9.4
U12a	6" X 8" TEE	
U12b	6" X 6" TEE	
U12c	10" X 6" TEE	
U12d	6" X 6" CROSS	
SEE SANITARY TABLE	SANITARY SEWER MANHOLE	C9.5
SEE SANITARY TABLE	SANITARY CLEANOUT	C9.5
SEE SANITARY TABLE	EXISTING LIFT STATION	

- NOTE:**
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PROPOSED FEATURES LEGEND



STRUCTURE TABLE		
CODE	DESCRIPTION	TOP GRATE
SS05	CONCRETE MANHOLE	120.50
SS06	CONCRETE MANHOLE	119.80
SS07	CONCRETE MANHOLE	128.10
SS08	CLEANOUT	128.05
SS09	BUILDING CONNECTION	107.29
SS11	BUILDING CONNECTION	128.67

PIPE TABLE							
FROM CODE	FROM INV.	TO CODE	TO INV.	GRADE %	SIZE INCHES	LENGTH L.F.	TYPE
SS05	103.36	SS04	102.29	0.45%	8"	237	PVC
SS06	104.73	SS05	103.46	1.00%	8"	127	PVC
SS07	106.28	SS06	104.83	1.00%	8"	145	PVC
SS08	106.59	SS07	106.38	1.00%	8"	21	PVC
SS09	106.75	SS08	106.69	1.00%	8"	6	PVC
SS11	117.74	SS12	117.67	0.16%	8"	42	PVC

Florida Hospital Winter Garden Phase A
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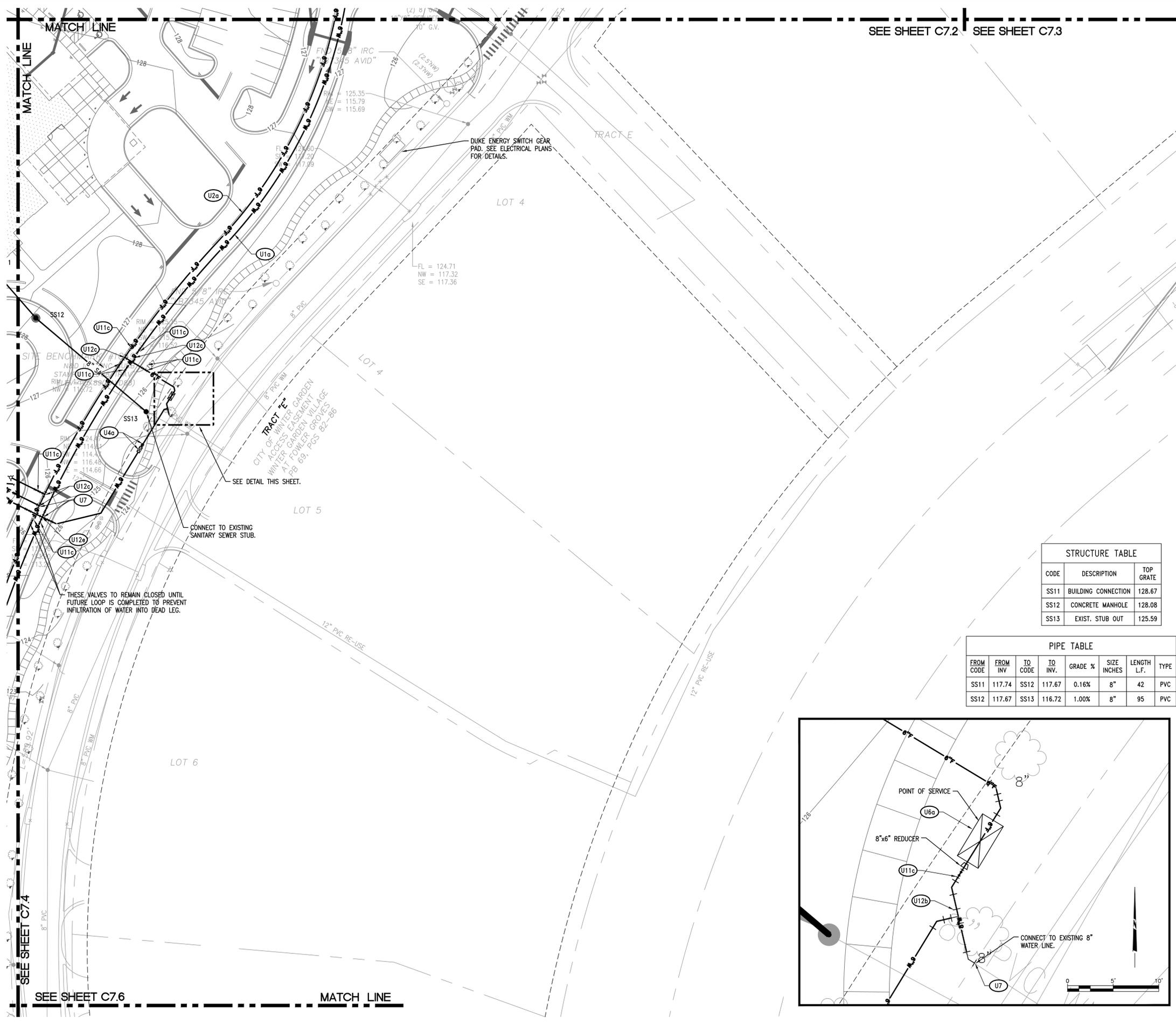


DATE	REVISIONS
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5/5/14	SITE PLAN RESUBMITTAL
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1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

C7.4
 UTILITY PLAN

G:\Projects\2013\20130603 (dwg) Construction\20130603_C7-0_UJT.dwg-C7-4 Utility Plan Jun 19, 2014 - 4:05pm landerson

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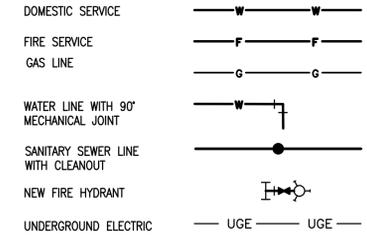


SEE SHEET C7.2 SEE SHEET C7.3

SITE UTILITY KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
U1a	6" PVC WATER LINE	C9.4
U2a	6" PVC FIRE LINE	C9.4
U2b	8" PVC FIRE LINE	C9.4
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U6a	6" DOUBLE DETECTOR CHECK VALVE ASSEMBLY	C9.4
U7	Bact SAMPLE POINT	
U8	POST INDICATOR VALVE	4 / C9.1
U9	FIRE DEPARTMENT CONNECTION	5 / C9.1
U10	FIRE HYDRANT ASSEMBLY	C9.4
U11a	10" WATER VALVE	C9.4
U11b	8" WATER VALVE	C9.4
U11c	6" WATER VALVE	C9.4
U12a	6" X 8" TEE	
U12b	6" X 6" TEE	
U12c	10" X 6" TEE	
U12d	6" X 6" CROSS	
SEE SANITARY TABLE	SANITARY SEWER MANHOLE	C9.5
SEE SANITARY TABLE	SANITARY CLEANOUT	C9.5
SEE SANITARY TABLE	EXISTING LIFT STATION	

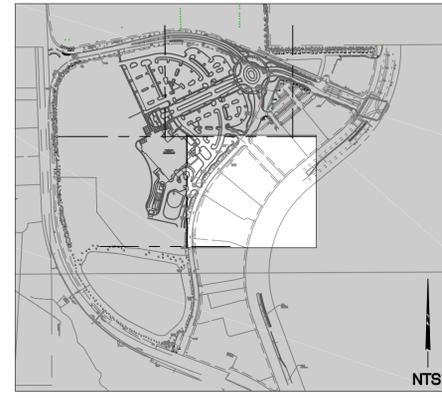
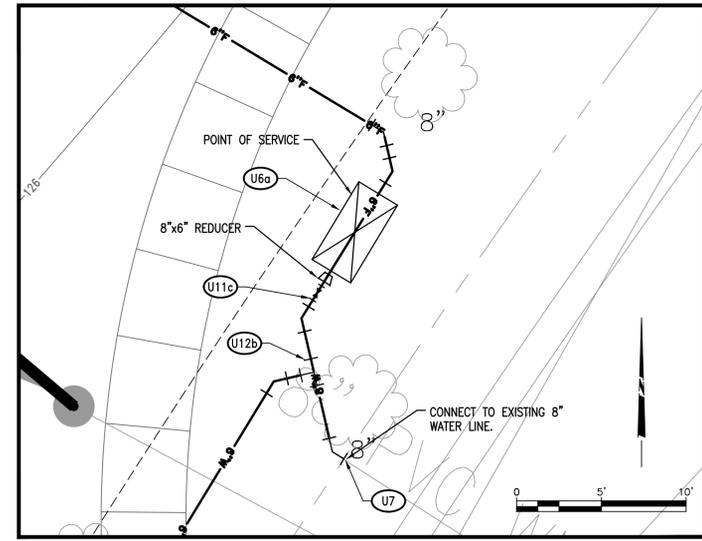
- NOTE:**
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PROPOSED FEATURES LEGEND



STRUCTURE TABLE		
CODE	DESCRIPTION	TOP GRATE
SS11	BUILDING CONNECTION	128.67
SS12	CONCRETE MANHOLE	128.08
SS13	EXIST. STUB OUT	125.59

PIPE TABLE							
FROM CODE	FROM INV.	TO CODE	TO INV.	GRADE %	SIZE INCHES	LENGTH L.F.	TYPE
SS11	117.74	SS12	117.67	0.16%	8"	42	PVC
SS12	117.67	SS13	116.72	1.00%	8"	95	PVC



811
Know what's below.
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GRAPHIC SCALE

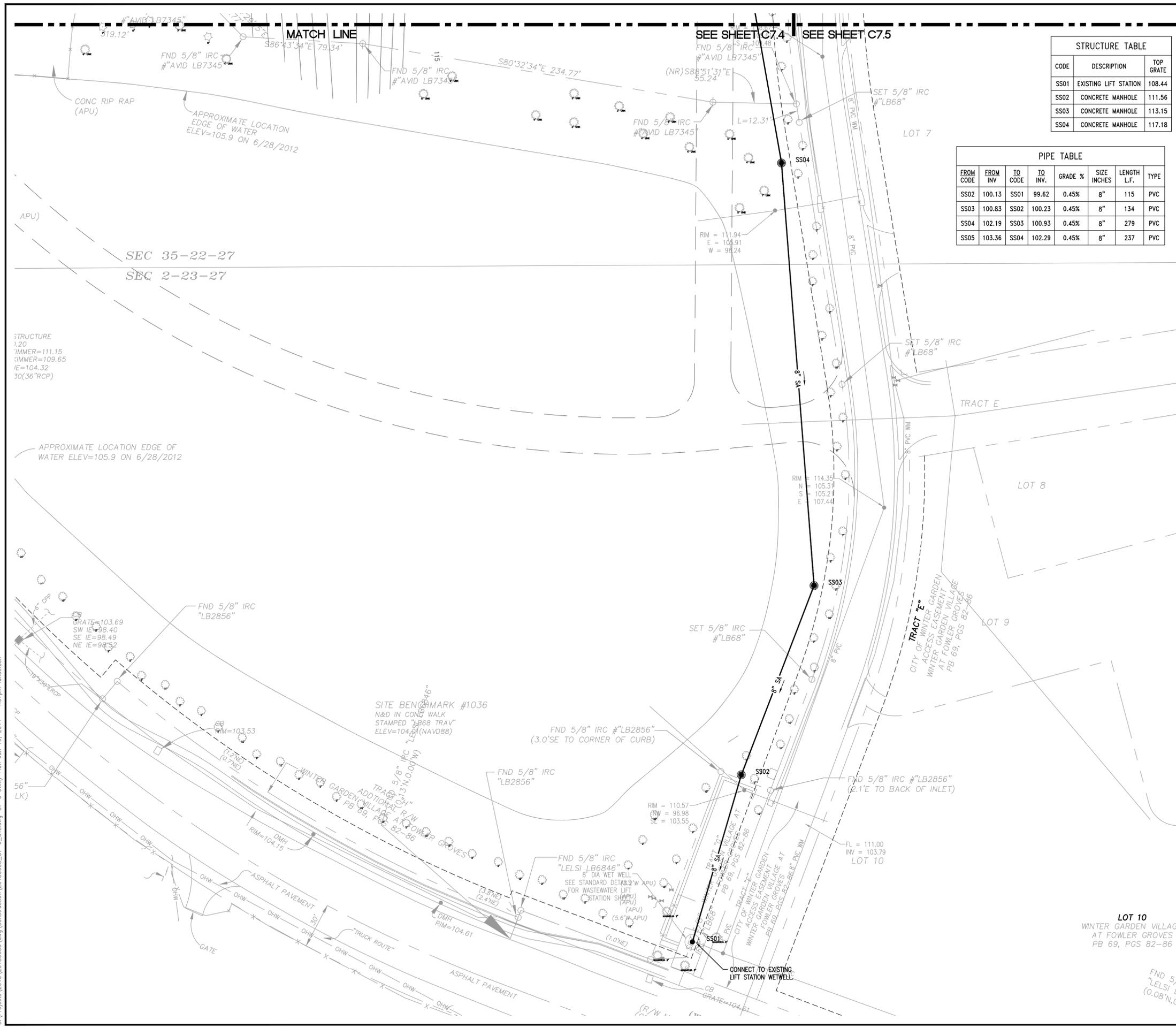
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Leonard E. Arnold, Jr., P.E. 55241
Florida Firm Registration No. 28050

Florida Hospital Winter Garden Phase A
2000 Fowler Grove Blvd.
Winter Garden, Florida



6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
DATE	REVISIONS
1/10/14	20130603

C7.5
UTILITY PLAN

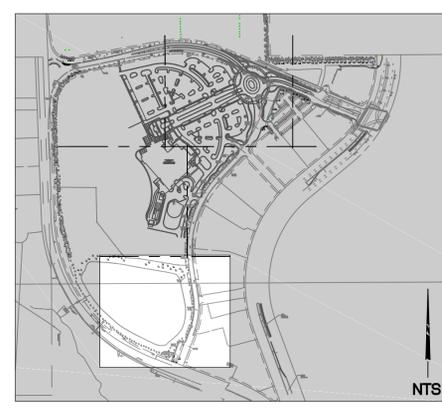
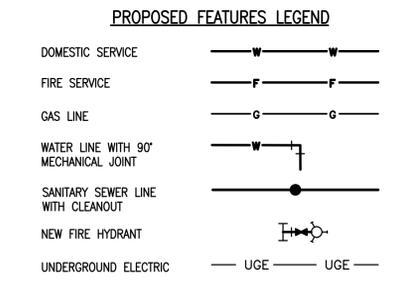


STRUCTURE TABLE		
CODE	DESCRIPTION	TOP GRADE
SS01	EXISTING LIFT STATION	108.44
SS02	CONCRETE MANHOLE	111.56
SS03	CONCRETE MANHOLE	113.15
SS04	CONCRETE MANHOLE	117.18

PIPE TABLE						
FROM CODE	FROM INV.	TO CODE	TO INV.	GRADE %	SIZE INCHES	LENGTH L.F.
SS02	100.13	SS01	99.62	0.45%	8"	115
SS03	100.83	SS02	100.23	0.45%	8"	134
SS04	102.19	SS03	100.93	0.45%	8"	279
SS05	103.36	SS04	102.29	0.45%	8"	237

SITE UTILITY KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
U1a	6" PVC WATER LINE	C9.4
U2a	6" PVC FIRE LINE	C9.4
U2b	8" PVC FIRE LINE	C9.4
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U4b	3" RE-USE METER & BACKFLOW ASSEMBLY	C9.6
U6a	6" DOUBLE DETECTOR CHECK VALVE ASSEMBLY	C9.4
U7	Bact SAMPLE POINT	
U8	POST INDICATOR VALVE	4 / C9.1
U9	FIRE DEPARTMENT CONNECTION	5 / C9.1
U10	FIRE HYDRANT ASSEMBLY	C9.4
U11a	10" WATER VALVE	C9.4
U11b	8" WATER VALVE	C9.4
U11c	6" WATER VALVE	C9.4
U12a	6" X 8" TEE	
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U12c	10" X 6" TEE	
U12d	6" X 6" CROSS	
SEE SANITARY TABLE	SANITARY SEWER MANHOLE	C9.5
SEE SANITARY TABLE	SANITARY CLEANOUT	C9.5
SEE SANITARY TABLE	EXISTING LIFT STATION	

- NOTE:**
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 - SEE SHEET C2.2 FOR CITY OF WINTER GARDEN NOTES
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GRAPHIC SCALE
0 10 20 30 60 90

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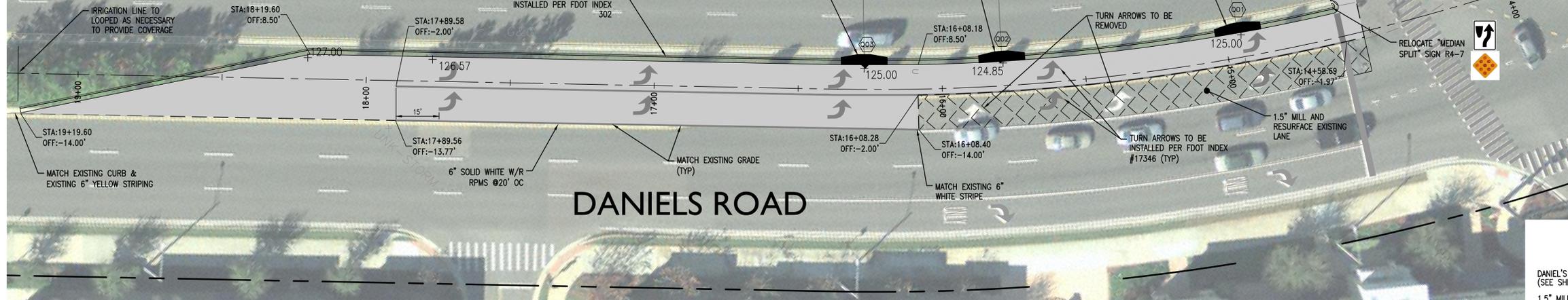
Florida Hospital Winter Garden Phase A
2000 Fowler Grove Blvd.
Winter Garden, Florida



DATE	REVISIONS
6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
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1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

C7.6
UTILITY PLAN

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LANE LINE EXTENSION MARKINGS
PER FDOT INDEX 17346
(6' SKIP; 10' GAP)

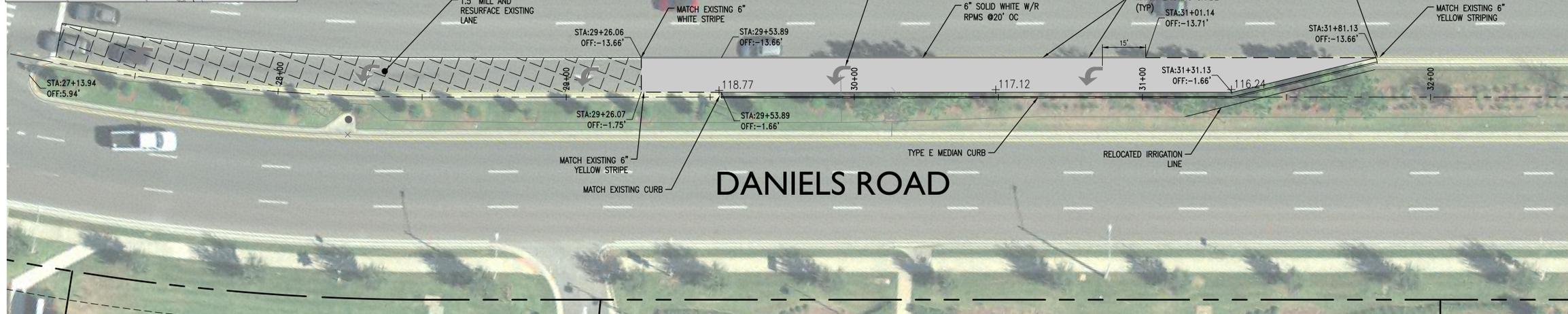
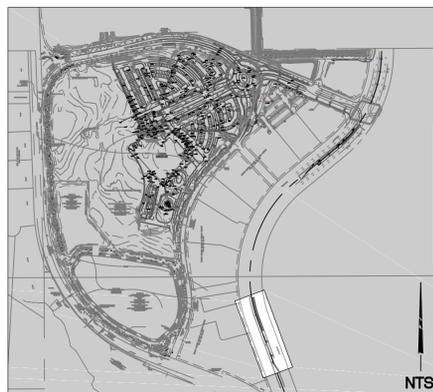
STRUCTURE TABLE		
CODE	DESCRIPTION	EOP
Q01	FDOT TYPE 6 CURB INLET	125.50
Q02	FDOT TYPE 6 CURB INLET	125.35
Q03	FDOT TYPE 6 CURB INLET	125.50

PROPOSED FEATURES LEGEND

- DANIEL'S ROAD PAVEMENT (SEE SHEET C9.2)
- 1.5" MILL & RESURFACE EXISTING PAVEMENT
- THERMOPLASTIC STRIPE
- CONCRETE CURB

GENERAL NOTES

- SEE SHEET 9.2 FOR OFFSITE IMPROVEMENT NOTES AND FOR TYPICAL TURN LANE CROSS SECTION.



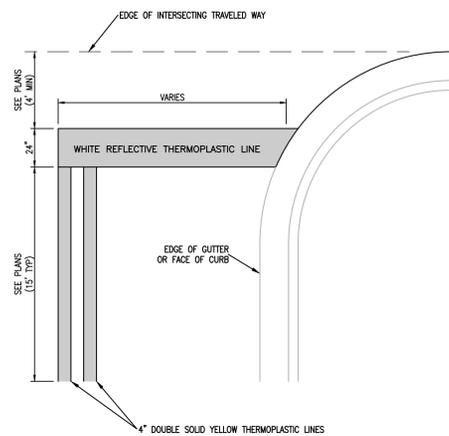
811
Know what's below.
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GRAPHIC SCALE

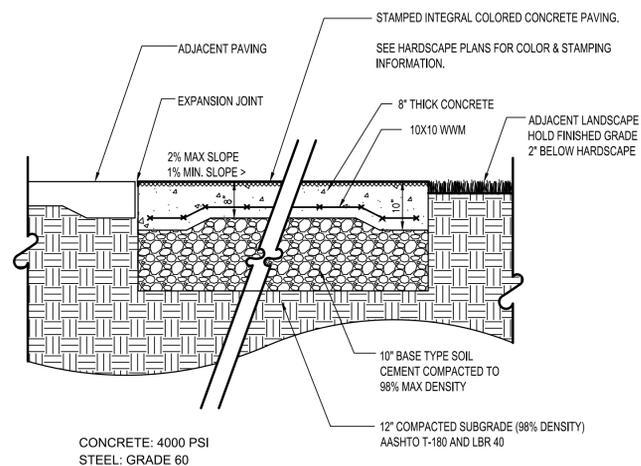


DATE	REVISIONS
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5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

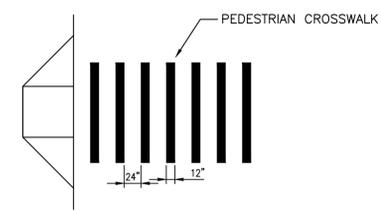
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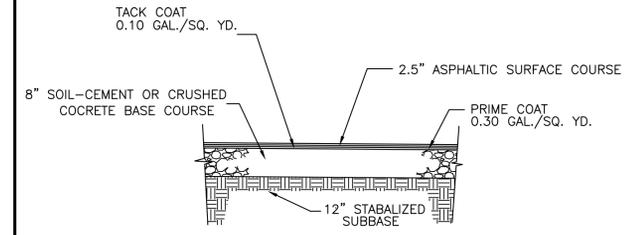
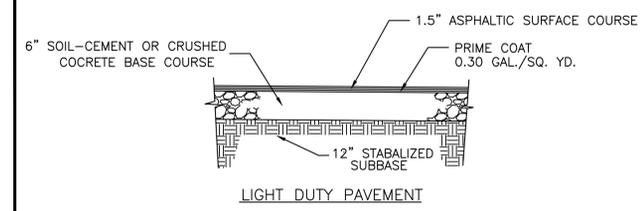
10 PAINTED STOP BAR
NOT TO SCALE



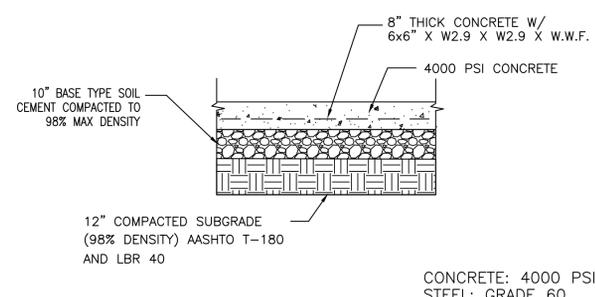
7 INTEGRAL STAMPED CONCRETE
NOT TO SCALE



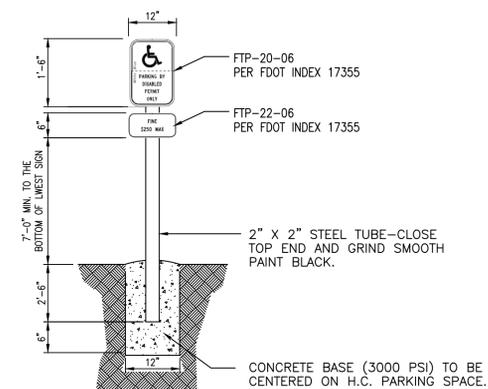
4 PEDESTRIAN CROSSWALK
NOT TO SCALE



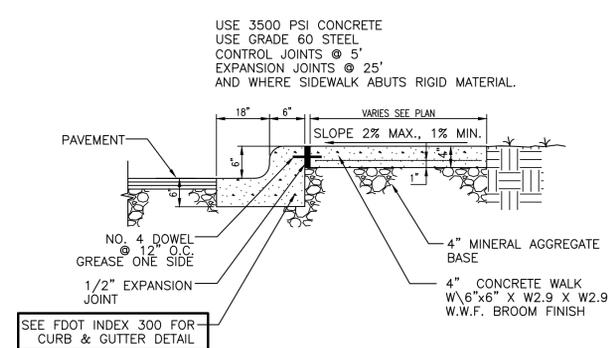
1 PAVEMENT SECTION
NOT TO SCALE



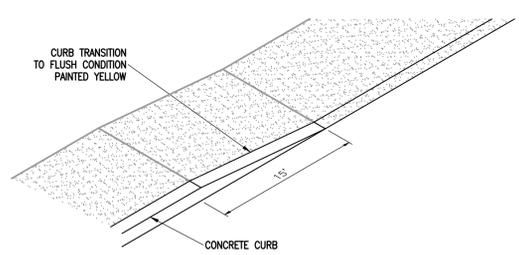
11 CONCRETE PAVEMENT
NOT TO SCALE



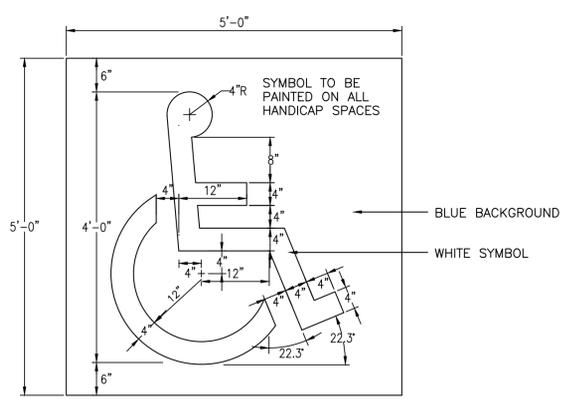
5 EXTERIOR ACCESSIBLE SIGN
NOT TO SCALE



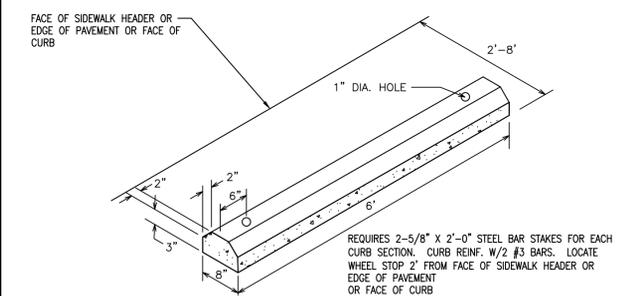
2 SIDEWALK AT CURB & GUTTER
NOT TO SCALE



12 CURB TRANSITION
NOT TO SCALE



6 PAINTED ACCESSIBLE SYMBOL
NOT TO SCALE



3 PRECAST CONCRETE WHEEL STOP
NOT TO SCALE

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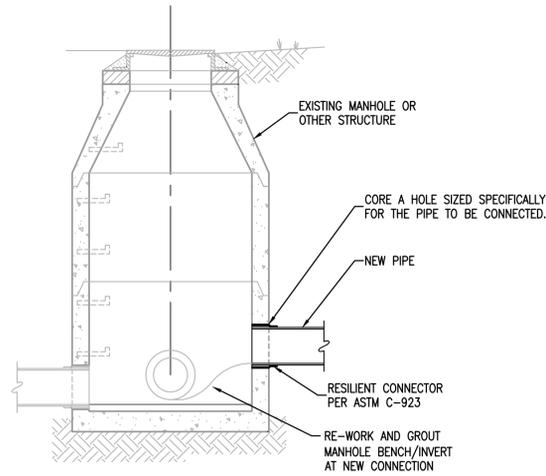
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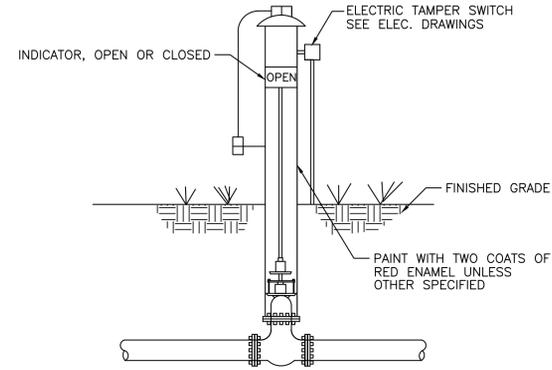
C9.0
DETAILS



CONNECTION TO THE MANHOLE SHALL ONLY BE MADE BY THE CORING AND RESILIENT SEAL METHOD

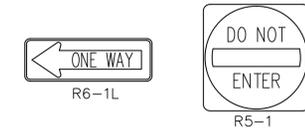
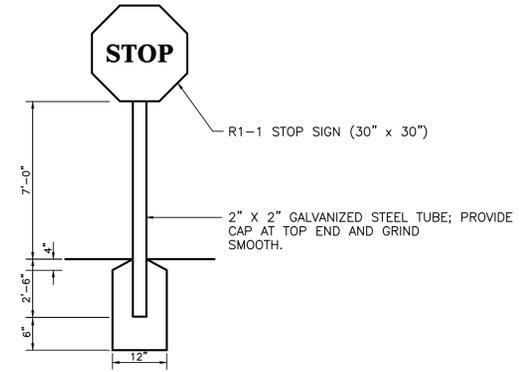
CORED MANHOLE CONNECTION

NOT TO SCALE



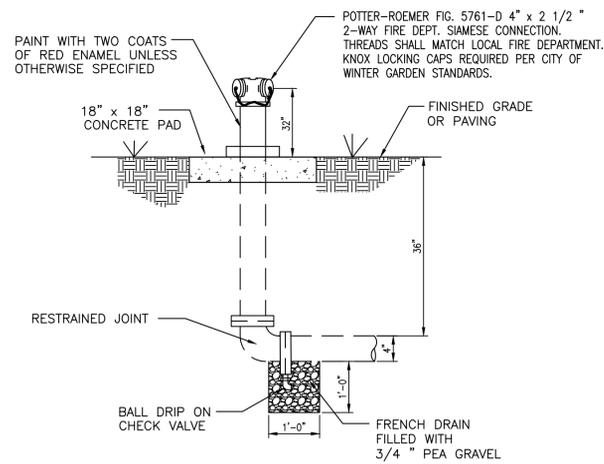
POST INDICATOR VALVE

NOT TO SCALE



SIGHT SIGNS

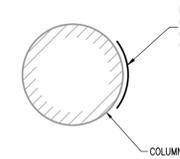
NOT TO SCALE



SIAMESE CONNECTION

NOT TO SCALE

12"X18" REFLECTIVE ALUMINUM SIGN
USE ITEM NO. G-66RA5
BY GR500, A DIVISION OF US SIGNCRAFTERS
(1-800-659-6319)
(www.usigncrafters.com)



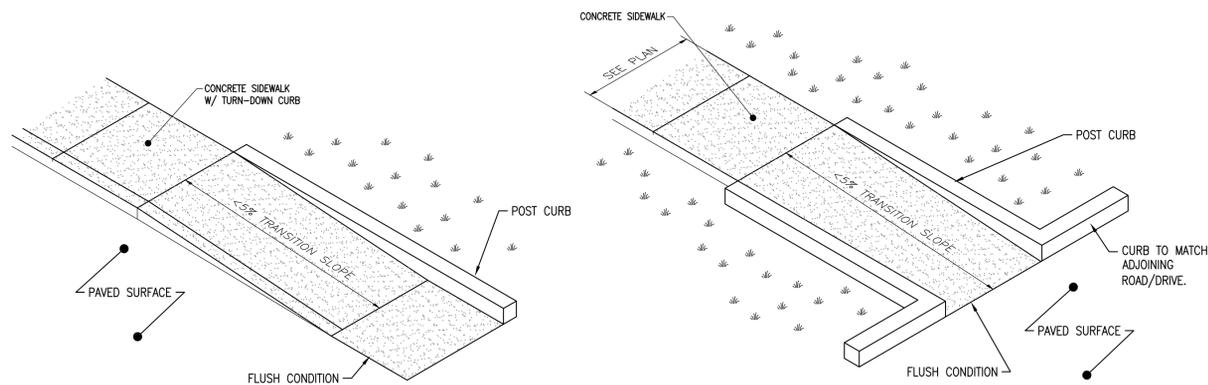
ON COLUMN



ON BUILDING

PASSENGER LOADING ZONE SIGN

NOT TO SCALE



** DETECTABLE WARNING SURFACE TO BE USED ON ALL SIDEWALK CROSSINGS THAT CROSS ROADS WITHIN THE PUBLIC RIGHT OF WAY. DETECTABLE WARNING TO BE INSTALLED CITY DETAIL ON SHEET C9.7.

SIDEWALK TRANSITION

NOT TO SCALE

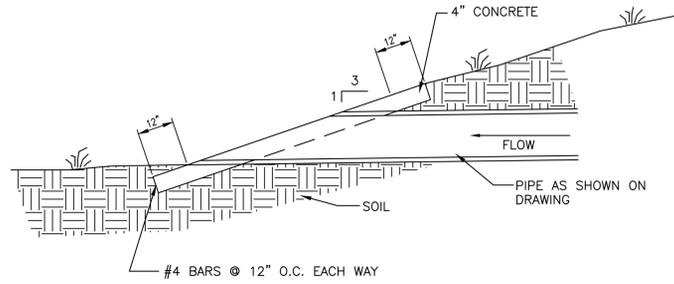
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Winter Garden, Florida



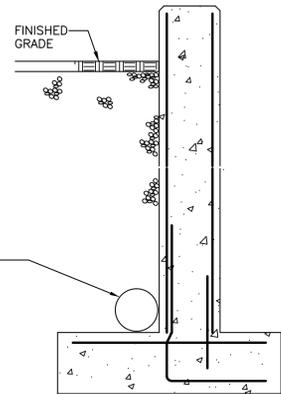
DATE	REVISIONS
6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

C9.1
DETAILS



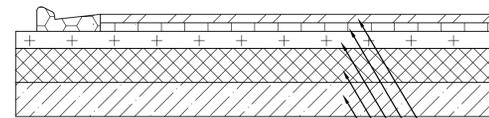
DRAIN TILE HEADWALL
NOT TO SCALE

3



DRAIN TILE SECTION

4



TYPICAL TURN LANE PAVEMENT SECTION
NOT TO SCALE

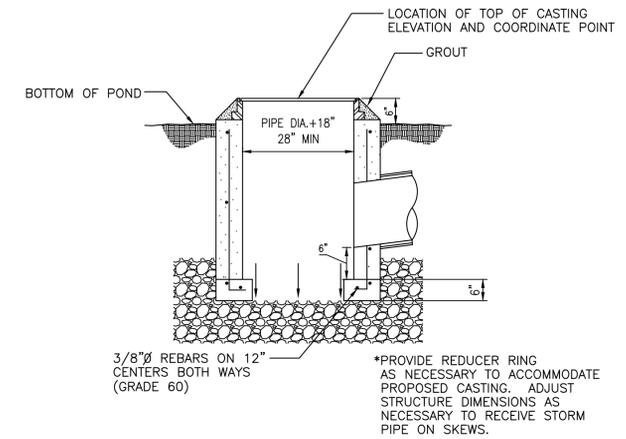
5

NOTES

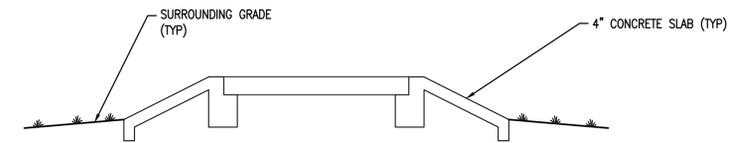
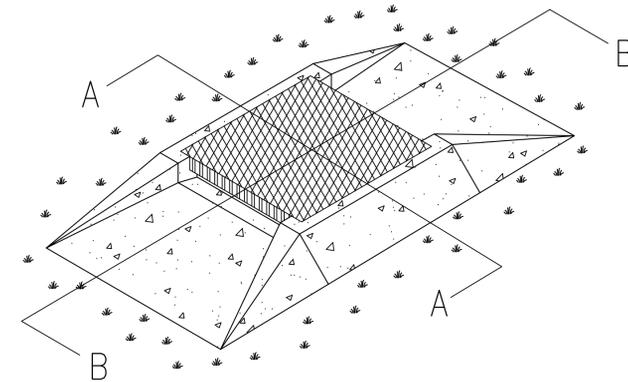
- ALL WORK SHALL COMPLY WITH THE FOLLOWING FDOT DOCUMENTS (LATEST EDITION) AND CITY OF WINTER GARDEN STANDARDS:
 - STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREETS AND HIGHWAY CONSTRUCTION.
 - ROADWAY AND TRAFFIC DESIGN STANDARDS
 - UTILITY ACCOMMODATION GUIDE
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING PROPER TRAFFIC MAINTENANCE AND CONTROLS IN ACCORDANCE WITH REGULATORY STANDARDS. WHERE A TRAFFIC MAINTENANCE PLAN IS REQUIRED, IT SHALL BE PREPARED AND SUBMITTED FOR APPROVAL BY CONTRACTOR TO THE CITY OF WINTER GARDEN.
- ALL EXISTING UTILITIES SHALL BE FIELD VERIFIED.
- ALL DISTURBED GRASS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION AND SOODED TO MATCH EXISTING SOY TYPE.
- ALL WORK ON UTILITIES SHALL BE OPEN AND SUBJECT TO INSPECTION BY AUTHORIZED PERSONNEL OF THE UTILITY COMPANIES, AND CITY OF WINTER GARDEN.
- ALL ROADWAY STRIPING AND MARKING SHALL BE TO CITY REQUIREMENTS AND OF CITY APPROVED MATERIALS. TEMPORARY STRIPING AND MARKING MAY BE REQUIRED.
- TACK COATS SHALL BE APPLIED BETWEEN ALL LAYERS OF ASPHALTIC CONCRETE COURSES.
- M.O.T. SHALL BE IN ACCORDANCE WITH FDOT INDICES 600, 611, 612, 613, 615, AND 616. CONTRACTOR SHALL SUBMIT M.O.T. TO CITY OF WINTER GARDEN FOR WRITTEN APPROVAL.
- TEST RESULTS SHALL BE SUBMITTED TO THE CITY OF WINTER GARDEN UPON REQUEST.
- AS-BUILT PLANS SHALL BE REQUIRED IF MAJOR CHANGES ARE MADE.
- MATERIALS CERTIFICATION SHALL BE REQUIRED FOR ALL PAINT AND THERMOPLASTIC TO VERIFY SAID MATERIALS DO NOT CONTAIN LEAD.
- POSTED SPEED LIMIT 40 MPH.
- REFLECTIVE PAVEMENT MARKERS SHALL BE INSTALLED AS SHOWN IN FDOT INDEX 17352.
- BULL NOSES SHALL BE PAINTED YELLOW PER FDOT INDEX 17346.
- BULL NOSE DELINEATORS TO BE INSTALLED PER FDOT INDEX 17346.
- ALL PAVEMENT MARKINGS WITHIN CITY RIGHT-OF-WAY SHALL BE THERMOPLASTIC, CERTIFIED LEAD-FREE.
- LANE CLOSURES SCHEDULES SHALL BE SUBMITTED TO THE CITY OF WINTER GARDEN FOR APPROVAL. THE CITY RESERVES THE RIGHT TO REQUIRE DIFFERENT HOURS OF LANE CLOSURE INCLUDING NIGHT TIME WORK.

OFFSITE IMPROVEMENT NOTES
NOT TO SCALE

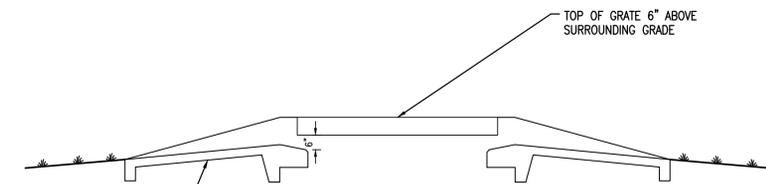
2



**GRATE IS A MODIFIED INLET TYPE B. SEE FDOT INDEX #231 FOR MORE INFORMATION AS APPLICABLE.



SECTION AA



SECTION BB

BUBBLE-UP OUTFALL BASIN
NOT TO SCALE

1



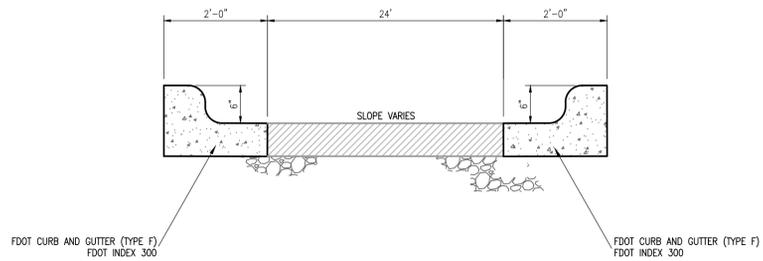
1615 Edgewater Drive, Suite 180, ORLANDO, FLORIDA 32804
T: 407.975.1278 F: 407.975.1278 www.littlejohn.com
Nashville | Chattanooga | Decatur | Huntsville | Knoxville | Orlando | Phoenix | Tri-Cities
Leonard E. Arnold, Jr., P.E. 55241
Florida Firm Registration No. 28050

Florida Hospital Winter Garden
Phase A
2000 Fowler Grove Blvd.
Winter Garden, Florida

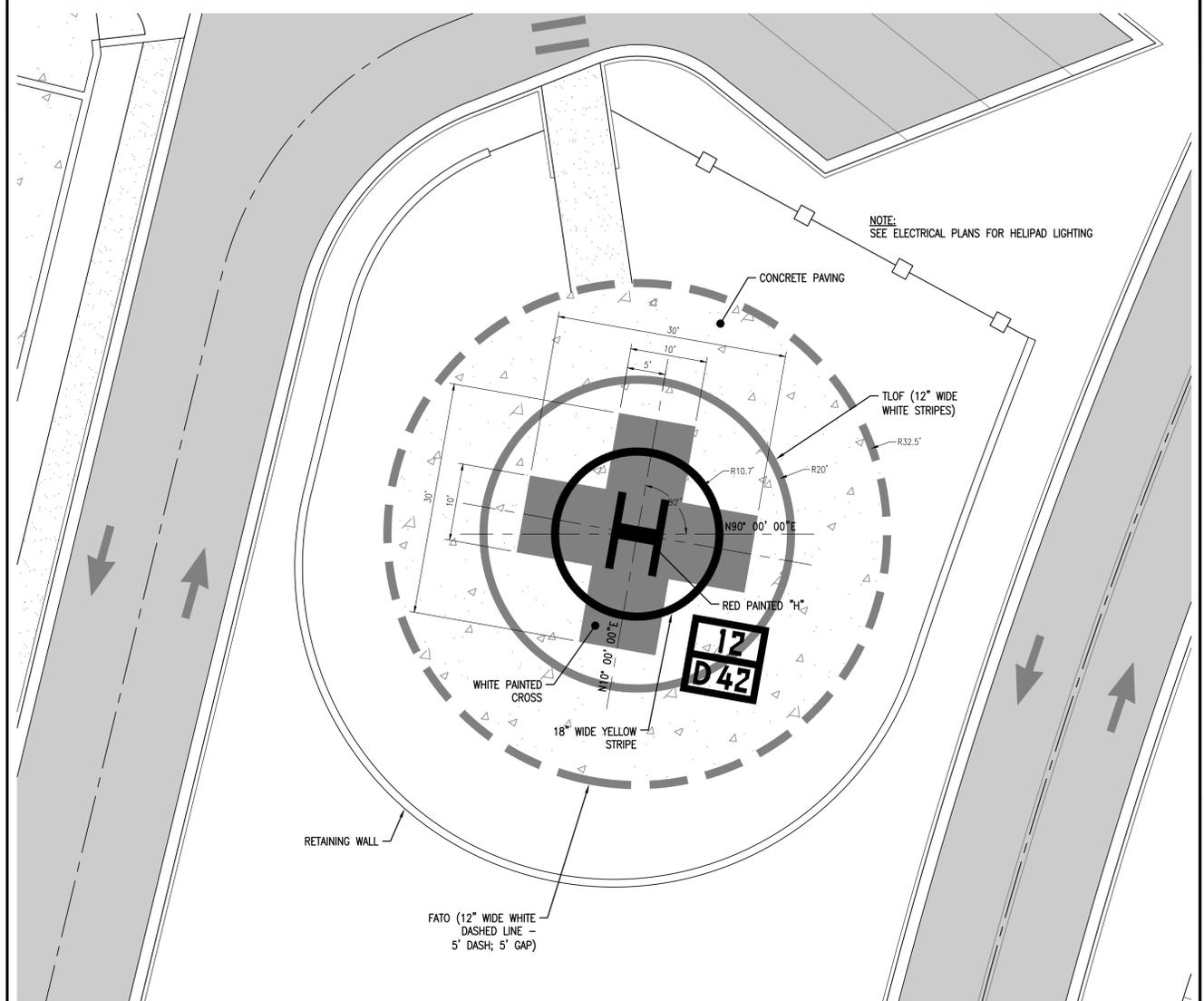


DATE	REVISIONS
6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

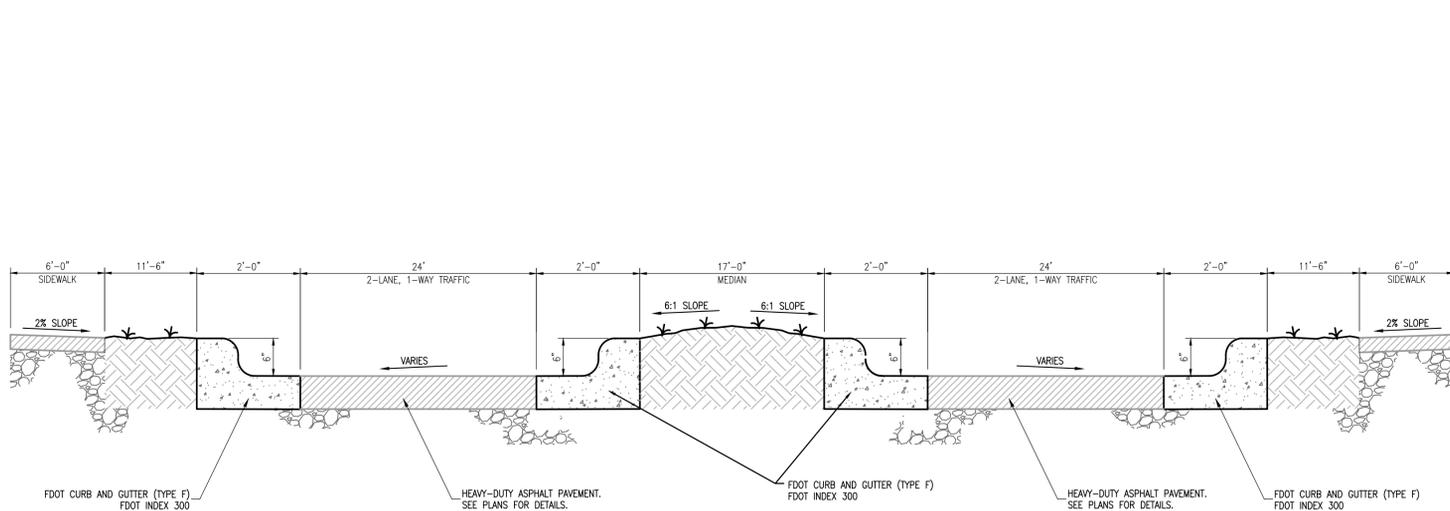
C9.2
DETAILS



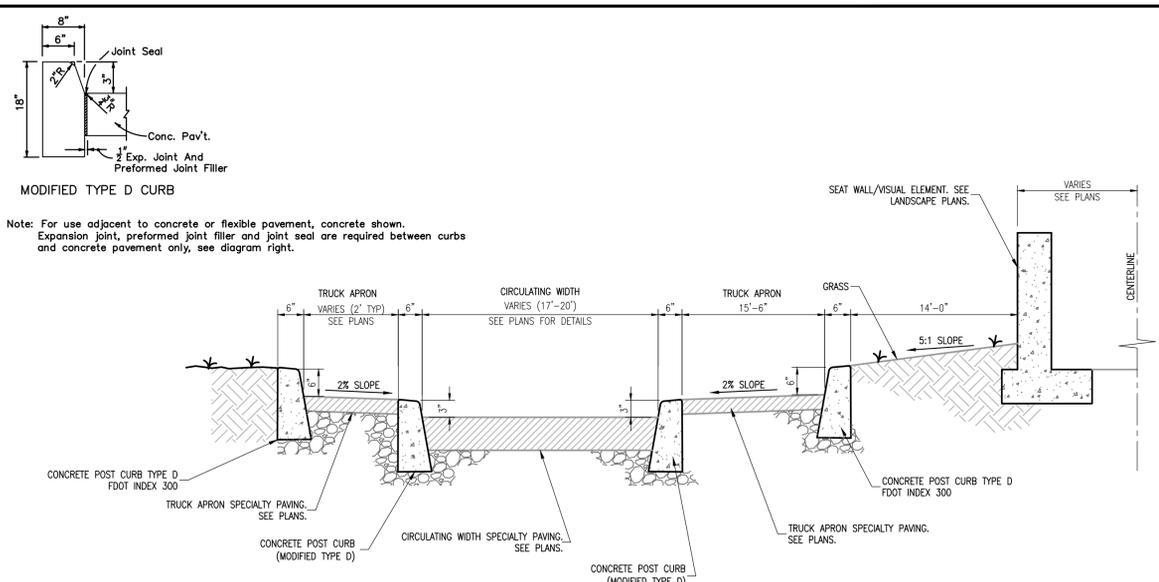
3 **TYPICAL LOOP ROAD SECTION**
NOT TO SCALE



1 **HELIPAD DETAILS**
NOT TO SCALE



4 **TYPICAL SPINE ROAD SECTION**
NOT TO SCALE



2 **ROUNDBOUT SECTION**
NOT TO SCALE

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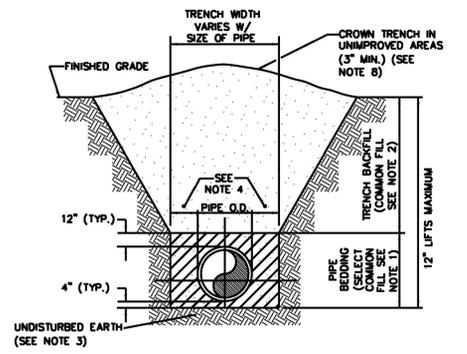
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T 407.975.1278 F 407.975.1278 www.littlejohn.com
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Florida Hospital Winter Garden Phase A
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Winter Garden, Florida



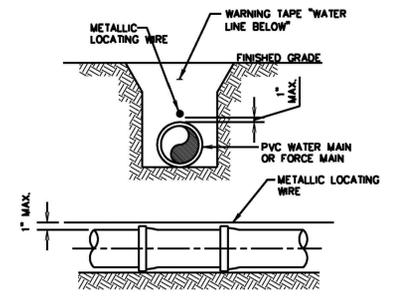
DATE	REVISIONS
6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRG RESUBMITTAL
1/24/14	DRG RESUBMITTAL
1/17/14	DRG RESUBMITTAL
1/10/14	20130603

C9.3
DETAILS



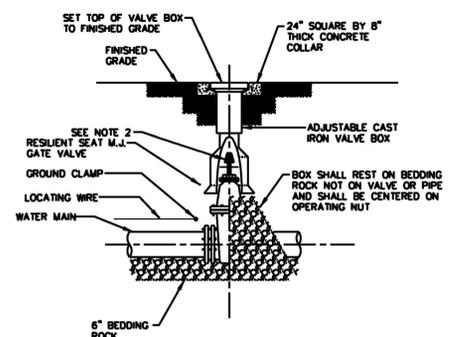
- NOTES:**
- PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
 - TRENCH BACKFILL: COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
 - PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING MAY BE REQUIRED AS DIRECTED BY THE CITY OF WINTER GARDEN.
 - (*) 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" LARGER.
 - WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 - ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 - REFER TO SECTION 32.5 OF THE CITY OF WINTER GARDEN MANUAL OF STANDARDS AND SPECIFICATIONS FOR WASTEWATER AND WATER MAIN CONSTRUCTION FOR SHEETING AND BRACING IN EXCAVATIONS.
 - FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN CITY OF WINTER GARDEN RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

STANDARD BEDDING DETAIL
N.T.S.



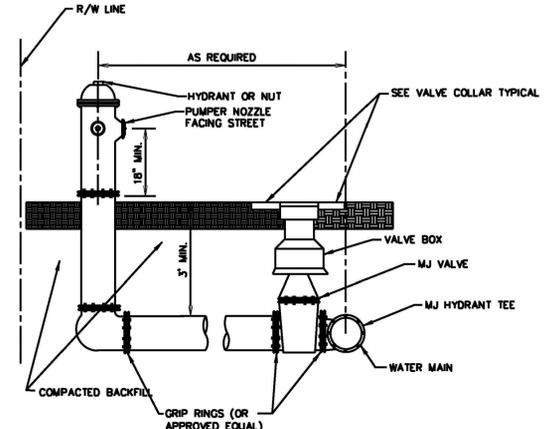
- NOTES:**
- PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (10 GAUGE COPPER) CAPABLE OF DETECTION BY A CABLE LOCATOR AND SHALL BE ATTACHED TO THE TOP OF PIPE WITH DUCT TAPE, AT LEAST 5 TIMES PER JOINT.
 - LOCATING ROD SHALL TERMINATE AT THE TOP OF EACH VALVE BOX AND BE CAPABLE OF EXTENDING ABOVE TOP OF BOX 1/2 SO AS NOT TO INTERFERE WITH VALVE OPERATION.

PVC PIPE LOCATING WIRE DETAIL
N.T.S.

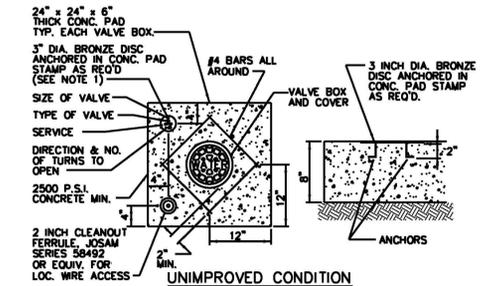


- GENERAL NOTES:**
- PVC EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
 - THE ACTUATING NUT FOR DEEPER VALVES SHALL BE EXTENDED TO COME UP TO 4 FOOT DEPTH BELOW FINISHED GRADE.

GATE VALVE AND VALVE BOX DETAIL
N.T.S.

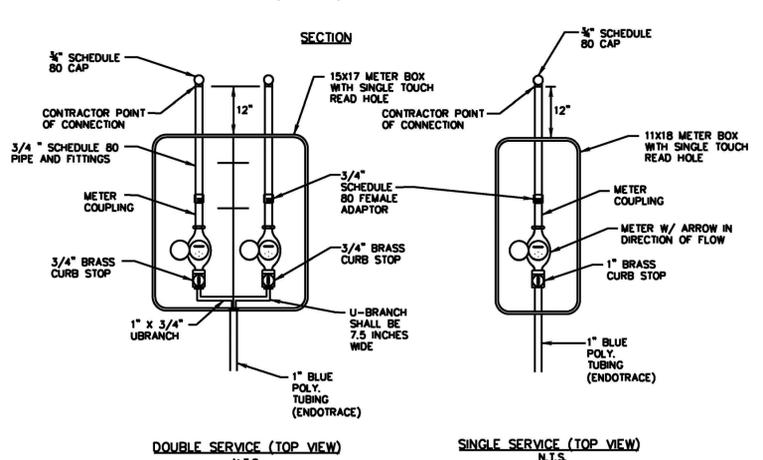
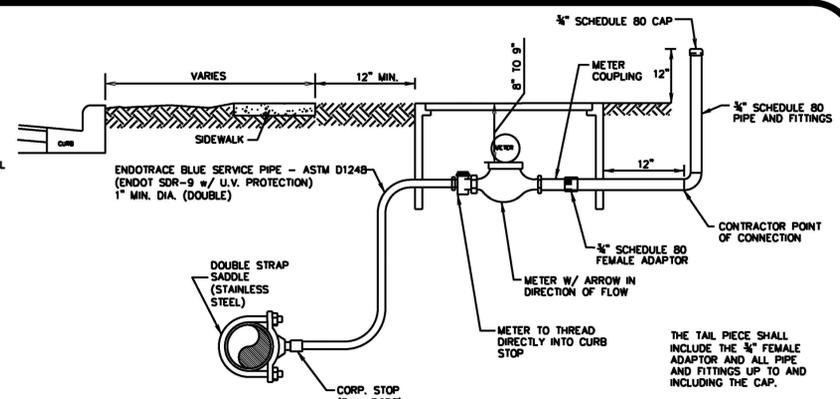


FIRE HYDRANT ASSEMBLY DETAIL
N.T.S.



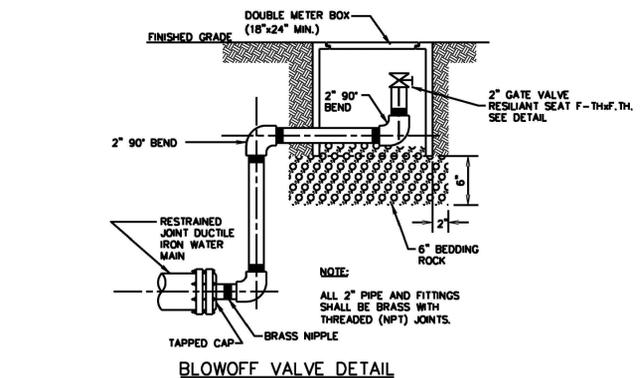
- NOTES:**
- BRONZE IDENTIFICATION DISC SHALL BE REQUIRED FOR ALL VALVES.

VALVE BOX COLLAR
N.T.S.

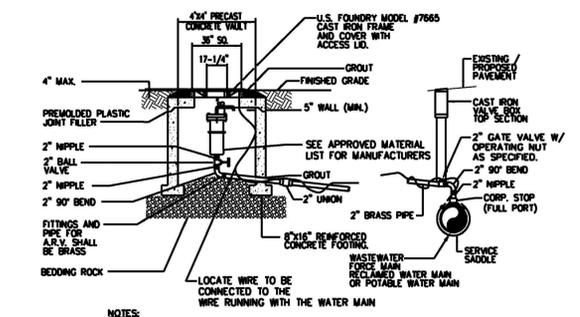


- NOTES:**
- ALL FITTINGS BETWEEN THE WATER MAIN AND THE METER COUPLING SHALL BE BRASS WITH COMPRESSION/PAK JOINT CONNECTIONS.
 - NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
 - EACH SERVICE SHALL TERMINATE IN A METER BOX ASSEMBLY, WHICH SHALL BE PLACED TO GRADE IN THE UTILITY EASEMENT AT THE PROPERTY LINE(S) OF THE LOT(S) TO BE SERVED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION TO AND INCLUDING THE METER BOX ASSEMBLY. THE CITY SHALL FURNISH THE METER AND THE TAIL PIECE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING THE METER BOX ASSEMBLY TO FINISH GRADE AND MAKING ANY GRADE ADJUSTMENTS TO THE METER BOX IF REGRADING OCCURS.
 - ALL SERVICE LINES SHALL BE POLY ENDTRACE PIPE AND SHALL BE BLUE IN COLOR W/WIRE.
 - THE POINT OF CONNECTION IS LOCATED ONE FOOT BEYOND THE METER BOX. THE PLUMBER/CUSTOMER SHALL BE RESPONSIBLE FOR MAINTENANCE BEYOND THE POINT OF CONNECTION.
 - IN NO CASE IS METER TO BE INSTALLED IN SIDEWALK OR OTHER PAVED AREAS.

POTABLE WATER SINGLE AND DOUBLE SERVICE DETAIL
N.T.S.

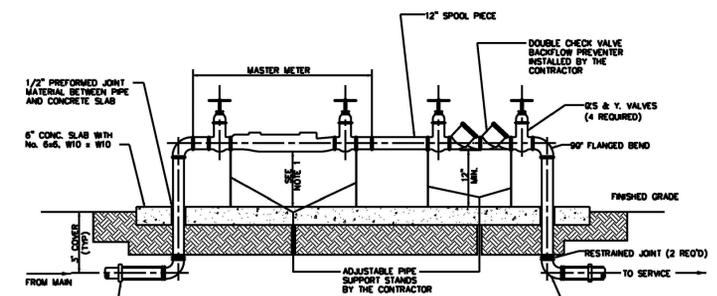


BLOWOFF VALVE DETAIL
N.T.S.



- NOTES:**
- THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 4.0 FEET.
 - DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
 - PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
 - INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATING AS SPECIFIED FOR VALVE VAULTS.
 - CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
 - COVER SHALL READ "WINTER GARDEN UTILITIES DIVISION, 'SEWER' RECLAIMED WATER OR POTABLE WATER".
 - NO GALVANIZED PIPE/VALVES.
 - LOCATE WIRE IN THE A.R.V. VAULT SHALL BE SPICED TO THE WIRE RUNNING WITH THE WATER MAIN AND EXCESS WIRE TO BE PLACED IN A.R.V. VAULT. THE POINT OF CONNECTION AT THE MAIN SHALL HAVE A WATER PROOF CONNECTOR.

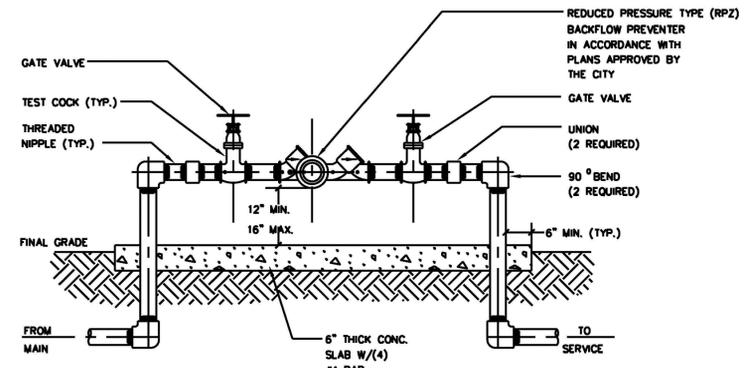
AIR RELEASE VALVE ASSEMBLY
N.T.S.



- NOTES:**
- THE CONTRACTOR SHALL CONTACT THE INSPECTOR FOR EXACT ASSEMBLY LENGTH AND HEIGHT ABOVE THE SLAB REQUIRED FOR THE FIRE LINE MASTER METER TO BE INSTALLED. ALL WIRE, FITTINGS AND APPURTENANCES SHALL BE INSTALLED BY THE CONTRACTOR.
 - ALL PIPE LARGER THAN 2 INCH SHALL BE FLANGED DUCTILE IRON PIPE.
 - SENSUS METER REQUIRED.
 - 2" BYPASS METER SHALL BE CONSTRUCTED ON ALL MASTER METER ASSEMBLIES THREE INCHES AND LARGER.

MASTER METER ASSEMBLY
N.T.S.

POTABLE WATER SYSTEM AIR RELEASE VALVE AND VAULT
N.T.S.



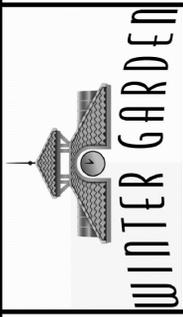
- NOTES:**
- ALL PIPE AND FITTINGS 2" AND SMALLER SHALL BE THREADED SCHEDULE 80 PVC. NO GALVANIZED PIPE WILL BE APPROVED.
 - ALL PIPE LARGER THAN 2" SHALL BE FLANGED DUCTILE IRON PIPE.
 - NO GALVANIZED PIPE ALLOWED.

BACKFLOW PREVENTER DETAIL
N.T.S.

WINTER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEERS DOCUMENTS:
THE DETAILS, NOTES AND SPECIFICATIONS SHOWN ON THIS SHEET REPRESENT THE NOTED STANDARDS OF THE CITY OF WINTER GARDEN FOR CONSTRUCTION OF PUBLIC WORKS AND UTILITY INFRASTRUCTURE. BY INCLUDING THE STANDARDS, THE DESIGN ENGINEER HAS ACKNOWLEDGED THAT THEY ARE EFFECTIVE TO THE PROJECT AND THAT DETAILS, NOTES, OR SPECIFICATIONS ARE AS PROVIDED BY THE CITY AND HAVE NOT BEEN REVISED OR MODIFIED WITHOUT WRITTEN APPROVAL FROM THE CITY ENGINEER OR UTILITY DIRECTOR.

DATE	4/3/14
ITEM	WATER SERVICE
No.	1
2	ARY DETAILS
R L V L S O Z U	

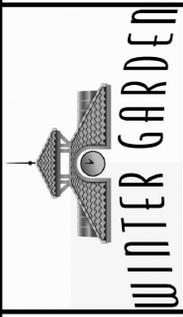
City of Winter Garden, Florida
STANDARDS AND SPECIFICATIONS
For Utilities Construction



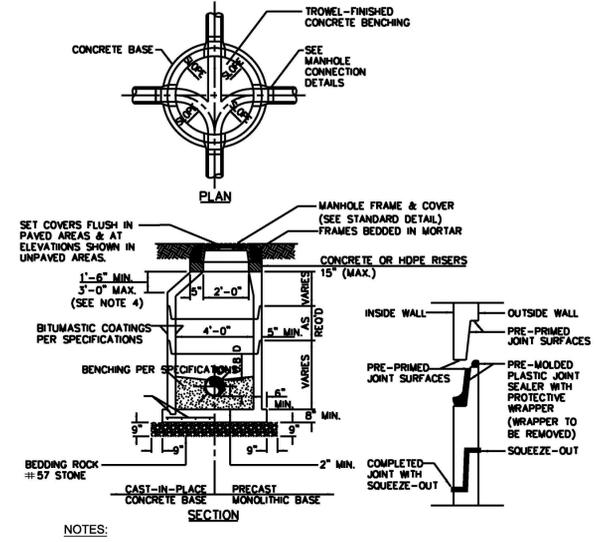
STANDARD DETAILS FOR POTABLE WATER SYSTEMS

DATE	4/7/14
ITEM	SANITARY MANHOLE
NO.	2
DATE	4/7/14
ITEM	OFFSET ARV DETAIL
NO.	2
DATE	4/7/14
ITEM	OFFSET ARV DETAIL
NO.	2

City of Winter Garden, Florida
STANDARDS AND SPECIFICATIONS
For Utilities Construction

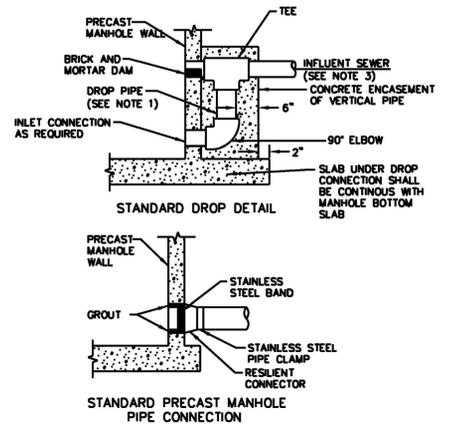


STANDARD DETAILS
FOR
WASTEWATER SYSTEMS



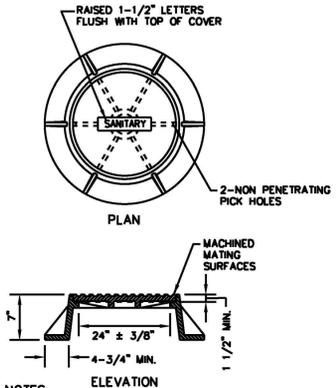
- NOTES:
- DROP CONNECTIONS ARE REQUIRED WHENEVER INVERT OF INFLUENT SEWER IS 24" OR MORE ABOVE THE INVERT OF THE MANHOLE. SEE MANHOLE CONNECTION DETAILS. ALL DROPS TO BE OUTSIDE OF THE MANHOLE.
 - E-Z RAPP OUTSIDE ALL JOINTS
 - GROUT WITH NON-SHRINKING GROUT INSIDE JOINTS
 - NO CONES OVER 3 FT. TALL
 - ALL PRECAST CONCRETE SHALL BE COATED INSIDE AND OUTSIDE WITH COAL TAR EPOXY, MINIMUM 16 MIL DMT.

PRECAST CONCRETE SANITARY MANHOLE
N.T.S.



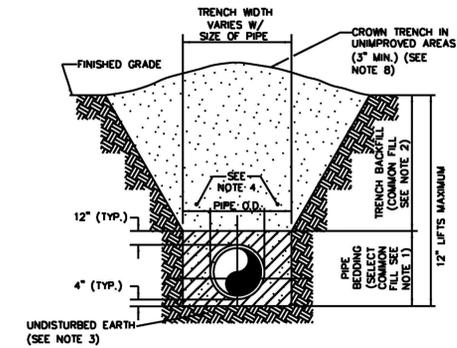
- NOTES:
- DROP PIPE AND FITTINGS SHALL BE OF EQUAL SIZE AND MATERIAL AS THE INFLUENT SEWER.
 - AN OUTSIDE DROP CONNECTION SHALL BE REQUIRED FOR ALL INFLUENT WHICH HAVE AN INVERT 2" OR MORE ABOVE THEN MANHOLE INVERT.

SANITARY MANHOLE CONNECTION DETAILS
N.T.S.



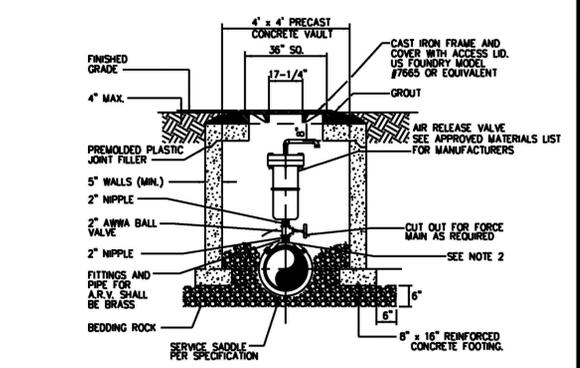
- NOTES:
- MANHOLE FRAME & COVER SHALL BE 24" OPENINGS, USE #AS-225 AS MANUFACTURED BY U.S. FOUNDRY & MFG. CORP. OR APPROVED EQUAL
 - RAIN STOPPER LIDS OR RAIN GUARD LIDS (LFVHS) REQUIRED.

STANDARD MANHOLE FRAME AND COVER
N.T.S.



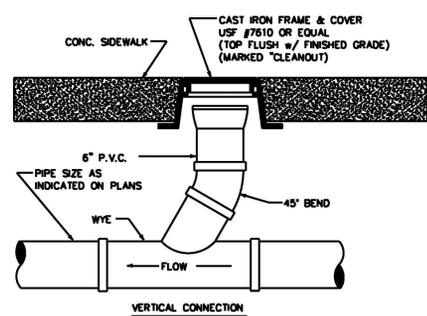
- NOTES:
- PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SEIVE.
 - TRENCH BACKFILL: COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SEIVE.
 - PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING MAY BE REQUIRED AS DIRECTED BY THE CITY OF WINTER GARDEN.
 - (+): 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.
 - WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 - ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 - REFER TO SECTION 32.5 OF THE ORANGE COUNTY MANUAL OF STANDARDS AND SPECIFICATIONS FOR WASTEWATER AND WATER MAIN CONSTRUCTION FOR SHEETING AND BRACING IN EXCAVATIONS.
 - FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN CITY OF WINTER GARDEN RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

STANDARD BEDDING DETAIL
N.T.S.

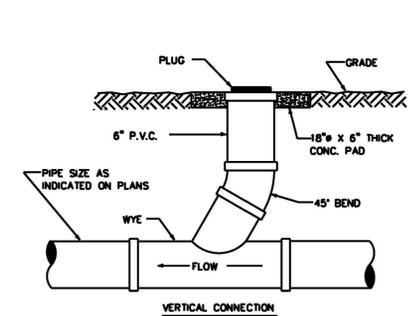


- NOTES:
- THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 3.0 FEET.
 - DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
 - PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
 - INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATING AS SPECIFIED FOR VALVE VAULTS.
 - CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
 - COVER SHALL READ "WINTER GARDEN UTILITIES DIVISION AND "WASTEWATER".
 - NO GALVANIZED PIPE/VALVES.

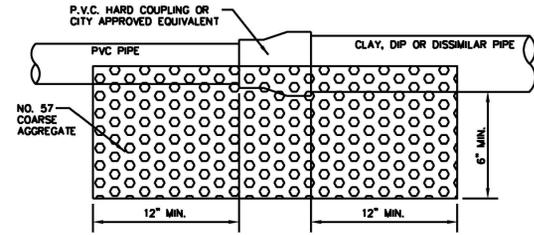
SEWAGE COMBINATION AIR VALVE (SCAV) AND VALVE VAULT
N.T.S.



CLEAN OUT DETAIL FINISHED BUILDOUT (IN PAVED AREA)
N.T.S.

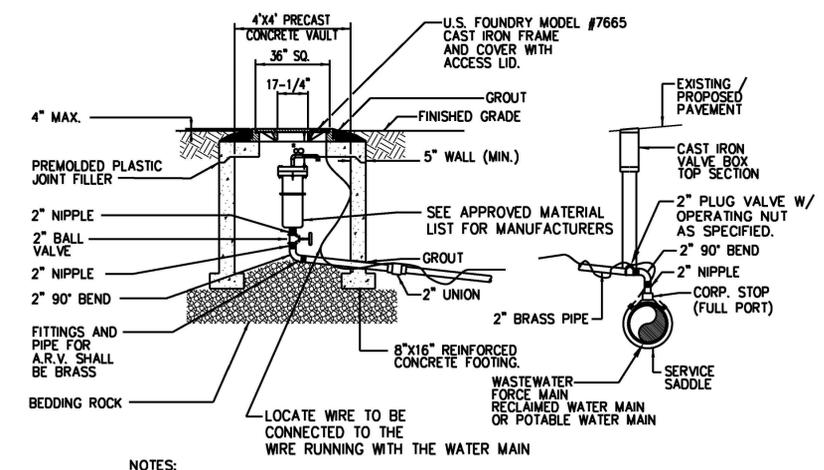


CLEAN OUT DETAIL FINISHED BUILDOUT (IN UNPAVED AREA)
N.T.S.



- NOTE:
- FIELD VERIFY MATERIALS OF EXISTING PIPES TO SELECT PROPER CONNECTOR.
 - HARBCO COUPLING OR APPROVED EQUIVALENT FOR ALL PIPE MATERIALS, UNLESS APPROVED IN WRITING BY THE CITY.

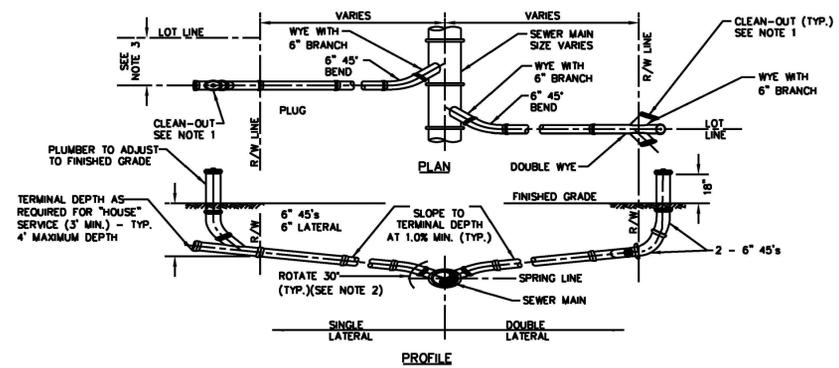
SEWER MAIN CONNECTION DETAIL
N.T.S.



- NOTES:
- THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 4.0 FEET.
 - DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
 - PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
 - INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATING AS SPECIFIED FOR VALVE VAULTS.
 - CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
 - COVER SHALL READ "WINTER GARDEN UTILITIES DIVISION, "SEWER" "RECLAIMED WATER OR POTABLE WATER".
 - NO GALVANIZED PIPE/VALVES.
 - LOCATE WIRE IN THE ARV VAULT SHALL BE SPliced TO THE WIRE RUNNING WITH THE WATER MAIN AND EXCESS WIRE TO BE PLACED IN ARV VAULT. THE POINT OF CONNECTION AT THE MAIN SHALL HAVE A WATER PROOF CONNECTOR.

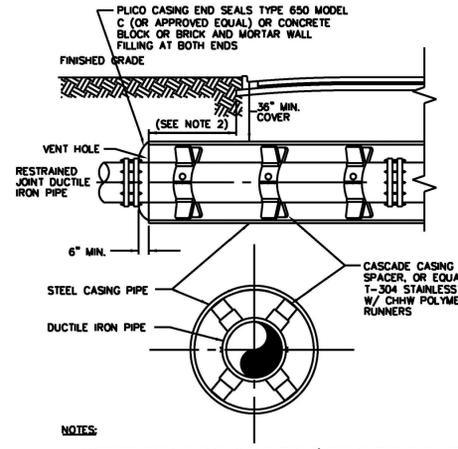
OFFSET TYPE AIR RELEASE VALVE ASSEMBLY

WINTER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEERS DOCUMENTS:
THE DETAILS, NOTES AND SPECIFICATIONS SHOWN ON THIS SHEET REPRESENT THE NOTED STANDARDS OF THE CITY OF WINTER GARDEN FOR CONSTRUCTION OF PUBLIC WORKS AND UTILITY INFRASTRUCTURE. BY INCLUDING THE STANDARDS, THE DESIGN ENGINEER HAS ACKNOWLEDGED THAT THEY ARE EFFECTIVE TO THE PROJECT AND THAT DETAILS, NOTES, OR SPECIFICATIONS ARE AS PROVIDED BY THE CITY AND HAVE NOT BEEN REVISED OR MODIFIED WITHOUT WRITTEN APPROVAL FROM THE CITY ENGINEER OR UTILITY DIRECTOR.



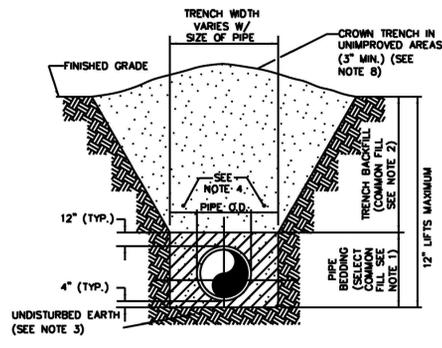
- NOTES:
- CLEANOUT SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH STANDARD PLUMBING CODE.
 - INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
 - WYES AND 45° BENDS SHALL BE PVC (SDR 26).
 - LOCATE SINGLE LATERAL AS CLOSE TO LOT LINE AS POSSIBLE, 25' MAXIMUM.

SANITARY SEWER SERVICE LATERAL DETAIL
N.T.S.



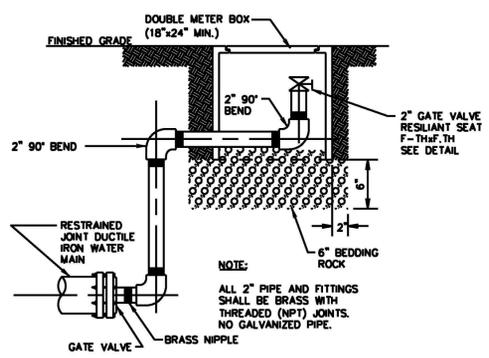
- NOTES:
- WHERE PRACTICAL, CASING SHALL EXTEND 6' BEYOND EDGE OF PAYMENT AND SHALL NOT BE LESS THAN 6' BEYOND EDGE OF PAYMENT IN ANY CASE.
 - CASING SPACERS AND END SEALS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 - DESIGN ENGINEER TO DETERMINE NEED FOR SACRIFICIAL ANODE (S) FOR CORROSION CONTROL.

BORE AND JACK DETAIL
N.T.S.

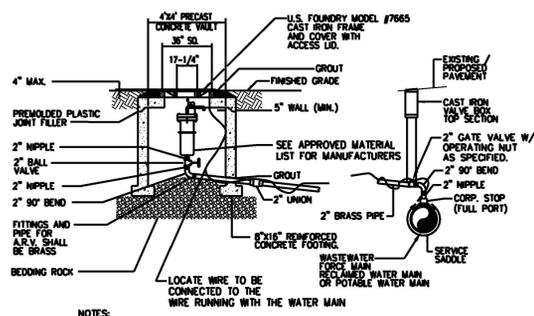


- NOTES:**
1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
 2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
 3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING MAY BE REQUIRED AS DIRECTED BY THE CITY OF WINTER GARDEN.
 4. (*): 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.
 5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 7. REFER TO SECTION 32.5 OF THE WINTER GARDEN MANUAL OF STANDARDS AND SPECIFICATIONS FOR UTILITIES CONSTRUCTION FOR SHEETING AND BRACING IN EXCAVATIONS.
 8. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN CITY OF WINTER GARDEN RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

STANDARD BEDDING DETAIL
N.T.S.

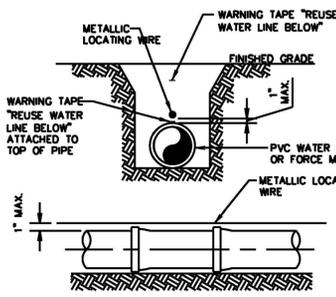


BLOWOFF VALVE DETAIL
N.T.S.



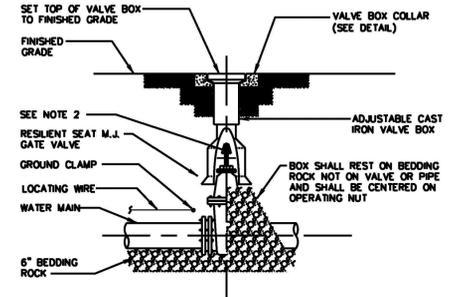
- NOTES:**
1. THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 4.0 FEET.
 2. DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
 3. PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
 4. INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATING AS SPECIFIED FOR VALVE VAULTS.
 5. CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
 6. COVER SHALL READ "WINTER GARDEN UTILITIES DIVISION, "SEWER" RECLAIMED WATER OR POTABLE WATER".
 7. NO GALVANIZED PIPE/VALVES.
 8. LOCATE WIRE IN THE ARV VAULT SHALL BE SPLICED TO THE WIRE RUNNING WITH THE WATER MAIN AND EXCESS WIRE TO BE PLACED IN ARV VAULT. THE POINT OF CONNECTION AT THE MAIN SHALL HAVE A WATER PROOF CONNECTOR.

OFFSET TYPE AIR RELEASE VALVE ASSEMBLY
N.T.S.



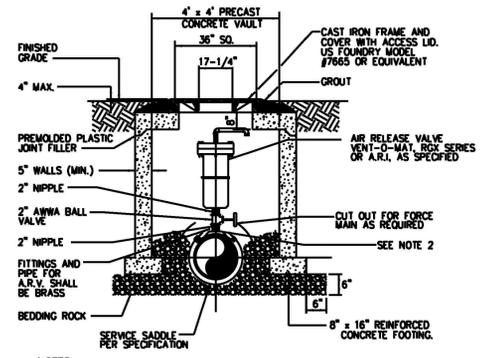
- NOTES:**
1. PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (10 GAUGE COPPER) CAPABLE OF DETECTION BY A CABLE LOCATOR AND SHALL BE ATTACHED TO THE TOP OF PIPE WITH DUCT TAPE AT LEAST 5 TIMES PER JOINT.
 2. LOCATING ROD SHALL TERMINATE AT THE TOP OF EACH VALVE BOX AND BE CAPABLE OF EXTENDING ABOVE TOP BOX 1/2" SO AS NOT TO INTERFERE WITH VALVE OPERATION.

PVC PIPE LOCATING WIRE DETAIL
N.T.S.



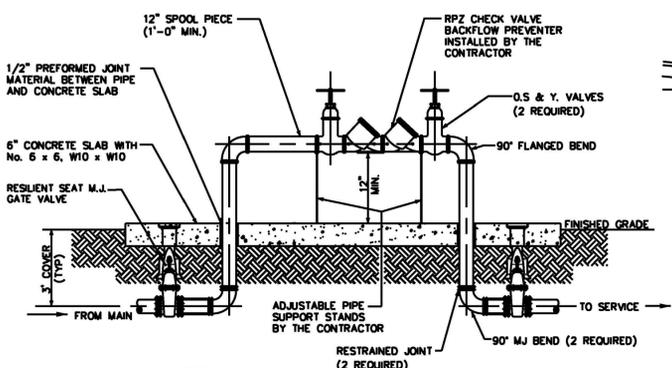
- NOTES:**
1. PVC EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
 2. THE ACTUATING NUT FOR DEEPER VALVES SHALL BE EXTENDED TO COME UP TO 4 FOOT DEPTH BELOW FINISHED GRADE.

GATE VALVE AND VALVE BOX DETAIL
N.T.S.



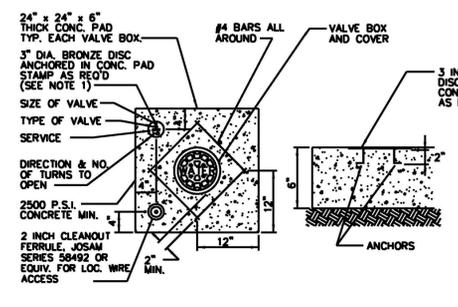
- NOTES:**
1. THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 3.0 FEET.
 2. DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
 3. PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
 4. INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATING AS SPECIFIED FOR VALVE VAULTS.
 5. CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
 6. COVER SHALL READ "WINTER GARDEN UTILITIES DIVISION AND "RECLAIMED WATER".
 7. NO GALVANIZED PIPE/VALVES.

RECLAIMED WATER AIR RELEASE VALVE AND VAULT
N.T.S.

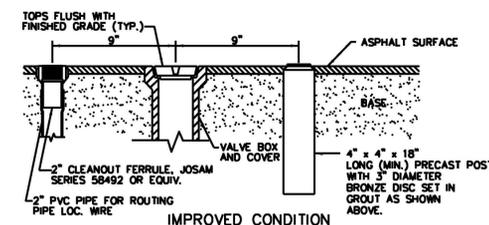


- NOTES:**
1. ALL PIPE AND FITTINGS 2" AND SMALLER SHALL BE THREADED SCHEDULE 80 PVC. NO GALVANIZED PIPE ALLOWED.
 2. ALL PIPE LARGER THAN 2 INCH SHALL BE FLANGED DUCTILE IRON PIPE.
 3. RECLAIMED WATER JUMPER SHALL BE SIZE ON SIZE.

RECLAIMED WATER JUMPER CONNECTION
N.T.S.



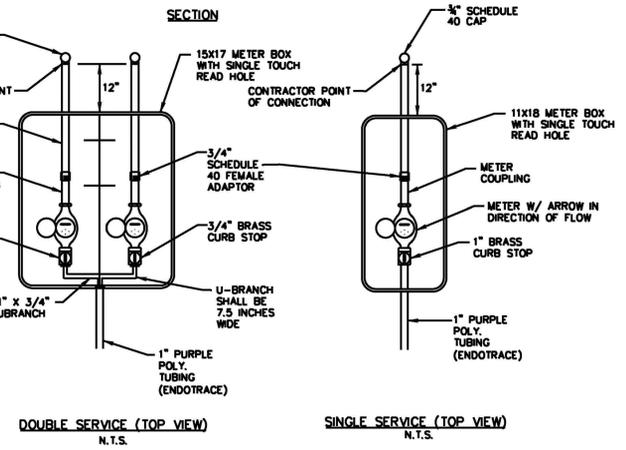
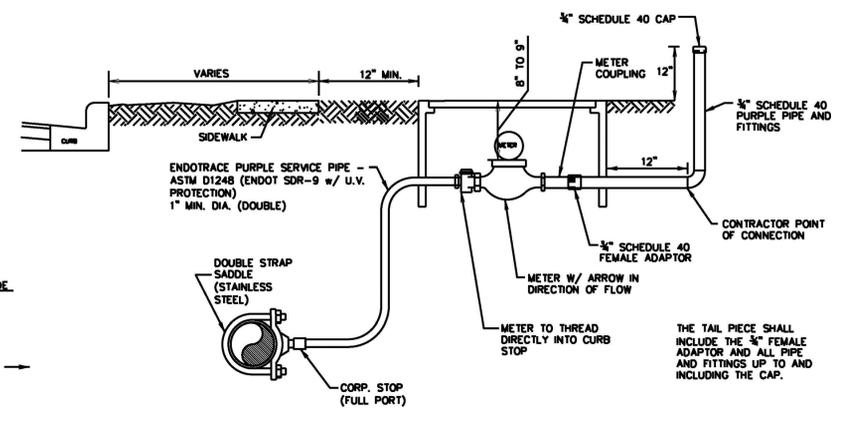
UNIMPROVED CONDITION



IMPROVED CONDITION

VALVE BOX COLLAR
N.T.S.

- NOTES:**
1. BRONZE IDENTIFICATION DISC SHALL BE REQUIRED FOR ALL VALVES. PROVIDE SIZE, TYPE, SERVICE, DIRECTION AND TURNS TO OPEN STAMPED ON DISC. DISC SHALL BE 3" MINIMUM.



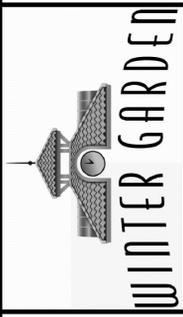
- NOTES:**
1. ALL FITTINGS BETWEEN THE WATER MAIN AND THE METER COUPLING SHALL BE BRASS WITH COMPRESSION/PACK JOINT CONNECTIONS.
 2. NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
 3. EACH SERVICE SHALL TERMINATE IN A METER BOX ASSEMBLY, WHICH SHALL BE PLACED TO GRADE IN THE UTILITY EASEMENT AT THE PROPERTY LINE(S) OF THE LOT(S) TO BE SERVED.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION TO AND INCLUDING THE METER BOX ASSEMBLY. THE CITY SHALL FURNISH THE METER AND THE TAIL PIECE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING THE METER BOX ASSEMBLY TO FINISH GRADE AND MAKING ANY GRADE ADJUSTMENTS TO THE METER BOX IF REGRADING OCCURS.
 5. ALL SERVICE LINES SHALL BE POLY ENDTRACE PIPE AND SHALL BE PURPLE IN COLOR W/WIRE.
 6. THE POINT OF CONNECTION IS LOCATED ONE FOOT BEYOND THE METER BOX. THE PLUMBER/CUSTOMER SHALL BE RESPONSIBLE FOR MAINTENANCE BEYOND THE POINT OF CONNECTION.
 7. IN NO CASE IS METER TO BE INSTALLED IN SIDEWALK OR OTHER PAVED AREAS.

RECLAIMED WATER SINGLE AND DOUBLE SERVICE DETAIL
N.T.S.

WINTER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEERS DOCUMENTS:
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DATE	ITEM	NO.
4/7/14 <td>WATER METER SERVICE <td>1</td> </td>	WATER METER SERVICE <td>1</td>	1
4/7/14 <td>ARV DETAILS <td>2</td> </td>	ARV DETAILS <td>2</td>	2

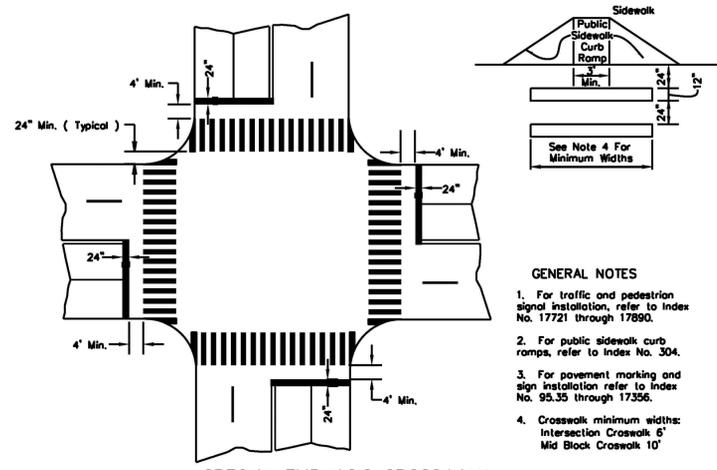
City of Winter Garden, Florida
STANDARDS AND SPECIFICATIONS
For Utilities Construction



STANDARD DETAILS FOR RECLAIMED WATER SYSTEMS

GENERAL NOTES:

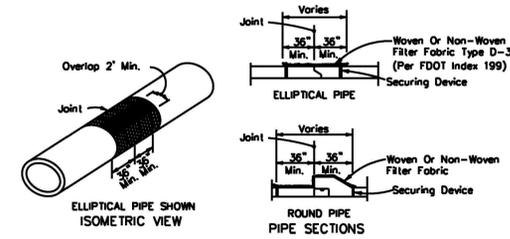
1. ALL NEW STORM AND SANITARY SEWER LINES IN THE CITY OF WINTER GARDEN SHALL BE SUBJECTED TO CLOSED CIRCUIT TV INSPECTION PRIOR TO BEING ACCEPTED BY THE CITY, WHETHER PRIVATE OR CITY MAINTAINED. ALL STORM SEWER PIPE SHALL BE REINSPECTED AT THE YEAR END, COST TO BE PAID BY THE OWNER.
2. PIPE MATERIAL SHALL BE AS SHOWN ON THE CONSTRUCTION PLANS UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
3. CONTRACTOR AND OWNER ARE RESPONSIBLE FOR ENSURING THAT ALL CITY, COUNTY, STATE (FDEP, FDOT, SURFAD, ETC.), AND FEDERAL PERMITS HAVE BEEN ISSUED FOR THE PROJECT.
4. ALL STORM SYSTEM MUST BE WATER-TIGHT WITH ALL JOINTS WRAPPED.
5. STORM SYSTEM WILL BE CLEANED PRIOR TO BEING T.V'D.
6. THE OWNER SHALL KEEP A COPY OF THE WATER MANAGEMENT DISTRICT PERMIT, NPDES, NOI AND SWPP PLAN IN A CONSPICUOUS LOCATION ON THE JOB SITE AT ALL TIMES.
7. ALL STORM SEWER MANHOLES FRAME & COVER SHALL BE ASTM 225.
8. CLEAN SAND SHALL CONSIST OF MATERIAL HAVING LESS THAN 5% PASSING THE #200 SIEVE.
9. ONLY CONCRETE RISER RINGS WILL BE ALLOWED TO BE PLACED FOR STORM MANHOLES. ALL RISER RINGS SHALL BE SEALED TO THE STRUCTURE USING WRAPID SEAL. NO MORE THAN 15" WILL BE ALLOWED.
10. STORM SEWER PIPES SHALL MEET ASTM C76 & ASTM C507.
11. ALL STORM SEWER STRUCTURE SECTIONS SHALL BE SEALED WITH WRAPID SEAL.



**SPECIAL EMPHASIS CROSSWALK
SIGNALIZED OR STOP SIGN
CONTROLLED INTERSECTION
N.T.S.**

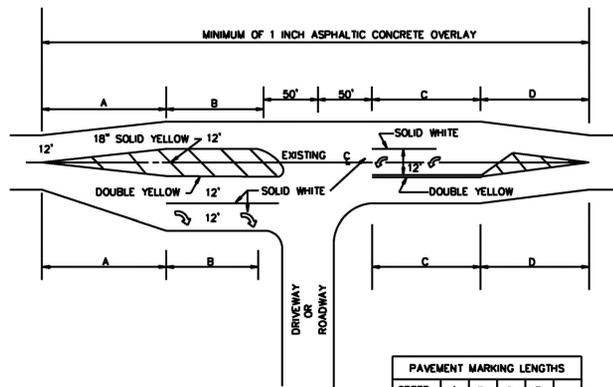
GENERAL NOTES

1. For traffic and pedestrian signal installation, refer to Index No. 17721 through 17890.
2. For public sidewalk curb ramps, refer to Index No. 304.
3. For pavement marking and sign installation refer to Index No. 95.35 through 17356.
4. Crosswalk minimum widths:
Intersection Crosswalk 6'
Mid Block Crosswalk 10'



FOR ALL PIPE TYPES - CONCRETE PIPE SHOWN

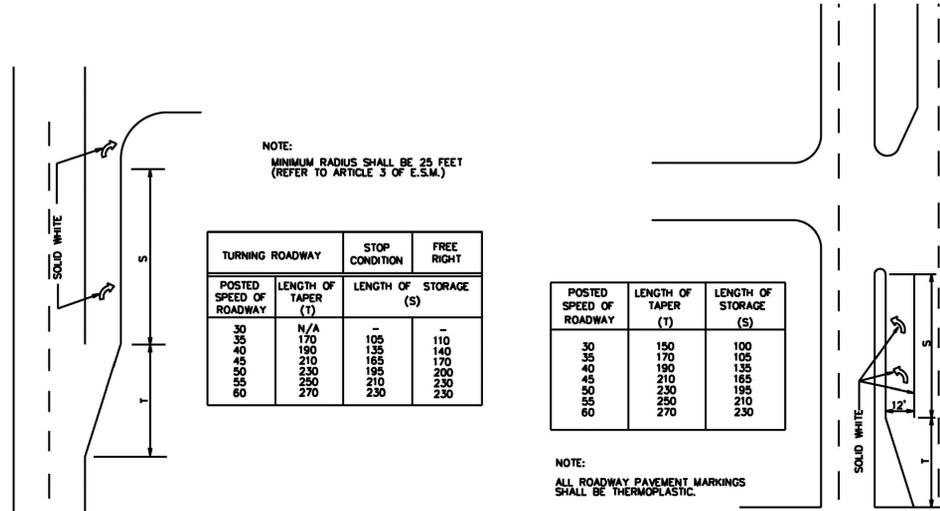
**FILTER FABRIC JACKET
N.T.S.**



SPEED	PAVEMENT MARKING LENGTHS			
	A	B	C	D
40 MPH	190'	110'	135'	190'
45 MPH	210'	140'	165'	210'
50 MPH	230'	170'	195'	230'
55 MPH	250'	200'	215'	250'
60 MPH	270'	230'	235'	270'

- NOTES:**
- 1) STRIPING ACCORDING TO F.D.O.T. STANDARD INDEX #17346B.
 - 2) LANE WIDTHS TO MATCH EXISTING LANE WIDTHS.
 - 3) MINIMUM RADIUS SHALL BE 25 FEET (REFER TO ARTICLE 3 OF E.S.M.)
 - 4) ALL ROADWAY PAVEMENT MARKING SHALL BE THERMOPLASTIC.

**TYPICAL INTERSECTION
N.T.S.**



NOTE:
MINIMUM RADIUS SHALL BE 25 FEET
(REFER TO ARTICLE 3 OF E.S.M.)

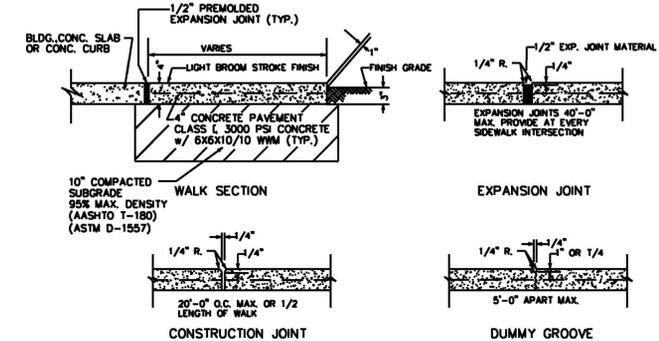
TURNING ROADWAY	STOP CONDITION	FREE RIGHT
POSTED SPEED OF ROADWAY	LENGTH OF TAPER (T)	LENGTH OF STORAGE (S)
30	N/A	-
35	170	110
40	190	140
45	210	170
50	230	200
55	250	230
60	270	230

POSTED SPEED OF ROADWAY	LENGTH OF TAPER (T)	LENGTH OF STORAGE (S)
30	150	100
35	170	125
40	190	135
45	210	165
50	230	195
55	250	210
60	270	230

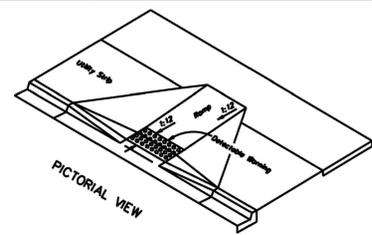
- NOTE:**
ALL ROADWAY PAVEMENT MARKINGS SHALL BE THERMOPLASTIC.

**RIGHT TURN
DECELERATION LANE
N.T.S.**

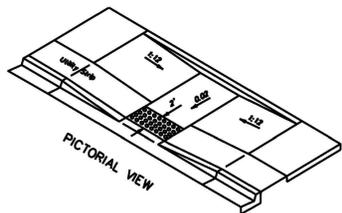
**LEFT TURN
STORAGE LANE
(DIVIDED HIGHWAY)
N.T.S.**



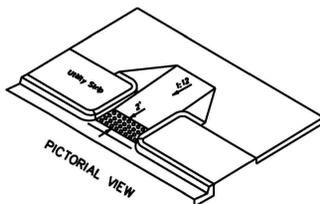
**SIDEWALK DETAILS
N.T.S.**



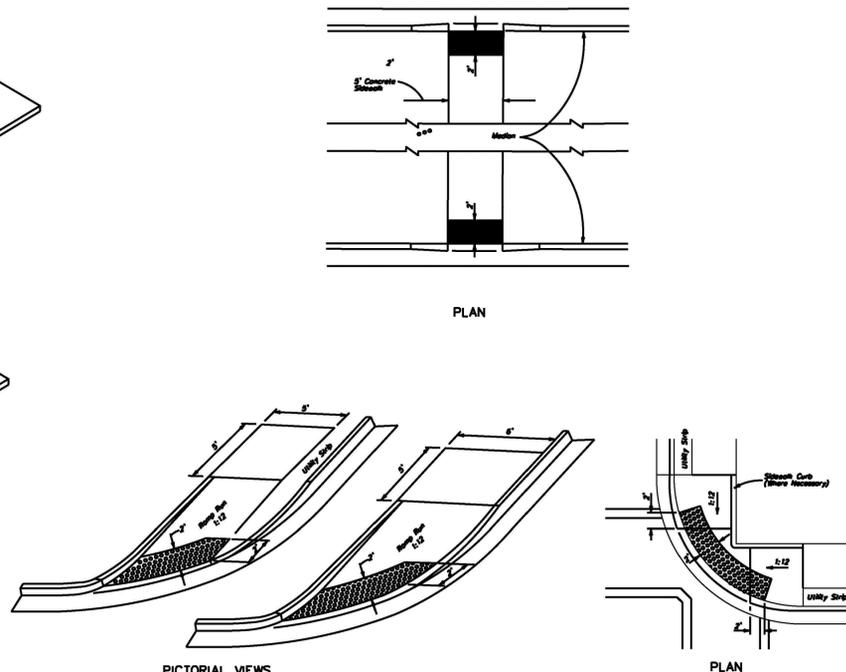
PICTORIAL VIEW



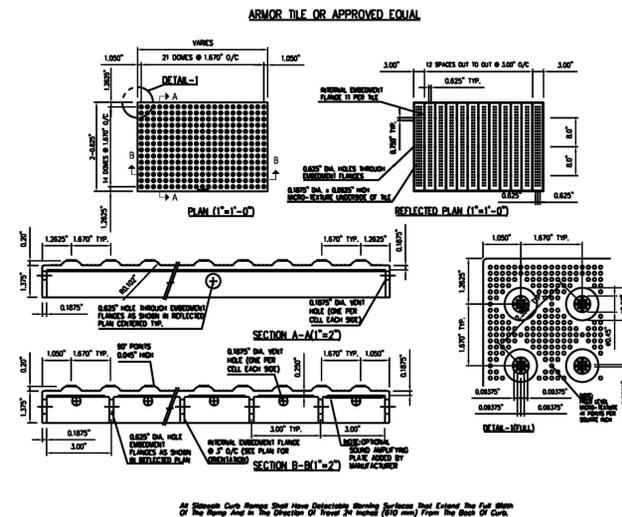
PICTORIAL VIEW



PICTORIAL VIEW



**TYPICAL PLACEMENT OF DETECTABLE WARNING ON CURB RAMPS
N.T.S.**



- NOTE:**
1. CURB RAMP DETECTABLE WARNING TILE SHALL BE ARMOR TILE OR EQUAL.

**CURB RAMP DETECTABLE WARNING DETAIL
N.T.S.**



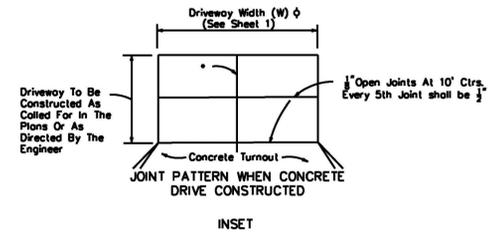
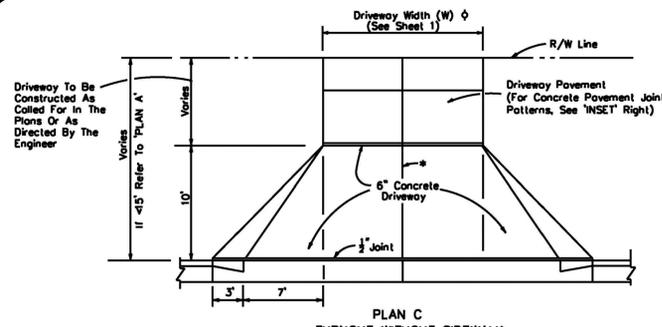
PLATE SHALL BE ADDED TO STORMWATER INLETS AS REQUIRED BY THE CITY.

DATE	ITEM	DETAIL
4/4/14 <td>1</td> <td>Deleted Underdrain Detail</td>	1	Deleted Underdrain Detail

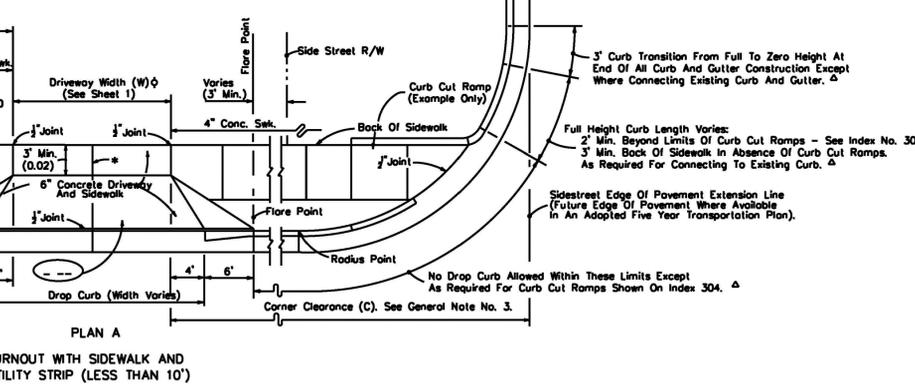
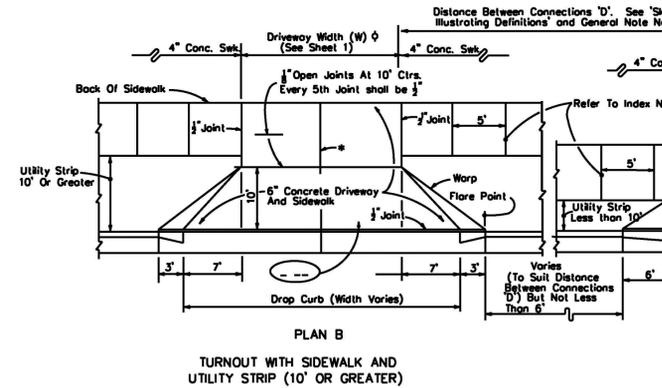
City of Winter Garden, Florida
STANDARDS AND SPECIFICATIONS
For Roadway & Drainage Construction



GENERAL NOTES
FOR
PUBLIC SERVICES



Footnotes:
 All $\frac{1}{2}$ " joints shall be constructed with preformed joint filler.
 * $\frac{1}{2}$ " Open joints placed at equal (20' max.) intervals for driveways over 20' wide. Joints in curb and gutter to match joints in driveways.
 Δ When connecting to sidewalk curb and gutter sections, the no drop curb limits should extend back to the sidewalk radius point. With or without curb and gutter, no driveway should encroach on the corner radius.
 ◇ Driveways (6" concrete) shall be of a uniform width (W) to the right of way line.
 ○ Alpha-numeric identification of a flared driveway type specifically called for in the plans, see sheets 3 and 4.



SPECIAL NOTES FOR URBAN FLARED TURNOUTS

1. Driveway 6" concrete pavement and drop curb shall meet the material and construction requirements of Sections 522 and 520 respectively of the FDOT Standard Specifications. The driveway foundation shall meet the requirement of Subarticle 522-4.
2. For details of drop curb and curb cut ramps refer to indexes Nos. 300 and 304 respectively.
3. Where turnouts are constructed within existing curb and gutter, the existing curb and gutter shall be removed either to the nearest joint beyond the flare point or to the extent that no remaining section is less than 5 feet long; and, drop curb constructed in accordance with Notes Nos. 1 and 2.
4. Cost for preformed joint filler shall be included in the cost for the concrete pavement (concrete sidewalk, 6" thick).
5. For turnouts with radial returns see the requirements under the "Summary Of Geometric Requirements For Turnouts", the "General Notes", the details of "Rural Turnout Construction" and the detail of "Limits Of Clearing & Grubbing, Stabilization And Base At Intersections".
6. Department maintenance of pavement shall extend out to the right of way or 2 feet back of sidewalk, whichever distance is less.
7. The maintenance and operation of highway lighting, traffic signals, associated equipment, and other necessary devices shall be the responsibility of a public agency.
8. All pavement markings on the State highways, including acceleration and deceleration lane markings, and signing installed for the operation of the State highway shall be maintained by the Department.
9. All signing and marking installed for the operation of the connection (such as stop bars and stop signs for the connection) shall be the responsibility of the permittee.
10. Turnouts will be paid for under the contract unit price for Sidewalk Concrete (6" thick), SY.

DESIGN NOTES FOR URBAN FLARED TURNOUTS

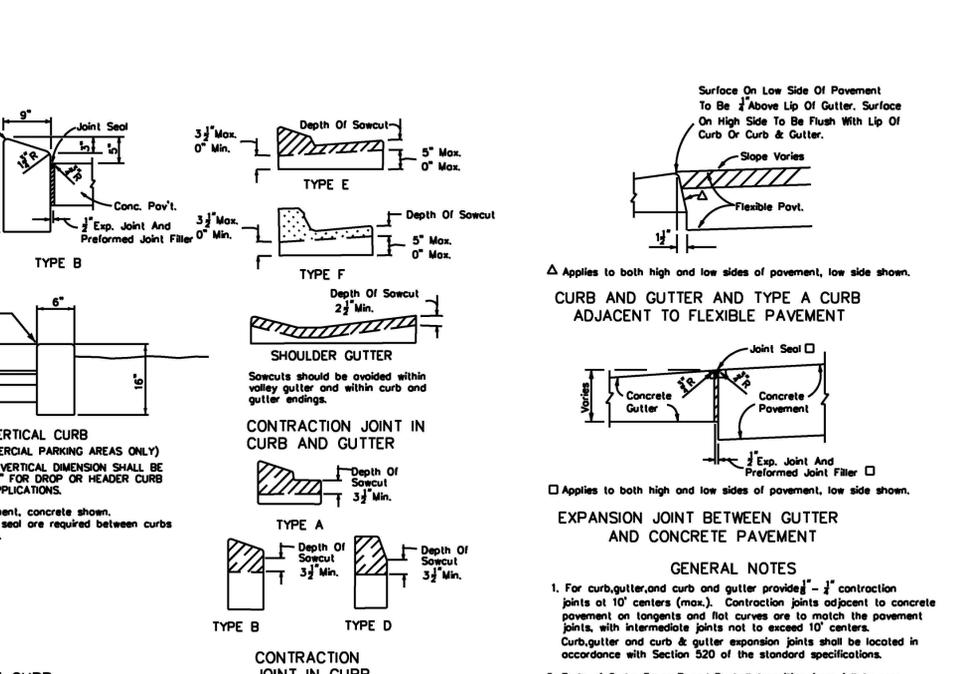
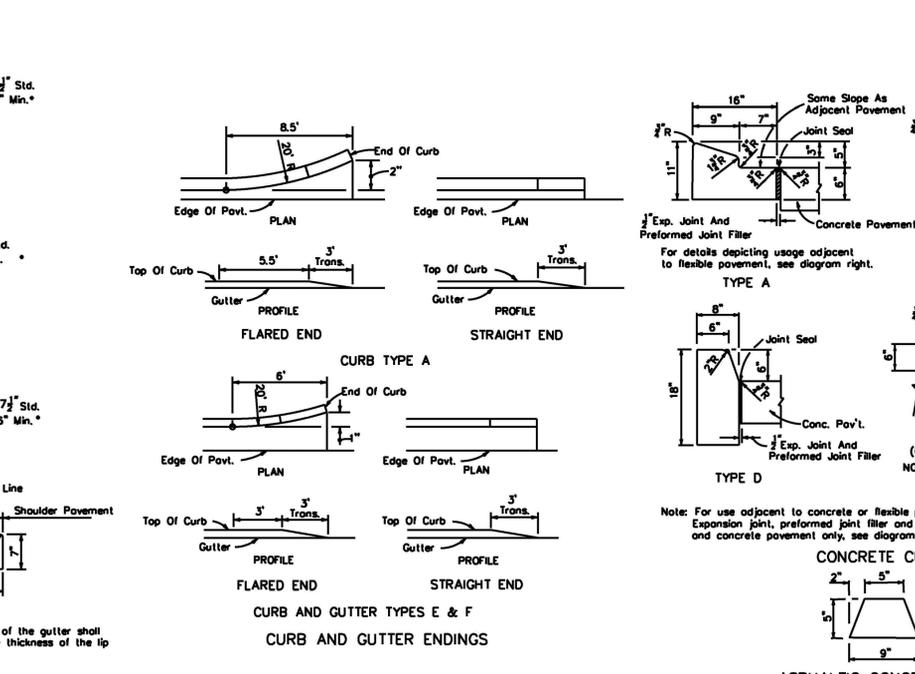
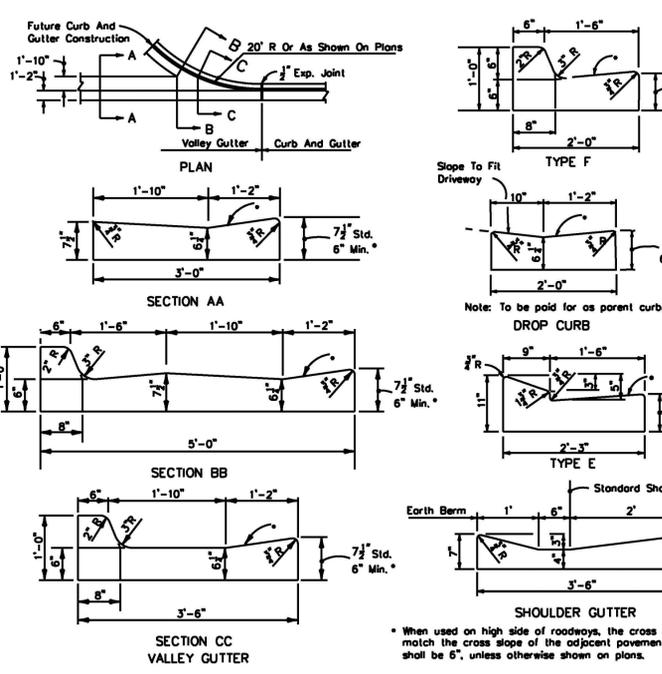
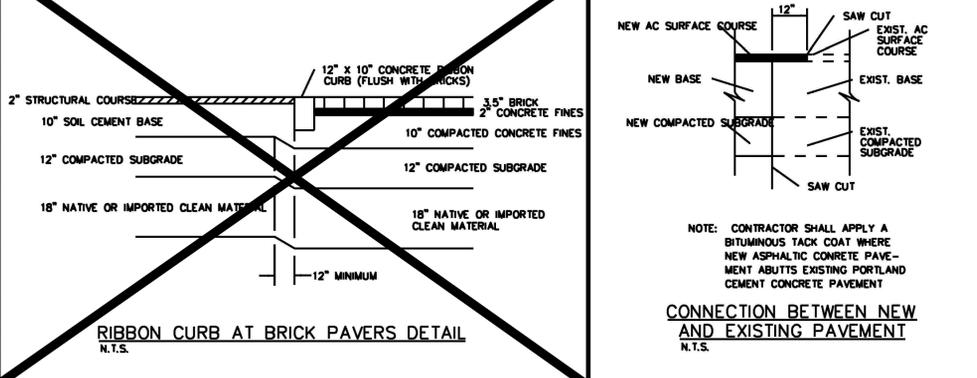
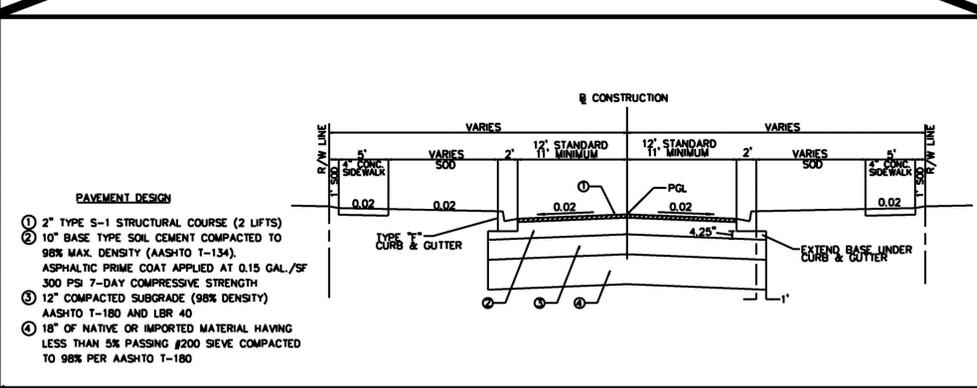
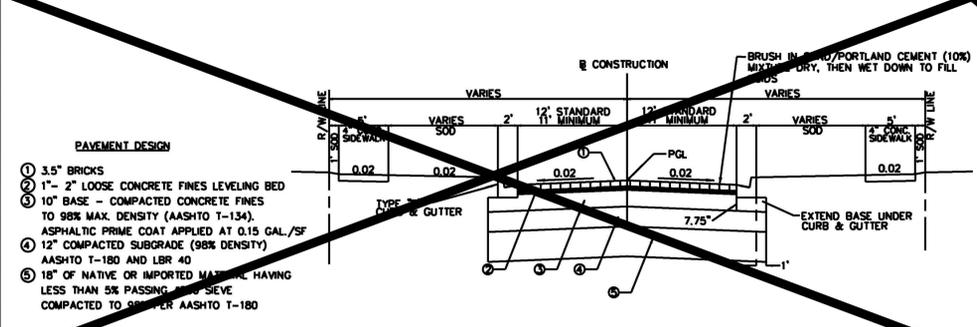
1. Driveways indicated as 'Adverse Applications' are those with slopes that can cause overhang drag for representative standard passenger vehicles under fully loaded conditions, or those with slopes that can cause drivers who are leaving the roadway to slow or pause to the extent that traffic demand volumes will be impeded.
2. The standard flared driveways on this index may not accommodate vehicles with low beds, low undercarriage or low appendage features. Where such vehicles are design vehicles driveways are to have site specific flare designs or Category designs.
3. When specific flare type driveways are to be constructed, the type shall be designated in the plans using the assigned alpha-numeric designation.

Driveways indicated as 'Marginal Applications' are those with slopes that can cause overhang drag for representative standard passenger vehicles under fully loaded conditions when the driveway is located on the low side of fully super-elevated roadways.

Driveways indicated as 'General Applications' are those with slopes that can readily accommodate representative standard passenger vehicles and those and those that can accommodate representative standard trucks, vans, buses and recreational vehicles operating under normal crown and super-elevation conditions.

Note: See sheet 1 for 'GENERAL NOTES'

URBAN FLARED TURNOUTS
 N.T.S.
 PER INDEX No. 515 OF THE F.D.O.T.
 ROADWAY AND TRAFFIC DESIGN STANDARDS



CONCRETE CURB AND GUTTER
 Note: For use adjacent to concrete or flexible pavement, concrete shown. For details depicting usage adjacent to flexible pavement, see diagram right. Expansion joint, preformed joint filler and joint seal are required between curb & gutter and concrete pavement only, see diagram right.

CONCRETE CURB AND GUTTER ENDINGS
 Note: For use adjacent to concrete or flexible pavement, concrete shown. Expansion joint, preformed joint filler and joint seal are required between curbs and concrete pavement only, see diagram right.

GENERAL NOTES

1. For curb, gutter, and curb and gutter provide $\frac{1}{2}$ " contraction joints at 10' centers (max.). Contraction joints adjacent to concrete pavement on tangents and flat curves are to match the pavement joints, with intermediate joints not to exceed 10' centers. Curb, gutter and curb & gutter expansion joints shall be located in accordance with Section 520 of the standard specifications.
2. Ends of Curbs Types B and D shall transition from full to zero heights in 3 feet.

DATE	4/4/14
ITEM	Brick Typical Section
No.	1

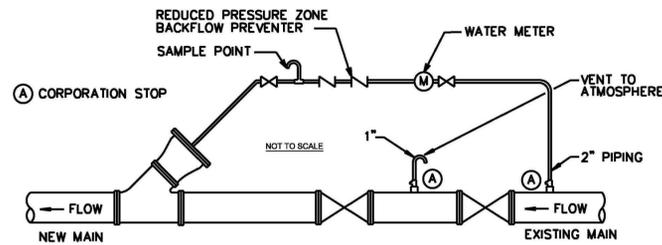
City of Winter Garden, Florida
STANDARDS AND SPECIFICATIONS
 For Roadway & Drainage Construction



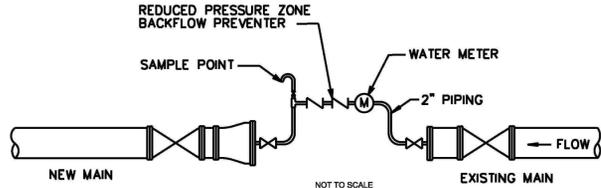
STANDARD DETAILS FOR PUBLIC SERVICES

DATE
 JANUARY 2008

SHEET
C9.8



OPTION "A"



OPTION "B"

EXCEPT AS INDICATED BELOW FOR SHORT LENGTHS, EACH SECTION OF PIPELINE SHALL BE THOROUGHLY CLEANED WITH ONE POLYURETHANE FOAM PIG EACH TIME.

A CITY REPRESENTATIVE SHALL BE PRESENT AT THE TIME OF INSERTION AND EXIT OF THE PIGS. LINES SHALL BE PIGGED AND/OR FLUSHED UNTIL THE WATER RUNS CLEAN AND IS APPROVED BY THE CITY REPRESENTATIVE. THE CITY REPRESENTATIVE SHALL BE GIVEN 48 HOURS MINIMUM NOTICE PRIOR TO PIGGING OR FLUSHING.

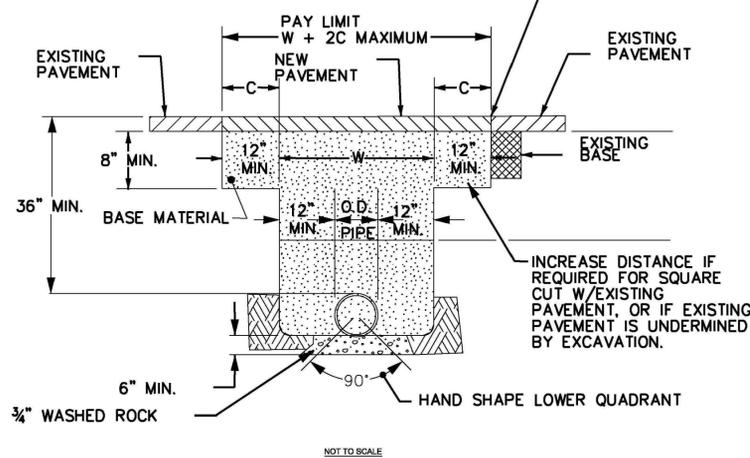
ON SHORT LENGTHS OF PIPELINE (100' MAX) CLEANING MAY BE ACCOMPLISHED BY FLUSHING WITH WATER AT A MINIMUM VELOCITY OF 2.5 FEET PER SECOND. WATER REQUIRED FOR TESTING AND CLEANING SHALL BE SUPPLIED BY THE CITY AT THE CONTRACTOR'S EXPENSE. WATER SHALL BE FROM A POTABLE SOURCE SATISFACTORY TO THE CITY.

NOTES:

- REDUCER TO BE NEW MAIN SIZE PLUS 2" LARGER.
- WYE TO BE PLUGGED AND RESTRAINED AT THE END OF PIGGING.
- AT THE END OF THE PROJECT, ALL CORPORATIONS TO BE REMOVED AND CORPORATION PLUGS TO BE INSTALLED.
- SAMPLE POINT TO BE LOCATED AFTER BACKFLOW PREVENTER.
- ALL MATERIALS, PIPE, AND FITTINGS SHALL CONFORM TO THE CITY OF WINTER GARDEN STANDARDS.
- INSTALL REDUCER WITH PIG INSIDE. ONLY ONE PIG WILL BE ALLOWED TO BE RUN THROUGH THE MAIN AT A TIME. PIPE EXTENSION CAP MAY BE REQUIRED.
- PIGGING PROCEDURE TO BE PERFORMED AT LEAST TWICE.

PIPE PIGGING DETAIL

EXISTING BASE & PAVEMENT TO BE CUT SQUARE WITH THE STREET. NEW PAVEMENT TO BE ASPHALTIC CONCRETE TYPE S-1 OR S-3. 2" MIN. THICKNESS.



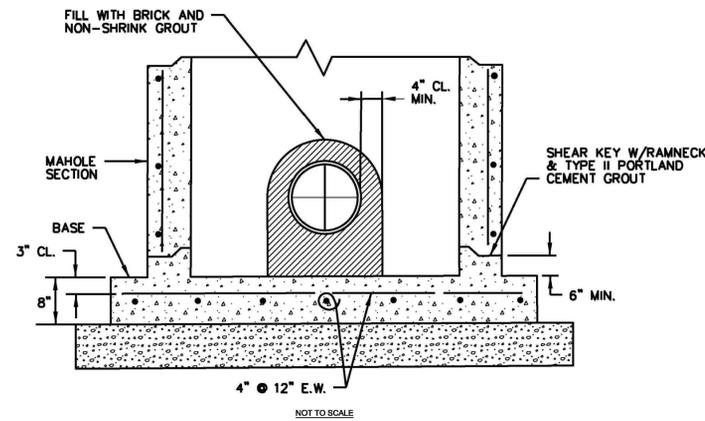
NOT TO SCALE

W = O.D. OF PIPE + 12" MIN AT BOTH SIDES OF PIPE.

C = VARIES W/SOIL TYPE (CONTACT ENGINEER OF RECORD FOR DETERMINATION IN FIELD).

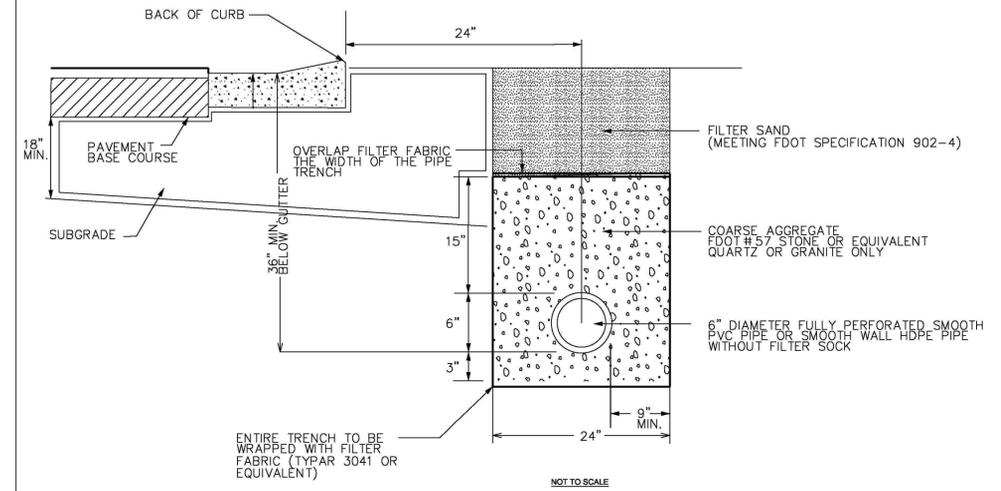
ALL BACKFILL COMPACTION SHALL BE 98% OF MAXIMUM DENSITY.

PAVEMENT RESTORATION DETAIL

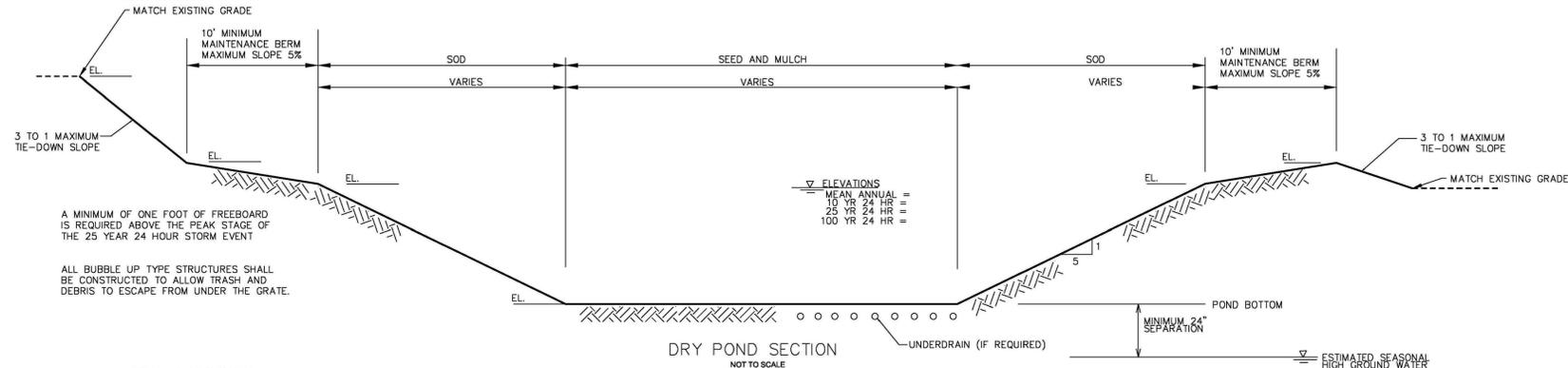


- TO CONSTRUCT NEW MANHOLE OVER EXISTING SEWER, SLIDE BASE UNDER PIPE AND SET MANHOLE SECTION ON TOP.
- FOR ADDITIONAL DETAILS NOT SHOWN, SEE "GRAVITY SEWER MANHOLE STANDARD."
- AT THE END OF THE PROJECT, ALL CORPORATIONS TO BE REMOVED AND CORPORATION PLUGS TO BE INSTALLED. CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPORT OF EXISTING SEWER DURING INSTALLATION OF MANHOLE.

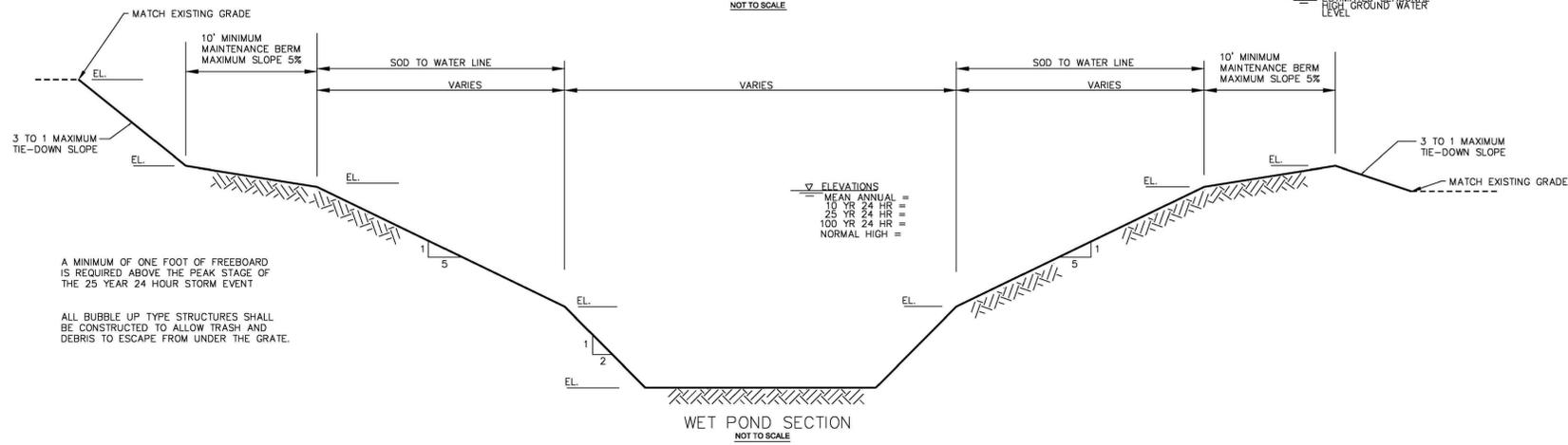
GRAVITY SEWER DOGHOUSE MANHOLE



UNDERDRAIN DETAIL



DRY POND SECTION



WET POND SECTION

POND SECTIONS



STREET SIGN BLADE DETAIL

THE BACKGROUND COLOR SHALL BE RETROREFLECTIVE GREEN AND THE LETTERING AND BORDER SHALL BE RETROREFLECTIVE WHITE.

DATE	
ITEM	
No.	

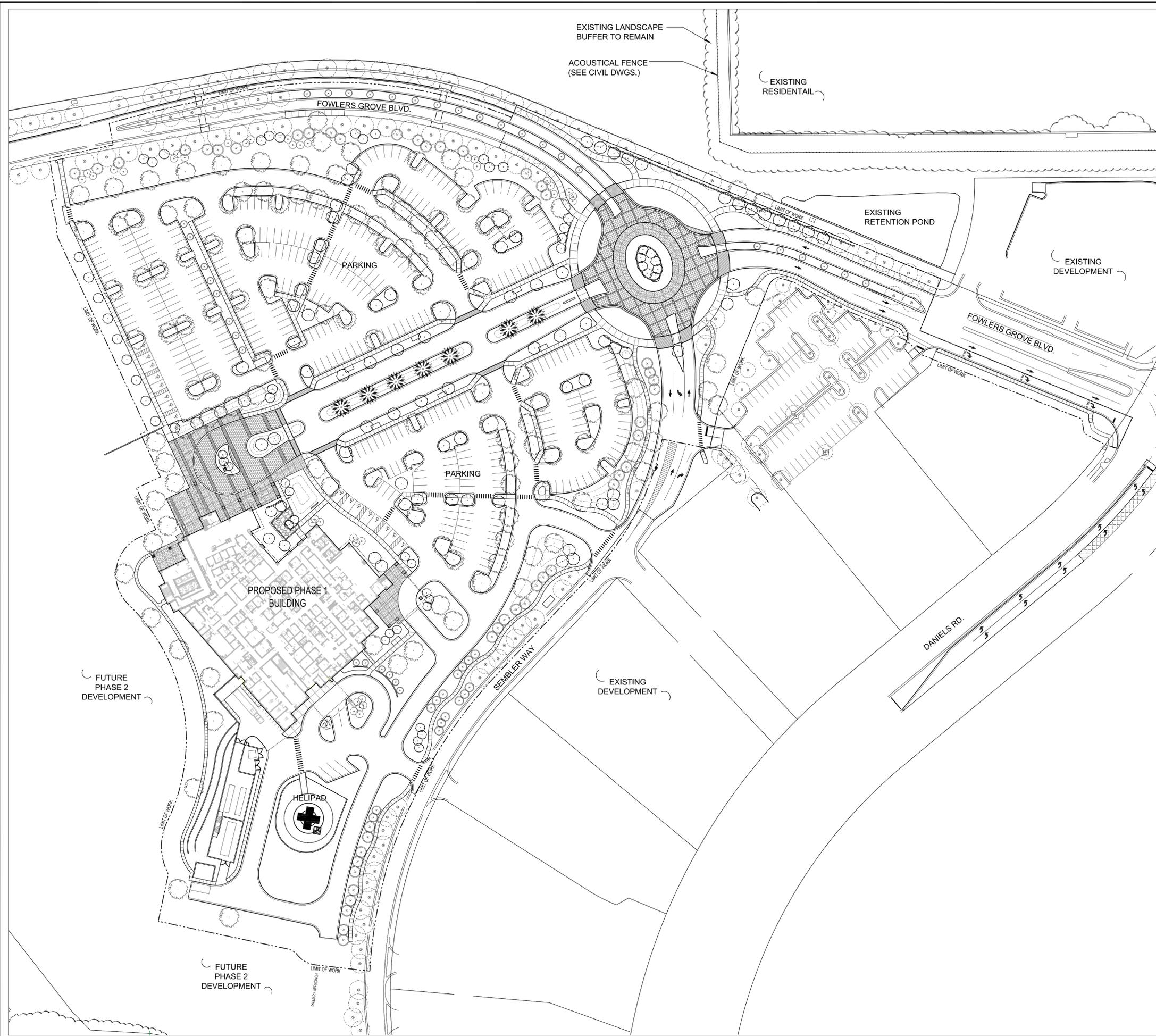
City of Winter Garden, Florida
STANDARDS AND SPECIFICATIONS



STANDARD DETAILS
FOR
MISCELLANEOUS DETAILS

DATE
APRIL 2014
SHEET

C9.9
10 OF 10



OWNER / DEVELOPER ADVENTIST HEALTH SYSTEMS/SUNBELT, INC FLORIDA HOSPITAL ACCOUNTING DEPARTMENT 601 E. ROLLINS ST., ORLANDO, FL 32803 P: 407.303.1166
ARCHITECT Esa 2100 WEST END AVENUE, SUITE 1200 NASHVILLE, TN 37203 P: 615.329.0046
CIVIL ENGINEER LITTLEJOHN ENGINEERING ASSOCIATES, INC. 1615 EDGEWATER DRIVE, SUITE 180 ORLANDO, FL 32804 P: 407.975.1273 F: 407.975.1279
WATER FEATURE ENGINEER CLOWARD H2O 2696 N. UNIVERSITY AVE, SUITE 290 PROVO, UT 84604 P: 801.375.1223
STRUCTURAL ENGINEER PAUL J. FORD AND COMPANY 3670 MAGUIRE BLVD., STE 250 ORLANDO, FL 32803 P: 407.898.9039
IRRIGATION DESIGNER PREVOST-STAMPER, INC. 600 EDWARDS STREET, SUITE 7102 CELEBRATION, FLORIDA 34747 P: 407.566.9009

FLORIDA HOSPITAL WINTER GARDEN PHASE A

WINTER GARDEN, FLORIDA

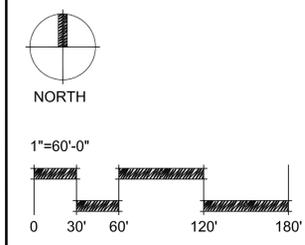
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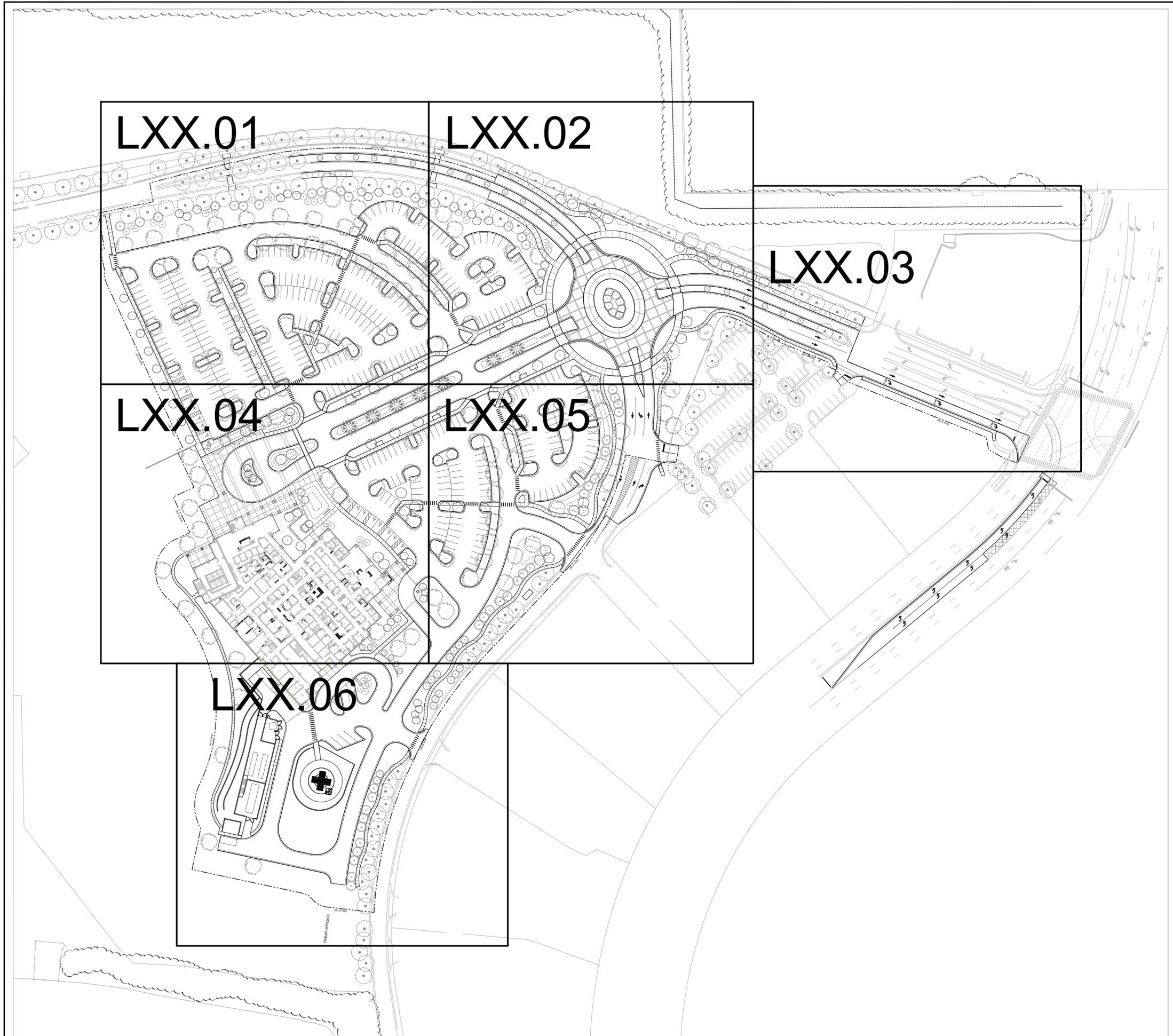
Sheet Title:
OVERALL PLAN

NOT FOR CONSTRUCTION

Date: JUNE 20, 2014	Scale: 1"=40'-0"
Drawn By: JYP	Designed By: EML, JYP
Approved By: EML	Project No: 2.13115

Seal: 	Sheet Number: L01.01
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OWNER / DEVELOPER ADVENTIST HEALTH SYSTEM/SUNBELT, INC FLORIDA HOSPITAL ACCOUNTING DEPARTMENT 601 E. ROLLINS ST., ORLANDO, FL 32803 P: 407.303.1166
ARCHITECT ESa 2100 WEST END AVENUE, SUITE 1200 NASHVILLE, TN 37203 P: 615.329.0046
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**FLORIDA HOSPITAL
WINTER GARDEN**
PHASE A
WINTER GARDEN, FLORIDA

Rev:	Date:	Description:
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Sheet Title:
**SHEET
LAYOUT PLAN**

NOT FOR CONSTRUCTION

Date: JUNE 20, 2014	Scale: 1"=40'-0"
Drawn By: JYP	Designed By: EML, JYP
Approved By: EML	Project No: 2.13115

Seal: 	Sheet Number: L01.02
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HARDSCAPE NOTES

- Contractor shall familiarize himself/herself with existing site conditions prior to initiating construction. All existing site roads, parking lots, curbs, utilities, sewers and other elements to remain shall be fully protected from any damage unless otherwise noted.
- All pavement shall be staked in the field using layout geometry indicated on the site layout plans or as instructed and approved by the owner's representative prior to construction. Alignment may be adjusted to accommodate existing drain inlets, manholes, or other site elements.
- Contractor shall submit samples of all paving for approval by the owner's representative prior to construction according to the specifications. Applied sample panels shall be retained for the duration of the project. As an example of the color, texture and finish of the paving for the project.
- Contractor shall be responsible for all erosion control/protection by locally approved means and maintaining erosion controls already in place. Contractor shall adhere to all governing codes and requirements.
- Maintain all existing erosion and sedimentation control measures (silt fence, orange geo fence and/or other measures) during construction. Provide additional measures as necessary to minimize adverse impacts to the water bodies, existing parking lots, etc. according to all applicable laws.
- See site grading plans for pavement elevations. Match grades with existing conditions.
- General limits of construction are noted on the drawings unless otherwise noted. Unless otherwise noted, the limit of work shall end at the face of each building.
- Contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities, irrigation and other elements and coordinate with the owner's representative prior to initiating operations. Drawings are prepared according to the best information available at the time of preparing these documents.
- Report any discrepancies between the construction drawings and field conditions to the owner's representative immediately. Follow the owner's representative's instructions on resolving any discrepancies.
- Contractor shall coordinate all work with related contractors and with the general construction of the project in order not to impede the progress of the work of others or the contractor's own work.
- Contractor shall provide all necessary safety measures during construction operations to protect the public according to all applicable codes and recognized local practices.
- Contractor shall coordinate access and staging areas with the owner's representative.
- All pavement joints are to be parallel, perpendicular or tangent to adjacent lines unless noted otherwise. Layout curvilinear joints as indicated on the drawings for approval by owner's representative prior to construction.
- See hardscape plans and details for concrete expansion joints and control joints.
- All dimensions are to edge of pavement unless otherwise noted.
- Contractor shall clean the work areas at the end of each working day. Rubbish and debris shall be collected and legally deposited off-site daily. All materials, products and equipment shall be stored in an organized fashion as directed by owner's representative.
- The contractor shall be responsible for coordinating the location of all drain inlets, catch basins, yard drains and manholes indicated on the plans under previous construction
- The contractor, prior to beginning any underground excavation, digging, boring, pile driving, blasting, or planting, must first obtain an excavation permit from the appropriate agencies. The contractor must call the appropriate agencies at least seventy-two (72) hours prior to planned excavation. The contractor shall comply with state and local codes regarding notification of existing gas and oil pipeline company owners. Evidence of such notice shall be furnished to the owner prior to excavating. The contractor shall coordinate fully with the owner's representative for all excavation permits and notification necessary prior to initiating all work. See project manual and specifications for further information.
- Contractor to coordinate his work with the work of the other contractors working on this project. The Contractor shall verify the condition and completeness of all work performed by others in relation to his/her project work responsibilities including the checking of existing elevations or structures prior to initiating construction. The Contractor shall immediately notify the owner's representative if any of these site conditions are incomplete, missing or damaged. Any adjustments required to the condition, completeness and /or elevation of this work shall be performed by others.

ABBREVIATIONS

ADD	ADDENDUM
ADA	AMERICANS WITH DISABILITIES
ALT	ALTERNATE
ALUM	ALUMINUM
APPROX	APPROXIMATE
ARCH	ARCHITECT(URAL)
BOC	BACK OF CURB
BC	BOTTOM OF CURB / COPING
BLDG	BUILDING
BOT	BOTTOM
BB	BOTTOM OF BRIDGE
BS	BOTTOM OF STEP
BW	BOTTOM OF WALL
CB	CATCH BASIN
CJ	CONTROL JOINT
CIP	CAST IN PLACE
CL	CENTER LINE
COL	COLUMN
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CONT	CONTINUOUS/CONTINUE
CT	CLEAR TRUNK
CW	CLEAR WOOD
DF	DRINKING FOUNTAIN
DGR	DENSE GRADE AGGREGATE
DI	DRAIN INLET
DIA	DIAMETER
DIM	DIMENSION
DWG(S)	DRAWING(S)
EIFS	EXTERIOR INSULATION FINISH SYSTEM
EL	ELEVATION
ELEC	ELECTRICAL
EQUIP	EQUIPMENT
EOP	EDGE OF PAVEMENT
EXIST	EXISTING
EJ	EXPANSION JOINT
EXT	EXTERIOR
FFE	FINISH FLOOR ELEVATION
FIN	FINISH
FG	FINISH GRADE
GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACT(OR)
GEN	GENERAL
HB	HOSE BIB
HC	HANDICAP(PED)
HORIZ	HORIZONTAL
INCL	INCLUDE(D)
INT	INTERIOR
ID	INTERNAL DIAMETER
INV	INVERT
MANF	MANUFACTURE(R)
MAX	MAXIMUM
MED	MEDIUM
MIN	MINIMUM
MISC	MISCELLANEOUS
NIC	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
OA	OVER ALL
OC	ON CENTER(S)
OD	OUTSIDE DIAMETER
PERP	PERPENDICULAR
PL	PLANTING (AREA)
PLTG	PLANTING
PW	POTABLE WATER
PIP	POURED IN PLACE
PTP	PRESSURE TREATED PINE
QTY	QUANTITY

R	RADIUS
REINF	REINFORCE(D) DRAIN INLET
RIM	RIM ELEVATION
RD	ROUND
SHT	SHEET
SIM	SIMILAR
SPEC(S)	SPECIFICATION(S)
SQ	SQUARE
SS	STAINLESS STEEL
STD	STANDARD
STL TB	STEEL TOP OF BRIDGE
TEMP	TEMPERATURE/TEMPORARY
TBD	TO BE DETERMINED
TOC	TOP OF COLUMN
TC	TOP OF CURB
TOV	TOP OF VAULT
TR	TOP OF ROCK
TS	TOP OF STEP
TW	TOP OF WALL
TYP	TYPICAL
WWF	WELDED WIRE FRAME
W/	WITH
W/O	WITHOUT
WL	WATER LEVEL
YD	YARD DRAIN
YP	YELLOW PINE

SYMBOLS

	SECTION NUMBER & SHEET NUMBER
	LEGEND KEYS
	CENTER LINE
	LIMIT OF WORK
	FINISHED ELEVATION

135 WEST CENTRAL BLVD., SUITE 400
ORLANDO, FLORIDA 32801 USA
LCC000001

EDSA

PLANNING • LANDSCAPE ARCHITECTURE • URBAN DESIGN • GRAPHIC DESIGN

OWNER / DEVELOPER ADVENTIST HEALTH SYSTEM/SUNBELT, INC FLORIDA HOSPITAL ACCOUNTING DEPARTMENT 601 E. ROLLINS ST, ORLANDO, FL 32803 P: 407.303.1166
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**FLORIDA HOSPITAL
WINTER GARDEN**

PHASE A

WINTER GARDEN, FLORIDA

Rev:	Date:	Description:
		
		
		

Sheet Title:

HARDSCAPE NOTES

NOT FOR CONSTRUCTION

Date: JUNE 20, 2014	Scale:
Drawn By: JYP	Designed By: EML, JYP
Approved By: EML	Project No: 2.03115

Seal: 

Sheet Number:

L10.01

OWNER / DEVELOPER
ADVENTIST HEALTH SYSTEM/SUNBELT, INC
FLORIDA HOSPITAL ACCOUNTING DEPARTMENT
601 E. ROLLINS ST., ORLANDO, FL 32803
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2100 WEST END AVENUE, SUITE 1200
NASHVILLE, TN 37203
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WATER FEATURE ENGINEER
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PROVO, UT 84604
P: 801.375.1223

STRUCTURAL ENGINEER
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ORLANDO, FL 32804
P: 407.898.9039

IRRIGATION DESIGNER
PREVOST-STAMPER, INC.
600 EDWARDS STREET, SUITE 7102
CELEBRATION, FLORIDA 34747
P: 407.566.9009

FLORIDA HOSPITAL WINTER GARDEN

PHASE A

WINTER GARDEN, FLORIDA

Rev:	Date:	Description:
1		
2		
3		

Sheet Title:
**FINISH AND
FURNISHING
SCHEDULE**

NOT FOR CONSTRUCTION

Date:	JUNE 20, 2014	Scale:	
Drawn By:	JYP	Designed By:	EML, JYP
Approved By:	EML	Project No.:	2.03115

Seal:  Sheet Number:
L10.11

PAVING

SYMBOL:	DESCRIPTION:	DESCRIPTION/COLOR:	MANUFACTURER / SUPPLIER:	CONTACT:	DETAIL:	MOCKUPS:
P1	EXPOSED AGGREGATE INTEGRAL COLORED CONCRETE PAVING (4" THICKNESS)	LIME/ROCKGRANITE BLENDED AGGREGATE WHITE PORTLAND CEMENT COLOR: SUMMER BEIGE, FINISH: SANDBLAST	L.M. SCOFIELD	WWW.SCOFIELD.COM STEVE RISSI	3 / 1 / 13.01	MOCKUP: 5 x 5
P2	PRECAST CONCRETE UNIT PAVERS	MODULINE SERIES, 6" X 12", 80 MM THICK, BUTT JOINT, COLOR: RUST, FINISH: GROUND FACE	BELGARD	WWW.OLDCASTLE.COSTAL.COM MKE ODOHUE	4 / 1 / 13.01	MOCKUP: 5 x 5
P3	VEHICULAR RATED PRECAST CONCRETE UNIT PAVERS	MODULINE SERIES, 6" X 12", 101.6 MM THICK, BUTT JOINT, COLOR: DESERT, FINISH: SHOT BLAST	BELGARD	WWW.OLDCASTLE.COSTAL.COM MKE ODOHUE	4 / 1 / 13.01	MOCKUP: 5 x 5
P4	VEHICULAR RATED STAMPED INTEGRAL COLOR CONCRETE PAVING	PATTERN NEW BRICK - RUNNING BOND, COLOR: TAINNY PINK (CHROMIX ADMIXTURES), DEEP CHARCOAL (UTROCHROME ANTI-GLENN RELEASE)	L.M. SCOFIELD	WWW.SCOFIELD.COM STEVE RISSI	SEE CIVIL DWGS.	MOCKUP: 5 x 5
P5	VEHICULAR RATED PRECAST CONCRETE UNIT PAVERS	MODULINE SERIES, 6" X 12", 101.6 MM THICK, BUTT JOINT, COLOR: SUNSET FINISH: SHOT BLAST	BELGARD	WWW.OLDCASTLE.COSTAL.COM MKE ODOHUE	4 / 1 / 13.01	MOCKUP: 5 x 5
P6	VEHICULAR RATED STAMPED INTEGRAL COLOR CONCRETE PAVING	PATTERN STONE TILE - STACKED BOND, COLOR: MUSKY MULBERRY (CHROMIX ADMIXTURES), DEEP CHARCOAL (UTROCHROME ANTI-GLENN RELEASE)	L.M. SCOFIELD	WWW.SCOFIELD.COM STEVE RISSI	SEE CIVIL DWGS.	MOCKUP: 5 x 5
P7	NATURAL FLAGSTONE PAVERS	FLAGSTONE PAVED IN IRREGULAR JOINTS 1/2" - 1" MAX ON 1" MORTAR BED OVER 4" CONCRETE SUB-SLAB			5 / 1 / 13.01	MOCKUP: 5 x 5
P10	STANDARD CONCRETE PAVING (4" THICKNESS)	SEE CIVIL DWGS.				
P11	CONCRETE BAND	NATURAL GRAY CONCRETE WITH SPONGE FLOAT FINISH			6 / 1 / 13.01	
P12	VEHICULAR RATED CONCRETE PAVING	SEE CIVIL DWGS.				

WALLS & COLUMNS

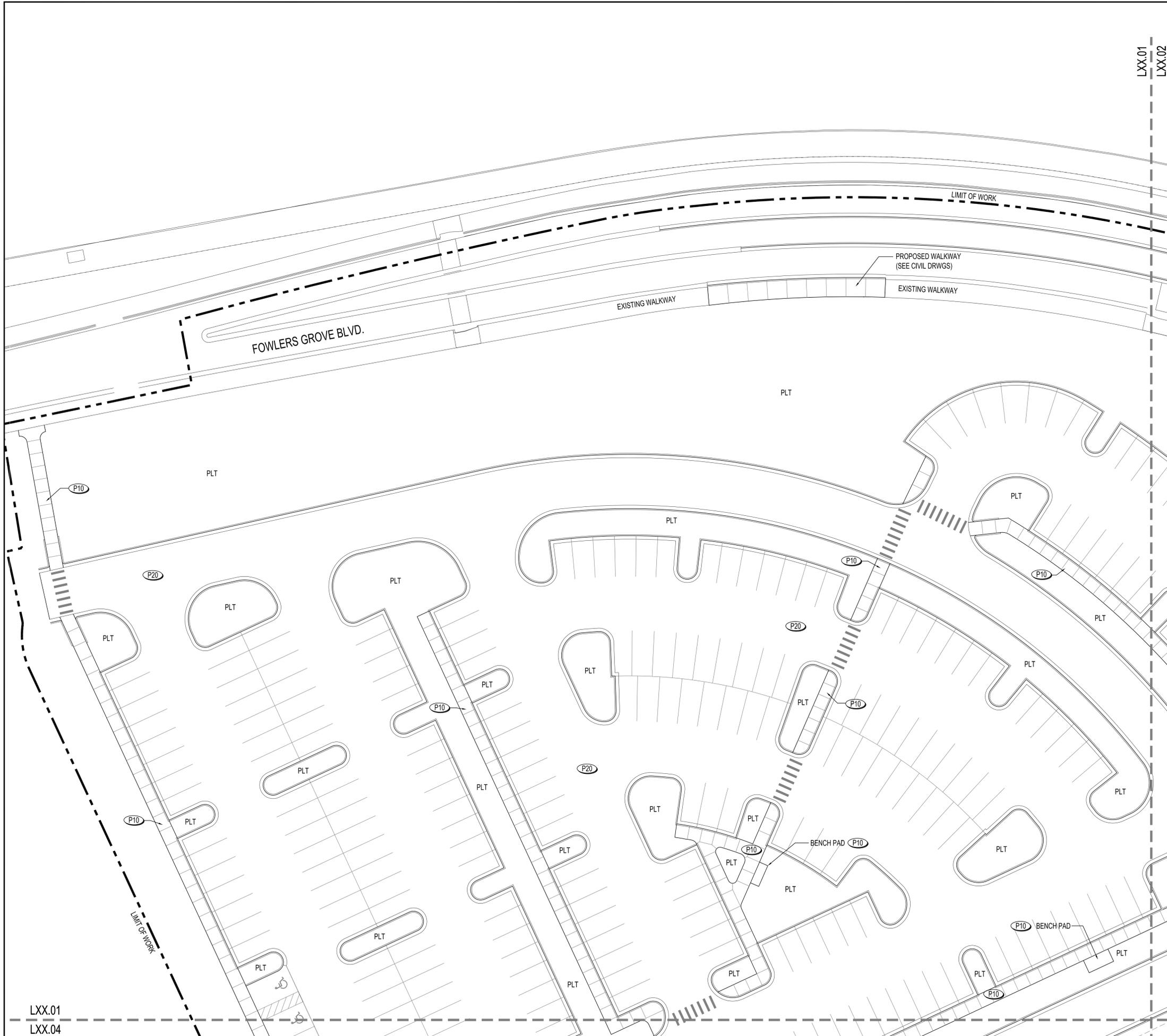
SYMBOL:	DESCRIPTION:	DESCRIPTION/COLOR:	MANUFACTURER / SUPPLIER:	CONTACT:	DETAIL:	MOCKUPS:
W1	GARDEN WALL @ COURTYARD					
W1a	CAST STONE VENEER WALL FINISH - TYPE 1	4"X8" CAST STONE VENEER COLOR: MATCH TO BUILDING FINISH: ACID WASH	D.C. KERCKHOFF COMPANY	WWW.KERCKHOFFSTONE.COM	1 / 1 / 13.02 3 / 1 / 13.02	SUBMIT SAMPLE FOR APPROVAL
W1b	CAST STONE VENEER WALL FINISH - TYPE 2	1.5"X3" CAST STONE VENEER COLOR: MATCH TO BUILDING FINISH: SANDBLAST	D.C. KERCKHOFF COMPANY	WWW.KERCKHOFFSTONE.COM	1 / 1 / 13.02 3 / 1 / 13.02	SUBMIT SAMPLE FOR APPROVAL
W1c	CAST STONE WALL CAP	CAST STONE WALL CAP COLOR: MATCH TO BUILDING FINISH: ACID WASH	D.C. KERCKHOFF COMPANY	WWW.KERCKHOFFSTONE.COM	1 / 1 / 13.02 3 / 1 / 13.02	SUBMIT SAMPLE FOR APPROVAL
W2	SEAT WALL @ COURTYARD					
W2a	CAST STONE VENEER WALL FINISH - TYPE 1	4"X8" CAST STONE VENEER COLOR: MATCH TO BUILDING FINISH: ACID WASH	D.C. KERCKHOFF COMPANY	WWW.KERCKHOFFSTONE.COM	2 / 1 / 13.02 3 / 1 / 13.02	SUBMIT SAMPLE FOR APPROVAL
W2b	CAST STONE VENEER WALL FINISH - TYPE 2	1.5"X3" CAST STONE VENEER COLOR: MATCH TO BUILDING FINISH: SANDBLAST	D.C. KERCKHOFF COMPANY	WWW.KERCKHOFFSTONE.COM	2 / 1 / 13.02 3 / 1 / 13.02	SUBMIT SAMPLE FOR APPROVAL
W2c	CAST STONE WALL CAP	CAST STONE WALL CAP COLOR: MATCH TO WALL FINISH FINISH: ACID WASH	D.C. KERCKHOFF COMPANY	WWW.KERCKHOFFSTONE.COM	2 / 1 / 13.02 3 / 1 / 13.02	SUBMIT SAMPLE FOR APPROVAL
W3	SCREEN WALL @ ROUNDABOUT (8' TO 10' IN HEIGHT)					
W3a	WALL FINISH	STUCCO FINISH COLOR: MATCH TO ARCHITECTURE			1 / 1 / 13.03, 2 / 1 / 13.03, 4 / 1 / 13.03	
W3b	CAST STONE WALL CAP	3" CAST STONE WALL CAP COLOR: MATCH TO WALL FINISH FINISH: ACID WASH	D.C. KERCKHOFF COMPANY	WWW.KERCKHOFFSTONE.COM	1 / 1 / 13.03, 2 / 1 / 13.03, 4 / 1 / 13.03	SUBMIT SAMPLE FOR APPROVAL
W4	SCREEN WALL @ AMBULANCE ENTRY (4' IN HEIGHT)	CONCRETE WALL FINISH: STUCCO, COLOR: MATCH BUILDING			4 / 1 / 13.02	
W5	ENTRY SIGNAGE WALL FEATURE					
W5a	CAST STONE VENEER WALL FINISH	4"X8" CAST STONE VENEER COLOR: MATCH TO BUILDING FINISH: ACID WASH	D.C. KERCKHOFF COMPANY	WWW.KERCKHOFFSTONE.COM	1 / 1 / 13.04, 2 / 1 / 13.04, 3 / 1 / 13.04, 4 / 1 / 13.04	SUBMIT SAMPLE FOR APPROVAL
W5b	CAST STONE BASE	COLOR: MATCH TO W5a FINISH: SANDBLAST	D.C. KERCKHOFF COMPANY	WWW.KERCKHOFFSTONE.COM	1 / 1 / 13.04, 2 / 1 / 13.04, 3 / 1 / 13.04, 4 / 1 / 13.04	SUBMIT SAMPLE FOR APPROVAL
W5c	CAST STONE WALL CAP	COLOR: MATCH TO W5a FINISH: SANDBLAST	D.C. KERCKHOFF COMPANY	WWW.KERCKHOFFSTONE.COM	1 / 1 / 13.04, 2 / 1 / 13.04, 3 / 1 / 13.04, 4 / 1 / 13.04	SUBMIT SAMPLE FOR APPROVAL
C1	COLUMN ASSOCIATED WITH SCREEN WALL @ ROUNDABOUT					
C1a	WALL FINISH	STUCCO FINISH COLOR: MATCH TO BUILDING			1 / 1 / 13.03, 3 / 1 / 13.03, 4 / 1 / 13.03	
C1b	CAST STONE WALL CAP	4" CAST STONE WALL CAP COLOR: MATCH TO C1a FINISH: ACID WASH	D.C. KERCKHOFF COMPANY	WWW.KERCKHOFFSTONE.COM	1 / 1 / 13.03, 3 / 1 / 13.03, 4 / 1 / 13.03	SUBMIT SAMPLE FOR APPROVAL

RAILINGS

SYMBOL:	DESCRIPTION:	DESCRIPTION/COLOR:	MANUFACTURER / SUPPLIER:	CONTACT:	DETAIL:	MOCKUPS:
R01	42" RAILING SYSTEM	REFER TO ARCHITECTURAL DRAWINGS				

SITE FURNISHINGS

SYMBOL:	DESCRIPTION:	DESCRIPTION/COLOR:	MANUFACTURER / SUPPLIER:	CONTACT:	DETAIL:	MOCKUPS:
SF01	BENCHES					
SF01a	BENCH - BACKED STYLE - TYPE 1	MODEL: MULTIPLICITY BACKED BENCH STRAIGHT, SURFACE MOUNT, NO ARMS, IPE WOOD, ANODIZED ALUMINUM FINISH	LANDSCAPE FORMS	WWW.LANDSCAPEFORMS.COM KELLIE MOORE - 800.441.1945 EX.1322	1 / 1 / 13.01	
SF01b	BENCH - BACKLESS STYLE - TYPE 2	MODEL: MULTIPLICITY BACKLESS BENCH STRAIGHT, SURFACE MOUNT, IPE WOOD, ANODIZED ALUMINUM FINISH	LANDSCAPE FORMS	WWW.LANDSCAPEFORMS.COM KELLIE MOORE - 800.441.1945 EX.1322	2 / 1 / 13.01	
SF01c	BENCH - BACKLESS STYLE - TYPE 3	MODEL: MULTIPLICITY BACKLESS BENCH LEFT/RIGHT MITRE END, SURFACE MOUNT, IPE WOOD, ANODIZED ALUMINUM FINISH	LANDSCAPE FORMS	WWW.LANDSCAPEFORMS.COM KELLIE MOORE - 800.441.1945 EX.1322	3 / 1 / 13.01	
SF01d	BENCH - BACKED STYLE - TYPE 4	MODEL: MIX. SERIES 516 W/ END ARMS, SURFACE MOUNT, COLOR: MERCURY	LANDSCAPE FORMS	WWW.LANDSCAPEFORMS.COM KELLIE MOORE - 800.441.1945 EX.1322	4 / 1 / 13.01	
SF02	BIKE RACK	MODEL: MULTIPLICITY FINISH: IPE WOOD, ANODIZED ALUMINUM	LANDSCAPE FORMS	WWW.LANDSCAPEFORMS.COM KELLIE MOORE - 800.441.1945 EX.1322	5 / 1 / 13.01	
SF03	LANDSCAPE POTS - ALL WITH IRRIGATION AND DRAINAGE WEEPS					
SF03a	POT TYPE A - 48" x 48" x 30"	LARKSPIR 30" PLANTER COLOR: SILVER SMOKE, FINISH: SALT	LANDSCAPE FORMS	WWW.LANDSCAPEFORMS.COM KELLIE MOORE - 800.441.1945 EX.1322	6 / 1 / 13.01 5 / 1 / 13.02	
SF03b	POT TYPE B - 36" x 36" x 24"	LARKSPIR 24" PLANTER COLOR: SOUTHERN BLUSH, FINISH: SALT	LANDSCAPE FORMS	WWW.LANDSCAPEFORMS.COM KELLIE MOORE - 800.441.1945 EX.1322	6 / 1 / 13.01 5 / 1 / 13.02	
SF03c	POT TYPE C - 32" x 32" x 48"	LARKSPIR 48" PLANTER COLOR: MESA BUFF, FINISH: SALT	LANDSCAPE FORMS	WWW.LANDSCAPEFORMS.COM KELLIE MOORE - 800.441.1945 EX.1322	6 / 1 / 13.01 5 / 1 / 13.02	
SF04	TRASH RECEPTACLES					
SF04a	TRASH RECEPTACLE - TYPE 1	MODEL: MULTIPLICITY DOUBLE UNIT LITTER, STANDARD WASTE OPENING, SURFACE MOUNT	LANDSCAPE FORMS	WWW.LANDSCAPEFORMS.COM KELLIE MOORE - 800.441.1945 EX.1322	7 / 1 / 13.01	
SF04b	TRASH RECEPTACLE - TYPE 2	MODEL: CHASE PARK, SIDE OPENING, 24"X40" COLOR: MERCURY, SURFACE MOUNT	LANDSCAPE FORMS	WWW.LANDSCAPEFORMS.COM KELLIE MOORE - 800.441.1945 EX.1322	8 / 1 / 13.01	

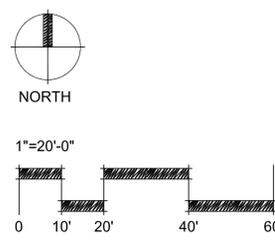
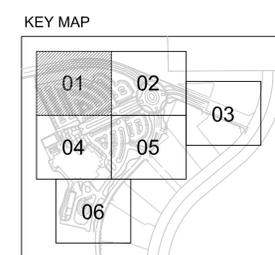


HARDSCAPE LEGEND

- PAVING - SEE FINISH SCHEDULE L10.11
- P1 EXPOSED AGGREGATE INTEGRAL COLORED CONCRETE PAVING
 - P2 PRECAST CONCRETE UNIT PAVERS
 - P3 VEHICULAR RATED PRECAST CONCRETE UNIT PAVERS
 - P4 VEHICULAR RATED STAMPED INTEGRAL COLOR CONCRETE PAVING
 - P5 VEHICULAR RATED PRECAST CONCRETE UNIT PAVERS
 - P6 VEHICULAR RATED STAMPED INTEGRAL COLOR CONCRETE PAVING
 - P7 NATURAL FLAGSTONE PAVERS
 - P10 STANDARD CONCRETE PAVING (SEE CIVIL DWGS.)
 - P11 CONCRETE BAND
 - P12 VEHICULAR RATED CONCRETE PAVING (SEE CIVIL DWGS.)
 - P20 ASPHALT PAVING (SEE CIVIL DWGS.)
 - EX EXISTING PAVING
- WALLS AND COLUMNS - SEE FINISH SCHEDULE L10.11
- W1 GARDEN WALL @ COURTYARD GARDEN
 - W2 SEAT WALL @ COURTYARD GARDEN
 - W3 SCREEN WALL @ ROUNDABOUT
 - W4 SCREEN WALL @ AMBULANCE ENTRY
 - W5 ENTRY SIGNAGE WALL FEATURE
 - C1 COLUMN ASSOCIATED W/ SCREEN WALL @ ROUNDABOUT

- RAILINGS - SEE FINISH SCHEDULE L10.11
- R1 SEE ARCHITECTURAL DWGS.

NOTE: REFER TO CIVIL ENGINEERING DRWGS FOR ALL PARKING-LOT VEHICULAR PAVING, CURBS AND STRIPING.



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ARCHITECT Esa 2100 WEST END AVENUE, SUITE 1200 NASHVILLE, TN 37203 P: 615.329.0046
CIVIL ENGINEER LITTLEJOHN ENGINEERING ASSOCIATES, INC. 1615 EDGEWATER DRIVE, SUITE 180 ORLANDO, FL 32804 P: 407.975.1273 F: 407.975.1279
WATER FEATURE ENGINEER CLOWARD H2O 2696 N. UNIVERSITY AVE, SUITE 290 PROVO, UT 84604 P: 801.375.1223
STRUCTURAL ENGINEER PAUL J. FORD AND COMPANY 3670 MAGUIRE BLVD., STE 250 ORLANDO, FL 32803 P: 407.898.9039
IRRIGATION DESIGNER PREVOST-STAMPER, INC. 600 EDWARDS STREET, SUITE 7102 CELEBRATION, FLORIDA 34747 P: 407.566.9009

FLORIDA HOSPITAL WINTER GARDEN

PHASE A

WINTER GARDEN, FLORIDA

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Sheet Title:
HARDSCAPE PLAN

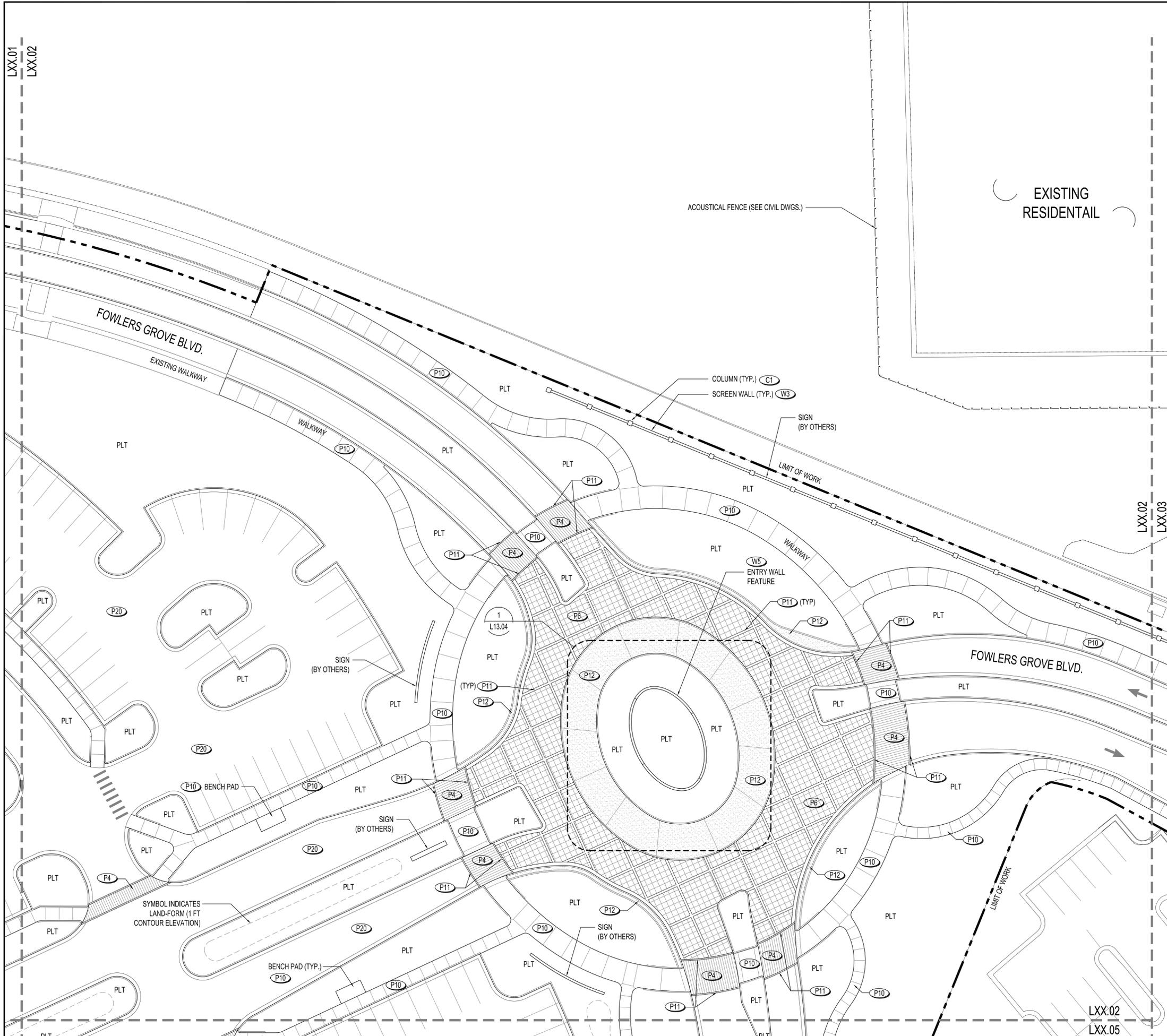
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Approved By: EML	Project No: 2.13115

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Sheet Number:
L11.01

LXX.01
LXX.04

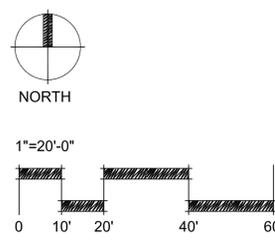
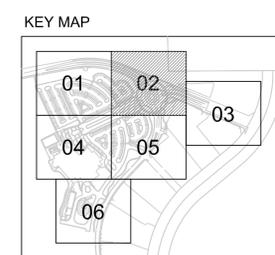


HARDSCAPE LEGEND

- PAVING - SEE FINISH SCHEDULE L10.11**
- P1 EXPOSED AGGREGATE INTEGRAL COLORED CONCRETE PAVING
 - P2 PRECAST CONCRETE UNIT PAVERS
 - P3 VEHICULAR RATED PRECAST CONCRETE UNIT PAVERS
 - P4 VEHICULAR RATED STAMPED INTEGRAL COLOR CONCRETE PAVING
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 - W4 SCREEN WALL @ AMBULANCE ENTRY
 - W5 ENTRY SIGNAGE WALL FEATURE
 - C1 COLUMN ASSOCIATED W/ SCREEN WALL @ ROUNDABOUT

- RAILINGS - SEE FINISH SCHEDULE L10.11**
- R1 SEE ARCHITECTURAL DWGS.

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**FLORIDA HOSPITAL
WINTER GARDEN
PHASE A**

WINTER GARDEN, FLORIDA

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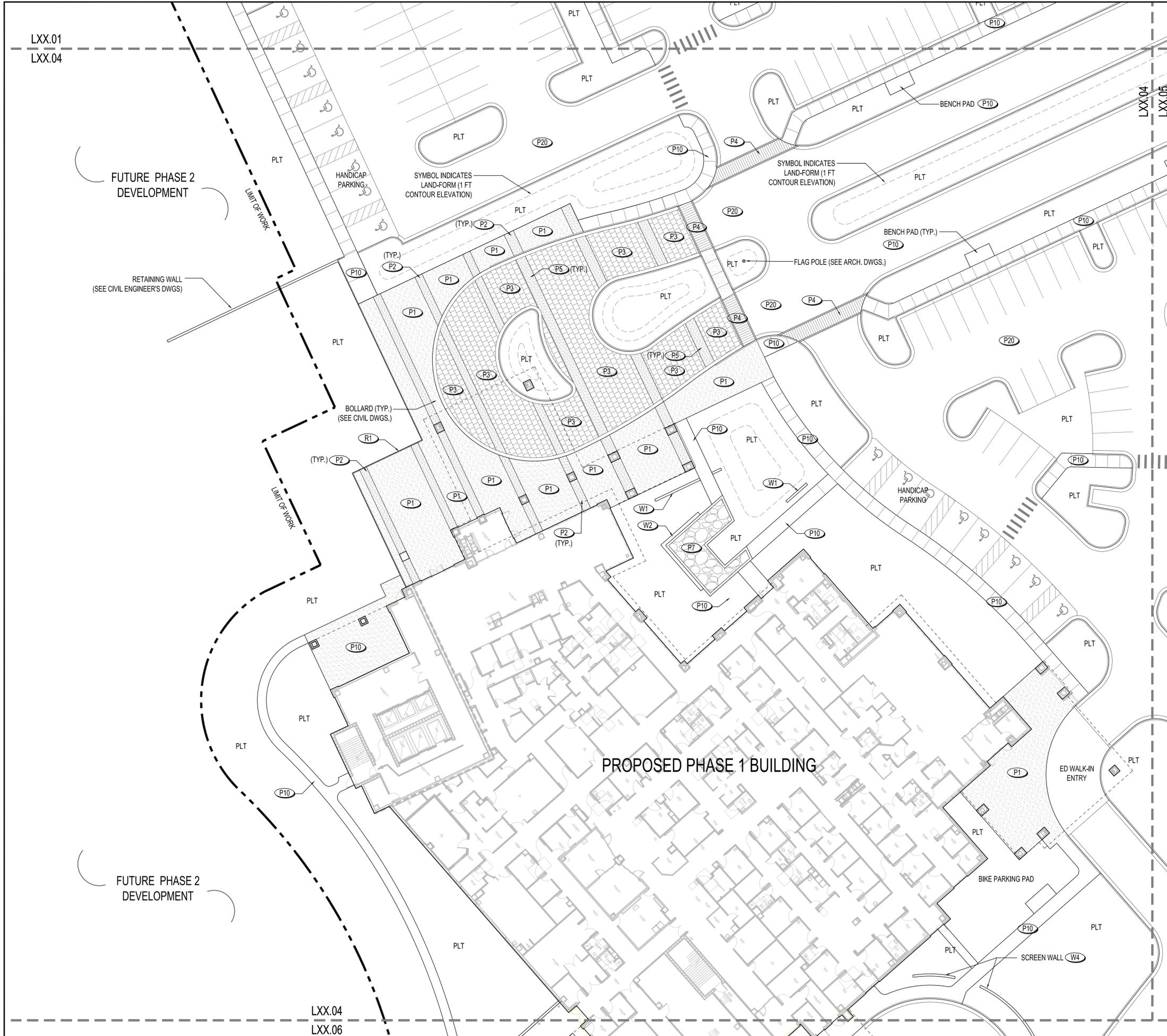
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**HARDSCAPE
PLAN**

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Approved By: EML	Project No: 2.13115

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HARDSCAPE LEGEND

PAVING - SEE FINISH SCHEDULE L10.11

- P1 EXPOSED AGGREGATE INTEGRAL COLORED CONCRETE PAVING
- P2 PRECAST CONCRETE UNIT PAVERS
- P3 VEHICULAR RATED PRECAST CONCRETE UNIT PAVERS
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- P12 VEHICULAR RATED CONCRETE PAVING (SEE CIVIL DWGS.)
- P20 ASPHALT PAVING (SEE CIVIL DWGS.)
- EX EXISTING PAVING

WALLS AND COLUMNS - SEE FINISH SCHEDULE L10.11

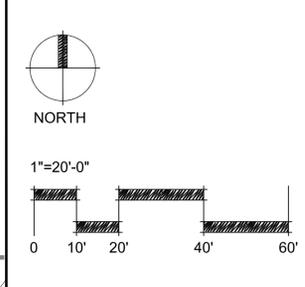
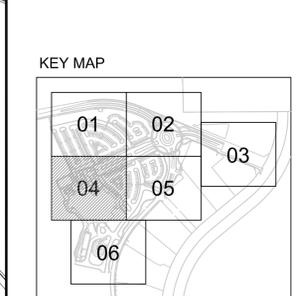
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RAILINGS - SEE FINISH SCHEDULE L10.11

- R1 SEE ARCHITECTURAL DWGS.

NOTE: REFER TO CIVIL ENGINEERING DRWGS FOR ALL PARKING-LOT VEHICULAR PAVING, CURBS AND STRIPING.

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FLORIDA HOSPITAL WINTER GARDEN

PHASE A

WINTER GARDEN, FLORIDA

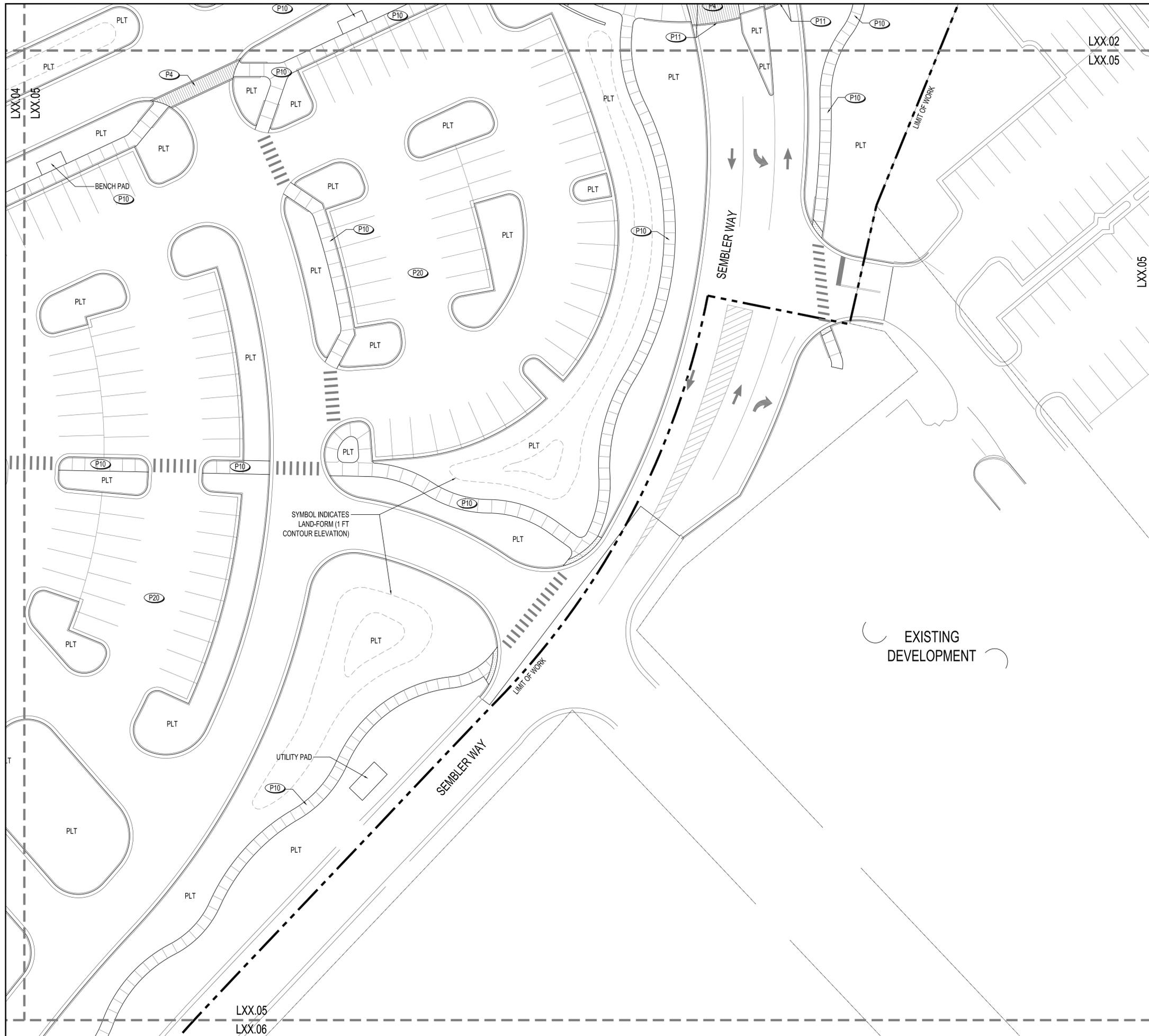
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HARDSCAPE PLAN

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SYMBOL INDICATES
LAND-FORM (1 FT
CONTOUR ELEVATION)

EXISTING
DEVELOPMENT

HARDSCAPE LEGEND

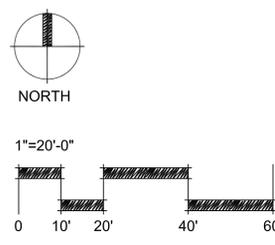
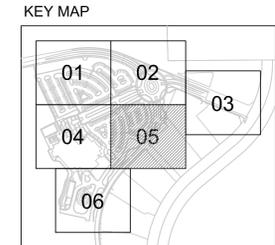
PAVING - SEE FINISH SCHEDULE L10.11

- P1 EXPOSED AGGREGATE INTEGRAL COLORED CONCRETE PAVING
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RAILINGS - SEE FINISH SCHEDULE L10.11

- R1 SEE ARCHITECTURAL DWGS.

NOTE: REFER TO CIVIL ENGINEERING DRWGS FOR ALL PARKING-LOT VEHICULAR PAVING, CURBS AND STRIPING.



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**FLORIDA HOSPITAL
WINTER GARDEN**

PHASE A

WINTER GARDEN, FLORIDA

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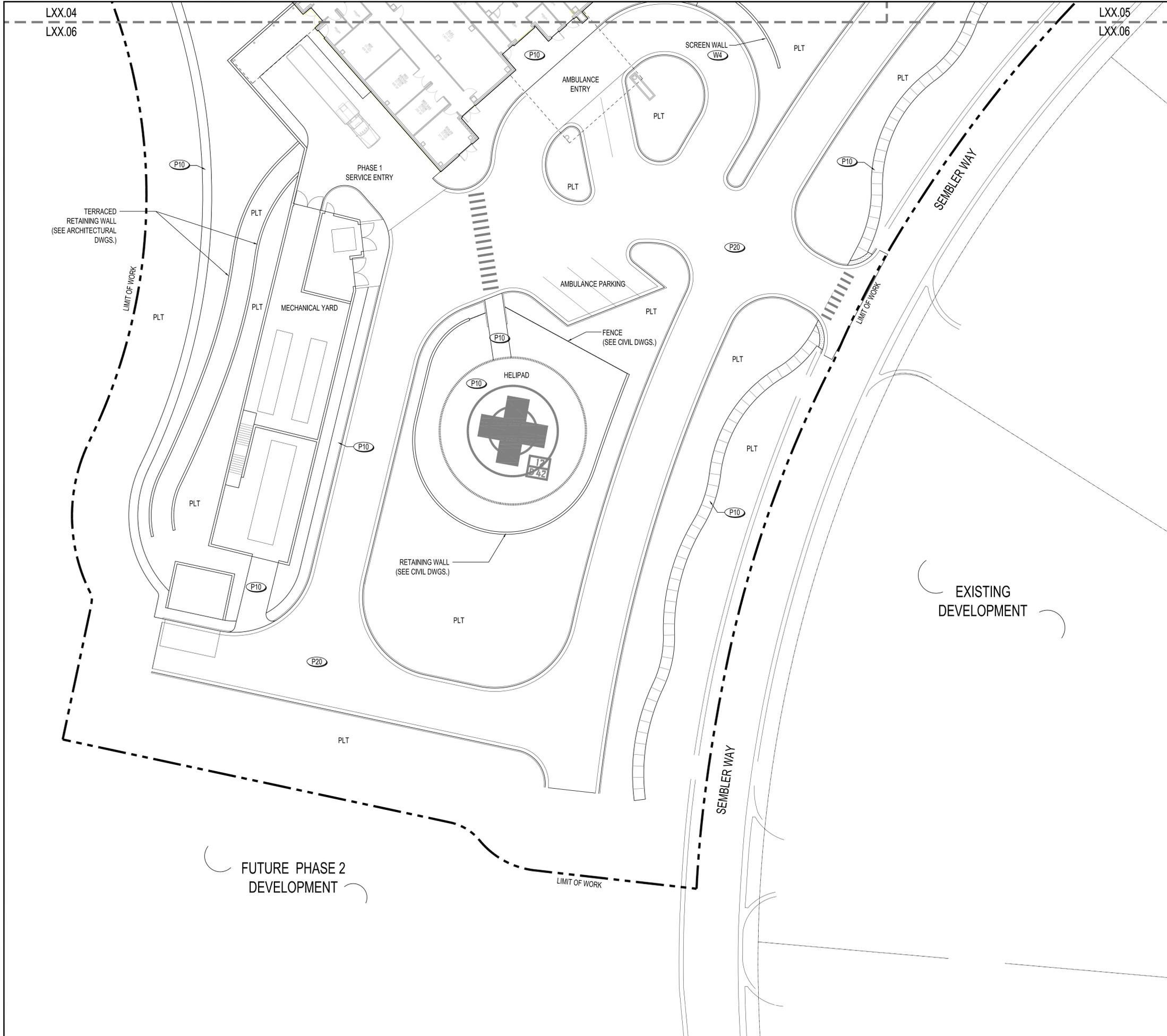
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**HARDSCAPE
PLAN**

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Approved By: EML	Project No: 2.13115

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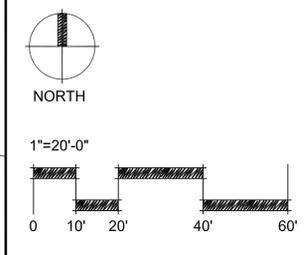
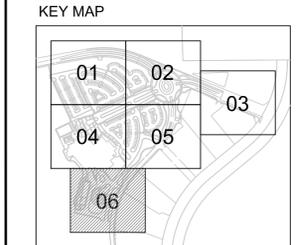
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HARDSCAPE LEGEND

- PAVING - SEE FINISH SCHEDULE L10.11**
- P1 EXPOSED AGGREGATE INTEGRAL COLORED CONCRETE PAVING
 - P2 PRECAST CONCRETE UNIT PAVERS
 - P3 VEHICULAR RATED PRECAST CONCRETE UNIT PAVERS
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- RAILINGS - SEE FINISH SCHEDULE L10.11**
- R1 SEE ARCHITECTURAL DWGS.

NOTE: REFER TO CIVIL ENGINEERING DRWGS FOR ALL PARKING-LOT VEHICULAR PAVING, CURBS AND STRIPING.



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**FLORIDA HOSPITAL
WINTER GARDEN
PHASE A**

WINTER GARDEN, FLORIDA

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Sheet Title:
**HARDSCAPE
PLAN**

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Date: JUNE 20, 2014	Scale: 1"=20'-0"
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Approved By: EML	Project No: 2.13115

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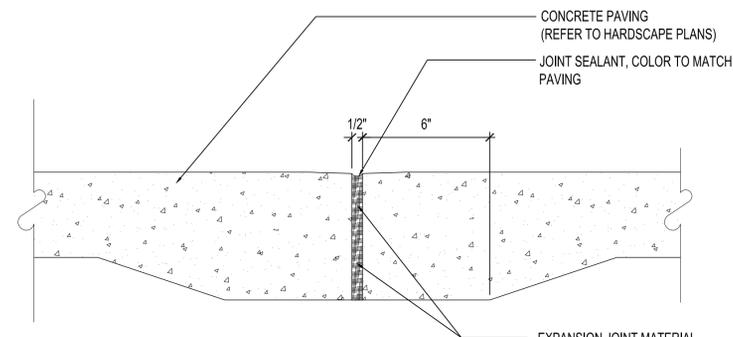
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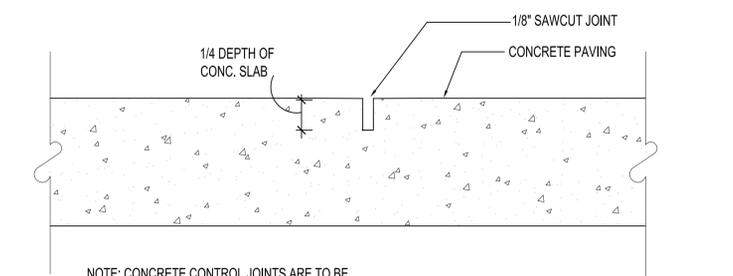
FLORIDA HOSPITAL WINTER GARDEN

PHASE A

WINTER GARDEN, FLORIDA

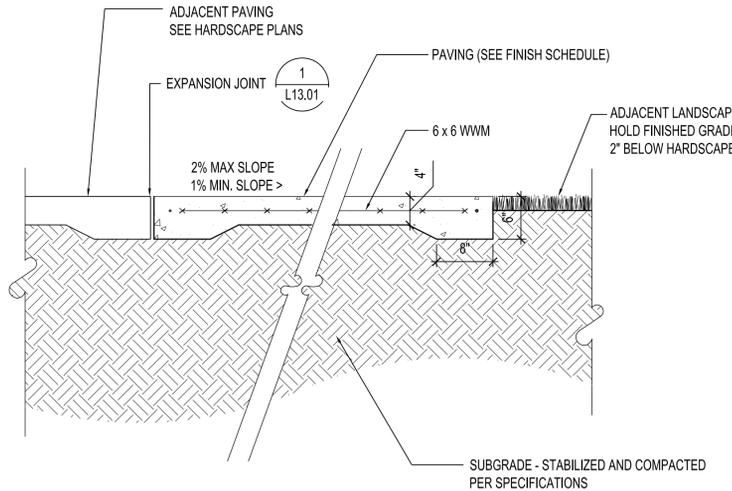


1 EXPANSION JOINT (EJ) (TYP.)
SECTION SCALE: 3" = 1'-0"

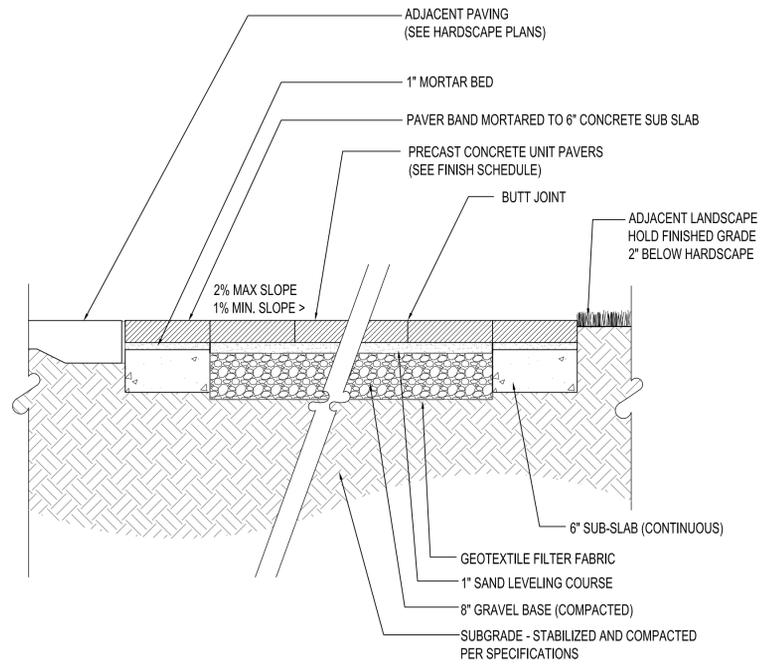


NOTE: CONCRETE CONTROL JOINTS ARE TO BE INSTALLED TO A DEPTH 1/4 OF TOTAL SLAB DEPTH.

2 CONTROL JOINT (CJ) (TYP.)
SECTION SCALE: 3" = 1'-0"

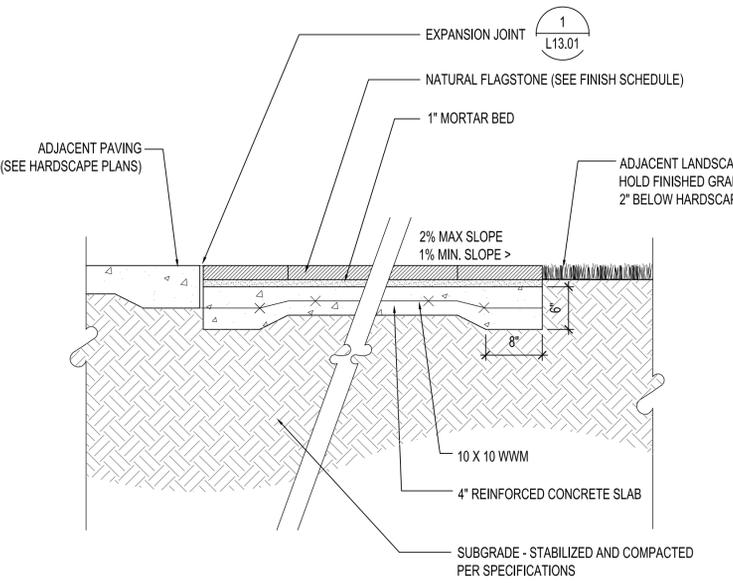


3 P1 - PEDESTRIAN RATED CONCRETE PAVING
SECTION SCALE: 1" = 1'-0"

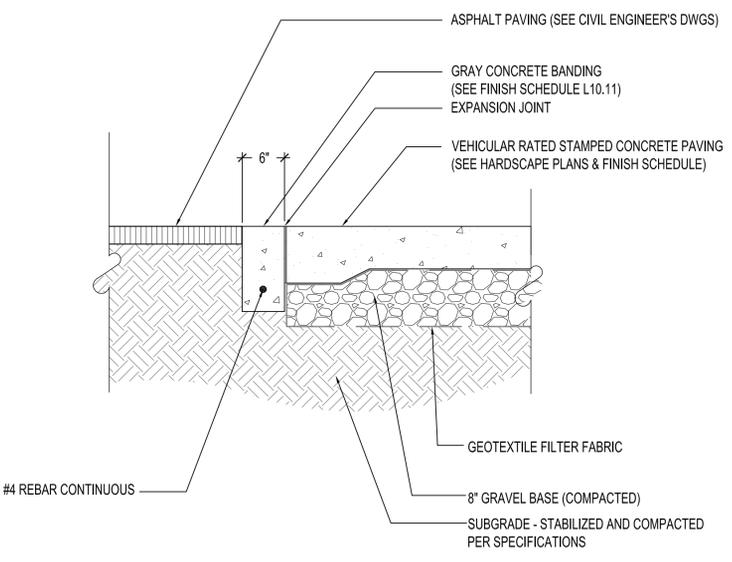


NOTE: SEE HARDSCAPE PLANS FOR PATTERN DETAILS.

4 P2 + P3 - PRECAST CONCRETE UNIT PAVERS
SECTION SCALE: 1" = 1'-0"



5 P7 - NATURAL STONE OVER CONCRETE SLAB
SECTION SCALE: 1" = 1'-0"



6 P11 - ASPHALT TO VEHICULAR PAVING
SECTION SCALE: 1" = 1'-0"

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**HARDSCAPE
DETAILS**
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Date: JUNE 20, 2014	Scale:
Drawn By: JYP	Designed By: EML, JYP
Approved By: EML	Project No: 2.13115

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WATER FEATURE ENGINEER
CLOWARD H2O
2696 N. UNIVERSITY AVE, SUITE 290
PROVO, UT 84604
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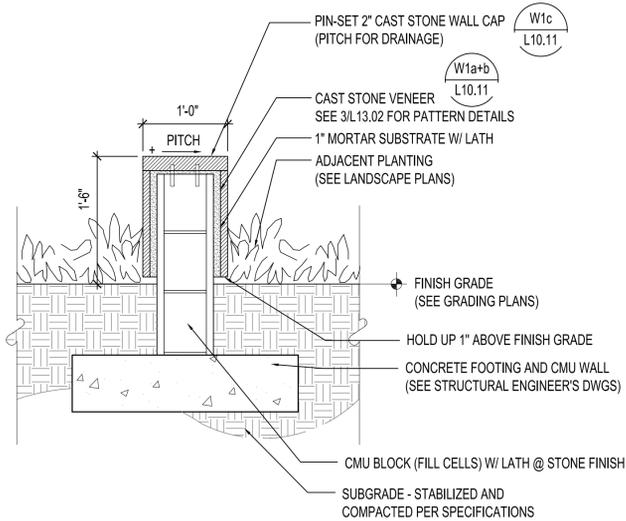
STRUCTURAL ENGINEER
PAUL J. FORD AND COMPANY
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ORLANDO, FL 32803
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600 EDWARDS STREET, SUITE 7102
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**FLORIDA HOSPITAL
WINTER GARDEN**

PHASE A

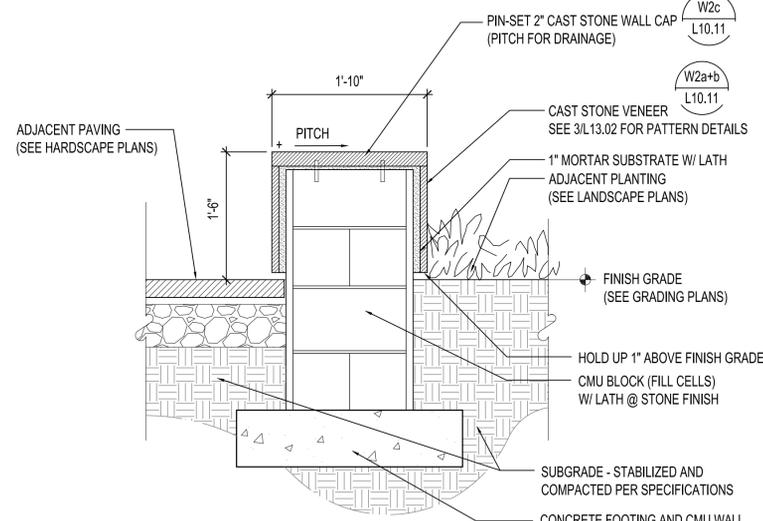
WINTER GARDEN, FLORIDA



NOTES:
SEE STRUCTURAL FOR CONCRETE MASONRY, FOOTING
DEPTH, DIMENSIONS, & REINFORCEMENT

SEE GRADING PLANS FOR WALL HEIGHT AND FLAT WORK
ELEVATIONS.

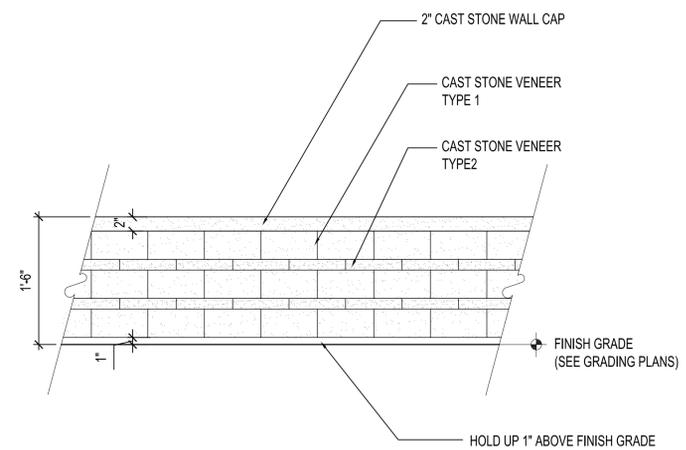
1 W1 - GARDEN WALL @ COURTYARD GARDEN
SECTION SCALE: 1" = 1'-0"



NOTES:
SEE STRUCTURAL FOR CONCRETE MASONRY, FOOTING
DEPTH, DIMENSIONS, & REINFORCEMENT

SEE GRADING PLANS FOR WALL HEIGHT AND FLAT WORK
ELEVATIONS.

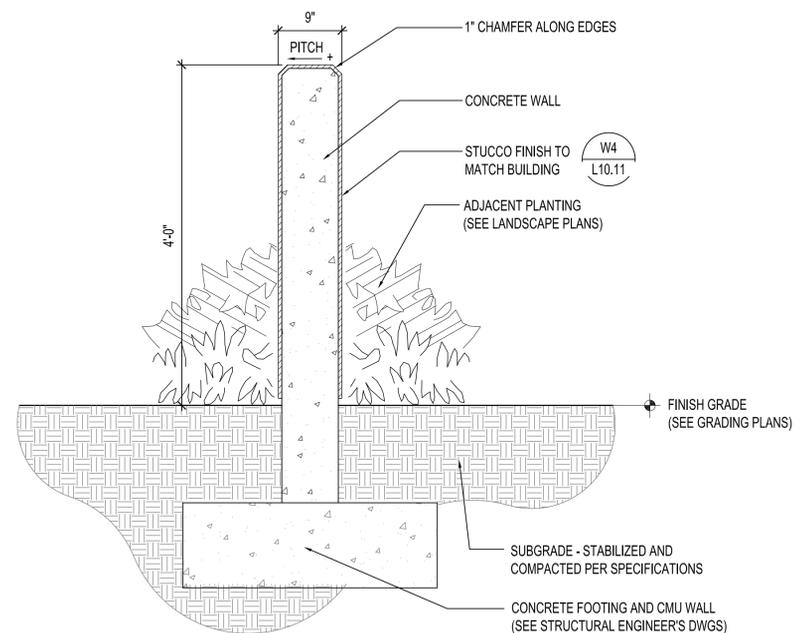
2 W2 - SEAT WALL @ COURTYARD GARDEN
SECTION SCALE: 1" = 1'-0"



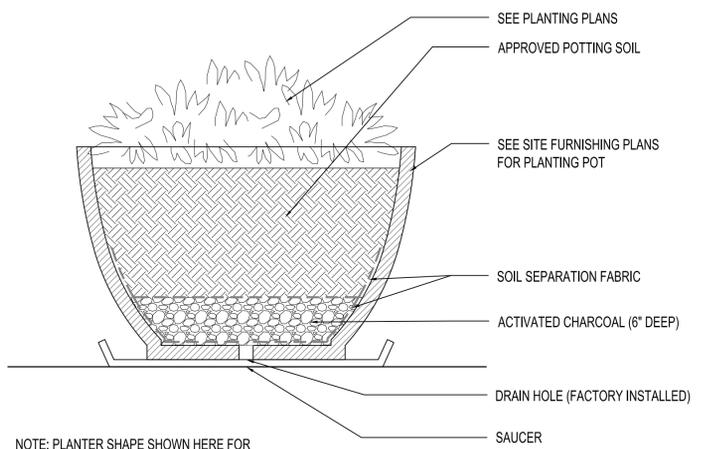
3 TYPICAL WALL PATTERN DETAIL
ELEVATION SCALE: 1" = 1'-0"

NOTES:
SEE STRUCTURAL FOR CONCRETE MASONRY, FOOTING
DEPTH, DIMENSIONS, & REINFORCEMENT

SEE GRADING PLANS FOR WALL HEIGHT AND FLAT WORK
ELEVATIONS.



4 W4 - SCREEN WALL @ AMBULANCE ENTRY
SECTION SCALE: 1" = 1'-0"



5 TYPICAL PLANTING POT
SECTION SCALE: 1" = 1'-0"

NOTE: PLANTER SHAPE SHOWN HERE FOR
REFERENCE ONLY.

Rev:	Date:	Description:
1		
2		
3		

Sheet Title:
**HARDSCAPE
DETAILS**

NOT FOR CONSTRUCTION

Date: JUNE 20, 2014	Scale:
Drawn By: JYP	Designed By: EML, JYP
Approved By: EML	Project No: 2.13115

Seal:

Sheet Number:
L13.02

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FLORIDA HOSPITAL WINTER GARDEN PHASE A

WINTER GARDEN, FLORIDA

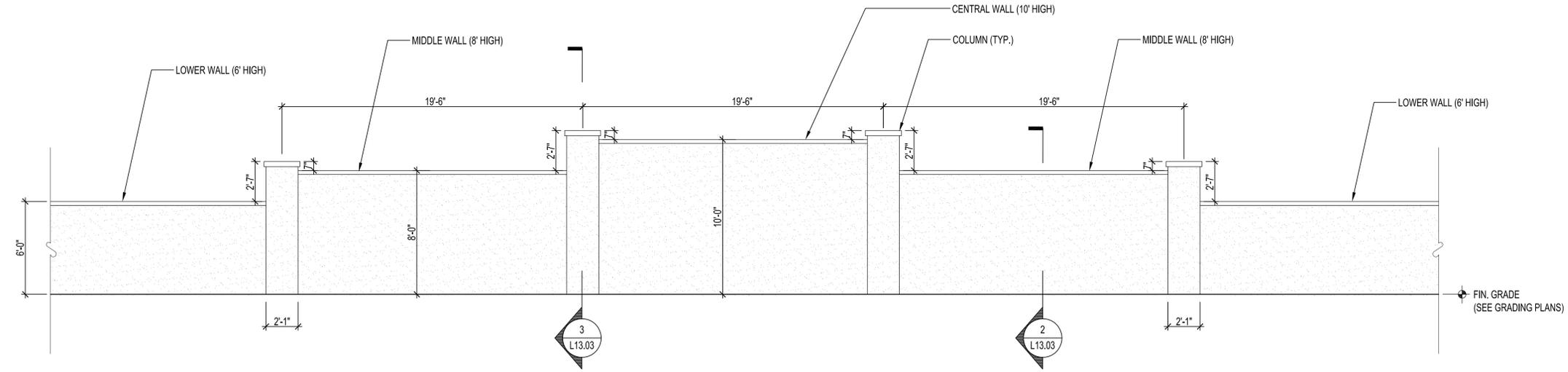
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Sheet Title:
**HARDSCAPE
DETAILS**
NOT FOR CONSTRUCTION

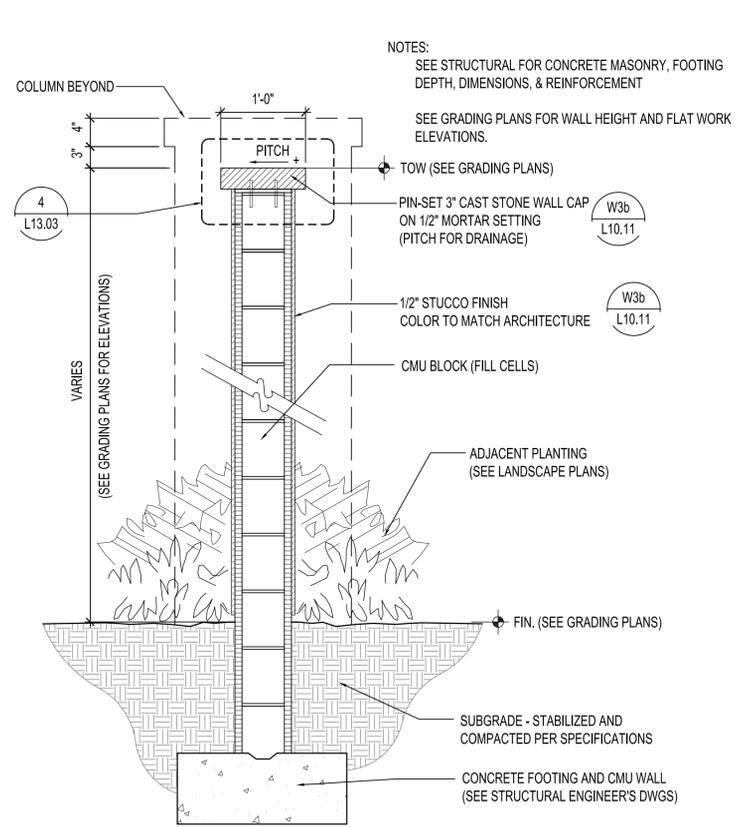
Date: JUNE 20, 2014	Scale:
Drawn By: JYP	Designed By: EML, JYP
Approved By: EML	Project No: 2.13115

Seal: 

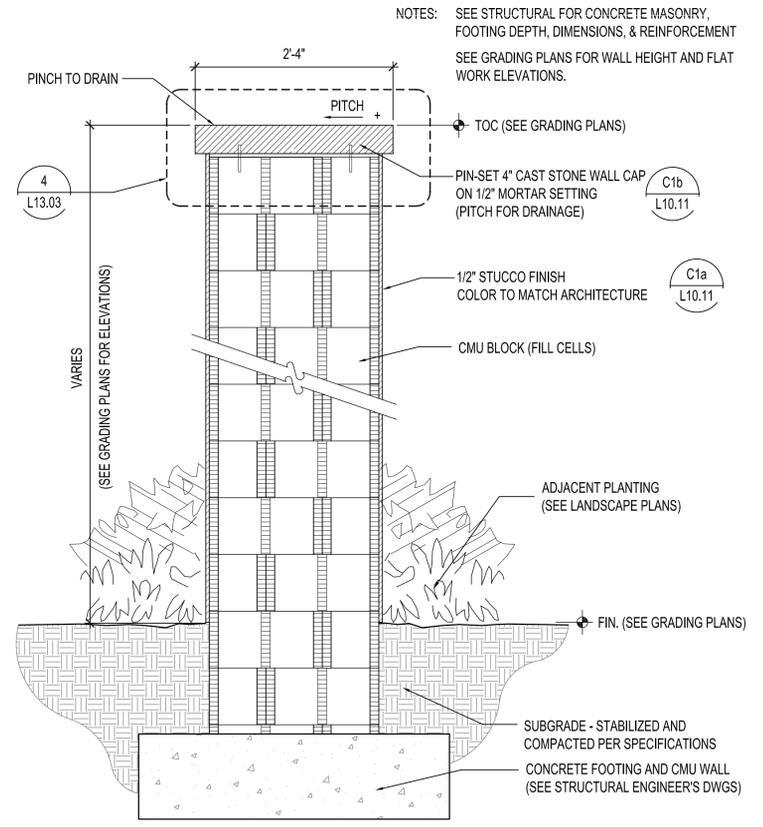
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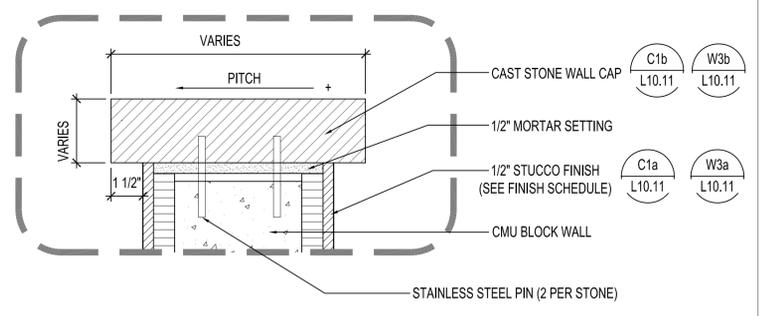
1 W3 - SCREEN WALL @ ROUNDABOUT
ELEVATION SCALE: 1/4"=1'-0"



2 W3 - SCREEN WALL @ ROUNDABOUT
SECTION SCALE: 1" = 1'-0"



3 C1 - COLUMN AT SCREEN WALL
SECTION SCALE: 1" = 1'-0"



4 TYPICAL PRECAST WALL / COLUMN CAP ENLARGEMENT
SECTION SCALE: 3"=1'-0"

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FLORIDA HOSPITAL WINTER GARDEN

PHASE A

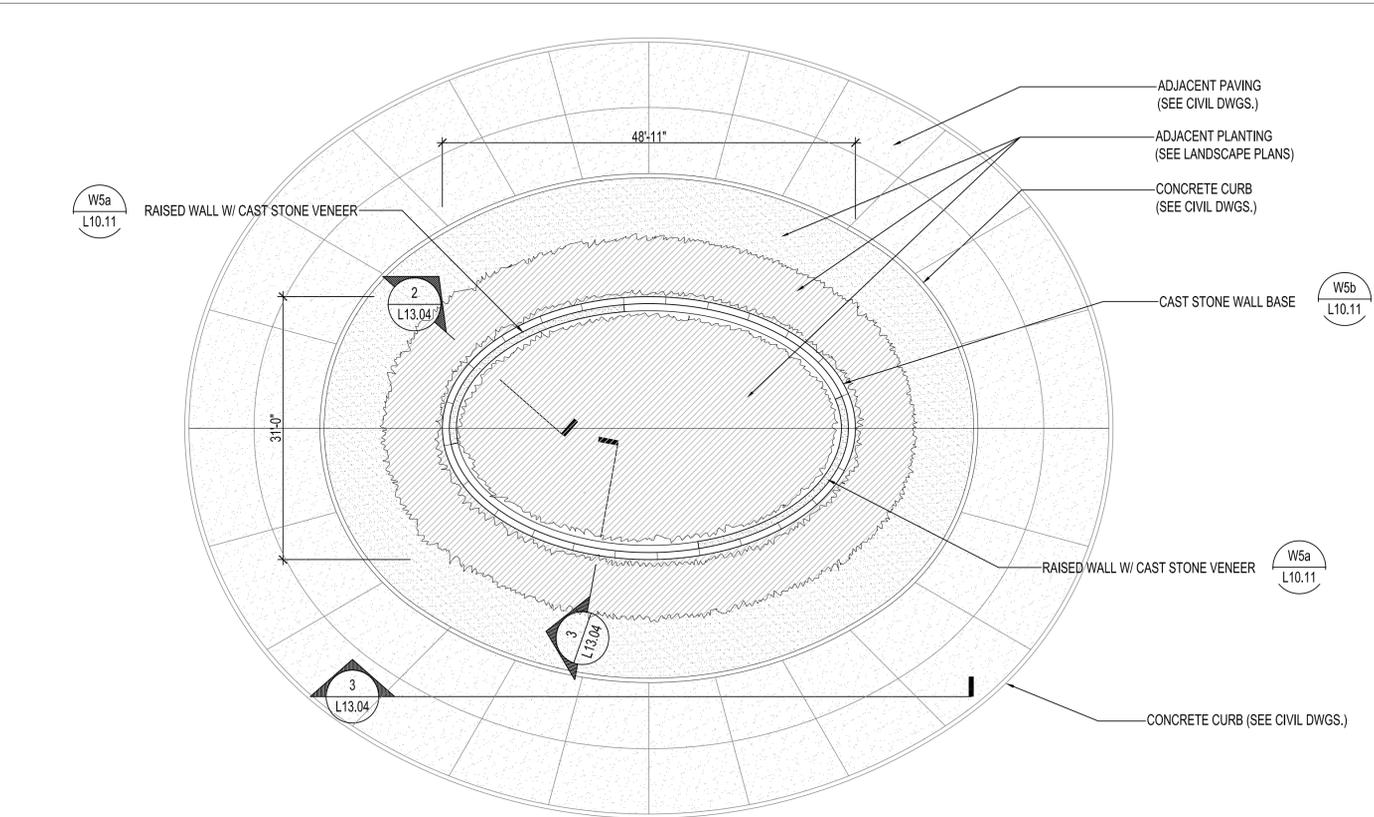
WINTER GARDEN, FLORIDA

Rev:	Date:	Description:
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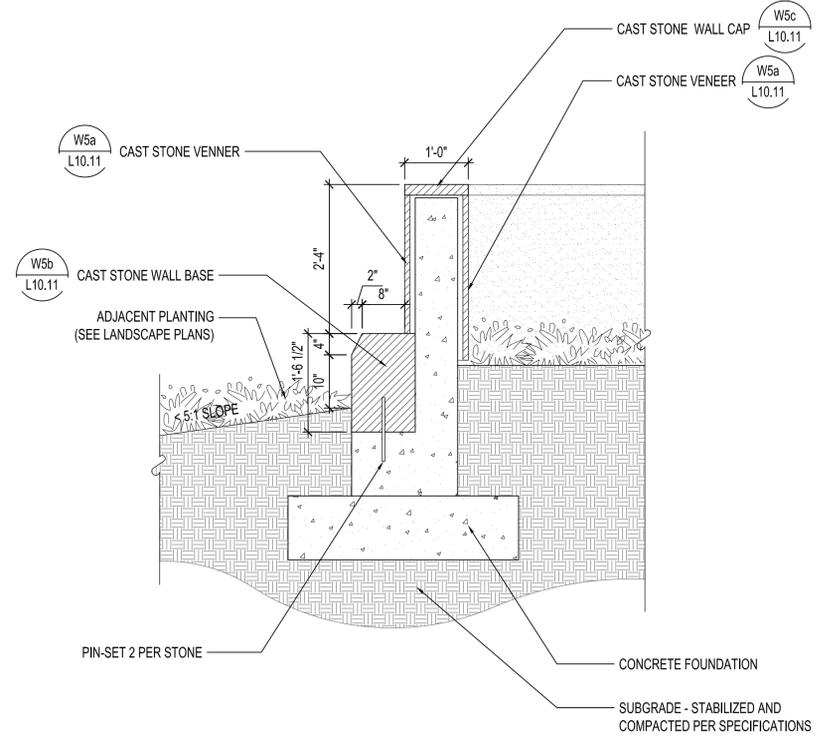
Sheet Title:
**HARDSCAPE
DETAILS**
NOT FOR CONSTRUCTION

Date: JUNE 20, 2014	Scale:
Drawn By: JYP	Designed By: EML, JYP
Approved By: EML	Project No: 2.13115

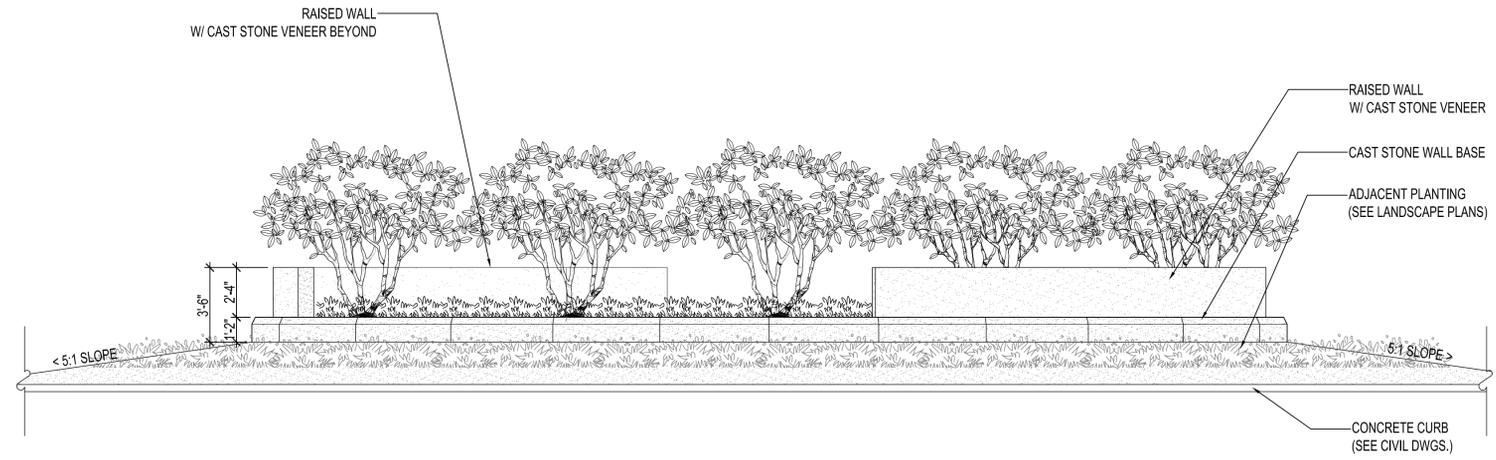
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L13.04



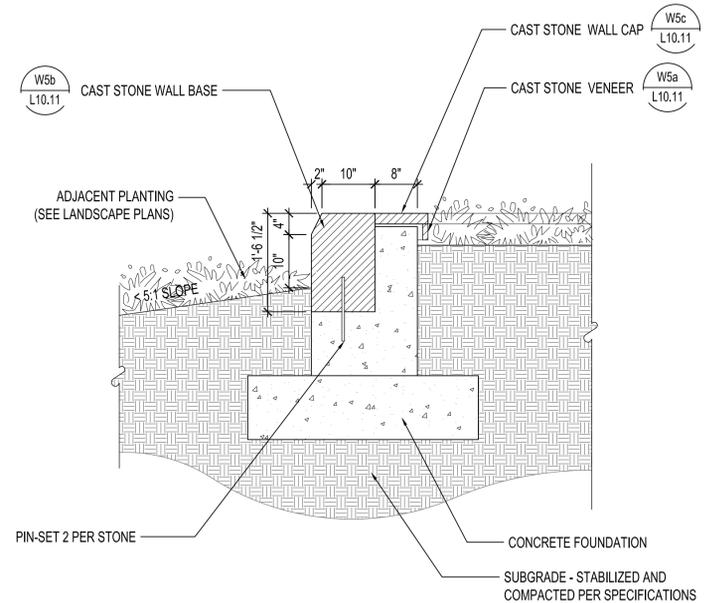
1 ENTRY WALL FEATURE
PLAN SCALE: 1" = 10'-0"



2 ENTRY WALL FEATURE
SECTION SCALE: 3/4" = 1'-0"



3 ENTRY WALL FEATURE
ELEVATION SCALE: 1/4" = 1'-0"



4 ENTRY WALL FEATURE
SECTION SCALE: 3/4" = 1'-0"

LANDSCAPE NOTES

- The Contractor shall field verify all existing conditions and base information prior to initiating planting installation.
- Contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities, irrigation and all other obstructions and coordinate with Owner's Representative prior to initiating operations. Drawings are prepared according to the best information available at the time of preparing these documents.
- Contractor shall familiarize himself/herself with existing site conditions prior to initiating planting. All existing site furnishings, paving, landscape and other elements to remain shall be protected from any damage unless otherwise noted.
- Unless otherwise noted, the limits of construction are the limits of work noted on the drawings.
- Report any discrepancies between the construction drawings and field conditions to the Owner's Representative immediately.
- Landscape contractor shall coordinate all work with related contractors and with the general construction of the project in order not to impede the progress of the work of others or the Contractor's own work.
- Contractor shall be responsible for removing existing groundcover for all planting beds as specified prior to planting installation.
- The contractor shall bear all costs of testing of soils, amendments, etc. associated with the work and included in the specifications. Prior to commencement of the landscape planting work the Contractor shall provide complete soil tests for at least two on-site areas
- All plant material shall be in full and strict accordance with the "Florida Grades and Standards" and the project manual and specifications. Plant materials shall exceed in some instances some specifications if necessary to meet the minimum requirements of others.
- All trees shall have six feet (6') clear trunk unless otherwise specified.
- All container sizes noted on plant list are minimum. Increase size if necessary to conform to plant size and specifications.
- All tree caliper sizes noted on plant list are minimum. Increase size if necessary to conform to plant size and specifications.
- Any tree with a trunk formed "V" shape crotch will be rejected.
- Erosion control fabric shall be installed in all shrub and groundcover planting areas as per specifications for all slopes that exceed 3:1. See grading plans for location of slopes greater than 3:1.
- Typically, shrub and groundcover plantings are shown as mass planting beds. Plants shall be placed on a triangular spacing configuration (staggered spacing). Plant center to center dimensions (O.C.) are listed under "Comments" on the plant list.
- Landscape Contractor shall field stake the location of all plant material prior to initiating installation for the review and approval of the Owner's Representative and/or Landscape Architect.
- Landscape Contractor shall field adjust location of plant material as necessary to avoid damage to all existing underground utilities and/or existing above ground elements. All changes required shall be completed at the Contractor's expense and shall be coordinated with the Owner's Representative and the Landscape Architect.
- Contractor shall mulch all new plant material throughout and completely to the depth specified.
- Any substitutions in size and/or plant material must be approved by the Landscape Architect. All plants will be subject to approval by Landscape Architect and/or Owner's Representative before planting can begin.
- Contractor shall refer to the landscape planting details, plant list, general notes and the project manual and specifications for further and complete landscape planting instructions.
- Landscape Contractor shall coordinate all planting work with irrigation work. Landscape Contractor shall be responsible for all hand watering as required by Owner's Representative to supplement irrigation watering and rainfall. Landscape Contractor shall be responsible for hand watering in all planting areas, regardless of the status of existing or proposed irrigation.
- Landscape Contractor shall clean the work areas at the end of each working day. Rubbish and debris shall be collected and deposited off-site daily. All materials, products and equipment shall be stored in an organized fashion as directed by the Owner's Representative.
- Landscape Contractor shall regrade all areas disturbed by plant removal, relocation and/or installation work. Landscape Contractor shall replace (by equal size and quality) any and all existing plant material disturbed, damaged, or dead by plant removal, relocation, and/or installation work.
- Landscape Contractor shall test each plant pit to assure percolation and if found not to percolate or shows evidence of slow percolation, shall provide at his/her sole cost an approved method to drain plant pit or bed.
- The contractor shall install a root barrier on all shade trees planted within 7' of a water or sewer line per county regulations.
- Contractor to provide allowance for removal of existing plants, new soil and installation of premium plant beds and tie into existing irrigation system.
- Contractor to provide the following plants for on-site, art directed use to supplement planting material that is installed per the planting plan:

KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
BSR	Bougainvillea spectabilis	Red Bougainvillea	30" O.A.	AS SHOWN	3 Gal. Cont. / Full / 5-7 stems
FP	Ficus pumila	Creeping Fig	12" runners	12" O.C.	1 Gal. Cont. / Full / 3 runners min.
TJ	Trachelospermum jasminoides	Confederate Jasmine	18" runners	30" O.C.	3 Gal. Cont. / Full / 5 runners min.

KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
ANN	Annuals In Season	To be selected by Owner	6"-8" O.A.	8" O.C.	4" Pot / Full / Blooming
MP	Mixed perennials	(Hardy Perennials in season)	Varies	8" O.C.	4" Pot / Mixed Perennials In Season / Full / Blooming

KEY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
PNA	Paspalum notatum 'Argentine'	Argentine Bahia Sod	Sold sod from pallets	See specification/ Quality in square feet
SSF	Stenotaphrum secundatum 'Floratum'	Floratum St. Augustine Grass	Sold sod from pallets	See specification/ Quality in square feet
ZOY	Zoysia 'Emerald'	Zoysia Turfgrass var. 'Emerald'	Sold sod from pallets	See specification/ Quality in square feet

PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	CONT	CAL.	SIZE	SPACING	REMARKS
CI	Cupressus sempervirens	Italian Cypress	30 Gal. Cont.	3"	10' Hgt.	AS SHOWN	Single / straight trunk / Full / Florida fancy
ED	Elaeocarpus decipiens TM	Japanese Blueberry Tree	30 Gal. Cont.	4"	8' Hgt. x 4' Spd.	AS SHOWN	Single / straight trunk / Full to ground / Full
FS-1	Feljoa sellowiana	Pineapple	30 Gal. Cont.	3"	6' OA	AS SHOWN	Florida Fancy / Tree form
IC	Ilex cassine	Dahoon Holly	45 Gal. Cont.	4"	14' Hgt. x 6' Spd.	AS SHOWN	Single trunk / Full to ground
INS	Ilex x 'Nellee R Stevens'	Nellee Stevens Holly	15 Gal. Cont.	2"	8' Hgt. x 4' Spd.	AS SHOWN	Single trunk / Full to ground
JS	Juniperus silicola	Southern Red Cedar	30 Gal. Cont.	3"	10' Hgt. x 6' Spd.	AS SHOWN	Single trunk / Full to ground
LIM	Lagerstroemia indica 'Muskogee'	Muskogee Crape Myrtle (Standard)	30 Gal. Cont.	2"	10' Hgt. x 6' Spd.	AS SHOWN	Multi-trunk / Full / 5' C.T. (Lavender)
LIM(S)	Lagerstroemia indica 'Muskogee'	Muskogee Crape Myrtle (Standard)	30 Gal. Cont.	2"	10' Hgt. x 6' Spd.	AS SHOWN	Single / straight trunk / Full / 5' C.T. (Lavender)
LIN	Lagerstroemia indica 'Natchez'	Natchez Crape Myrtle (Standard)	30 Gal. Cont.	2"	10' Hgt. x 6' Spd.	AS SHOWN	Multi-trunk / Full / 5' C.T. (White)
LIN(S)	Lagerstroemia indica 'Natchez'	Natchez Crape Myrtle (Standard)	30 Gal. Cont.	2"	10' Hgt. x 6' Spd.	AS SHOWN	Single / straight trunk / Full / 5' C.T. (White)
LIT	Lagerstroemia indica 'Tuscarora'	Tuscarora Crape Myrtle	30 Gal. Cont.	2"	10' Hgt. x 6' Spd.	AS SHOWN	Multi-trunk / Full / 5' C.T. (Red)
LJ	Ligustrum japonicum	Japanese Privet	65 Gal. Cont.	2"	8' Hgt. x 6' Spd.	AS SHOWN	Multi-trunk / Full / 4' C.T.
MGBB	Magnolia grandiflora 'Brackens Brown Beauty'	Brackens Brown Beauty Magnolia	200 Gal. Cont.	5"	16' Hgt. x 8' Spd.	AS SHOWN	Single / straight trunk / Full Branching to the ground / Florida fancy
MGLG	Magnolia grandiflora 'Little Gem'	Southern Magnolia 'Little Gem'	65 Gal. Cont.	3"	7' Hgt. x 3.5' Spd.	AS SHOWN	Single / straight trunk / Full Branching to the ground / Florida fancy
QV-3	Quercus virginiana	Live Oak	45 Gal. Cont.	3"	14' Hgt. x 6' Spd.	AS SHOWN	Single / Straight trunk / Full / 6' C.T.
QV-4	Quercus virginiana	Live Oak	65 Gal. Cont.	4"	16' Hgt. x 8' Spd.	AS SHOWN	Single / Straight trunk / Full / 6' C.T.
QV-6	Quercus virginiana	Live Oak	200 Gal. Cont.	6"	18' Hgt. x 12' Spd.	AS SHOWN	Single / Straight trunk / Full / 6' C.T.
TU	Tabebuia umbellata	Yellow Trumpet Tree	30 Gal. Cont.	2"	10' Hgt. x 6' Spd.	AS SHOWN	Single / Straight trunk / Full / 5' C.T. / Florida fancy
UCA	Ulmus chinensis Allee	Allee Elm	65 Gal. Cont.	3"	12' Hgt. x 10' Spd.	AS SHOWN	Single / Straight trunk / Full / 6' C.T.

KEY	BOTANICAL NAME	COMMON NAME	CONT	CAL.	SIZE	SPACING	REMARKS
LCX	Livistona chinensis	Chinese Fan Palm	B & B	NA	10' C.T.	AS SHOWN	Single, straight undamaged clean trunk/ Full / FF
PDX	Phoenix dactylifera 'Madjool'	Madjool Date Palm	B & B	NA	16' C.T.	AS SHOWN	Sgl., stralght, hvy., undamaged trunk/ Full, 140deg. hd./45deg. boot cut
SPX	Sabal palmetto	Booted Cabbage Palm	B & B	14"	6'-28' C.T.	AS SHOWN	Clean, Trunks void of chain or burn marks or other damage/ 5 fronds min.

KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
AZ	Alpinia zerumbet 'Variegata'	Variegated Shell Ginger	24" Hgt.	30" O.C.	3 Gal. Cont. / Full / 3 plants per pot
BMW	Buxus microphylla 'Wintergreen'	Wintergreen Boxwood	30" Hgt.	30" O.C.	3 Gal. Cont. / Full / 3 plants per pot
CA	Citrum asaticum	Citrus Lily	24" O.A.	30" O.C.	3 Gal. Cont. / Full / 3 trunk min. clump / 10 leaves min. per trunk with no scars / Florida Fancy
CF	Cordyline frutescens	Ti Plant	48" Hgt	30" O.C.	3 Gal. Cont. / Full / 5 stems minimum/plant as shown
CSJ	Camellia sasanqua 'Jean May'	Jean May Sasanqua Camellia	30" O.A.	36" O.C.	3 Gal. Cont. / Full
FS	Feljoa sellowiana	Pineapple	24" O.A.	36" O.C.	3 Gal. Cont. / Full / Shrub-form
GG	Galphimia glauca	Thryallis	20" O.A.	30" O.C.	3 Gal. Cont. / Full
HR	Hibiscus rosa-sinensis 'Brilliant Red'	Single Red Hibiscus	30" O.A.	36" O.C.	3 Gal. Cont. / Full
IBN	Ilex cornuta 'Burfordii Nana'	Dwarf Burfordii Holly	20" O.A.	36" O.C.	3 Gal. Cont. / Full
DR	Duranta repens	Golden Dewdrop	24" O.A.	30" O.C.	3 Gal. Cont. / Full
IVSD	Ilex vomitoria 'Schellings Dwarf'	Dwarf Yaupon Holly	16" O.A.	24" O.C.	3 Gal. Cont. / Full / Do not trim into a round ball
JCP	Juniperus chinensis 'Pansoni'	Pansoni Juniper	24" O.A.	30" O.C.	3 Gal. Cont. / Full
JY	Jasminum mesnyi	Fritrose Jasmine	20" O.A.	36" O.C.	3 Gal. Cont. / Full
LCR	Loropetalum chinensis 'Rubrum'	Chinese Fringe Brush	18" O.A.	30" O.C.	3 Gal. Cont. / Full
LJJ	Ligustrum japonicum	Japanese Privet	30" O.A.	36" O.C.	3 Gal. Cont. / Full
PS	Philodendron selloum	Split Leaf Philodendron	30" O.A.	48" O.C.	3 Gal. Cont. / Full / 3 plants per pot
PX	Philodendron x 'Xanadu'	Xanadu Cut Leaf Philodendron	18" O.A.	30" O.C.	3 Gal. Cont. / Full
PAB	Plumbago auriculata 'Imperial Blue'	Blue Leadwort	24" O.A.	36" O.C.	3 Gal. Cont. / Full
PAW	Plumbago auriculata 'White'	White Plumbago	24" O.A.	36" O.C.	3 Gal. Cont. / Full
PM	Podocarpus macrophyllus	Yew	4' Hgt. x 2' Spd.	30" O.C.	7 Gal. Cont. / Full / Plant ball to ball
PMD	Podocarpus macrophyllus 'Dwarf Pringles'	Dwarf Pringles Yew Podocarpus	24" O.A.	24" O.C.	3 Gal. Cont. / Full
PTD	Pittosporum tobira 'Wheeler'	Wheeler's Dwarf Pittosporum	24" O.A.	24" O.C.	3 Gal. Cont. / Full
PTV	Pittosporum tobira 'Variegata'	Variegated Pittosporum	24" O.A.	36" O.C.	3 Gal. Cont. / Full
RB	Ruellia brittoniana 'Purple Shower'	Common Ruellia	18" O.A.	36" O.C.	3 Gal. Cont. / Full
REX	Rhapsis excelsa	Lady Palm	36" Hgt. x 30" Spd.	A.S.	7 Gal. Cont. / Full / 5 canes min/ Staggered heights
RIA	Raphiolepis indica 'Alba'	White Indian Hawthorn	12" Hgt. x 16" Spd.	30" O.C.	3 Gal. Cont. / Full
RF	Rhododendron azalea 'Fashion'	Fashion Azalea	18" O.A.	24" O.C.	3 Gal. Cont. / Full (Salmon)
RGG	Rhododendron azalea 'GG Gerbing'	GG Gerbing Azalea	18" O.A.	24" O.C.	3 Gal. Cont. / Full (White)
RLF	Rhododendron 'Lavender Formosa'	Lavender Formosa Azalea	20" O.A.	36" O.C.	3 Gal. Cont. / Full (Lavender)
RPR	Rhododendron azalea 'Pink Ruffle'	Pink Ruffle Azalea	18" O.A.	24" O.C.	3 Gal. Cont. / Full (Pink)
RR	Rose x 'Radtkopink'	Pink Double Knock Out Rose	24" O.A.	30" O.C.	3 Gal. Cont. / Full
RRR	Rhododendron azalea 'Red Ruffle'	Red Ruffle Azalea	18" O.A.	24" O.C.	3 Gal. Cont. / Full (Red)
RSC	Rhododendron 'Southern Charm'	Southern Charm Azalea	20" O.A.	36" O.C.	3 Gal. Cont. / Full (Pink)
SAT	Schefflera arboricola 'Trinetta'	Dwarf Gold Schefflera	6' O.A.	60" O.C.	10 Gal. Cont. / Full/ Heavy/ 3 plants per pot
SR	Strelitzia reginae	Bird of Paradise	18" O.A.	36" O.C.	3 Gal. Cont. / Full / 3 plants per pot
VO	Viburnum odoratissimum	Sweet Viburnum	30" O.A.	30" O.C.	3 Gal. Cont. / Full
VOA	Viburnum odoratissimum 'Awabuki'	Mirror Leaf Viburnum	30" O.A.	30" O.C.	3 Gal. Cont. / Full
VOW	Viburnum obovatum 'Walters'	Walters' Viburnum	24" O.A.	36" O.C.	3 Gal. Cont. / Full
VS	Viburnum suspensum	Sandanka Viburnum	24" O.A.	36" O.C.	3 Gal. Cont. / Full
ZF	Zamia furfuracea	Cardboard Plant	24" O.A.	36" O.C.	3 Gal. Cont. / Full / 9 leaves min.
ZP	Zamia pumila	Coontie	18" O.A.	30" O.C.	3 Gal. Cont. / Full / 11 leaves min.

KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
AG	Agapanthus africanus	Lily of the Nile	12" O.A.	18" O.C.	1 Gal. Cont. / Full / 3 plants per pot
AGD	Agapanthus africanus 'Dwarf'	Peter Pan Agapanthus	6" O.A.	12" O.C.	1 Gal. Cont. / Full / 5 plants per pot
DB	Diets bicolor	Yellow African Iris	14" O.A.	18" O.C.	1 Gal. Cont. / Full / 3 plants per pot
DT	Dianella lasmanica 'Variegata'	Variegated Flax Lily	12" O.A.	18" O.C.	1 Gal. Cont. / Full
DV	Diets vegeta	White African Iris	14" O.A.	18" O.C.	1 Gal. Cont. / Full / 3 plants per pot
EVG	Evolvulus glomeratus	Blue Daze	14" O.A.	18" O.C.	1 Gal. Cont. / Full / 3 plants per pot
GP	Gilardia pulchella	Blanket Flower	12" O.A.	18" O.C.	1 Gal. Cont. / Full / 5 plants per pot
HS-A	Hemerocallis spp. 'Aztec Gold'	Aztec Gold Day Lily	12" O.A.	18" O.C.	1 Gal. Cont. / Full / 5 plants per pot
JCB	Juniperus conferta 'Blue Pacific'	Shore Juniper	6" Hgt x 16" Spd.	30" O.C.	3 Gal. Cont. / Full
LGM	Lantana 'Gold Mound'	Yellow Dwarf Lantana	8" Hgt. x 12" Spd.	18" O.C.	1 Gal. Cont. / Full / 3 trailing runners min.
LM	Lantana montevidensis	Trailing Lantana	8" Hgt. x 12" Spd.	18" O.C.	1 Gal. Cont. / Full / 3 trailing runners min.
LEG	Liriope muscari 'Evergreen Giant'	Evergreen Giant Lily Turf	12" O.A.	20" O.C.	1 Gal. Cont. / Full / 7 plants per pot
LBB	Liriope muscari 'Tidwell's Big blue'	Big Blue Lily Turf	8" O.A.	12" O.C.	1 Gal. Cont. / Full / 10 plants per pot
RBK	Ruellia brittoniana 'Katie'	Mexican Bluebell	6" O.A.	12" O.C.	1 Gal. Cont. / Full
SPL	Setcreasea pallida	Purple Queen	6" Hgt. x 12" spd.	18" O.C.	1 Gal. Cont. / Full / 3 trailing runners min.
TAM	Trachelospermum asiaticum 'Asiatic'	Asiatic Jasmine	12" runners	18" O.C.	1 Gal. Cont. / Full / 5 trailing runners min.
TV	Tulbaghia violacea	Society Garlic	12" O.A.	12" O.C.	1 Gal. Cont. / Full / 5 plants per pot

KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
CS	Cortaderia selloana	Pampas Grass	36" O.A.	48" O.C.	3 Gal. Cont. / Full Clump / Plant as shown
SP	Spartina bakeri	Sand Cord Grass	24" Hgt.	36" O.C.	3 Gal. Cont. / Full
MCP	Muhlenbergia capillaris	Pink Muhly Grass	24" O.A.	30" O.C.	3 Gal. Cont. / Full
PO	Paspalum quadrifarium	Crown Grass	18" Hgt x 18" Spd.	24" O.C.	3 Gal. Cont. / Full
PSC	Pennisetum setaceum 'Cupreum'	Red Fountain Grass	24" O.A.	24" O.C.	Full
PSW	Pennisetum setaceum	White Fountain Grass	24" O.A.	24" O.C.	Full
TD	Tripsacum dactyloides	Fakahatchee Grass	24" O.A.	36" O.C.	3 Gal. Cont. / Full
TOD	Tripsacum floridanum 'dwarf'	Dwarf Fakahatchee Grass	18" Hgt x 18" Spd.	30" O.C.	1 Gal. Cont. / Full / 5 plants per pot

135 WEST CENTRAL BLVD., SUITE 400
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ADVENTIST HEALTH SYSREM/SUNBELT, INC
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IRRIGATION DESIGNER
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600 EDWARDS STREET, SUITE 7102
CELEBRATION, FLORIDA 34747
P: 407.566.9009

**FLORIDA HOSPITAL
WINTER GARDEN
PHASE A**

WINTER GARDEN, FLORIDA

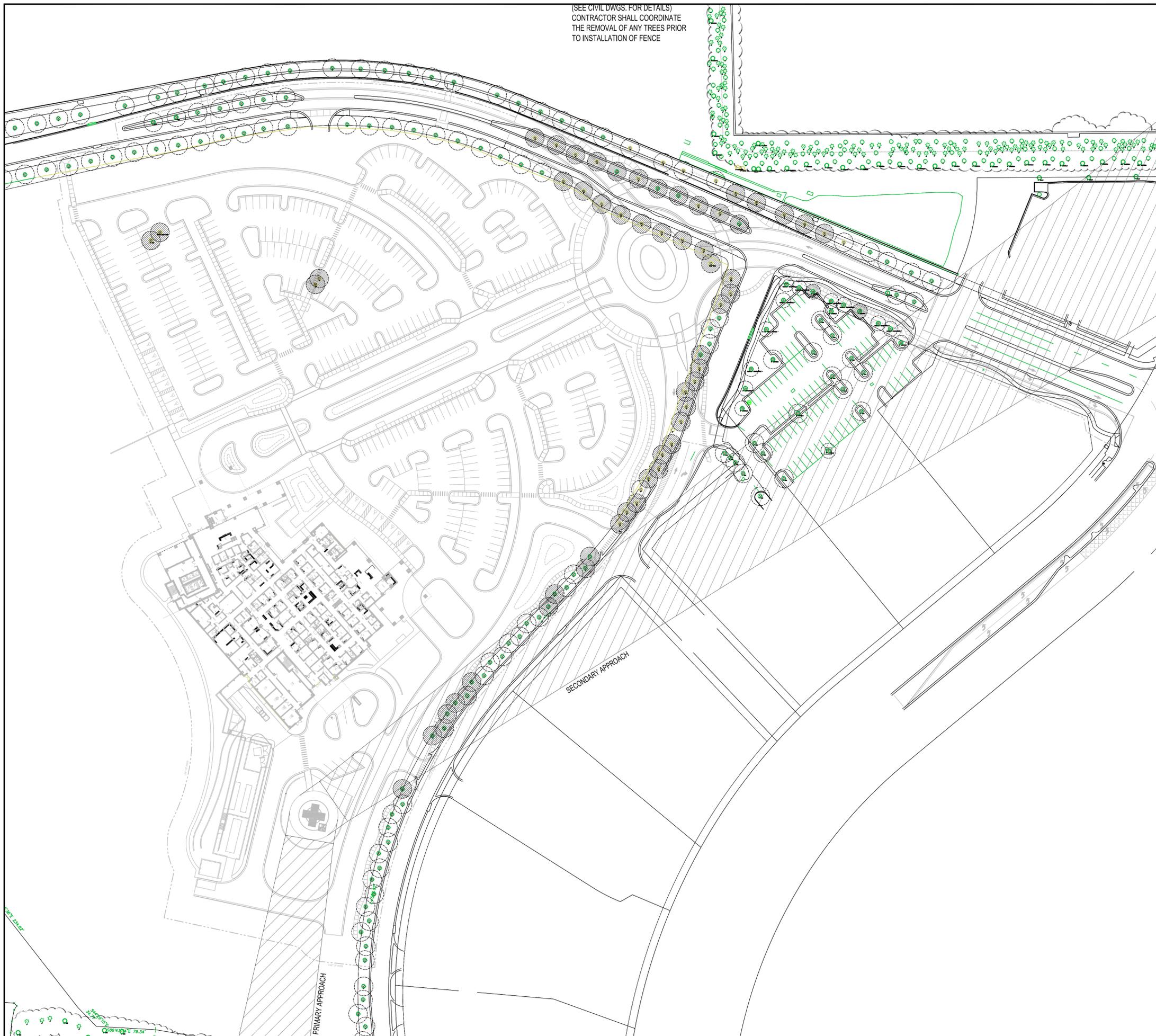
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**LANDSCAPE NOTES
& PLANT SCHEDULE**
NOT FOR CONSTRUCTION

Date: JUNE 20, 2014	Scale:
Drawn By: JYP	Designed By: EML, JYP
Approved By: EML	Project No: 2.03115

Seal:  Sheet Number:
L40.01

(SEE CIVIL DWGS. FOR DETAILS)
 CONTRACTOR SHALL COORDINATE
 THE REMOVAL OF ANY TREES PRIOR
 TO INSTALLATION OF FENCE



PLANT LEGEND

-  EXISTING TREE TO REMAIN
-  EXISTING TREE TO BE REMOVED
-  TRAJECTORY OF HELICOPTER

135 WEST CENTRAL BLVD., SUITE 400
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FLORIDA HOSPITAL WINTER GARDEN PHASE 1

WINTER GARDEN, FLORIDA

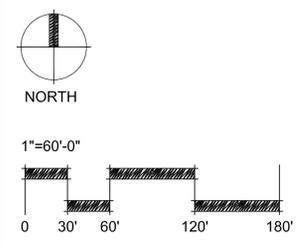
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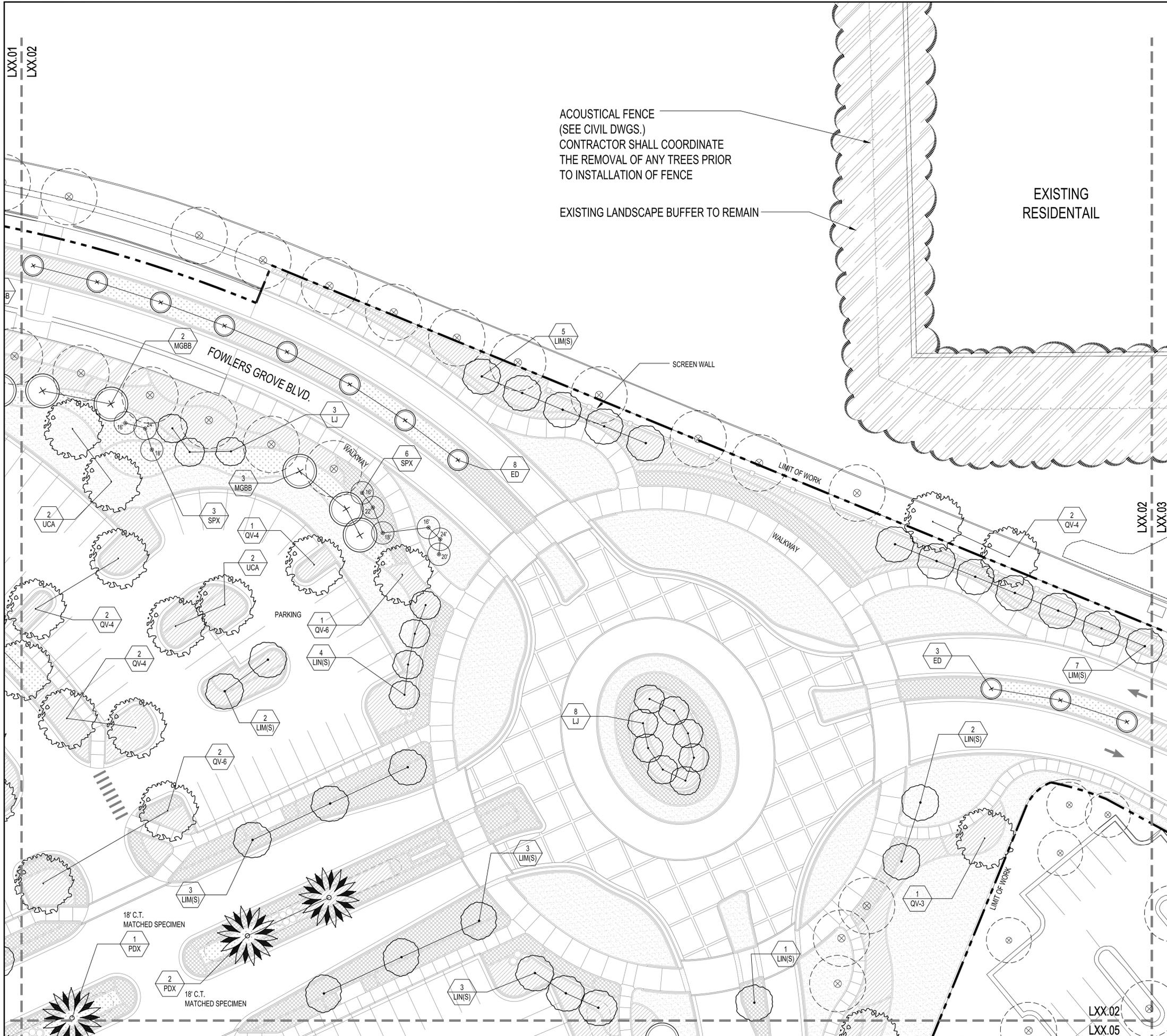
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**TREE DEMO
 PLAN**

NOT FOR CONSTRUCTION

Date: April. 24. 2014	Scale: 1"=60'-0"
Drawn By: JYP	Designed By: EML, JYP
Approved By: EML	Project No: 2.13115

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L40.02





ACOUSTICAL FENCE
(SEE CIVIL DWGS.)
CONTRACTOR SHALL COORDINATE
THE REMOVAL OF ANY TREES PRIOR
TO INSTALLATION OF FENCE

EXISTING LANDSCAPE BUFFER TO REMAIN

EXISTING
RESIDENTIAL

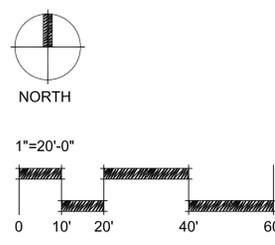
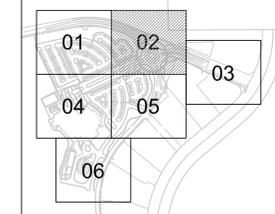
PLANT LEGEND

- ORNAMENTAL TREES**
- SHADE TREE (MIN. 3" CALIPER)
 - FLOWERING / ORNAMENTAL TREE (MIN. 12' HEIGHT)
 - EVERGREEN TREE (MIN. 12' HEIGHT)
 - EXISTING TREE TO REMAIN
- PALM TREES**
- DATE PALM (MEDJOO) (C.T. HEIGHT VARY)
 - PALM TREE (HEIGHT VARY)

SHRUB AND GROUNDCOVER SYMBOLS

- SHRUB
- GROUNDCOVER
- ORNAMENTAL GRASS
- TURF
- EXISTING SHRUB
- TRAJECTORY OF HELICOPTER

KEY MAP



<p>135 WEST CENTRAL BLVD., SUITE 400 ORLANDO, FLORIDA 32801 USA L00000001</p> <p>EDSA PLANNING • LANDSCAPE ARCHITECTURE • URBAN DESIGN • GRAPHIC DESIGN</p>	
<p>OWNER / DEVELOPER ADVENTIST HEALTH SYSTEM/SUNBELT, INC FLORIDA HOSPITAL ACCOUNTING DEPARTMENT 601 E. ROLLINS ST., ORLANDO, FL 32803 P: 407.303.1166</p>	
<p>ARCHITECT ESa 2100 WEST END AVENUE, SUITE 1200 NASHVILLE, TN 37203 P: 615.329.0046</p>	
<p>CIVIL ENGINEER LITTLEJOHN ENGINEERING ASSOCIATES, INC. 1615 EDGEWATER DRIVE, SUITE 180 ORLANDO, FL 32804 P: 407.975.1273 F: 407.975.1279</p>	
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<p>IRRIGATION DESIGNER PREVOST-STAMPER, INC. 600 EDWARDS STREET, SUITE 7102 CELEBRATION, FLORIDA 34747 P: 407.566.9009</p>	

FLORIDA HOSPITAL WINTER GARDEN

PHASE A

WINTER GARDEN, FLORIDA

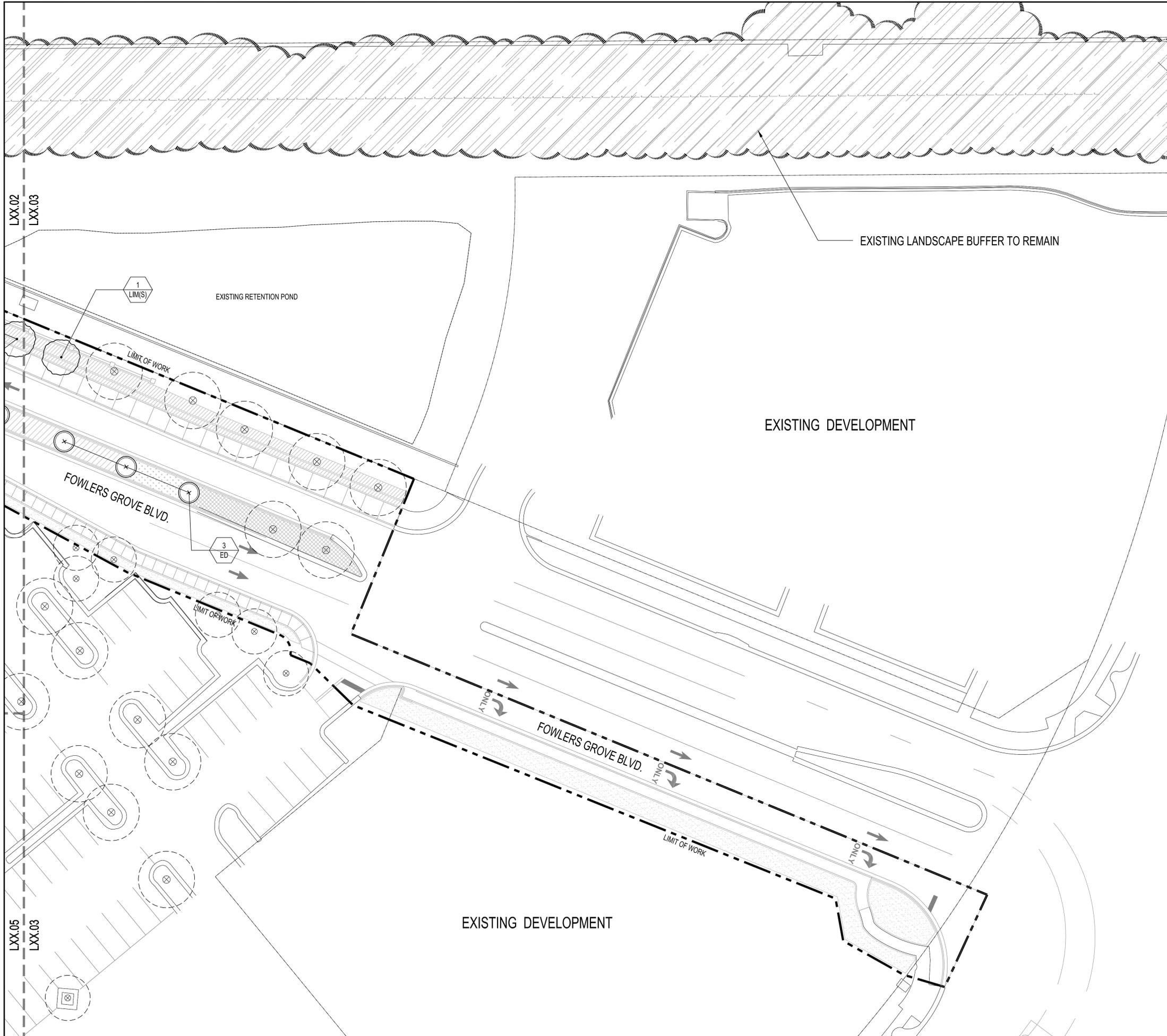
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Date: JUNE 20, 2014	Scale: 1"=20'-0"
Drawn By: JYP	Designed By: EML, JYP
Approved By: EML	Project No: 2.13115

Seal:

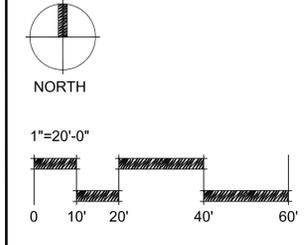
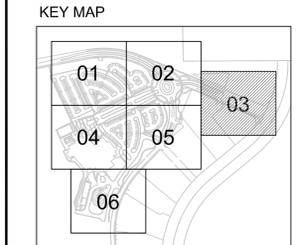
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PLANT LEGEND

- ORNAMENTAL TREES**
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 -  EVERGREEN TREE (MIN. 12' HEIGHT)
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- PALM TREES**
-  DATE PALM (MEDJOL) (C.T. HEIGHT VARY)
 -  PALM TREE (HEIGHT VARY)

- SHRUB AND GROUNDCOVER SYMBOLS**
-  SHRUB
 -  GROUNDCOVER
 -  ORNAMENTAL GRASS
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**FLORIDA HOSPITAL
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PHASE A**

WINTER GARDEN, FLORIDA

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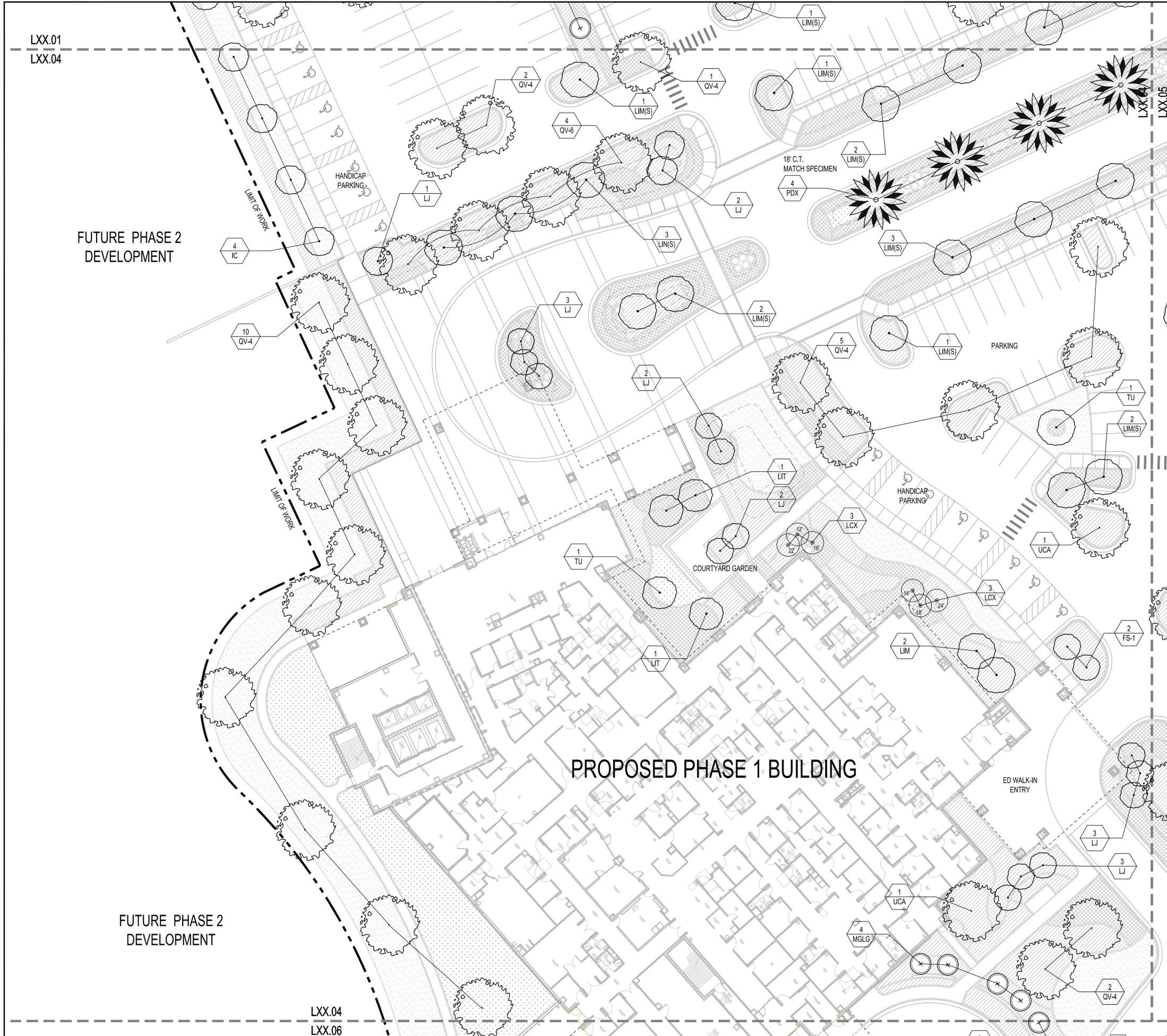
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TREE PLAN

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Date: JUNE 20, 2014	Scale: 1"=20'-0"
Drawn By: JYP	Designed By: EML, JYP
Approved By: EML	Project No: 2.13115

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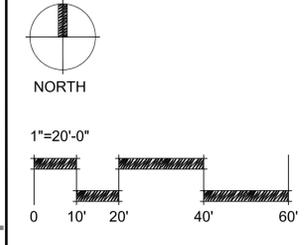
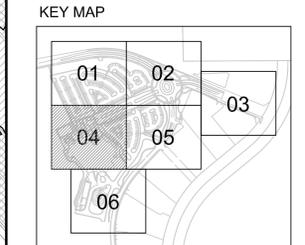
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PLANT LEGEND

- ORNAMENTAL TREES**
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 - PALM TREE (HEIGHT VARY)

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- SHRUB
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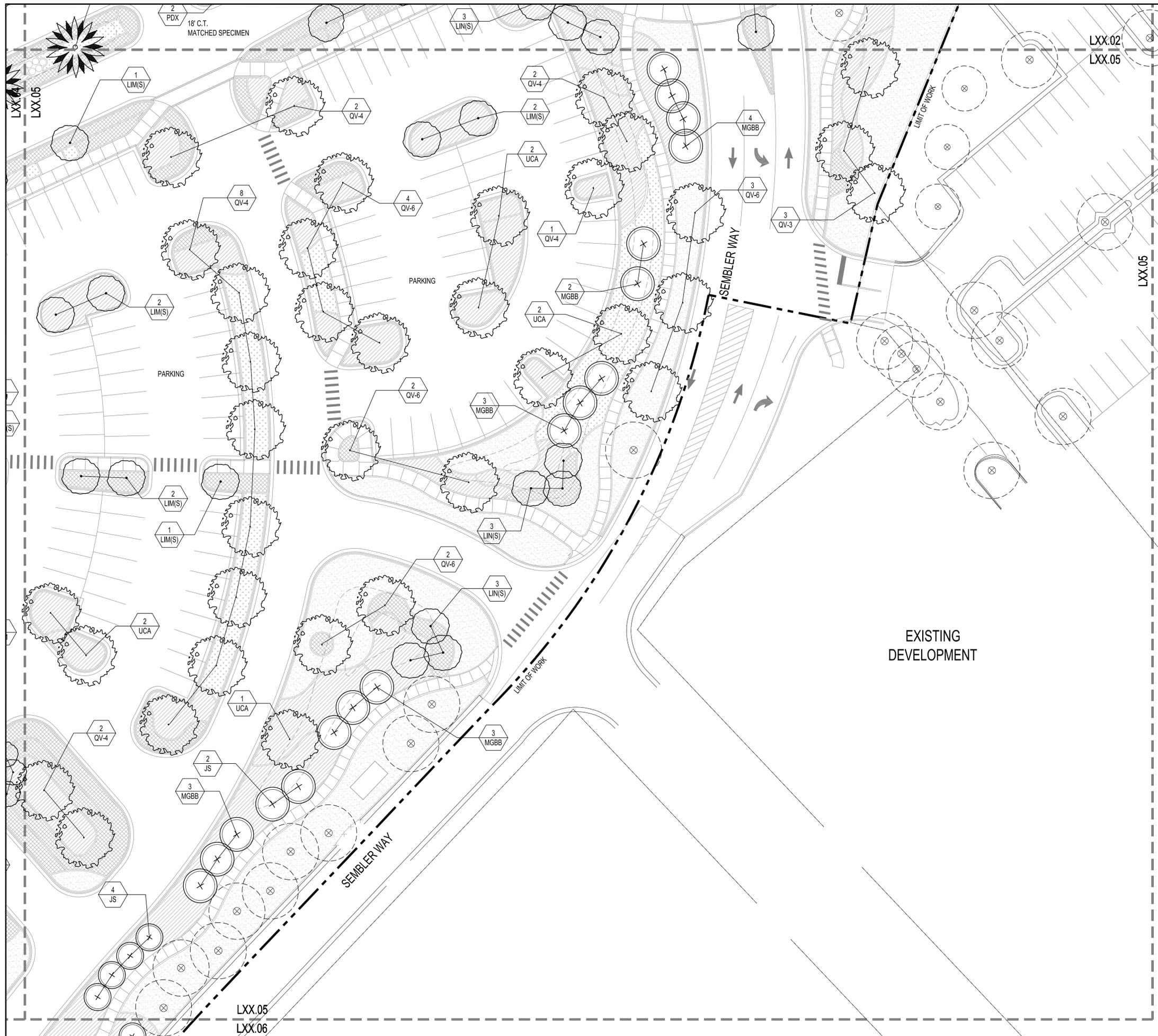
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Approved By: EML	Project No: 2.13115

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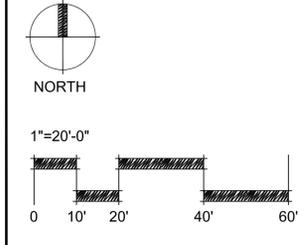
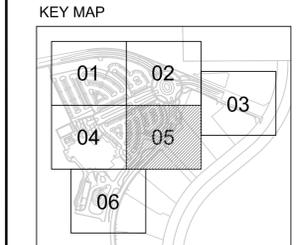
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PLANT LEGEND

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WINTER GARDEN, FLORIDA

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TREE PLAN

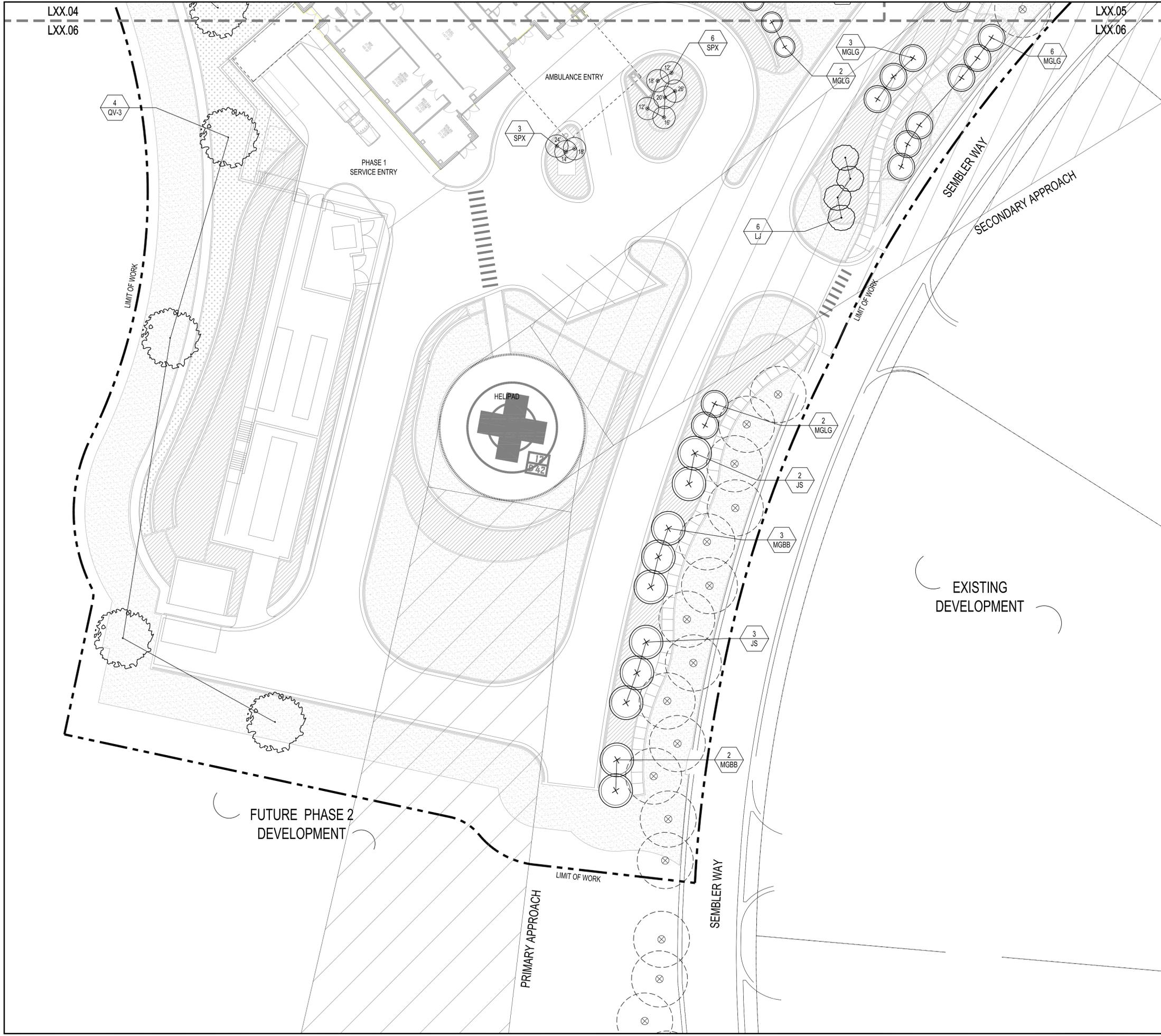
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Drawn By: JYP	Designed By: EML, JYP
Approved By: EML	Project No: 2.13115

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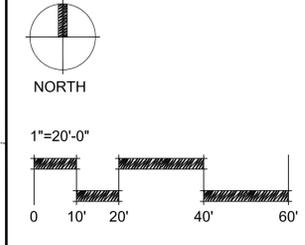
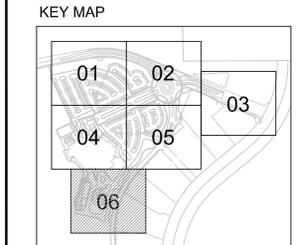
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PLANT LEGEND

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WINTER GARDEN
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TREE PLAN

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Approved By: EML	Project No: 2.13115

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FLORIDA HOSPITAL WINTER GARDEN

PHASE A

WINTER GARDEN, FLORIDA

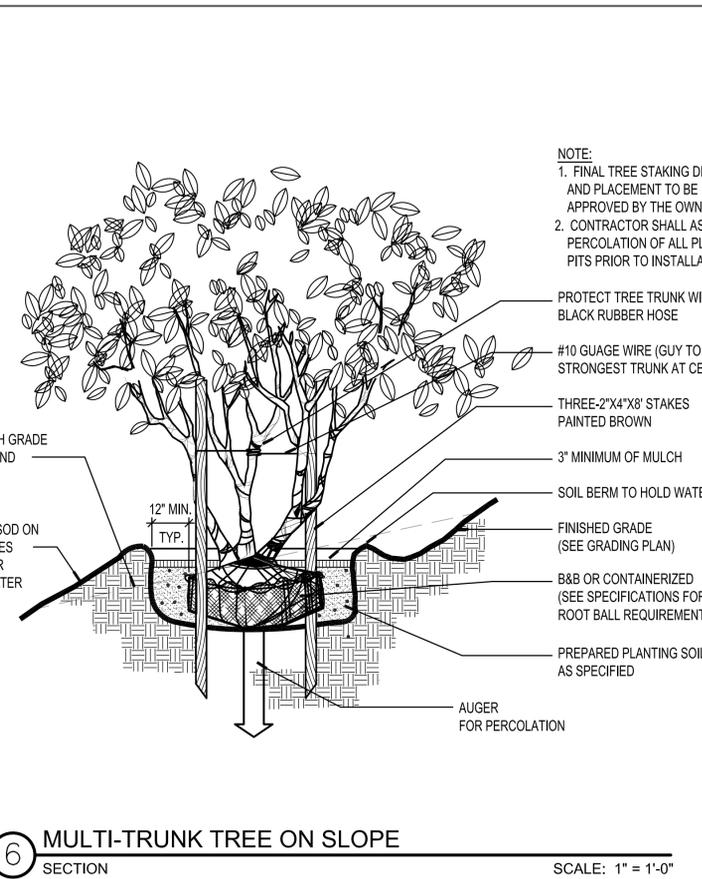
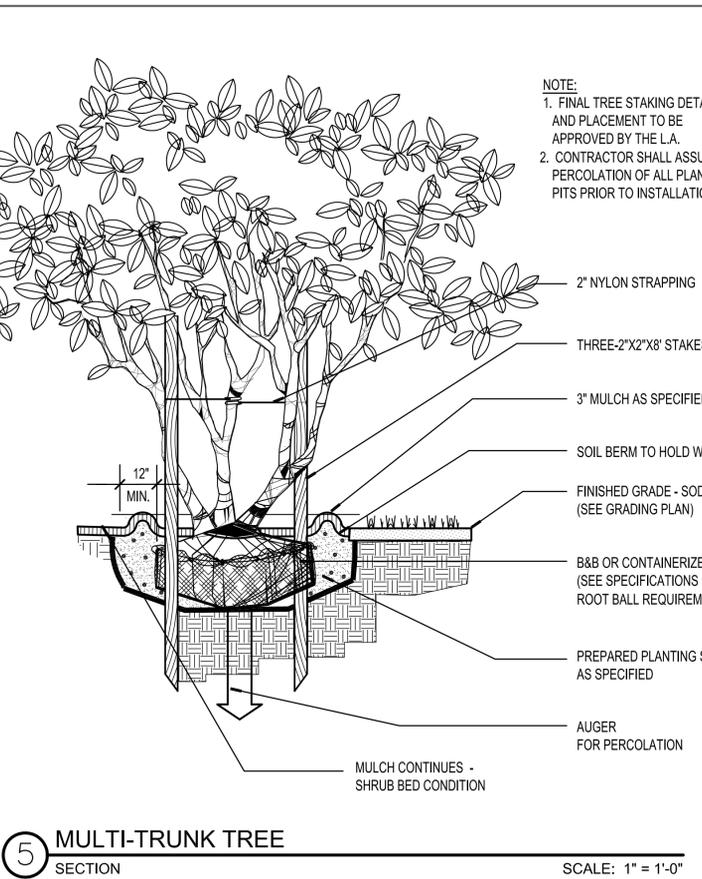
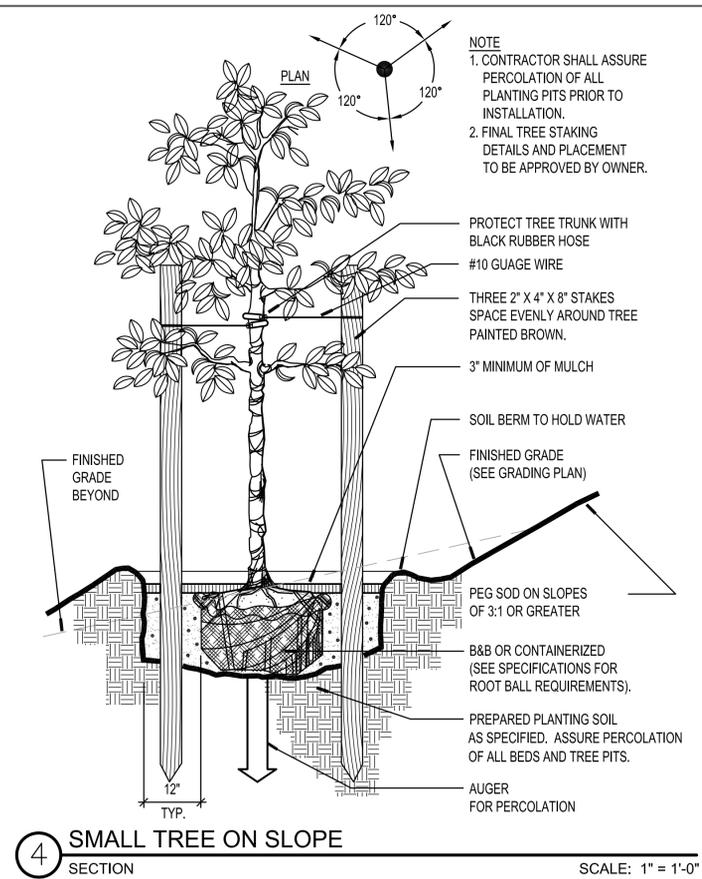
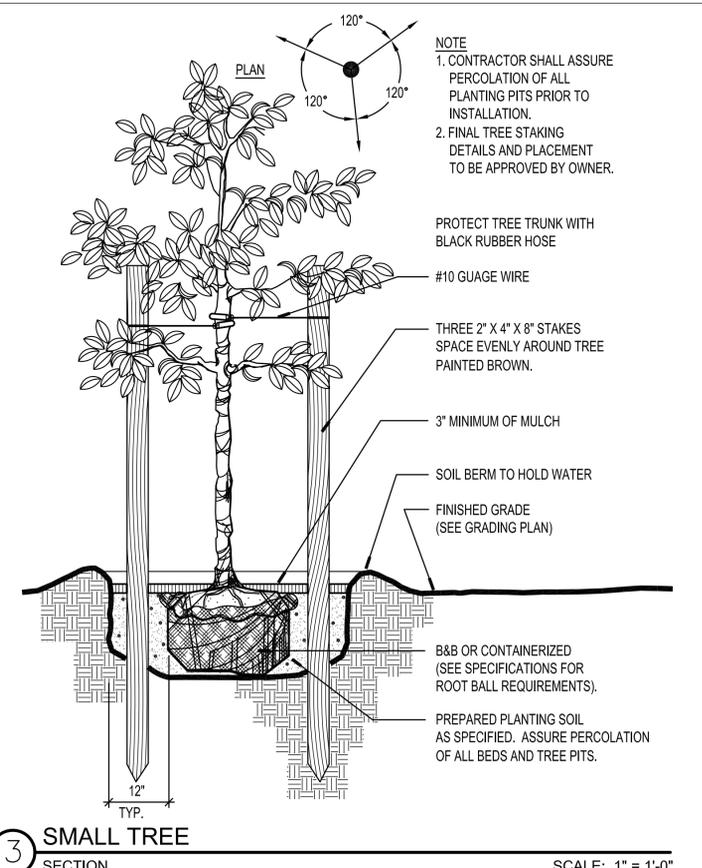
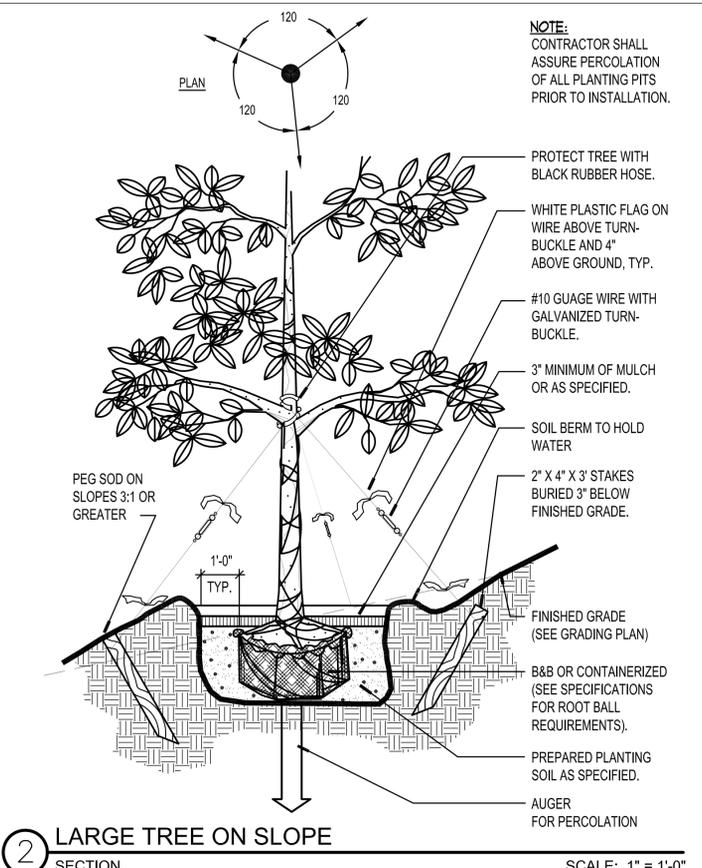
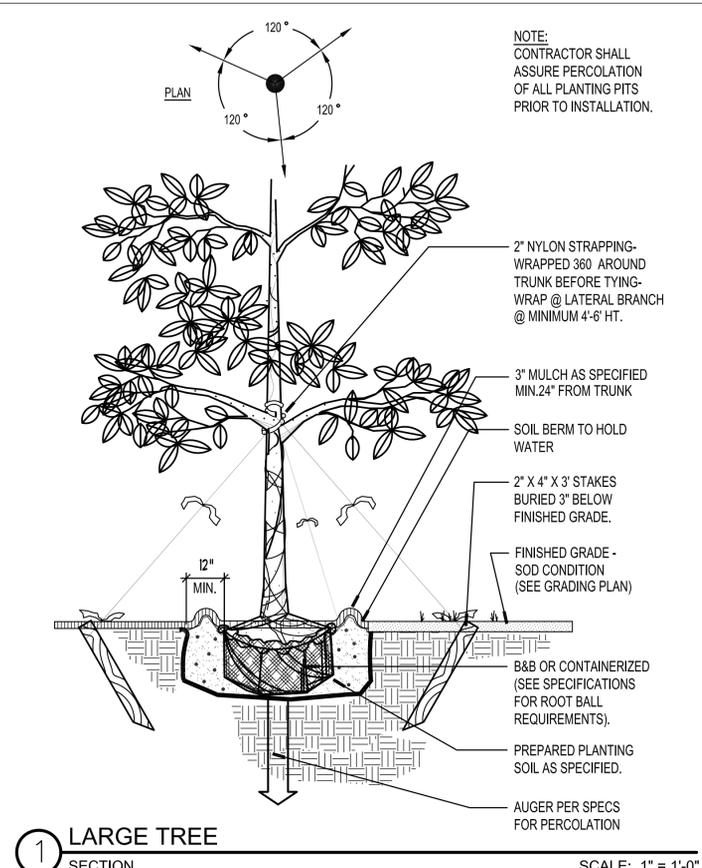
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Sheet Title:
TREE DETAILS
NOT FOR CONSTRUCTION

Date:	JUNE 20, 2014	Scale:	
Drawn By:	JYP	Designed By:	EML, JYP
Approved By:	EML	Project No.:	2.13115

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ADVENTIST HEALTH SYSTEM/SUNBELT, INC
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FLORIDA HOSPITAL WINTER GARDEN

PHASE A

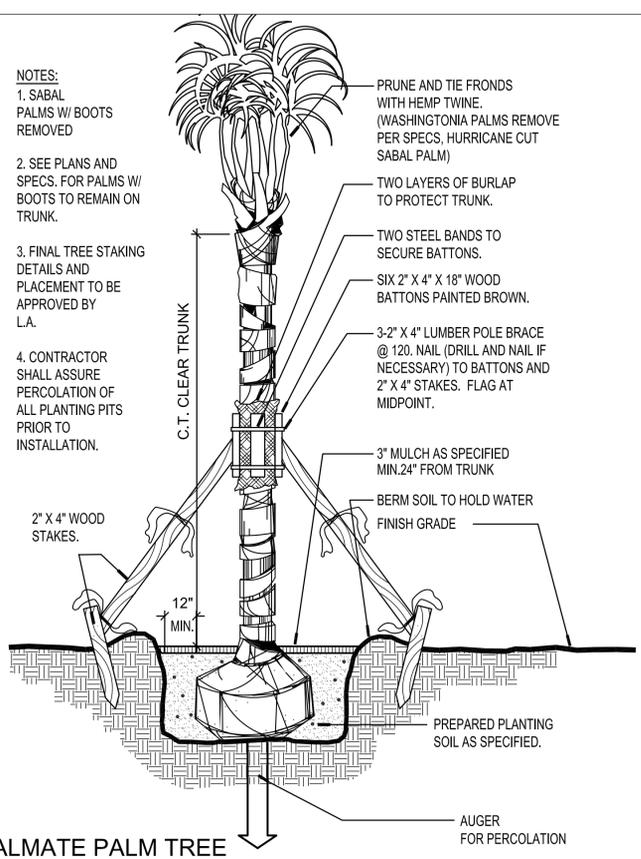
WINTER GARDEN, FLORIDA

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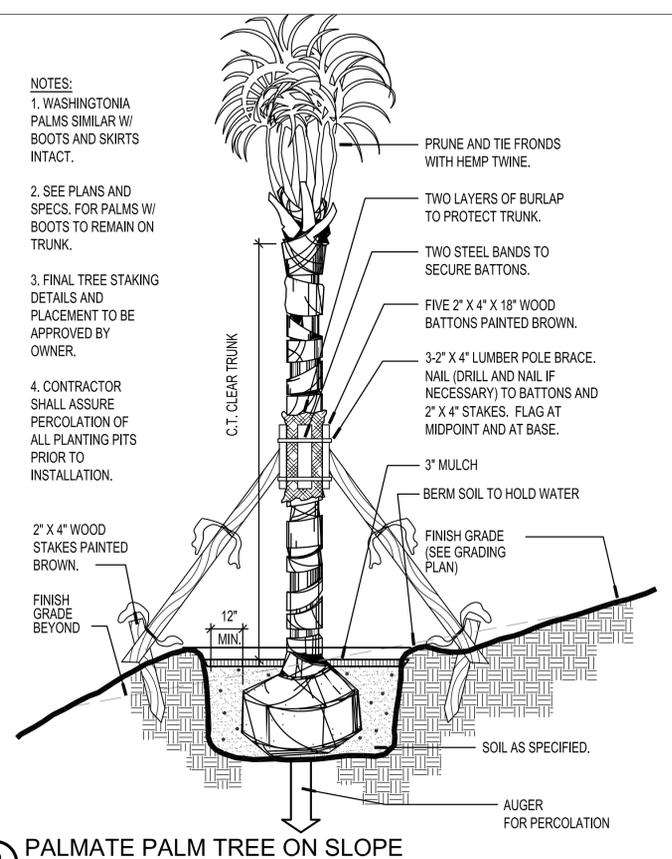
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TREE DETAILS
NOT FOR CONSTRUCTION

Date: JUNE 20, 2014	Scale:
Drawn By: JYP	Designed By: EML, JYP
Approved By: EML	Project No: 2.13115

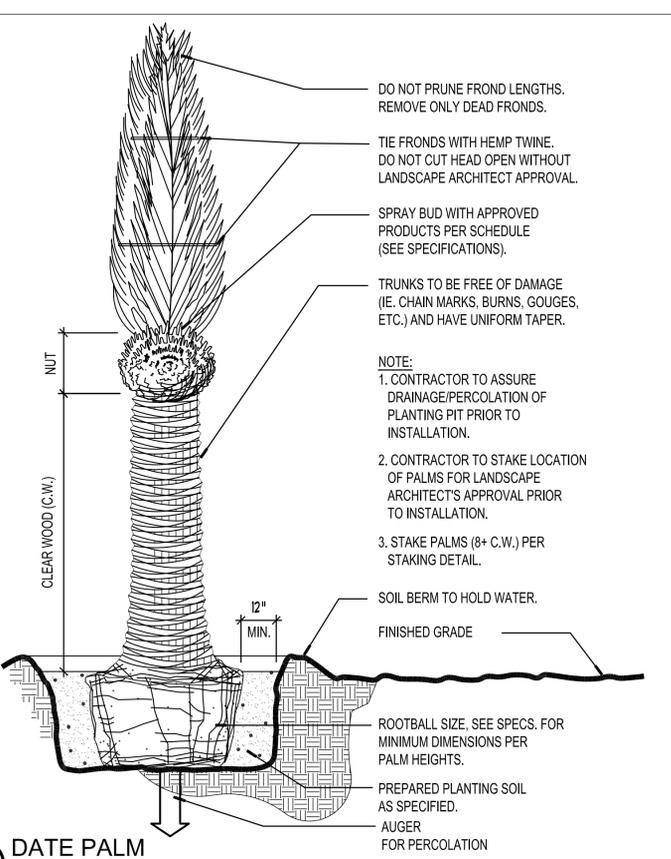
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L43.02



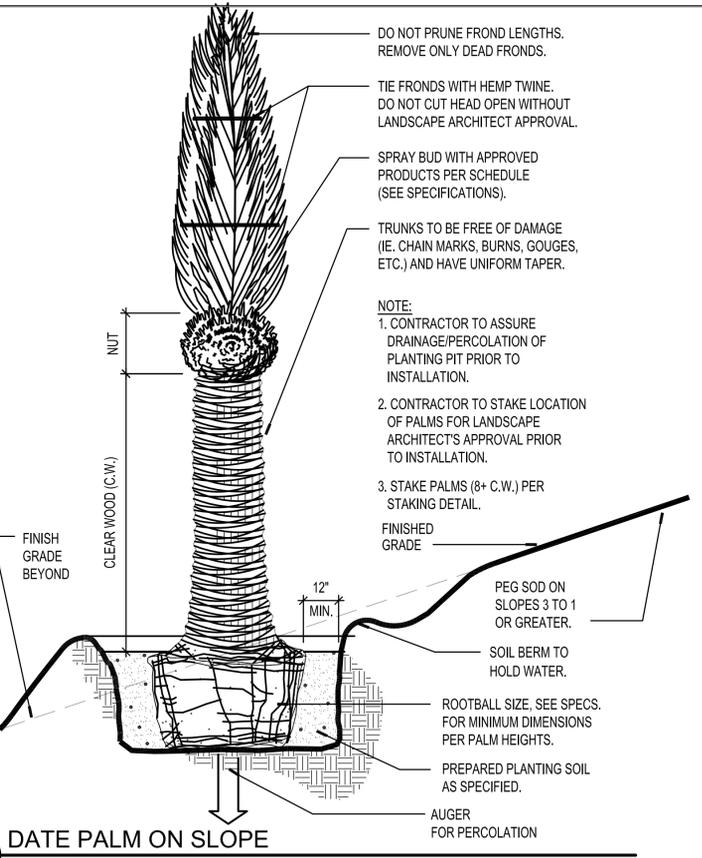
1 PALMATE PALM TREE SECTION SCALE: 1" = 1'-0"



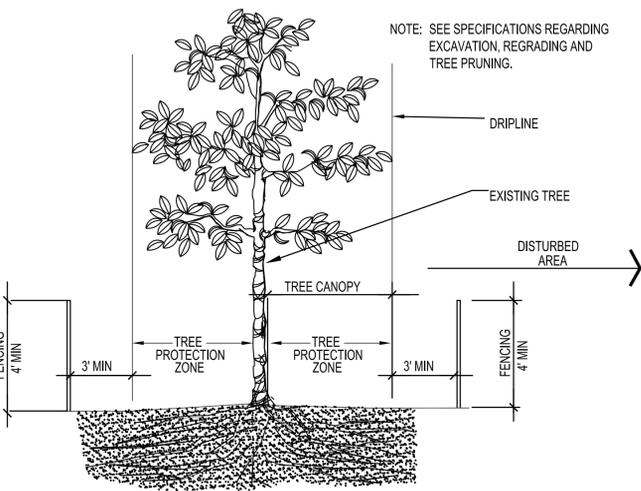
2 PALMATE PALM TREE ON SLOPE SECTION SCALE: 1" = 1'-0"



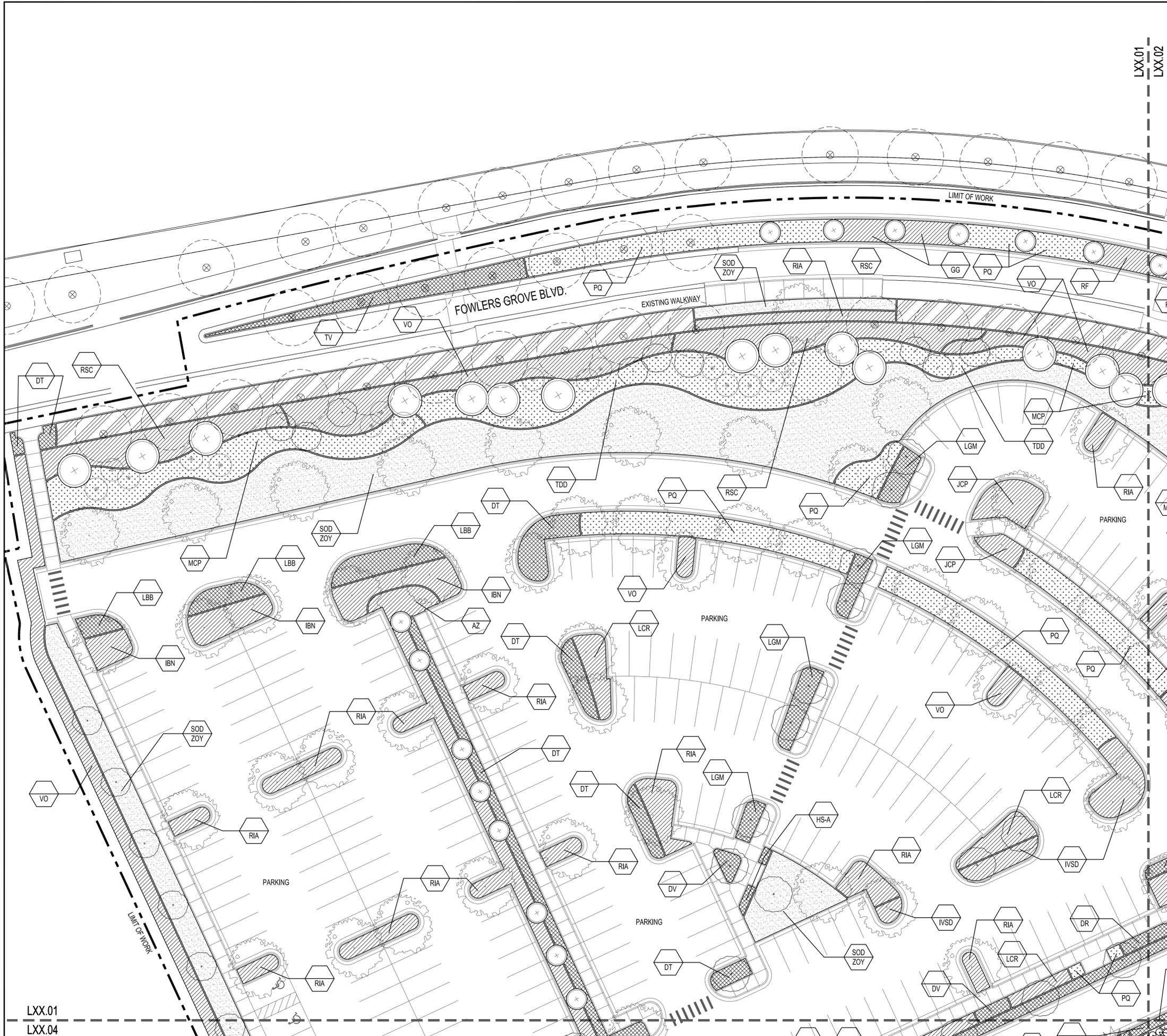
3 DATE PALM SECTION SCALE: 1" = 1'-0"



4 DATE PALM ON SLOPE SECTION SCALE: 1" = 1'-0"



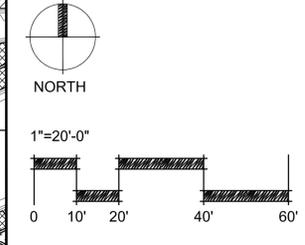
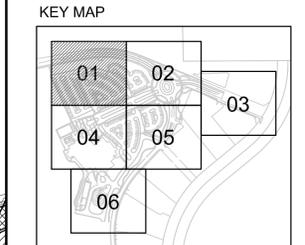
5 EXISTING TREE PROTECTION SECTION SCALE: 1/4" = 1'-0"



PLANT LEGEND

- ORNAMENTAL TREES**
- SHADE TREE (MIN. 3" CALIPER)
 - FLOWERING / ORNAMENTAL TREE (MIN. 12' HEIGHT)
 - EVERGREEN TREE (MIN. 12' HEIGHT)
 - EXISTING TREE TO REMAIN
- PALM TREES**
- DATE PALM (MEDJOOL) (C.T. HEIGHT VARY)
 - PALM TREE (HEIGHT VARY)

- SHRUB AND GROUNDCOVER SYMBOLS**
- SHRUB
 - GROUNDCOVER
 - ORNAMENTAL GRASS
 - TURF
 - EXISTING SHRUB
 - TRAJECTORY OF HELICOPTER



OWNER / DEVELOPER
ADVENTIST HEALTH SYSTEM/SUNBELT, INC FLORIDA HOSPITAL ACCOUNTING DEPARTMENT 601 E. ROLLINS ST., ORLANDO, FL 32803 P: 407.303.1166
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LITTLEJOHN ENGINEERING ASSOCIATES, INC. 1615 EDGEWATER DRIVE, SUITE 180 ORLANDO, FL 32804 P: 407.975.1273 F: 407.975.1279
WATER FEATURE ENGINEER
CLOWARD H2O 2696 N. UNIVERSITY AVE, SUITE 290 PROVO, UT 84604 P: 801.375.1223
STRUCTURAL ENGINEER
PAUL J. FORD AND COMPANY 3670 MAGUIRE BLVD., STE 250 ORLANDO, FL 32803 P: 407.898.9039
IRRIGATION DESIGNER
PREVOST-STAMPER, INC. 600 EDWARDS STREET, SUITE 7102 CELEBRATION, FLORIDA 34747 P: 407.566.9009

**FLORIDA HOSPITAL
WINTER GARDEN
PHASE A**

WINTER GARDEN, FLORIDA

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Sheet Title:
**SHRUB &
GROUNDCOVER
PLAN**

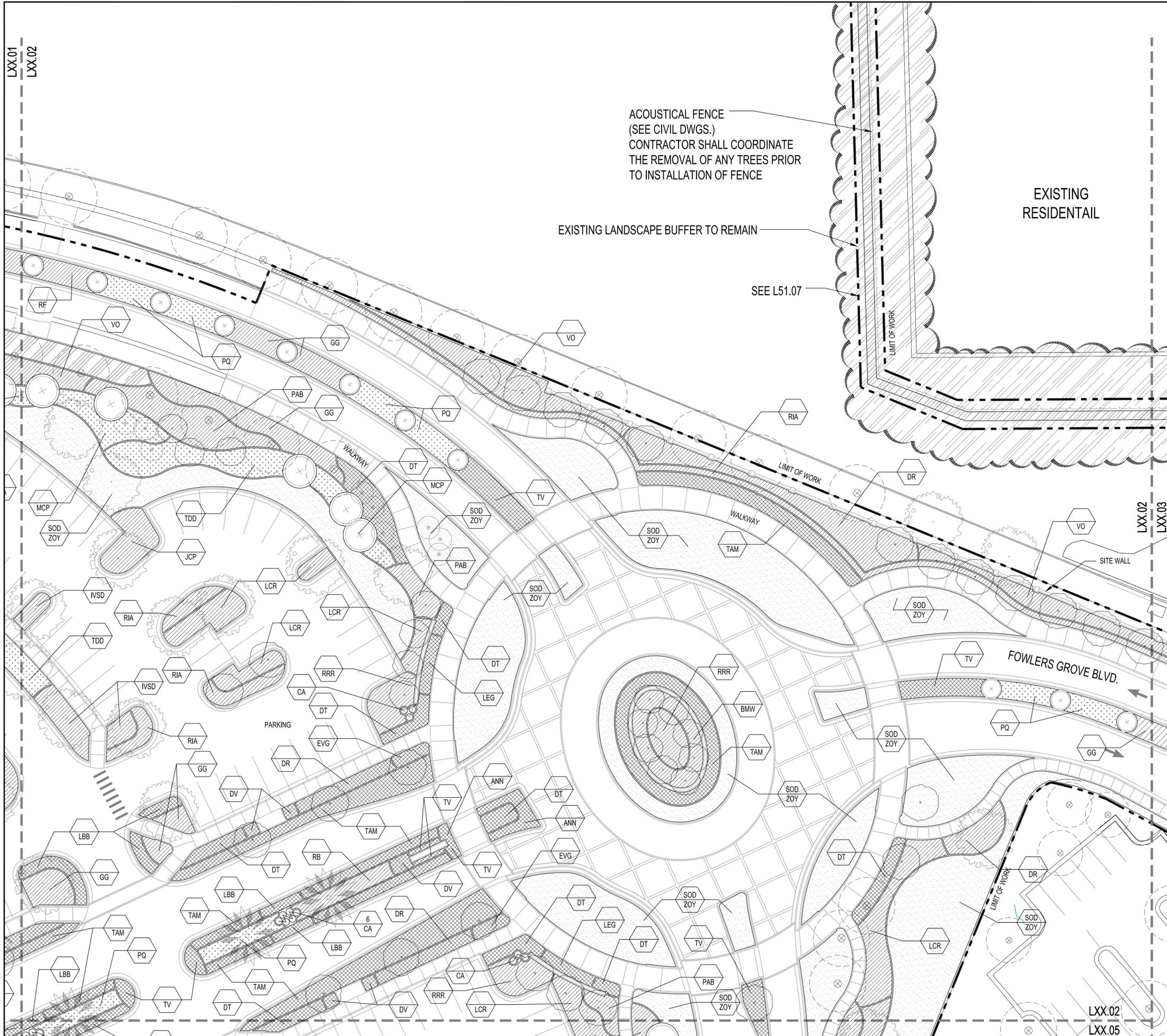
NOT FOR CONSTRUCTION

Date: JUNE 20, 2014	Scale: 1"=20'-0"
Drawn By: JYP	Designed By: EML, JYP
Approved By: EML	Project No: 2.13115

Seal:

Sheet Number:
L51.01

LXX.01
LXX.04



ACOUSTICAL FENCE
(SEE CIVIL DWGS.)
CONTRACTOR SHALL COORDINATE
THE REMOVAL OF ANY TREES PRIOR
TO INSTALLATION OF FENCE

EXISTING LANDSCAPE BUFFER TO REMAIN

EXISTING
RESIDENTIAL

SEE L51.07

LIMIT OF WORK

LIMIT OF WORK

LXX.02

LXX.03

SITE WALL

FOWLERS GROVE BLVD.

LIMIT OF WORK

LXX.02
LXX.05

PLANT LEGEND

ORNAMENTAL TREES

-  SHADE TREE
(MIN. 3" CALIPER)
-  FLOWERING / ORNAMENTAL
TREE
(MIN. 12' HEIGHT)
-  EVERGREEN TREE
(MIN. 12' HEIGHT)
-  EXISTING TREE
TO REMAIN

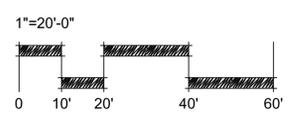
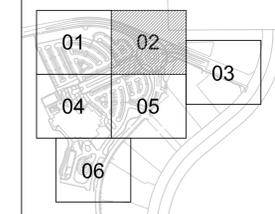
PALM TREES

-  DATE PALM (MEDJOOL)
(C.T. HEIGHT VARY)
-  PALM TREE
(HEIGHT VARY)

SHRUB AND GROUNDCOVER SYMBOLS

-  SHRUB
-  GROUNDCOVER
-  ORNAMENTAL GRASS
-  TURF
-  EXISTING SHRUB
-  TRAJECTORY OF
HELICOPTER

KEY MAP



OWNER / DEVELOPER ADVENTIST HEALTH SYSTEM/SUNBELT, INC FLORIDA HOSPITAL ACCOUNTING DEPARTMENT 601 E. ROLLINS ST., ORLANDO, FL 32803 P: 407.303.1166
ARCHITECT ESa 2100 WEST END AVENUE, SUITE 1200 NASHVILLE, TN 37203 P: 615.329.0046
CIVIL ENGINEER LITTLEJOHN ENGINEERING ASSOCIATES, INC. 1615 EDGEWATER DRIVE, SUITE 180 ORLANDO, FL 32804 P: 407.975.1273 F: 407.975.1279
WATER FEATURE ENGINEER CLOWARD H2O 2696 N. UNIVERSITY AVE, SUITE 290 PROVO, UT 84604 P: 801.375.1223
STRUCTURAL ENGINEER PAUL J. FORD AND COMPANY 3670 MAGUIRE BLVD., STE 250 ORLANDO, FL 32803 P: 407.898.9039
IRRIGATION DESIGNER PREVOST-STAMPER, INC. 600 EDWARDS STREET, SUITE 7102 CELEBRATION, FLORIDA 34747 P: 407.566.9009

FLORIDA HOSPITAL WINTER GARDEN

PHASE A

WINTER GARDEN, FLORIDA

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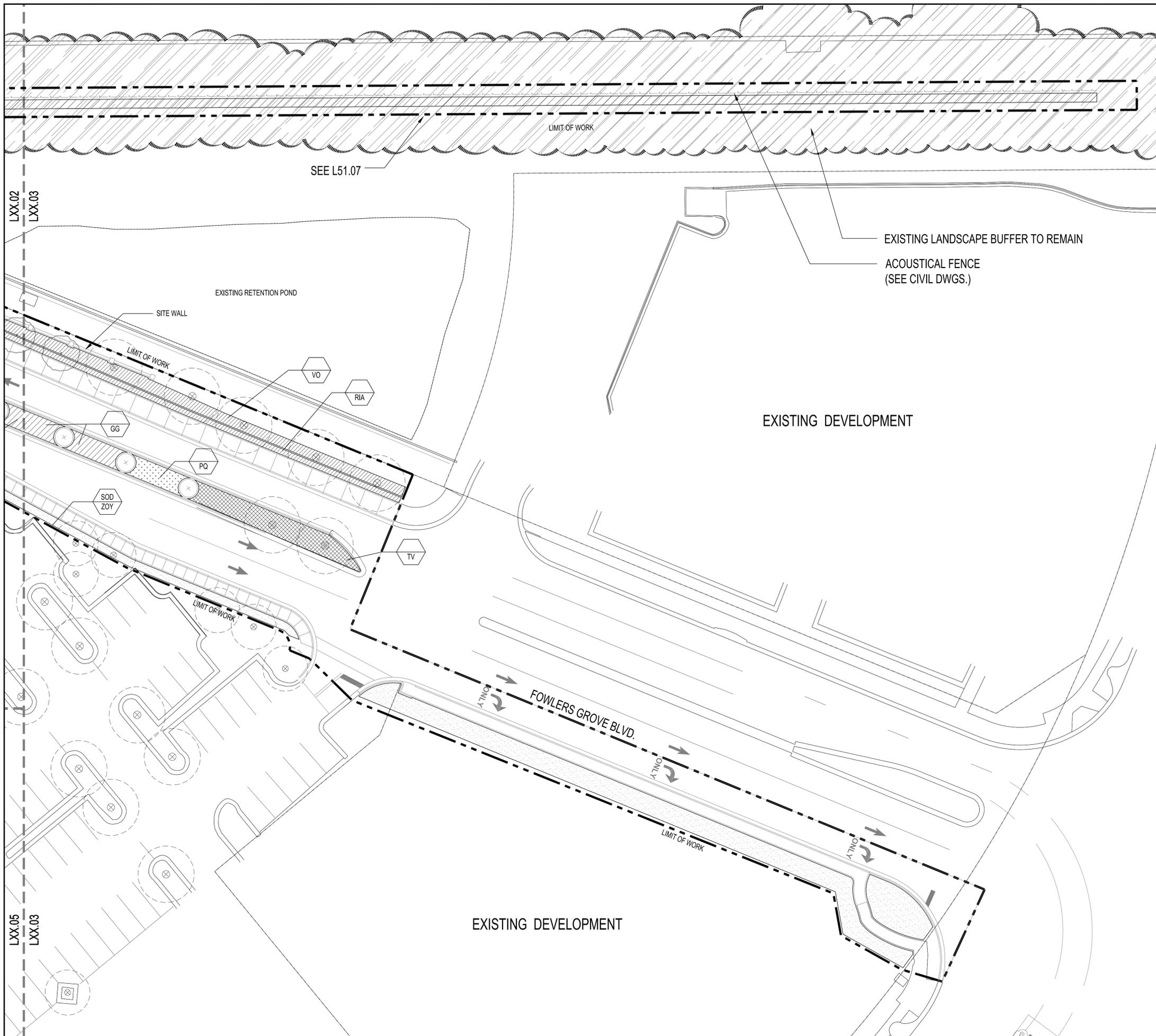
Sheet Title:
**SHRUB &
GROUNDCOVER
PLAN**

NOT FOR CONSTRUCTION

Date: JUNE 20, 2014	Scale: 1"=20'-0"
Drawn By: JYP	Designed By: EML, JYP
Approved By: EML	Project No: 2.13115

Seal: 

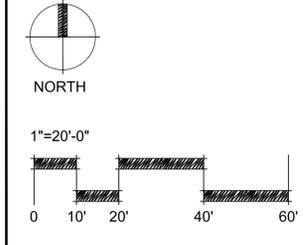
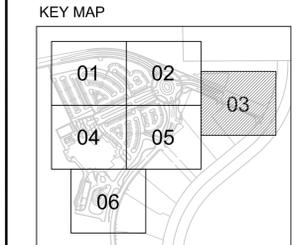
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L51.02



PLANT LEGEND

- ORNAMENTAL TREES**
-  SHADE TREE (MIN. 3" CALIPER)
 -  FLOWERING / ORNAMENTAL TREE (MIN. 12' HEIGHT)
 -  EVERGREEN TREE (MIN. 12' HEIGHT)
 -  EXISTING TREE TO REMAIN
- PALM TREES**
-  DATE PALM (MEDJOO) (C.T. HEIGHT VARY)
 -  PALM TREE (HEIGHT VARY)

- SHRUB AND GROUNDCOVER SYMBOLS**
-  SHRUB
 -  GROUNDCOVER
 -  ORNAMENTAL GRASS
 -  TURF
 -  EXISTING SHRUB
 -  TRAJECTORY OF HELICOPTER



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ARCHITECT Esa 2100 WEST END AVENUE, SUITE 1200 NASHVILLE, TN 37203 P: 615.329.0046
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WATER FEATURE ENGINEER CLOWARD H2O 2696 N. UNIVERSITY AVE, SUITE 290 PROVO, UT 84604 P: 801.375.1223
STRUCTURAL ENGINEER PAUL J. FORD AND COMPANY 3670 MAGUIRE BLVD., STE 250 ORLANDO, FL 32803 P: 407.898.9039
IRRIGATION DESIGNER PREVOST-STAMPER, INC. 600 EDWARDS STREET, SUITE 7102 CELEBRATION, FLORIDA 34747 P: 407.566.9009

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WINTER GARDEN
PHASE A**

WINTER GARDEN, FLORIDA

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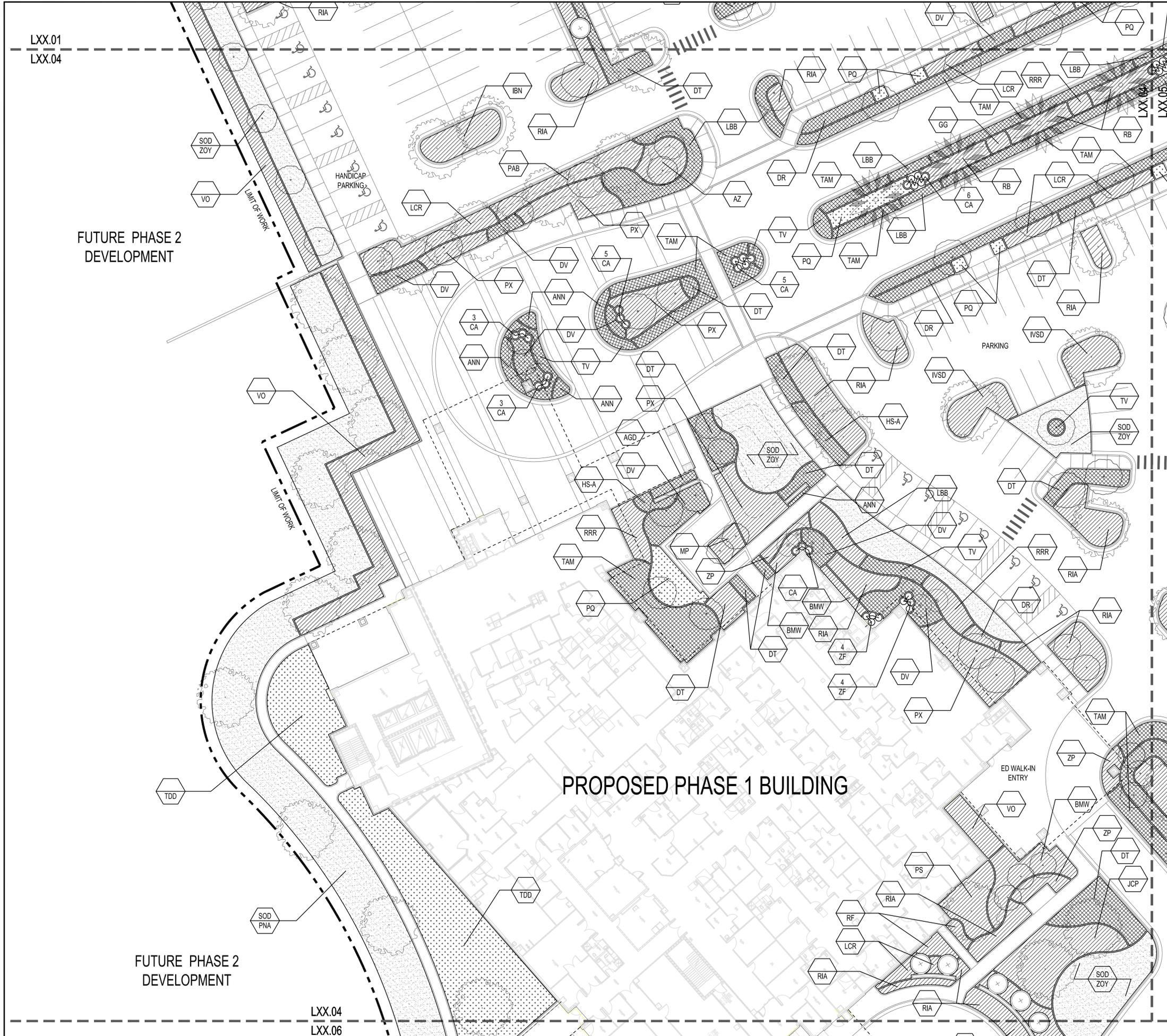
Sheet Title:
**SHRUB &
GROUNDCOVER
PLAN**

NOT FOR CONSTRUCTION

Date: JUNE 20, 2014	Scale: 1"=20'-0"
Drawn By: JYP	Designed By: EML, JYP
Approved By: EML	Project No: 2.13115

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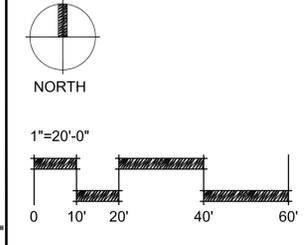
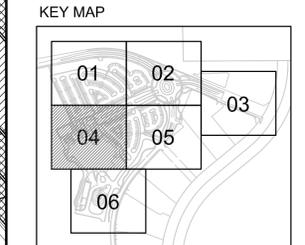
Sheet Number:
L51.03



PLANT LEGEND

- ORNAMENTAL TREES**
- SHADE TREE (MIN. 3" CALIPER)
 - FLOWERING / ORNAMENTAL TREE (MIN. 12' HEIGHT)
 - EVERGREEN TREE (MIN. 12' HEIGHT)
 - EXISTING TREE TO REMAIN
- PALM TREES**
- DATE PALM (MEDJOO) (C.T. HEIGHT VARY)
 - PALM TREE (HEIGHT VARY)

- SHRUB AND GROUNDCOVER SYMBOLS**
- SHRUB
 - GROUNDCOVER
 - ORNAMENTAL GRASS
 - TURF
 - EXISTING SHRUB
 - TRAJECTORY OF HELICOPTER



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WATER FEATURE ENGINEER
CLOWARD H2O
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STRUCTURAL ENGINEER
PAUL J. FORD AND COMPANY
3670 MAGUIRE BLVD., STE 250
ORLANDO, FL 32803
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IRRIGATION DESIGNER
PREVOST-STAMPER, INC.
600 EDWARDS STREET, SUITE 7102
CELEBRATION, FLORIDA 34747
P: 407.566.9009

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WINTER GARDEN
PHASE A**

WINTER GARDEN, FLORIDA

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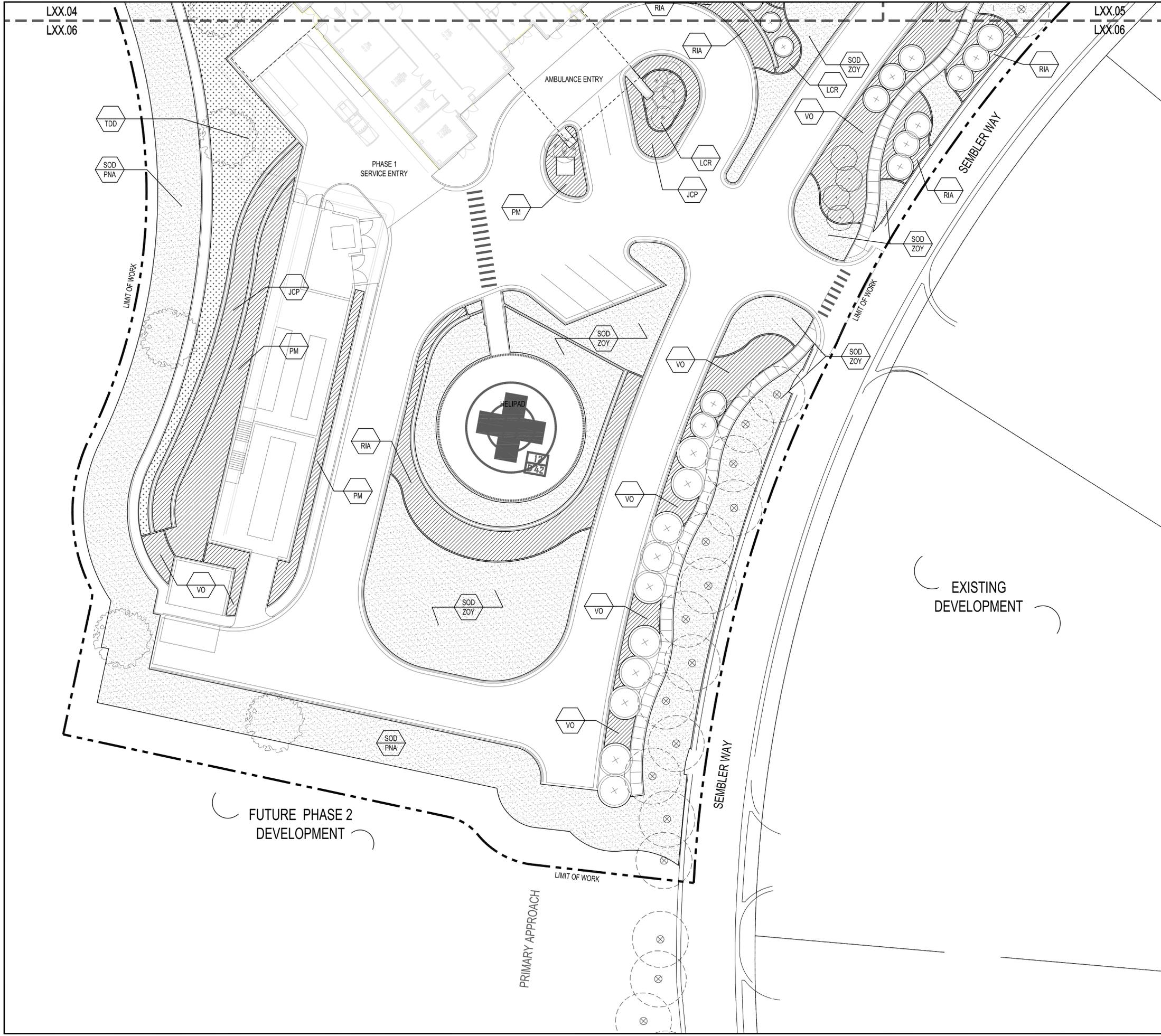
Sheet Title:
**SHRUB &
GROUNDCOVER
PLAN**

NOT FOR CONSTRUCTION

Date: JUNE 20, 2014	Scale: 1"=20'-0"
Drawn By: JYP	Designed By: EML, JYP
Approved By: EML	Project No: 2.13115

Seal:

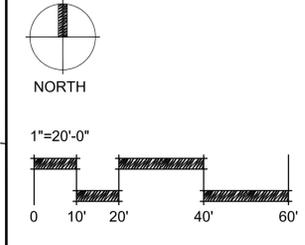
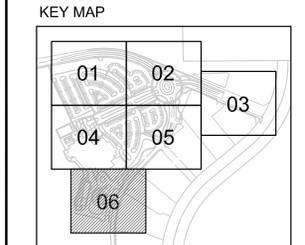
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PLANT LEGEND

- ORNAMENTAL TREES**
-  SHADE TREE (MIN. 3" CALIPER)
 -  FLOWERING / ORNAMENTAL TREE (MIN. 12' HEIGHT)
 -  EVERGREEN TREE (MIN. 12' HEIGHT)
 -  EXISTING TREE TO REMAIN
- PALM TREES**
-  DATE PALM (MEDJOO) (C.T. HEIGHT VARY)
 -  PALM TREE (HEIGHT VARY)

- SHRUB AND GROUNDCOVER SYMBOLS**
-  SHRUB
 -  GROUNDCOVER
 -  ORNAMENTAL GRASS
 -  TURF
 -  EXISTING SHRUB
 -  TRAJECTORY OF HELICOPTER



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ARCHITECT ESa 2100 WEST END AVENUE, SUITE 1200 NASHVILLE, TN 37203 P: 615.329.0046
CIVIL ENGINEER LITTLEJOHN ENGINEERING ASSOCIATES, INC. 1615 EDGEWATER DRIVE, SUITE 180 ORLANDO, FL 32804 P: 407.975.1273 F: 407.975.1279
WATER FEATURE ENGINEER CLOWARD H2O 2696 N. UNIVERSITY AVE., SUITE 290 PROVO, UT 84604 P: 801.375.1223
STRUCTURAL ENGINEER PAUL J. FORD AND COMPANY 3670 MAGUIRE BLVD., STE 250 ORLANDO, FL 32803 P: 407.898.9039
IRRIGATION DESIGNER PREVOST-STAMPER, INC. 600 EDWARDS STREET, SUITE 7102 CELEBRATION, FLORIDA 34747 P: 407.566.9009

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WINTER GARDEN
PHASE A**

WINTER GARDEN, FLORIDA

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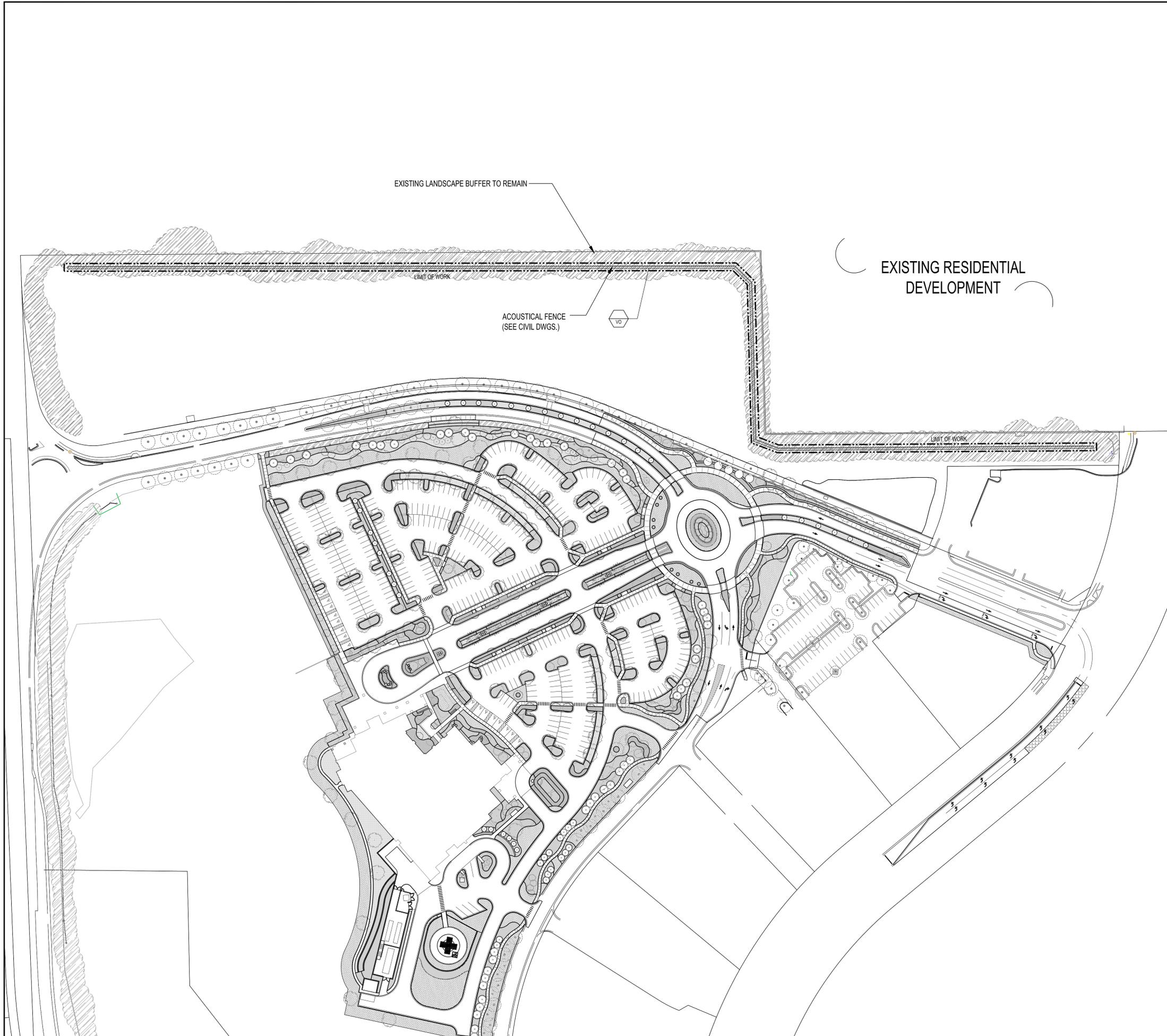
Sheet Title:
**SHRUB &
GROUNDCOVER
PLAN**

NOT FOR CONSTRUCTION

Date: JUNE 20, 2014	Scale: 1"=20'-0"
Drawn By: JYP	Designed By: EML, JYP
Approved By: EML	Project No: 2.13115

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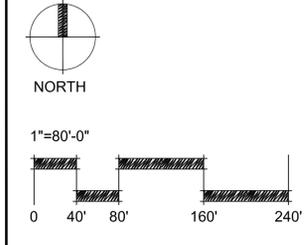
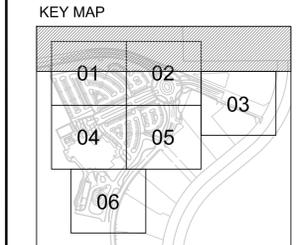
Sheet Number:
L51.06



PLANT LEGEND

- ORNAMENTAL TREES**
- SHADE TREE (MIN. 3" CALIPER)
 - FLOWERING / ORNAMENTAL TREE (MIN. 12' HEIGHT)
 - EVERGREEN TREE (MIN. 12' HEIGHT)
 - EXISTING TREE TO REMAIN
- PALM TREES**
- DATE PALM (MEDJOL) (C.T. HEIGHT VARY)
 - PALM TREE (HEIGHT VARY)

- SHRUB AND GROUNDCOVER SYMBOLS**
- SHRUB
 - GROUNDCOVER
 - ORNAMENTAL GRASS
 - TURF
 - EXISTING SHRUB
 - TRAJECTORY OF HELICOPTER



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FLORIDA HOSPITAL ACCOUNTING DEPARTMENT
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ORLANDO, FL 32804
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WATER FEATURE ENGINEER
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IRRIGATION DESIGNER
PREVOST-STAMPER, INC.
600 EDWARDS STREET, SUITE 7102
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WINTER GARDEN
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WINTER GARDEN, FLORIDA

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Sheet Title: **SHRUB & GROUNDCOVER PLAN - ACOUSTIC FENCE**
NOT FOR CONSTRUCTION

Date: JUNE 20, 2014	Scale: 1"=80'-0"
Drawn By: JYP	Designed By: EML, JYP
Approved By: EML	Project No: 2.13115

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Sheet Number: **L51.07**

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ADVENTIST HEALTH SYSTEM/SUNBELT, INC
FLORIDA HOSPITAL ACCOUNTING DEPARTMENT
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P: 407.303.1166

ARCHITECT
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2100 WEST END AVENUE, SUITE 1200
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WATER FEATURE ENGINEER
CLOWARD H2O
2696 N. UNIVERSITY AVE., SUITE 290
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P: 801.375.1223

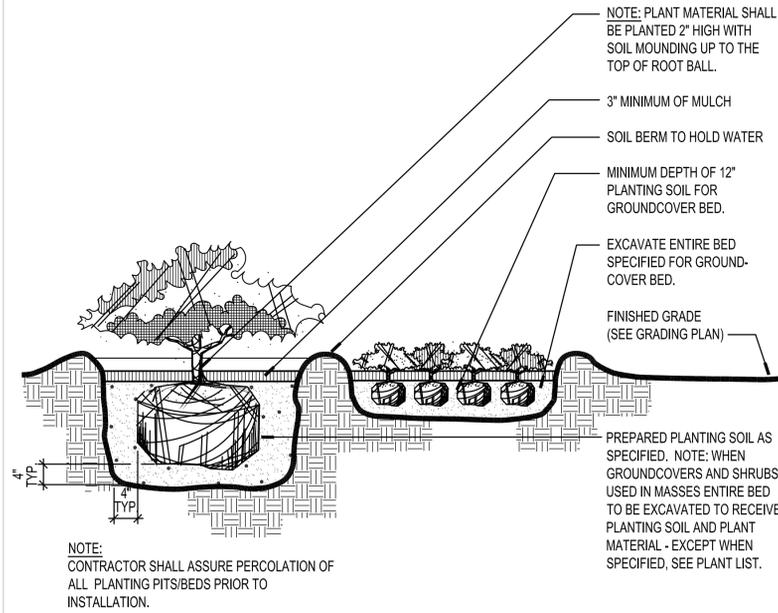
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PAUL J. FORD AND COMPANY
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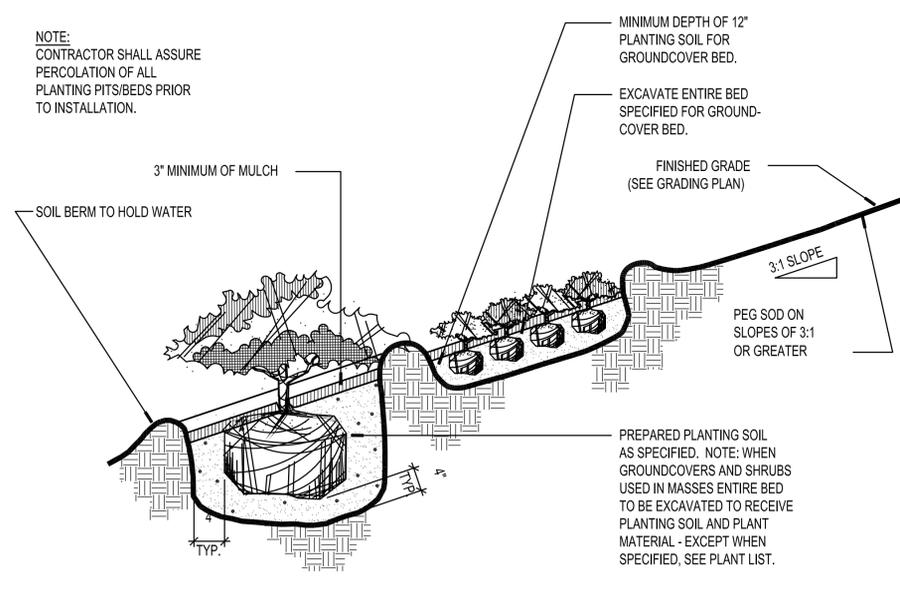
**FLORIDA HOSPITAL
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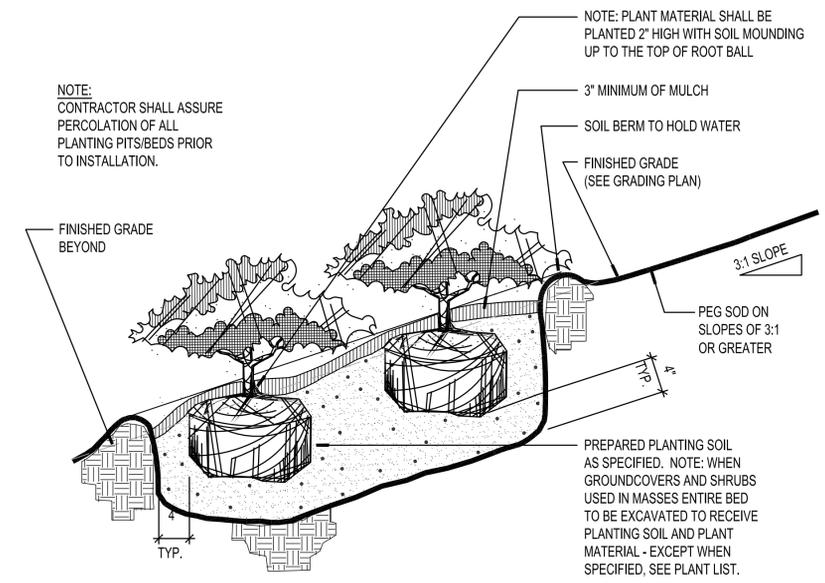
WINTER GARDEN, FLORIDA



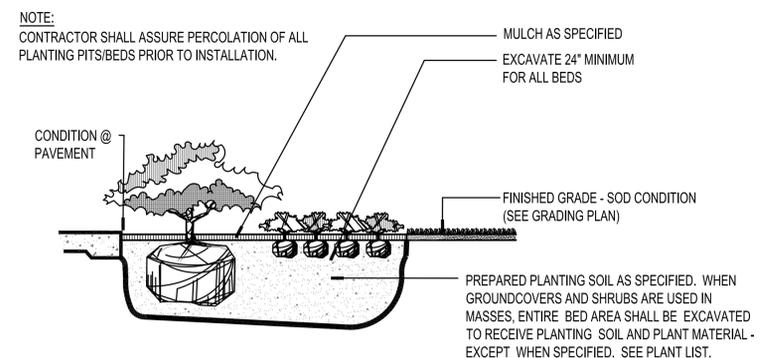
1 SHRUB AND GROUNDCOVER SECTION SCALE: 1" = 1'-0"



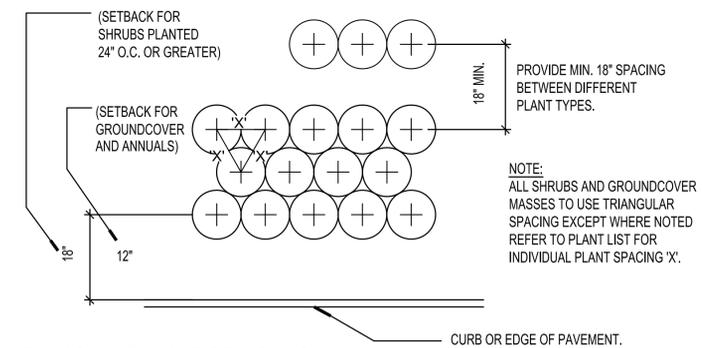
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3 SHRUBS ON SLOPE SECTION SCALE: 1" = 1'-0"



4 SHRUB AND GROUNDCOVER SECTION SCALE: 1" = 1'-0"



5 TYPICAL PLANT SPACING SECTION SCALE: 1" = 1'-0"

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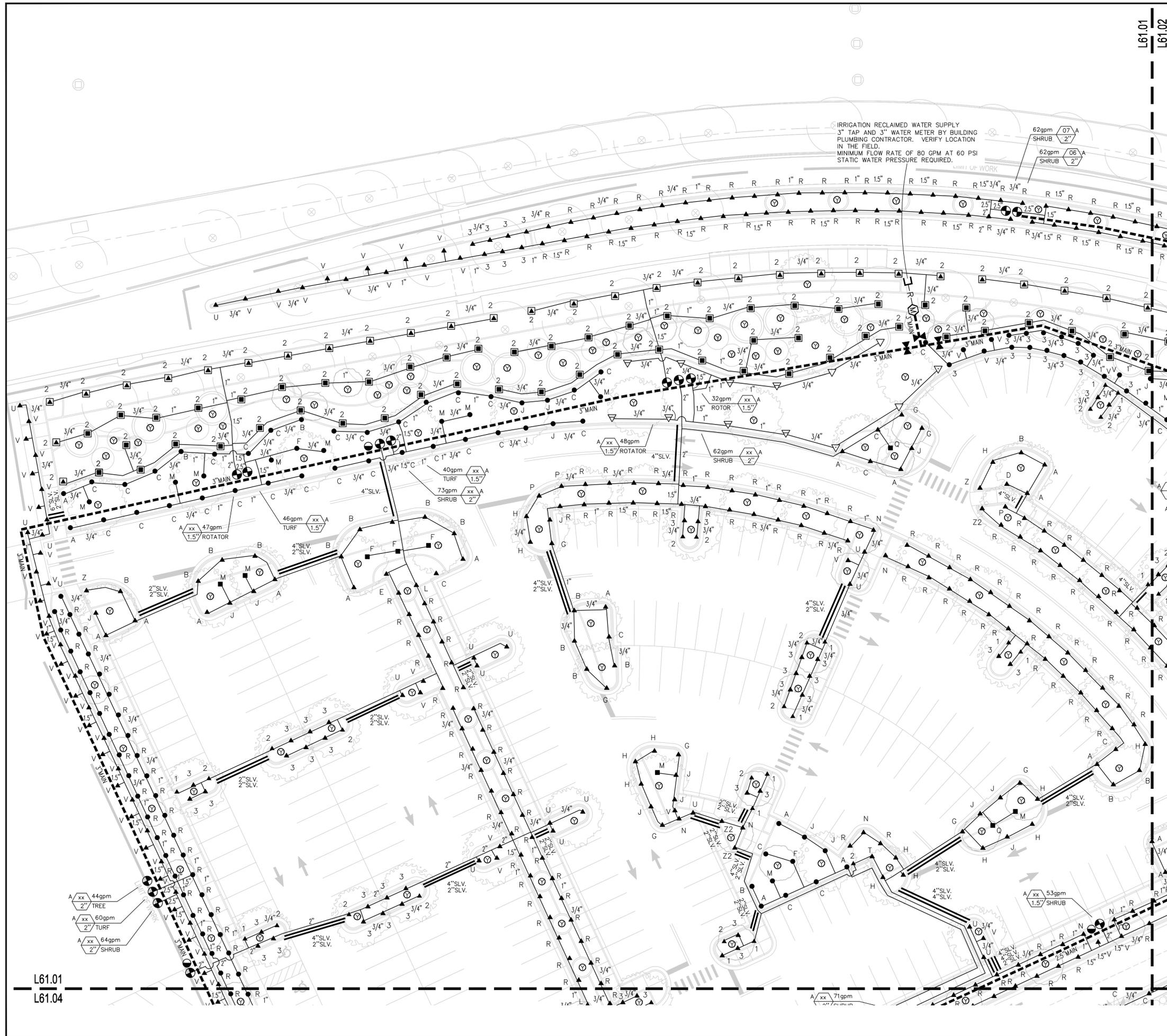
Sheet Title:
SHRUB AND GROUNDCOVER DETAILS

NOT FOR CONSTRUCTION

Date: JUNE 20, 2014	Scale:
Drawn By: JYP	Designed By: EML, JYP
Approved By: EML	Project No: 2.13115

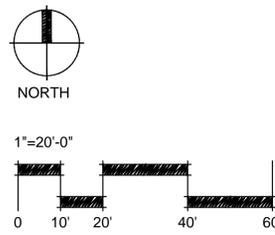
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Sheet Number:
L53.01



L61.01
L61.02

L61.01
L61.04



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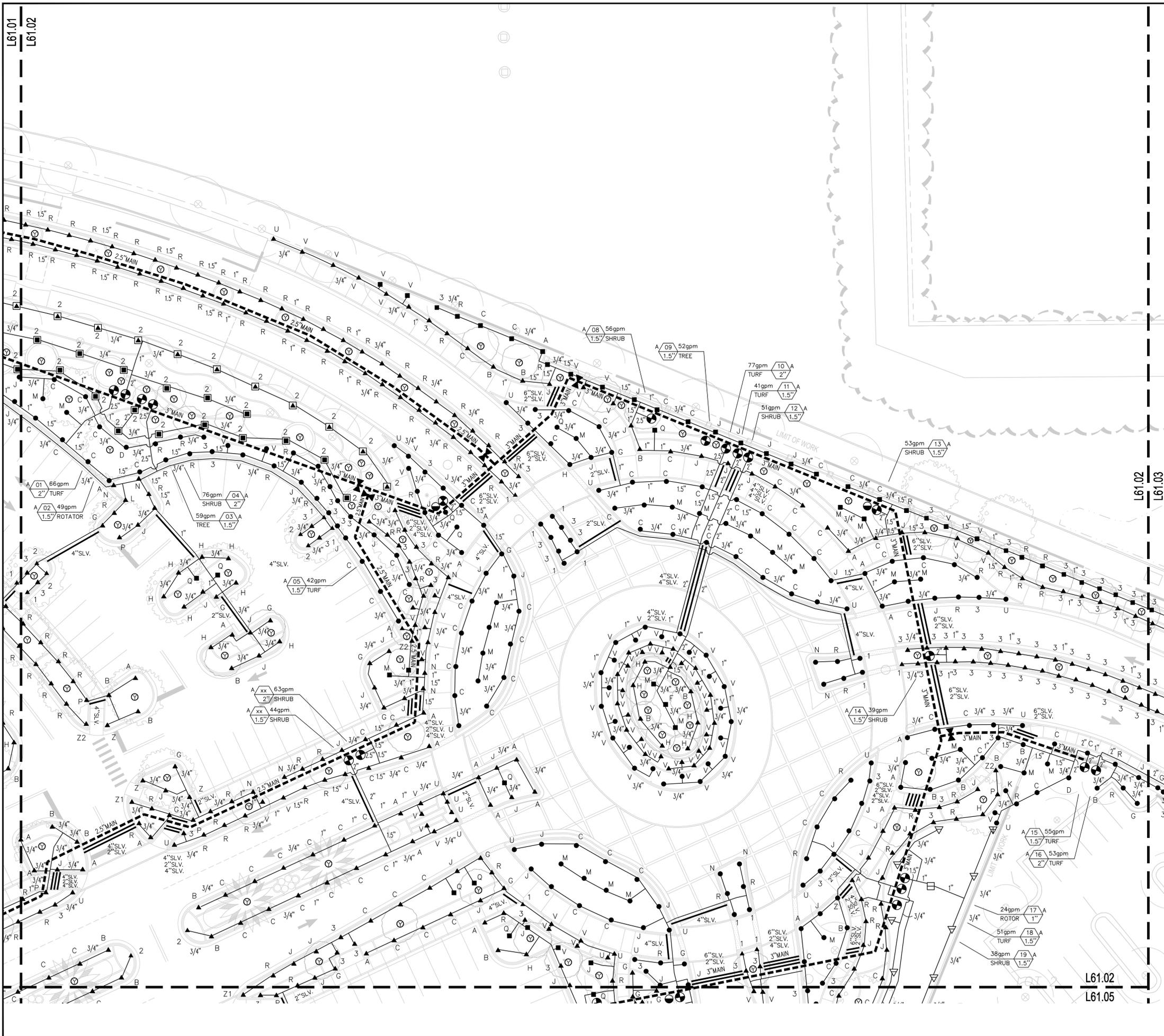
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Sheet Title:
IRRIGATION PLAN
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Date:	JUNE 20, 2014	Scale:	1"=20'-0"
Drawn By:	PSI	Designed By:	PSI
Approved By:	MLP	Project No.:	2.13115

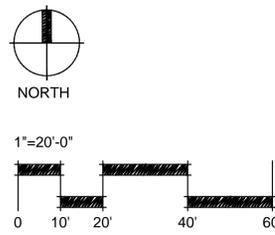
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L61.01



L61.01
L61.02

L61.02
L61.03

L61.02
L61.05



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ARCHITECT Esa 2100 WEST END AVENUE, SUITE 1200 NASHVILLE, TN 37203 P: 615.329.0046
CIVIL ENGINEER LITTLEJOHN ENGINEERING ASSOCIATES, INC. 1615 EDGEWATER DRIVE, SUITE 180 ORLANDO, FL 32804 P: 407.975.1273 F: 407.975.1279
WATER FEATURE ENGINEER CLOWARD H2O 2696 N. UNIVERSITY AVE, SUITE 290 PROVO, UT 84604 P: 801.375.1223
STRUCTURAL ENGINEER PAUL J. FORD AND COMPANY 3670 MAGUIRE BLVD., STE 250 ORLANDO, FL 32803 P: 407.898.9039
IRRIGATION DESIGNER PREVOST-STAMPER, INC. 600 EDWARDS STREET, SUITE 7102 CELEBRATION, FLORIDA 34747 P: 407.566.9009

FLORIDA HOSPITAL WINTER GARDEN PHASE A

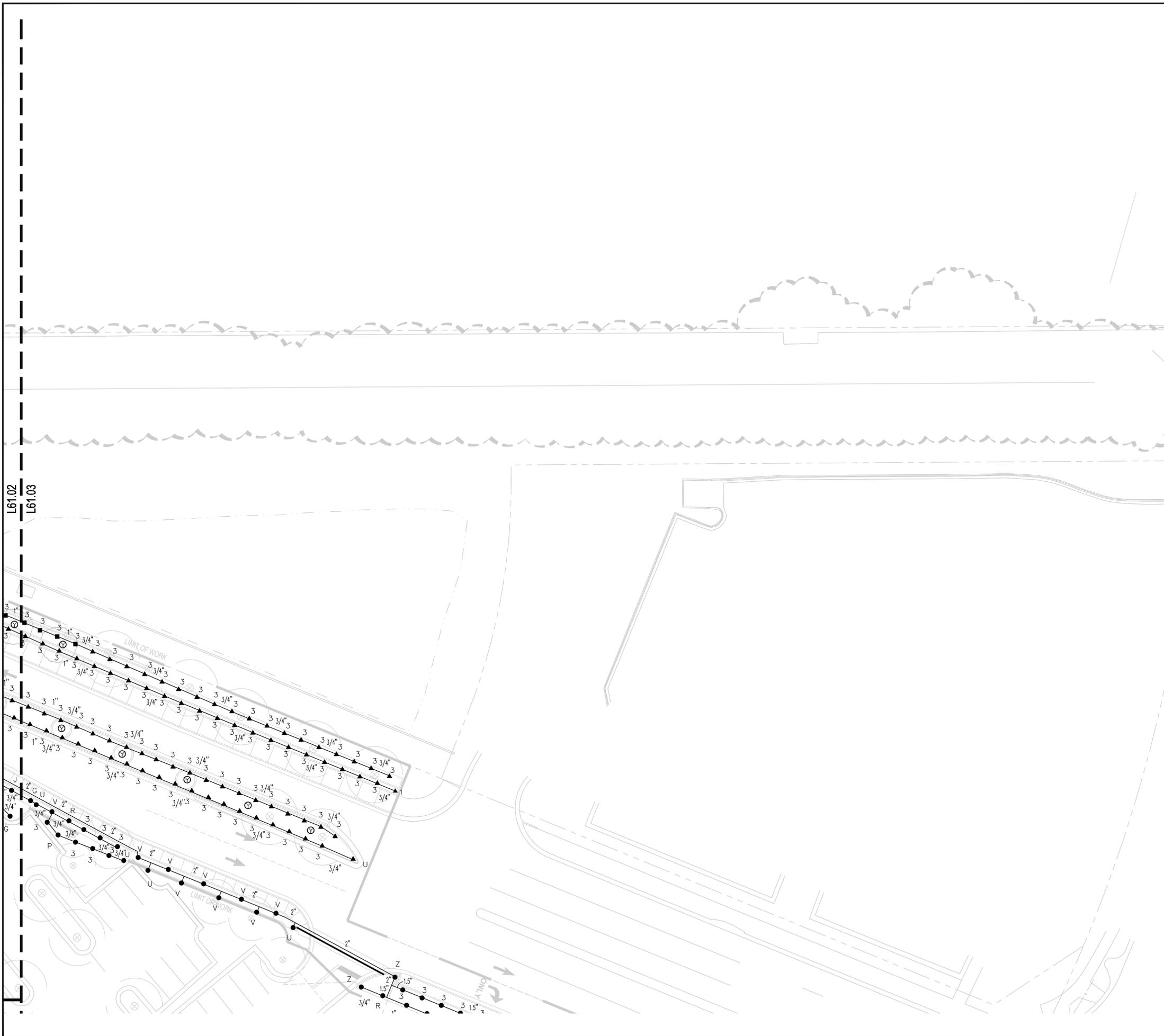
WINTER GARDEN, FLORIDA

Rev:	Date:	Description:
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Sheet Title:
IRRIGATION PLAN
NOT FOR CONSTRUCTION

Date: JUNE 20, 2014	Scale: 1"=20'-0"
Drawn By: PSI	Designed By: PSI
Approved By: MLP	Project No: 2.13115

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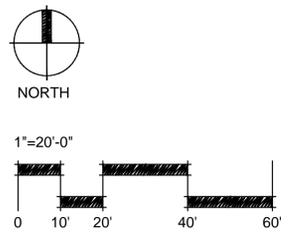
FLORIDA HOSPITAL WINTER GARDEN PHASE A

WINTER GARDEN, FLORIDA

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IRRIGATION PLAN
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Approved By:	MLP	Project No.:	2.13115



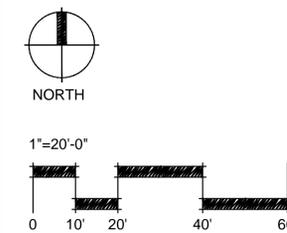
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L61.01
L61.04



1" PVC ELECTRICAL CONDUIT WITH SWEEP ELLS FOR VALVE CONTROL WIRES INSTALLED OUTSIDE THE NEW MAINLINE TRENCH.

69" STATION ELECTRIC IRRIGATION CONTROLLER WITH RAIN SWITCH. RAIN SWITCH TO BE MOUNTED ON A STATIONARY STRUCTURE, CLEAR OF ANY OVERHEAD OBSTRUCTIONS. VERIFY MOUNT LOCATIONS IN THE FIELD. 120VAC, 3 AMP. ELECTRIC POWER SUPPLY PROVIDED BY THE BUILDING ELECTRICAL CONTRACTOR.



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IRRIGATION DESIGNER PREVOST-STAMPER, INC. 600 EDWARDS STREET, SUITE 7102 CELEBRATION, FLORIDA 34747 P: 407.566.9009

FLORIDA HOSPITAL WINTER GARDEN PHASE A

WINTER GARDEN, FLORIDA

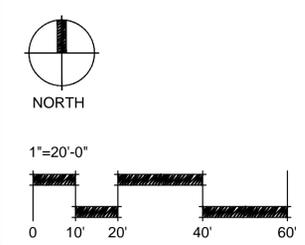
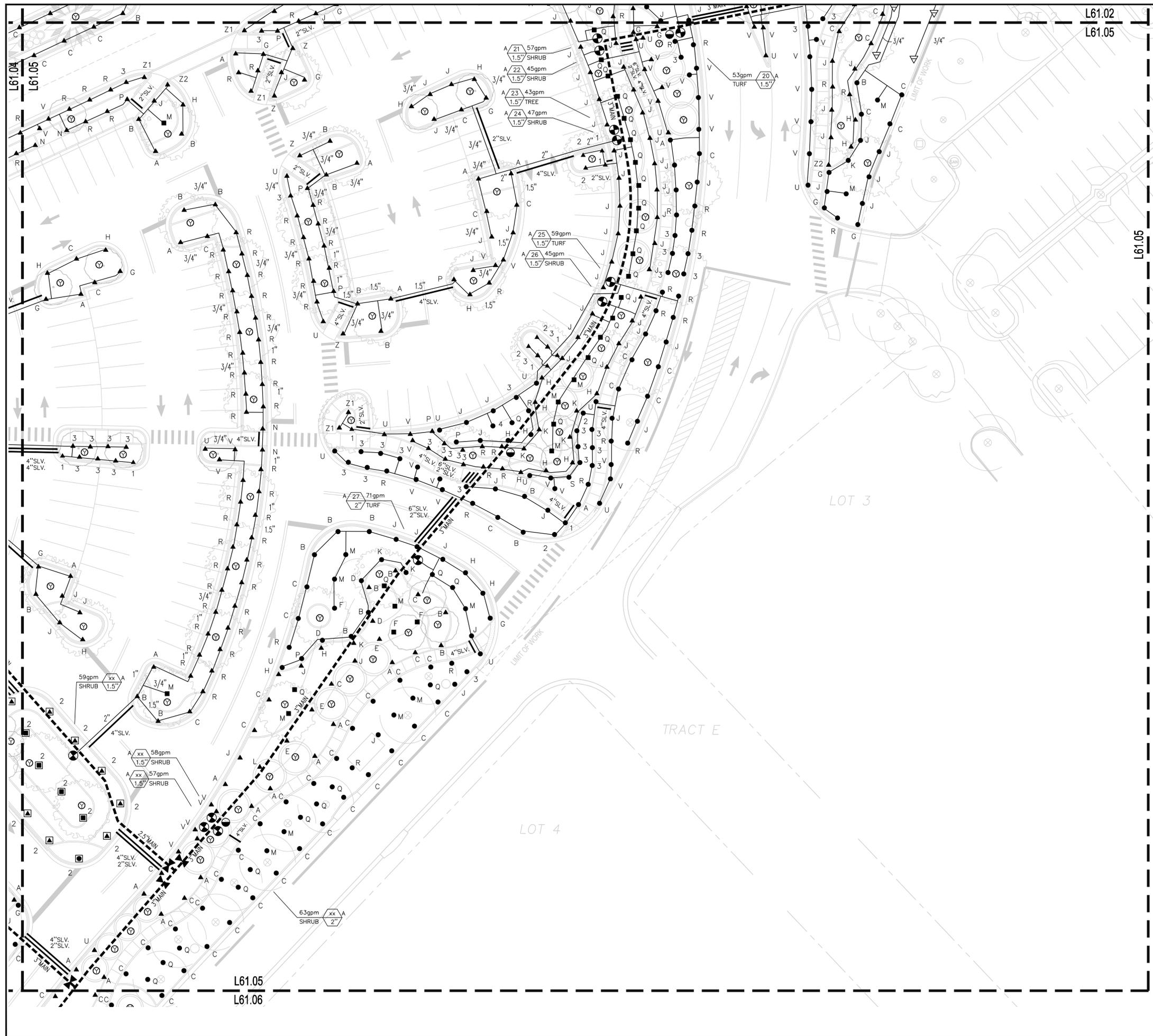
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FLORIDA HOSPITAL WINTER GARDEN PHASE A

WINTER GARDEN, FLORIDA

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FLORIDA HOSPITAL WINTER GARDEN

PHASE A

WINTER GARDEN, FLORIDA

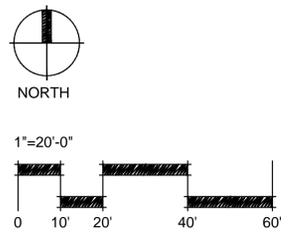
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Approved By:	MLP	Project No.:	2.13115

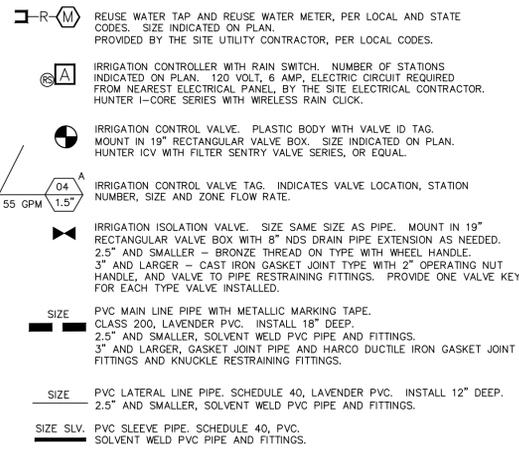
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IRRIGATION NOTES

- SOME PIPE LINES ARE DRAWN OFF SET FOR CLARITY. INSTALL ALL IRRIGATION LINES IN LANDSCAPED AREAS.
- REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREE ROOT BALLS AND TO INSTALL HEADS AT APPROPRIATE LOCATIONS.
- ADJUST ALL NOZZLES TO REDUCE OVERTHROW ON PAVING & WALLS. THROTTLE ALL IRRIGATION CONTROL VALVES AS REQUIRED TO PREVENT FOGGING. SET CONTROLLER RUN TIMES TO MATCH PLANT WATER NEEDS AND SOIL CONDITIONS.
- INSTALL RISERS 18" FROM WALLS OR BUILDINGS, AND 24" FROM PAVED SURFACES. PAINT ALL RISERS AND SUPPORTS FLAT BLACK.
- INSTALL POP-UP HEADS 18" FROM WALLS, 6" FROM WALKS, DECKS AND CURBS, 6 FEET FROM CURBLESS ROADS, AND 30" FROM THE END OF PARKING SPACES. PROVIDE LAVENDER CAPS AS REQUIRED.
- SET TOP OF POP-UP HEAD CAPS 1" ABOVE FINISHED GRADE PRIOR TO SOD OR MULCH INSTALLATION.
- REFER TO UTILITY PLANS PRIOR TO TRENCHING. THE IRRIGATION INSTALLER SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO UTILITIES CAUSED BY THEIR WORK DURING THE PROJECT.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP.
- ELECTRIC POWER SUPPLY FOR THE IRRIGATION CONTROLLER SHALL BE BROUGHT TO A JUNCTION BOX AT THE CONTROLLER LOCATION BY THE BUILDING ELECTRICAL CONTRACTOR. IRRIGATION INSTALLER TO PROVIDE ELECTRICAL PERMITS AND LICENSED ELECTRICIAN TO CONNECT THE IRRIGATION CONTROLLER EQUIPMENT TO THE POWER SUPPLY.
- IRRIGATION WATER CONNECTIONS AND SYSTEM CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF LOCAL CODES FOR IRRIGATION INSTALLATION, SIGNAGE, PLACARDS AND CONNECTIONS TO THE RECLAIMED WATER SUPPLY. THE TERM LAVENDER COLOR ON THESE PLANS REFERS TO PAINTONE COLOR #512, PER PLUMBING CODES AND THE USE OF RECLAIMED WATER FOR LANDSCAPE IRRIGATION.
- IRRIGATION INSTALLER TO ACQUIRE ALL PERMITS AND UTILIZE ALL SAFETY PRECAUTIONS REQUIRED TO WORK IN ROW OF ROADWAY.
- SIXTY (60) PSI MINIMUM STATIC WATER PRESSURE IS REQUIRED FOR THE EFFICIENT OPERATION OF THE IRRIGATION SYSTEM AS DESIGNED. VERIFY THE MINIMUM STATIC WATER PRESSURE AND VOLUME IS AVAILABLE AT THE PROJECT SITE PRIOR TO BEGINNING THE IRRIGATION INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT IN WRITING IF THE MINIMUM STATIC WATER PRESSURE OR WATER VOLUME IS NOT AVAILABLE.
- AT THE END OF PARKING SPACES PLACE HEADS IN LINE WITH PARKING STRIPES OR 2.5 FEET FROM BACK OF CURB. (TYPICAL)

IRRIGATION LEGEND

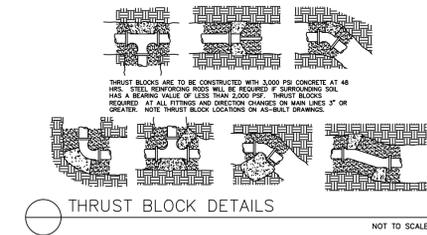
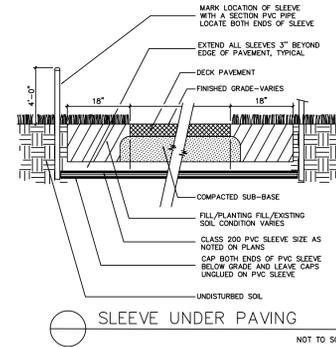
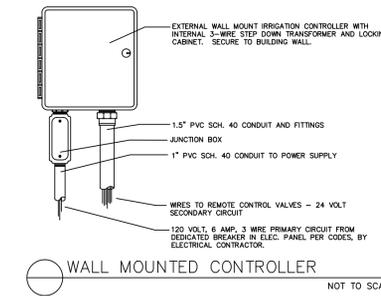
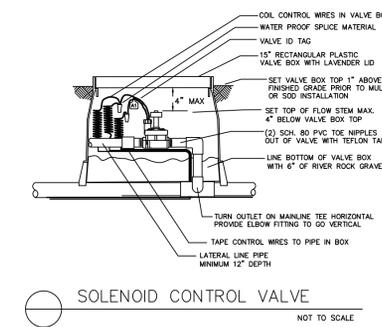
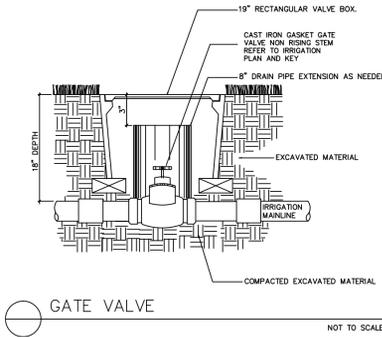
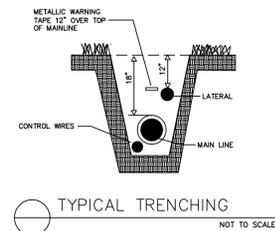
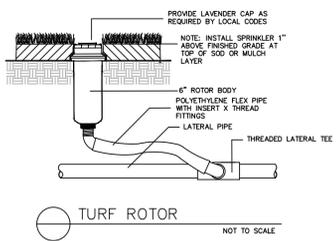
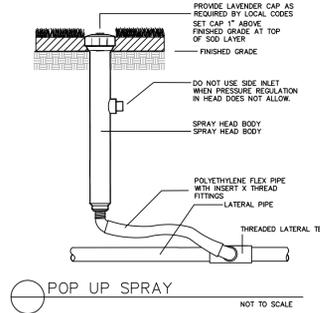
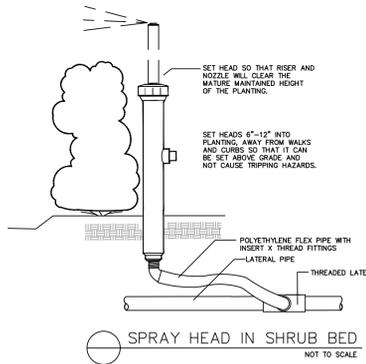
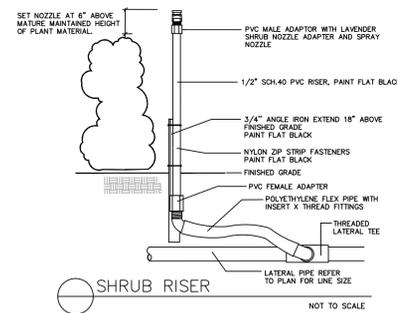
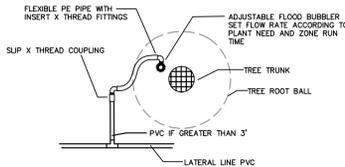
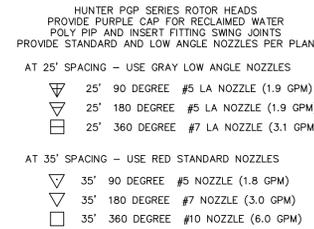


SPRAY BODIES

HUNTER PRS PRESSURE REGULATING SPRAY BODIES & ADAPTORS
 PROVIDE PURPLE CAP FOR RECLAIMED WATER
 POLY PIPE AND INSERT FITTING SWING JOINTS
 PROVIDE PRO-PRAY FIXED ARC NOZZLES PER PLAN

LETTER	GPM AT 30 PSI	RADIUS	PATTERN
A	0.9	15'	QUARTER
B	1.25	15'	ONE THIRD
C	1.85	15'	HALF
D	2.5	15'	TWO THIRD
E	2.8	15'	THREE QTR.
F	3.7	15'	FULL
G	0.65	12"	QUARTER
H	0.9	12"	ONE THIRD
J	1.3	12"	HALF
K	1.75	12"	TWO THIRD
L	1.95	12"	THREE QTR.
M	2.6	12"	FULL
N	0.4	10'	QUARTER
P	0.5	10'	ONE THIRD
R	0.8	10'	HALF
Q	1.5	10'	FULL
U	0.6	4' X 15'	END STRIP
V	1.2	4' X 30'	SIDE STRIP
W	1.2	4' X 30'	CENTER STRIP
X	1.7	9' X 18'	SIDE STRIP
Z1	VARIES	10'	10' ADJUSTABLE ARC
Z2	VARIES	12'	12' ADJUSTABLE ARC
Z	VARIES	15'	15' ADJUSTABLE ARC
Y	0.5	1'	FLOOD BUBBLER
O	1.0	5'	STREAM BUBBLER
1	0.3	8"	QUARTER
2	0.4	8"	ONE THIRD
3	0.5	8"	HALF

ROTOR HEADS



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**FLORIDA HOSPITAL
 WINTER GARDEN
 PHASE A**

WINTER GARDEN, FLORIDA

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1		
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Sheet Title:
**IRRIGATION LEGEND,
 NOTES AND DETAILS**

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Date:	JUNE 20, 2014	Scale:	N.T.S.
Drawn By:	PSI	Designed By:	PSI
Approved By:	MLP	Project No:	2.13115

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L62.01

Professional Seal:
 MICHAEL L. PRESTON
 LICENSED LANDSCAPE ARCHITECT
 FLORIDA
 01/19/14



SITE FURNISHING LEGEND

SEE FINISH SCHEDULE L10.11

- SF01 BENCH
 - SF01a BENCH W/ BACK
 - SF01b BENCH - BACKLESS
 - SF01c BENCH - BACKLESS
 - SF01d BENCH W/ BACK
- SF02 BIKE RACK
- SF03 DECORATIVE PLANTING POTS
- SF04 TRASH RECEPTACLE

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FLORIDA HOSPITAL WINTER GARDEN

PHASE A

WINTER GARDEN, FLORIDA

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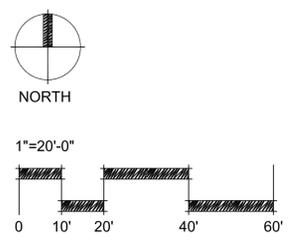
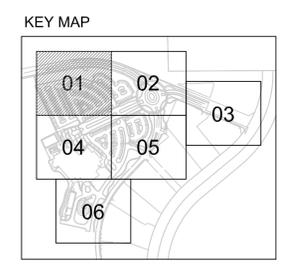
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SITE FURNISHING PLAN

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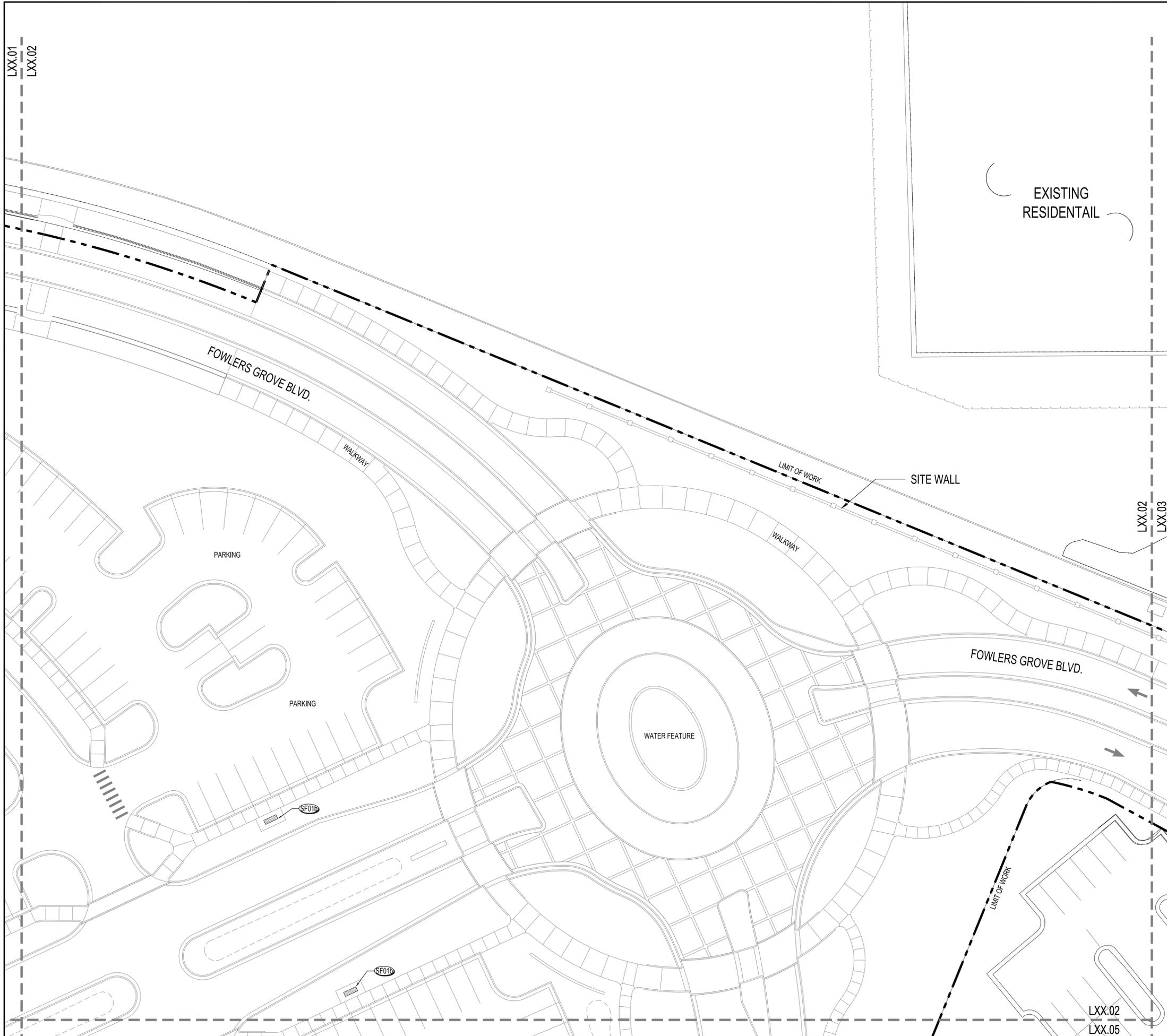
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Approved By: EML	Project No: 2.13115

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Sheet Number:
L71.01



LXX.01
LXX.04



SITE FURNISHING LEGEND

SEE FINISH SCHEDULE L10.11

- SF01 BENCH
- SF01a BENCH W/ BACK
- SF01b BENCH - BACKLESS
- SF01c BENCH - BACKLESS
- SF02 BIKE RACK
- SF03 DECORATIVE PLANTING POTS
- SF04 TRASH RECEPTACLE

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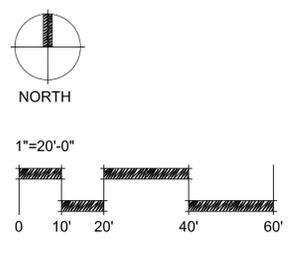
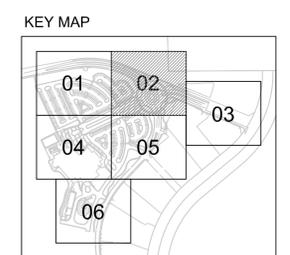
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PLAN**

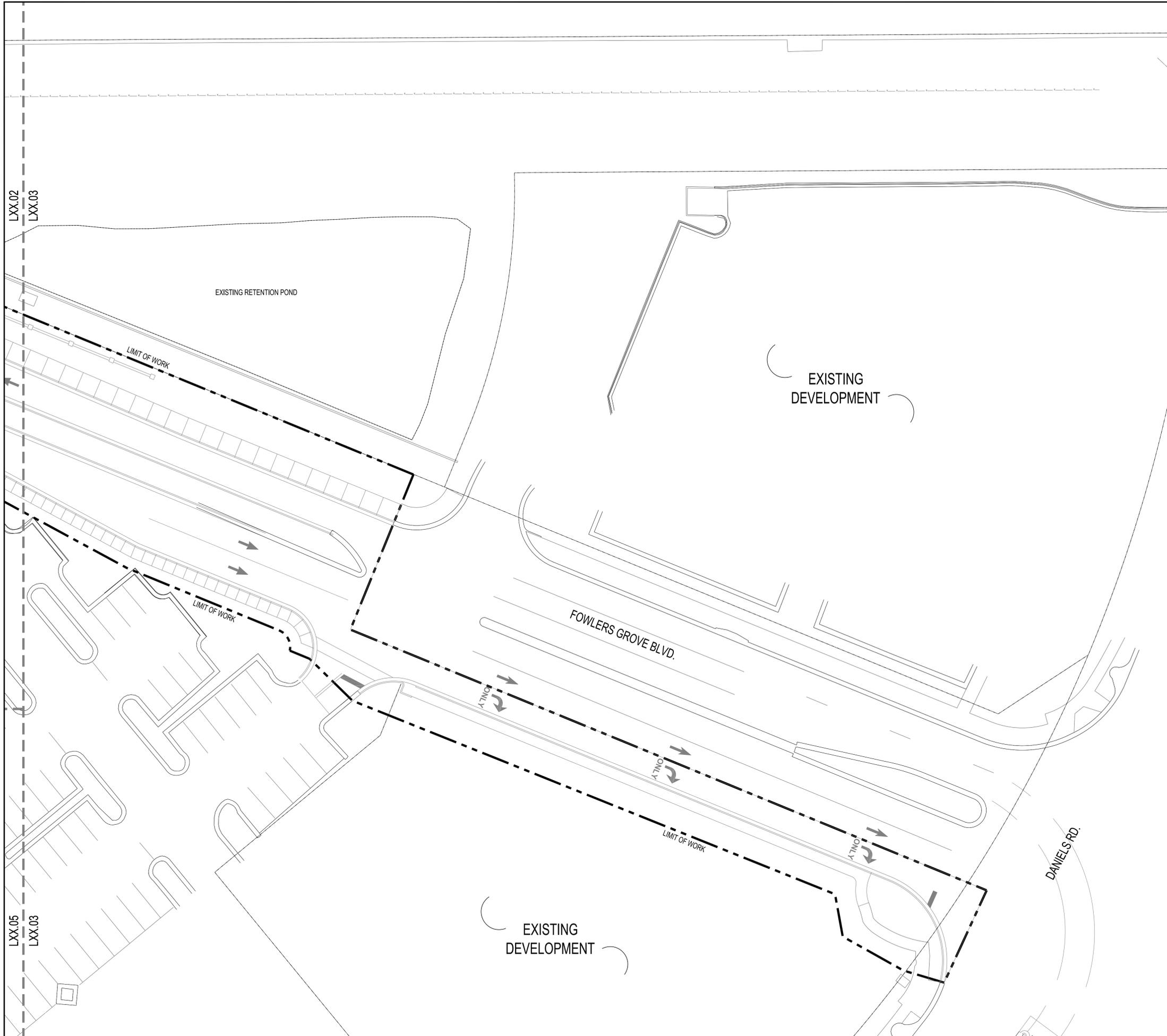
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Approved By: EML	Project No: 2.13115

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L71.02





SITE FURNISHING LEGEND

SEE FINISH SCHEDULE L10.11

- SF01 BENCH
- SF01a BENCH W/ BACK
- SF01b BENCH - BACKLESS
- SF01c BENCH - BACKLESS
- SF02 BIKE RACK
- SF03 DECORATIVE PLANTING POTS
- SF04 TRASH RECEPTACLE

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CIVIL ENGINEER	
LITTLEJOHN ENGINEERING ASSOCIATES, INC. 1615 EDGEWATER DRIVE, SUITE 180 ORLANDO, FL 32804 P: 407.975.1273 F: 407.975.1279	
WATER FEATURE ENGINEER	
CLOWARD H2O 2696 N. UNIVERSITY AVE, SUITE 290 PROVO, UT 84604 P: 801.375.1223	
STRUCTURAL ENGINEER	
PAUL J. FORD AND COMPANY 3670 MAGUIRE BLVD., STE 250 ORLANDO, FL 32803 P: 407.898.9039	
IRRIGATION DESIGNER	
PREVOST-STAMPER, INC. 600 EDWARDS STREET, SUITE 7102 CELEBRATION, FLORIDA 34747 P: 407.566.9009	

FLORIDA HOSPITAL WINTER GARDEN PHASE A

WINTER GARDEN, FLORIDA

Rev:	Date:	Description:
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3		

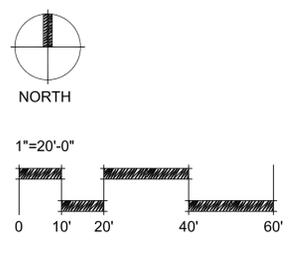
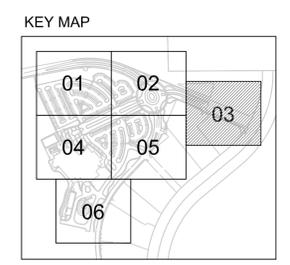
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**SITE FURNISHING
PLAN**

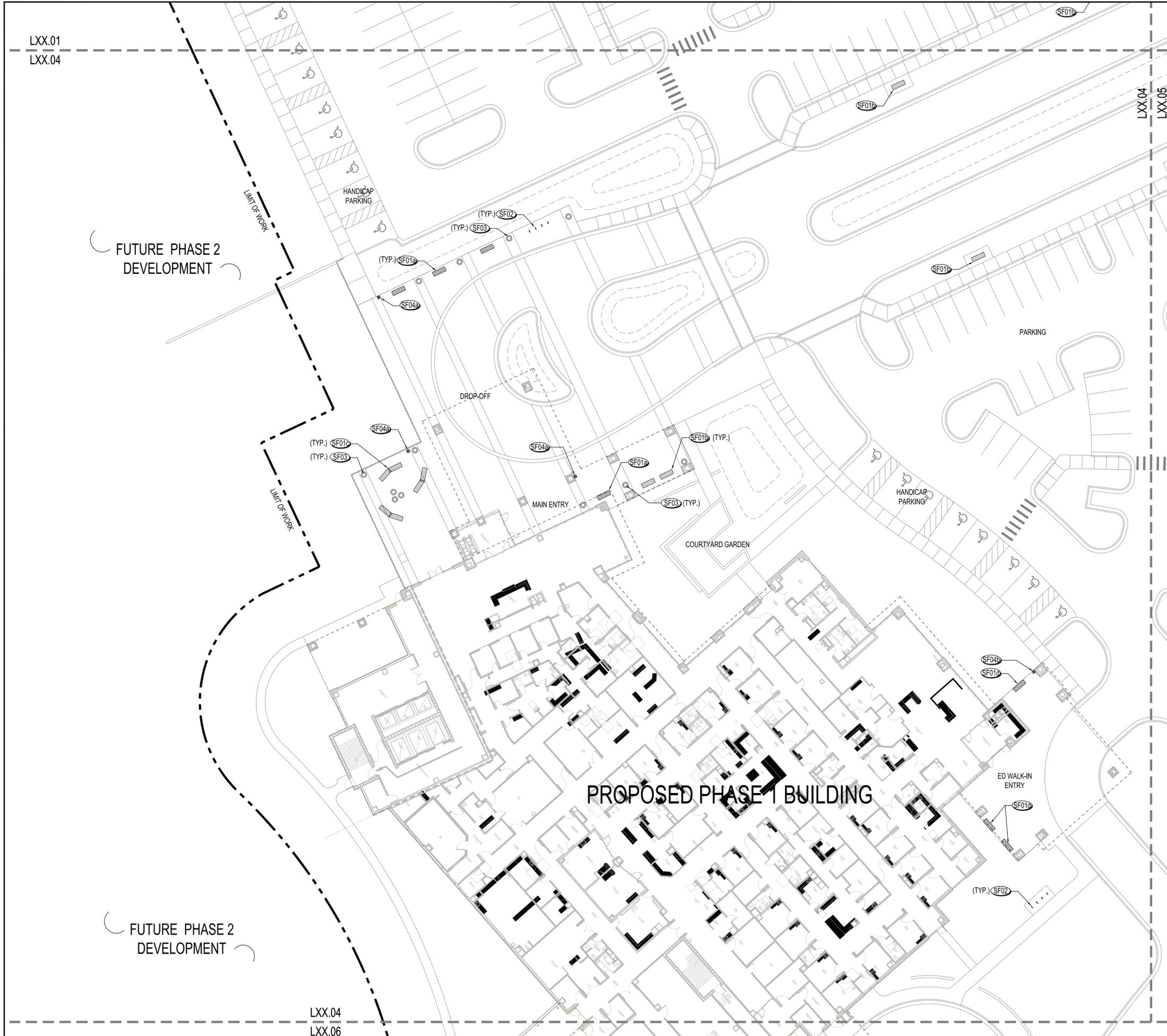
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Date: JUNE 20, 2014	Scale: 1"=20'-0"
Drawn By: JYP	Designed By: EML, JYP
Approved By: EML	Project No: 2.13115

Seal: 

Sheet Number:
L71.03





SITE FURNISHING LEGEND

SEE FINISH SCHEDULE L10.11

- SF01 BENCH
- SF01a BENCH W/ BACK
- SF01b BENCH - BACKLESS
- SF01c BENCH - BACKLESS
- SF02 BIKE RACK
- SF03 DECORATIVE PLANTING POTS
- SF04 TRASH RECEPTACLE

135 WEST CENTRAL BLVD., SUITE 400
ORLANDO, FLORIDA 32801 USA
L00000001

EDSA
PLANNING • LANDSCAPE ARCHITECTURE • URBAN DESIGN • GRAPHIC DESIGN

OWNER / DEVELOPER	
ADVENTIST HEALTH SYSTEM/SUNBELT, INC FLORIDA HOSPITAL ACCOUNTING DEPARTMENT 601 E. ROLLINS ST., ORLANDO, FL 32803 P: 407.303.1166	
ARCHITECT	
ESa 2100 WEST END AVENUE, SUITE 1200 NASHVILLE, TN 37203 P: 615.329.0046	
CIVIL ENGINEER	
LITTLEJOHN ENGINEERING ASSOCIATES, INC. 1615 EDGEWATER DRIVE, SUITE 180 ORLANDO, FL 32804 P: 407.975.1273 F: 407.975.1279	
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PREVOST-STAMPER, INC. 600 EDWARDS STREET, SUITE 7102 CELEBRATION, FLORIDA 34747 P: 407.566.9009	

FLORIDA HOSPITAL WINTER GARDEN PHASE A

WINTER GARDEN, FLORIDA

Rev:	Date:	Description:
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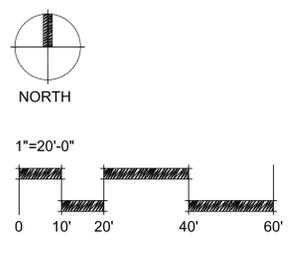
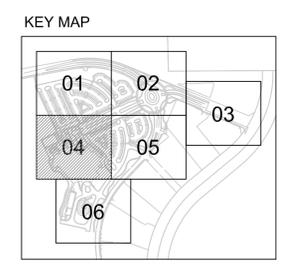
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PLAN**

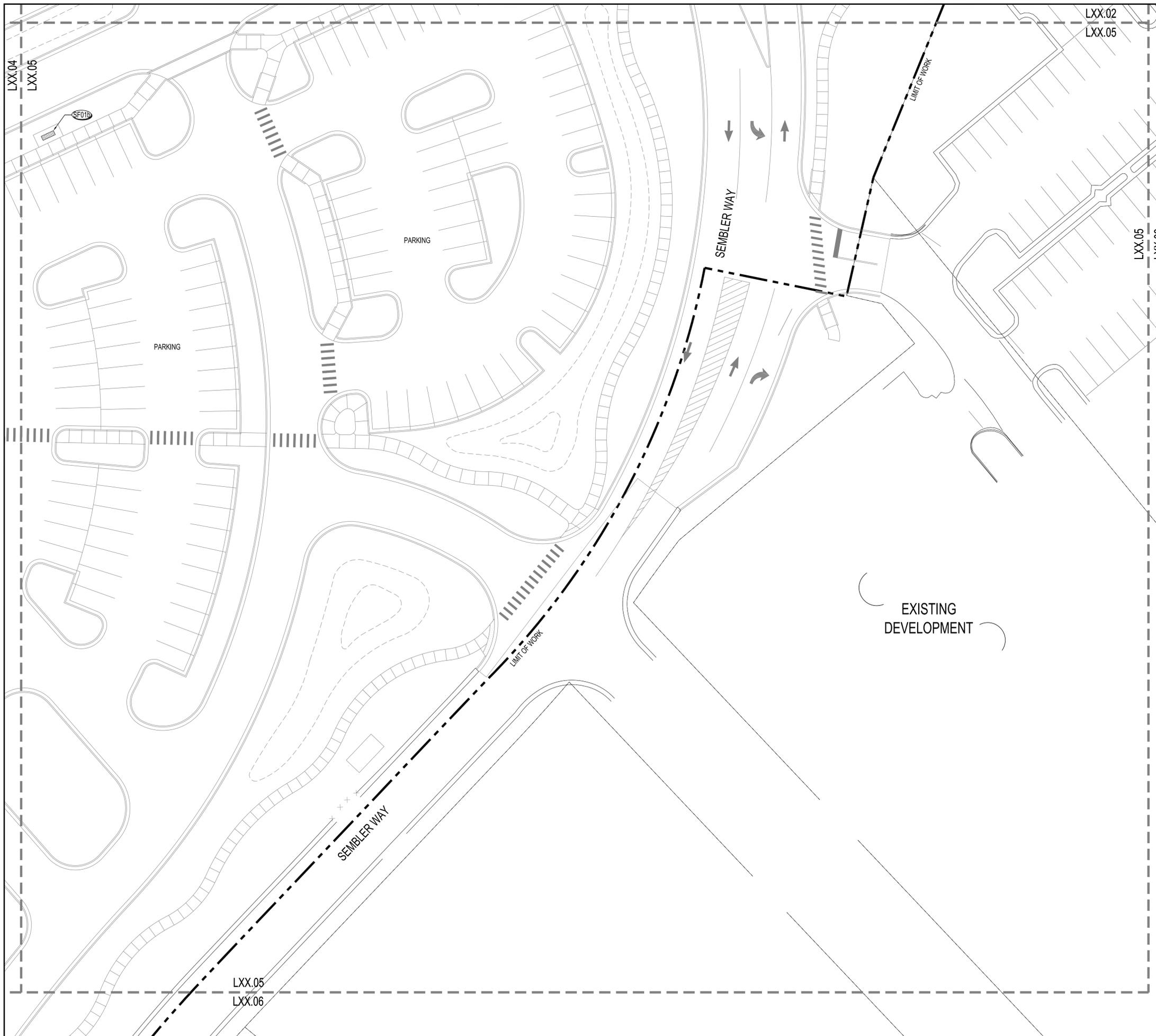
NOT FOR CONSTRUCTION

Date: JUNE 20, 2014	Scale: 1"=20'-0"
Drawn By: JYP	Designed By: EML, JYP
Approved By: EML	Project No: 2.13115

Seal:

Sheet Number:
L71.04





SITE FURNISHING LEGEND

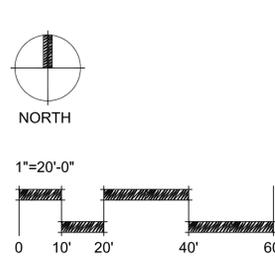
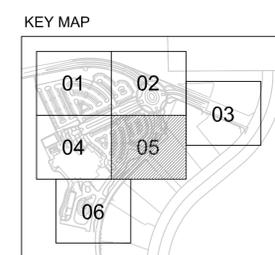
SEE FINISH SCHEDULE L10.11

(SF01)	BENCH	
(SF01a)	BENCH W/ BACK	
(SF01b)	BENCH - BACKLESS	
(SF01c)	BENCH	
(SF02)	BIKE RACK	
(SF03)	DECORATIVE PLANTING POTS	
(SF04)	TRASH RECEPTACLE	

<p>135 WEST CENTRAL BLVD., SUITE 400 ORLANDO, FLORIDA 32801 USA L0000001</p> <p>EDSA PLANNING • LANDSCAPE ARCHITECTURE • URBAN DESIGN • GRAPHIC DESIGN</p>	
<p>OWNER / DEVELOPER ADVENTIST HEALTH SYSTEM/SUNBELT, INC FLORIDA HOSPITAL ACCOUNTING DEPARTMENT 601 E. ROLLINS ST., ORLANDO, FL 32803 P: 407.303.1166</p>	
<p>ARCHITECT Esa 2100 WEST END AVENUE, SUITE 1200 NASHVILLE, TN 37203 P: 615.329.0046</p>	
<p>CIVIL ENGINEER LITTLEJOHN ENGINEERING ASSOCIATES, INC. 1615 EDGEWATER DRIVE, SUITE 180 ORLANDO, FL 32804 P: 407.975.1273 F: 407.975.1279</p>	
<p>WATER FEATURE ENGINEER CLOWARD H2O 2696 N. UNIVERSITY AVE, SUITE 290 PROVO, UT 84604 P: 801.375.1223</p>	
<p>STRUCTURAL ENGINEER PAUL J. FORD AND COMPANY 3670 MAGUIRE BLVD., STE 250 ORLANDO, FL 32803 P: 407.898.9039</p>	
<p>IRRIGATION DESIGNER PREVOST-STAMPER, INC. 600 EDWARDS STREET, SUITE 7102 CELEBRATION, FLORIDA 34747 P: 407.566.9009</p>	

FLORIDA HOSPITAL WINTER GARDEN PHASE A

WINTER GARDEN, FLORIDA



Rev:	Date:	Description:

Sheet Title:
**SITE FURNISHING
PLAN**

NOT FOR CONSTRUCTION

Date: JUNE 20, 2014	Scale: 1"=20'-0"
Drawn By: JYP	Designed By: EML, JYP
Approved By: EML	Project No: 2.13115

Seal:

Sheet Number:
L71.05

LXX.04
LXX.06

LXX.05
LXX.06

SITE FURNISHING LEGEND

SEE FINISH SCHEDULE L10.11

- SF01** BENCH
- SF01a** BENCH W/ BACK
- SF01b** BENCH - BACKLESS
- SF01c** BENCH - BACKLESS
- SF01d** BENCH W/ BACK
- SF02** BIKE RACK
- SF03** DECORATIVE PLANTING POTS
- SF04** TRASH RECEPTACLE

135 WEST CENTRAL BLVD., SUITE 400
ORLANDO, FLORIDA 32801 USA
L00000001

EDSA
PLANNING • LANDSCAPE ARCHITECTURE • URBAN DESIGN • GRAPHIC DESIGN

OWNER / DEVELOPER	
ADVENTIST HEALTH SYSTEM/SUNBELT, INC FLORIDA HOSPITAL ACCOUNTING DEPARTMENT 601 E. ROLLINS ST., ORLANDO, FL 32803 P: 407.303.1166	
ARCHITECT	
ESa 2100 WEST END AVENUE, SUITE 1200 NASHVILLE, TN 37203 P: 615.329.0046	
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IRRIGATION DESIGNER	
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FLORIDA HOSPITAL WINTER GARDEN

PHASE A

WINTER GARDEN, FLORIDA

Rev:	Date:	Description:
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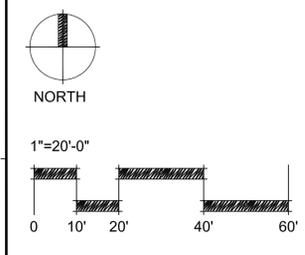
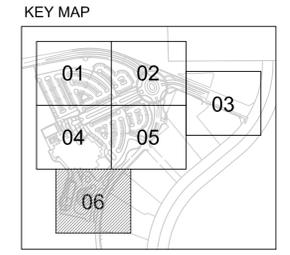
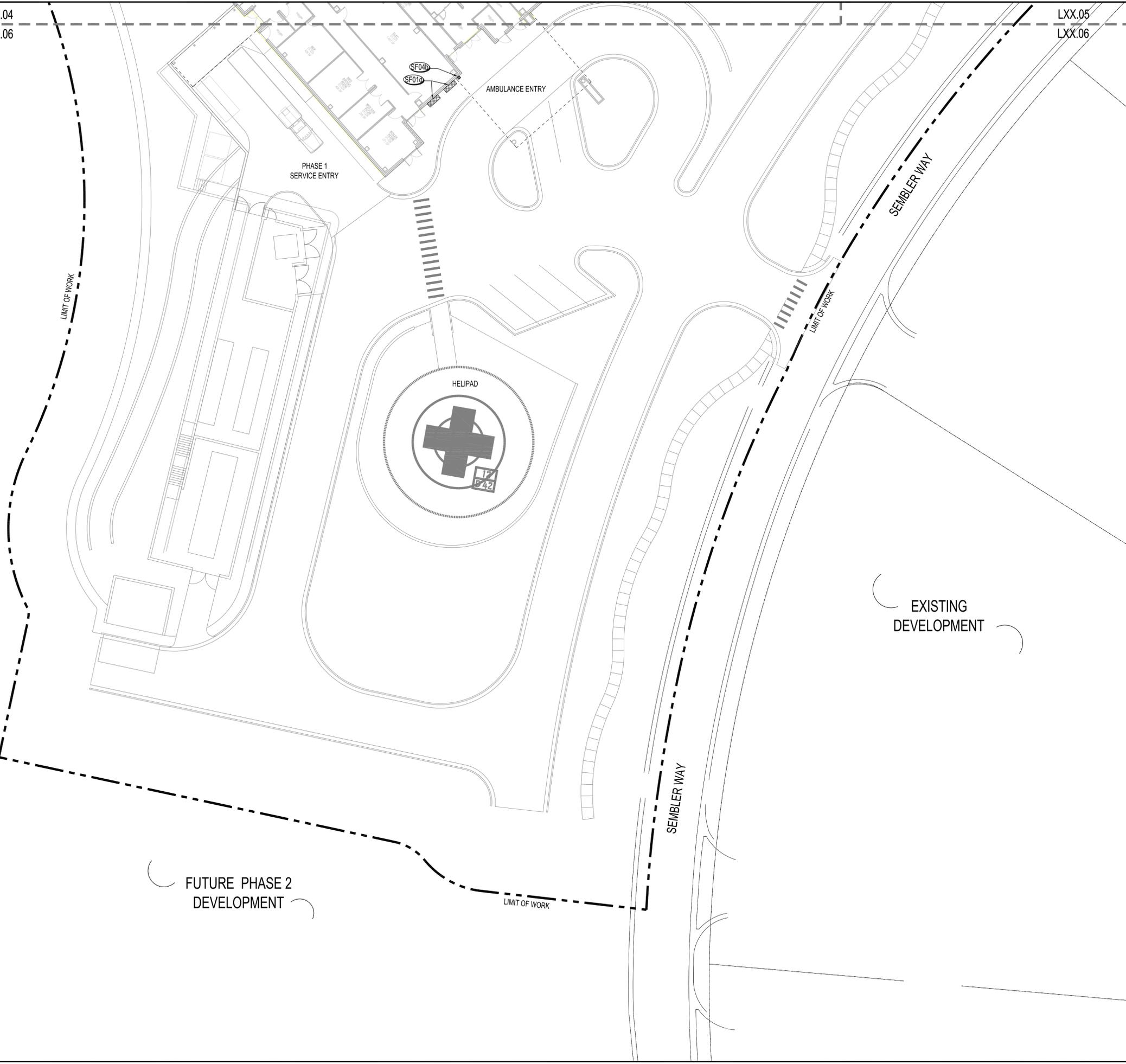
Sheet Title:
**SITE FURNISHING
PLAN**

NOT FOR CONSTRUCTION

Date: JUNE 20, 2014	Scale: 1"=20'-0"
Drawn By: JYP	Designed By: EML, JYP
Approved By: EML	Project No: 2.13115

Seal: 

Sheet Number:
L71.06





1 SF01a - BENCH - BACKED STYLE TYPE 1
IMAGE REFERENCE



2 SF01b - BENCH - BACKLESS STYLE - TYPE 2
IMAGE REFERENCE



3 SF01c - BENCH - BACKLESS STYLE - MITRE EDGE - TYPE 3
IMAGE REFERENCE



4 SF01d - BENCH - BACKED STYLE - TYPE 4
IMAGE REFERENCE



5 SF02 - BIKE RACK
IMAGE REFERENCE



6 SF03 - DECORATIVE PLANTING POTS
IMAGE REFERENCE



7 SF04a - TRASH RECEPTACLE - TYPE 1
IMAGE REFERENCE



8 SF04b - TRASH RECEPTACLE - TYPE 2
IMAGE REFERENCE

OWNER / DEVELOPER ADVENTIST HEALTH SYSTEM/SUNBELT, INC FLORIDA HOSPITAL ACCOUNTING DEPARTMENT 601 E. ROLLINS ST., ORLANDO, FL 32803 P: 407.303.1166
ARCHITECT ESa 2100 WEST END AVENUE, SUITE 1200 NASHVILLE, TN 37203 P: 615.329.0046
CIVIL ENGINEER LITTLEJOHN ENGINEERING ASSOCIATES, INC. 1615 EDGEWATER DRIVE, SUITE 180 ORLANDO, FL 32804 P: 407.975.1273 F: 407.975.1279
WATER FEATURE ENGINEER CLOWARD H2O 2696 N. UNIVERSITY AVE., SUITE 290 PROVO, UT 84604 P: 801.375.1223
STRUCTURAL ENGINEER PAUL J. FORD AND COMPANY 3670 MAGUIRE BLVD., STE 250 ORLANDO, FL 32803 P: 407.898.9039
IRRIGATION DESIGNER PREVOST-STAMPER, INC. 600 EDWARDS STREET, SUITE 7102 CELEBRATION, FLORIDA 34747 P: 407.566.9009

**FLORIDA HOSPITAL
WINTER GARDEN**
PHASE A
WINTER GARDEN, FLORIDA

Rev:	Date:	Description:
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Sheet Title:
**SITE FURNISHING
CUT SHEETS**
NOT FOR CONSTRUCTION

Date: JUNE 20, 2014	Scale:
Drawn By: JYP	Designed By: EML, JYP
Approved By: EML	Project No: 2.03115

Seal:  Sheet Number:
L73.01

OWNER / DEVELOPER
ADVENTIST HEALTH SYSTEM/SUNBELT, INC
FLORIDA HOSPITAL ACCOUNTING DEPARTMENT
601 E. ROLLINS ST, ORLANDO, FL 32803
P: 407.303.1166

ARCHITECT
ESa
2100 WEST END AVENUE, SUITE 1200
NASHVILLE, TN 37203
P: 615.329.0046

CIVIL ENGINEER
LITTLEJOHN ENGINEERING ASSOCIATES, INC.
1615 EDGEWATER DRIVE, SUITE 180
ORLANDO, FL 32804
P: 407.975.1273 F: 407.975.1279

WATER FEATURE ENGINEER
CLOWARD H2O
2696 N. UNIVERSITY AVE, SUITE 290
PROVO, UT 84604
P: 801.375.1223

STRUCTURAL ENGINEER
PAUL J. FORD AND COMPANY
3670 MAGUIRE BLVD., STE 250
ORLANDO, FL 32803
P: 407.898.9039

IRRIGATION DESIGNER
PREVOST-STAMPER, INC.
600 EDWARDS STREET, SUITE 7102
CELEBRATION, FLORIDA 34747
P: 407.566.9009

FLORIDA HOSPITAL WINTER GARDEN PHASE 1

WINTER GARDEN, FLORIDA

Rev:	Date:	Description:
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3		

Sheet Title:
**CR535
LANDSCAPE BUFFER
PLAN**

NOT FOR CONSTRUCTION

Date:	MAY. 05. 2014	Scale:	1"=30'-0"
Drawn By:	JYP, YS	Designed By:	EML, JYP
Approved By:	EML	Project No:	2.13115

Seal:


Sheet Number:
L-1

PLANT LEGEND

-  PROPOSED SHADE TREE
-  PROPOSED FLOWERING / ORNAMENTAL TREE
-  PROPOSED EVERGREEN TREE
-  EXISTING TREE TO REMAIN
-  EXISTING TREE TO BE REMOVED
-  EXISTING TREE TRANSPLANTED
-  SIGHT TRIANGLE

EXISTING TREE SCHEDULE

- CR = CRAPE MYRTLE TREES
- H = HOLLY TREES
- M = MAGNOLIA TREES
- O = OAK TREES

PROPOSED TREE SCHEDULE

MGLG	Magnolia grandiflora 'Little Gem' 'Little Gem' Magnolia 65 Gal. / 12'-14' Hgt. / 4" Cal. / Full to ground
INS	Ilex x 'Nellie R. Stevens' 'Nellie Stevens' Holly 25 Gal. / 5' Hgt. / 2" Cal. / Full to ground
UPD	Ulmus parvifolia 'Drake' 'Drake' Chinese Elm 65 Gal. / 4" Cal.

NOTES:
THIS PLAN WAS PREPARED FROM VARIOUS DATA SOURCES. THIS PLAN IS NOT A SURVEY DOCUMENT. THIS PLAN IS A GENERAL SKETCH DESCRIPTION OF THE EXISTING CONDITIONS.

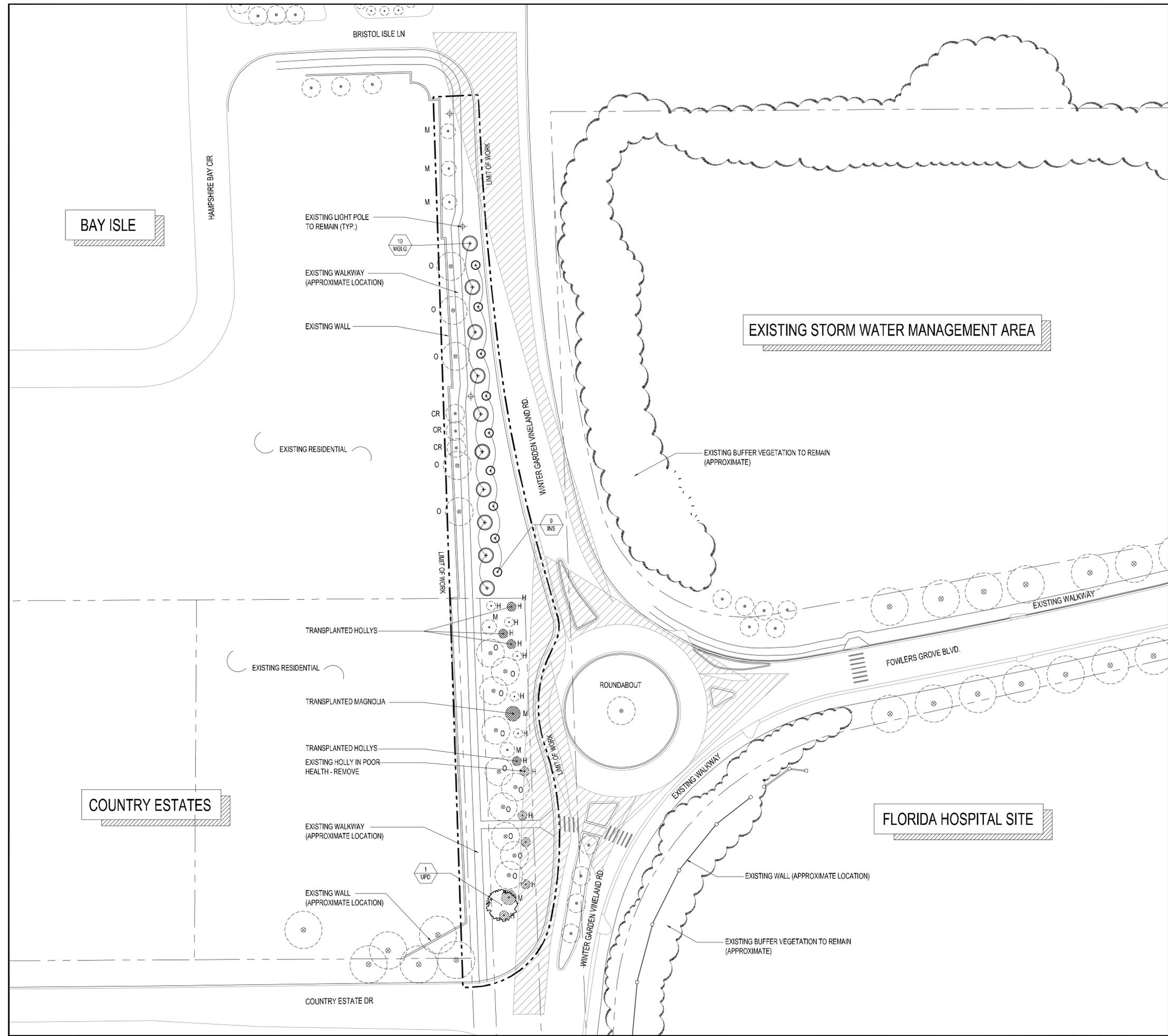
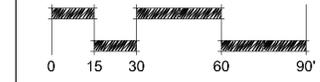
* ALL LOCATIONS AND DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY A LICENSED PROFESSIONAL SURVEYOR.

* FOR CLARITY PROPOSES EXISTING SHRUB & GROUND COVER MATERIALS ARE NOT SHOWN ON THIS PLAN.

* EXISTING IRRIGATION SYSTEM TO BE ADJUSTED IN THE FIELD TO PROVIDE IRRIGATION TO EXISTING AND NEW PLAN MATERIALS.

* REFER TO CIVIL ENGINEER FOR DRAINAGE MODIFICATIONS.

SCALE 1" = 30'



BAY ISLE

COUNTRY ESTATES

EXISTING STORM WATER MANAGEMENT AREA

FLORIDA HOSPITAL SITE

ROUNDAABOUT

BRISTOL ISLE LN

HAMPSHIRE BAY CIR

WINTER GARDEN VINELAND RD

FOWLERS GROVE BLVD.

EXISTING LIGHT POLE TO REMAIN (TYP.)

EXISTING WALKWAY (APPROXIMATE LOCATION)

EXISTING WALL

EXISTING RESIDENTIAL

EXISTING RESIDENTIAL

TRANSPLANTED HOLLYS

TRANSPLANTED MAGNOLIA

TRANSPLANTED HOLLYS

EXISTING HOLLY IN POOR HEALTH - REMOVE

EXISTING WALKWAY (APPROXIMATE LOCATION)

EXISTING WALL (APPROXIMATE LOCATION)

COUNTRY ESTATE DR

EXISTING BUFFER VEGETATION TO REMAIN (APPROXIMATE)

EXISTING WALL (APPROXIMATE LOCATION)

EXISTING BUFFER VEGETATION TO REMAIN (APPROXIMATE)

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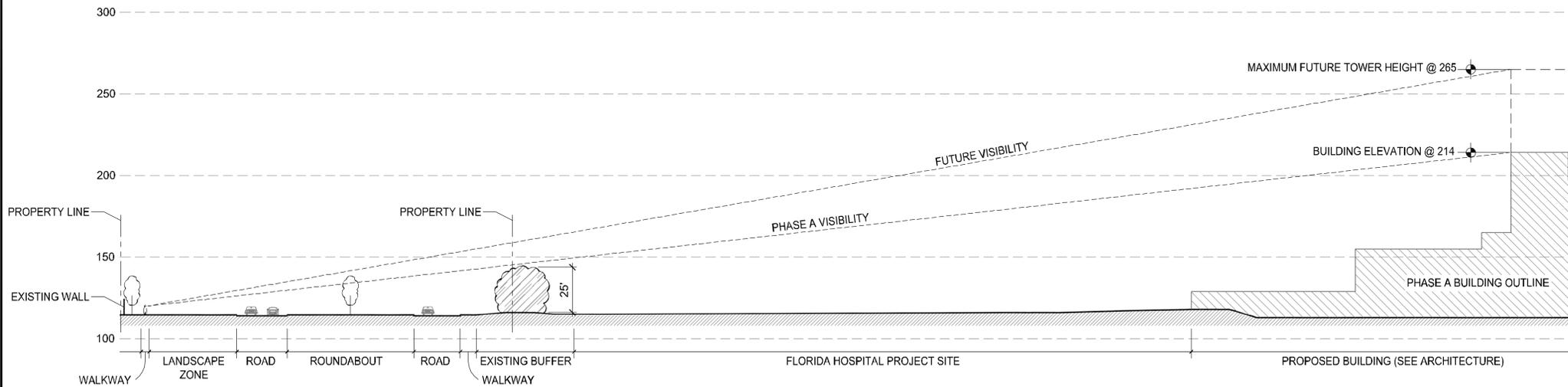
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OWNER / DEVELOPER
ADVENTIST HEALTH SYSREM/SUNBELT, INC FLORIDA HOSPITAL ACCOUNTING DEPARTMENT 601 E. ROLLINS ST, ORLANDO, FL 32803 P: 407.303.1166
ARCHITECT
ESa 2100 WEST END AVENUE, SUITE 1200 NASHVILLE, TN 37203 P: 615.329.0046
CIVIL ENGINEER
LITTLEJOHN ENGINEERING ASSOCIATES, INC. 1615 EDGEWATER DRIVE, SUITE 180 ORLANDO, FL 32804 P: 407.975.1273 F: 407.975.1279
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PAUL J. FORD AND COMPANY 3670 MAGUIRE BLVD., STE 250 ORLANDO, FL 32803 P: 407.898.9039
IRRIGATION DESIGNER
PREVOST-STAMPER, INC. 600 EDWARDS STREET, SUITE 7102 CELEBRATION, FLORIDA 34747 P: 407.566.9009

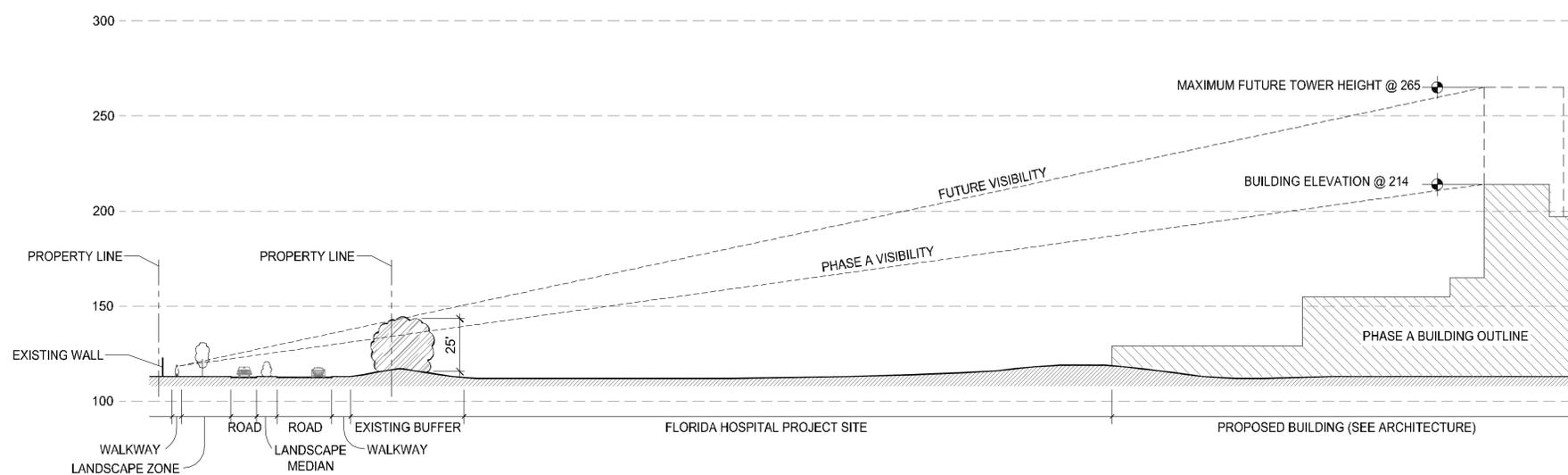
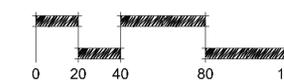


'SECTION A' (LOOKING NORTHEAST)



KEY PLAN - SECTION A

SCALE 1" = 40'

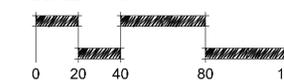


'SECTION B' (LOOKING NORTHEAST)



KEY PLAN - SECTION B

SCALE 1" = 40'



NOTE:

HEIGHT OF EXISTING VEGETATION HAS BEEN APPROXIMATED AT 25' FROM EXISTING GRADE AT THE SITE.
HEIGHT OF EXISTING BUFFER PLANTS VARY AROUND THE ROADWAY CORRIDOR.
REFER TO CIVIL ENGINEER GRADING PLANS FOR TOPOGRAPHIC DATUM / BENCHMARK.
MAX BUILDING HEIGHTS DEFINED IN ORDINANCE 12-54, REFER TO PCD-4 AND PCD-5.

**FLORIDA HOSPITAL
WINTER GARDEN**
PHASE 1
WINTER GARDEN, FLORIDA

Rev:	Date:	Description:
1		
2		
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Sheet Title:
**CR535
LANDSCAPE BUFFER
SECTIONS**
NOT FOR CONSTRUCTION

Date: MAY. 05. 2014	Scale: 1"=30'-0"
Drawn By: JYP, YS	Designed By: EML, JYP
Approved By: EML	Project No: 2.13115

Seal:

Sheet Number:
L-2

GENERAL

- THESE NOTES ARE GENERAL REQUIREMENTS. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREINAFTER FOR USE ON THIS PROJECT.
- IF MATERIALS, QUANTITIES, STRENGTHS OR SIZES INDICATED BY THE DRAWINGS OR SPECIFICATIONS ARE NOT IN AGREEMENT WITH THESE NOTES, THE CONTRACTOR SHALL CONTACT THE ARCHITECT/ENGINEER FOR CLARIFICATION.
- TYPICAL DETAILS MAY NOT NECESSARILY BE CUT ON THE PLANS, BUT APPLY UNLESS NOTED OTHERWISE.
- SHOP DRAWINGS PREPARED BY SUPPLIERS AND SUBCONTRACTORS SHALL BE REVIEWED AND APPROVED BY THE GENERAL CONTRACTOR PRIOR TO SUBMISSION TO THE ENGINEER/ARCHITECT.
- SHOP DRAWINGS PREPARED BY THE CONTRACTORS, SUPPLIERS, ETC., WILL BE REVIEWED BY THE ENGINEER/ARCHITECT ONLY FOR CONFORMANCE WITH DESIGN CONCEPT. NO WORK AFFECTED BY THE SHOP DRAWINGS SHALL BE STARTED WITHOUT SUCH REVIEW.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL REVISIONS, CORRECTIONS, AND COMMENTS INDICATED ON THE SHOP DRAWINGS BY THE ARCHITECT/ENGINEER.
- ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR AND SHALL CONFORM TO THOSE SHOWN ON THE ARCHITECTURAL DRAWINGS.
- THE STRUCTURAL CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE ENGINEER SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES.
- ANY SUPPORT SERVICES PERFORMED BY THE ENGINEER DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED BY THE ENGINEER ARE SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.
- ALL STRUCTURES ARE DESIGNED TO BE STABLE AND SELF-SUPPORTING AT THE COMPLETION OF CONSTRUCTION. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURE AND SEQUENCE TO ENSURE THE STABILITY AND SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS, AND THE ADEQUACY OF TEMPORARY OR INCOMPLETE CONNECTIONS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF WHATEVER TEMPORARY BRACING, GUYS OR TIE-DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL IS NOT INDICATED ON THE DRAWINGS AND, IF PROVIDED, SHALL BE REMOVED, AS CONDITIONS PERMIT AND REMAIN THE PROPERTY OF THE CONTRACTOR.
- ALL MATERIALS AND EQUIPMENT FURNISHED WILL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- COORDINATE WITH THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR MISCELLANEOUS STEEL ITEMS, LINTELS, METAL PAN STAIRS, SIZE AND LOCATION OF FLOOR SLOPES, DEPRESSED AREAS, FINISH FILLS, CHAMFERS, GROOVES, RAILING SLEEVES, ROOF EDGES, INSERTS, ETC.
- COORDINATE WITH CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS FOR PIPE SLEEVES, FLOOR DRAINS, ROOF DRAINS, INSERTS, HANGERS, TRENCHES, PITS, WALL AND SLAB OPENINGS, CONDUIT RUNS IN WALLS AND SLABS, SIZE AND LOCATION OF MACHINE OR EQUIPMENT SUPPORTS, BASE AND ANCHOR BOLTS, RAILING, ETC.
- COORDINATE WITH SITE, ARCHITECTURAL, ELECTRICAL, MECHANICAL, AND CIVIL DRAWINGS FOR RETAINING WALLS, PADS, PAVEMENT AND OTHER SITE STRUCTURES.
- EARTHWORK, FOUNDATION DRAINS, WATERPROOFING, PERIMETER INSULATION, MASONRY AND OTHER REQUIRED NON-STRUCTURAL ITEMS ARE NOT SHOWN ON THE STRUCTURAL DRAWINGS. COORDINATE WITH CIVIL/SITE AND ARCHITECTURAL DRAWINGS.

GOVERNING CODES AND SPECIFICATIONS

- | | |
|-----------|--|
| FBC | -FLORIDA BUILDING CODE, 2010 EDITION |
| ASCE 7 | -MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, 2010 EDITION |
| ACI 318 | -BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, 2008 EDITION |
| ACI 301 | -SPECIFICATIONS FOR STRUCTURAL CONCRETE, 2005 EDITION |
| ACI 308R | -HOT WEATHER CONCRETING, 1999 EDITION |
| ACI 315 | -DETAILS AND DETAILING OF CONCRETE REINFORCEMENT, 1999 EDITION |
| ACI 330 | -BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES, 2008 EDITION |
| ACI 530.1 | -SPECIFICATIONS FOR MASONRY STRUCTURES, 2008 EDITION |

DESIGN LOADS

- WIND LOADS (SOLID SIGN)
 - ULTIMATE DESIGN WIND SPEED (3-SECOND GUST), MPH142
 - RISK CATEGORYII
 - WIND EXPOSUREC

FOUNDATIONS

- FOUNDATIONS ARE DESIGNED TO BEAR ON UNDISTURBED NATURAL SOILS OR PROPERLY COMPACTED ENGINEERED FILL WITH A GROSS ALLOWABLE BEARING CAPACITY OF 1500 PSF.
 - TOPSOIL, FILL, AND/OR OTHER DELETERIOUS MATERIALS ENCOUNTERED DURING THE SITE PREPARATION MUST BE REMOVED AND REPLACED WITH SELECT ENGINEERED FILL COMPACTED TO 90% PER ASTM D1557 AND MEETING THE SPECIFIED DESIGN BEARING CAPACITY. (SEE GEOTECH REPORT FOR MORE INFORMATION).
 - OWNER SHALL EMPLOY A SOILS TESTING LABORATORY APPROVED BY THE ENGINEER TO PERFORM TESTING SERVICES AS REQUIRED BY THE SPECIFICATIONS AND TO INSPECT ALL BEARING SURFACES OF SLABS AND FOUNDATIONS.
- CAST-IN-PLACE CONCRETE AND REINFORCEMENT**
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 318.
 - CONCRETE SHALL HAVE THE FOLLOWING 28-DAY COMPRESSIVE STRENGTHS:
FOOTINGS, POLE FOUNDATIONS 3,000 PSI
WALLS 4,000 PSI
 - WATER CEMENT RATIO SHALL BE AS FOLLOWS:
WALLS 0.40 (MAX)
FOOTINGS, FOUNDATIONS 0.48 (MAX)
 - ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60.
 - ADMIXTURES SHALL CONTAIN NO MORE THAN 0.05% CHLORIDE IONS BY WEIGHT OF CEMENT WHEN TESTED IN ACCORDANCE WITH AASHTO T260.
 - CONTRACTOR SHALL KEEP A COPY OF "FIELD REFERENCE MANUAL, STANDARD SPECIFICATIONS FOR STRUCTURAL CONCRETE ACI 301 WITH SELECTED ACI REFERENCES", (ACI PUBLICATION SP-15) AT THE PROJECT FIELD OFFICE.
 - ALL REINFORCING DETAILS SHALL CONFORM TO "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT" ACI 315, UNLESS DETAILED OTHERWISE ON THE STRUCTURAL DRAWINGS.
 - SUBMIT FOR APPROVAL CONCRETE MIX DESIGN AND CERTIFICATION OF CONFORMITY OF CONCRETE MATERIALS.
 - THE OWNER SHALL EMPLOY A TESTING LABORATORY APPROVED BY THE ENGINEER/ARCHITECT TO PERFORM THE TESTING SPECIFIED PER PARAGRAPH 1.6.4 OF ACI 301. THE TESTING LABORATORY SHALL MEET THE REQUIREMENTS OF ASTM E329. TESTING SHALL BE MADE BY AN ACI CONCRETE FIELD TESTING TECHNICIAN GRADE 1 OR APPROVED EQUIVALENT. A TECHNICIAN GRADE 1 SHALL BE PRESENT DURING ALL CONCRETE PLACEMENT.
 - SUBMIT SHOP DRAWINGS FOR REVIEW. THESE DRAWINGS SHALL SHOW ALL CONCRETE MEMBER DIMENSIONS AND DOWELS FOR MASONRY WALLS.
 - PROVIDE DOWELS FROM FOUNDATIONS TO MATCH COLUMN, PIER AND WALL VERTICAL REINFORCING. WHERE SHOWN, PROVIDE DOWELS OUT OF WALLS TO MATCH SLAB REINFORCING.

- PROVIDE CLASS "B" TENSION LAP SPLICE OR FULL MECHANICAL SPLICE (ACI 318, SECT. 12.14.3) FOR ALL VERTICAL STEEL IN WALLS.
- PROVIDE ADEQUATE BOLSTERS, HI-CHAIRS, SUPPORT BARS, ETC., TO MAINTAIN SPECIFIED CLEARANCES FOR THE ENTIRE LENGTH OF ALL REINFORCING BARS. SUPPORTS THAT BEAR DIRECTLY ON EXPOSED SURFACES SHALL BE STAINLESS STEEL.
- ALL BEAMS, SLABS, WALLS AND COLUMNS SHALL BE POURED MONOLITHICALLY, EXCEPT FOR THE REQUIRED CONSTRUCTION JOINTS.
- PROVIDE 3/4-INCH CHAMFER ON ALL EXPOSED CORNERS OF SLABS, COLUMNS, BEAMS AND WALLS UNLESS OTHERWISE INDICATED ON THE ARCHITECTURAL DRAWINGS. MINIMUM CLEARANCES FOR REINFORCING STEEL SHALL BE MAINTAINED.
- CURE ALL CONCRETE FOR A MINIMUM 7-DAYS. APPLY CURING COMPOUND AT THE MAXIMUM COVERAGE RATE OF 300 SQUARE FEET PER GALLON. USE PRODUCT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. SEE SPECIFICATIONS.
- ALL CONSTRUCTION JOINTS SHALL BE KEVED. PROVIDE KEYWAYS AT MEMBER CENTERLINE WITH A DEPTH OF 1-1/2 INCH AND HEIGHT EQUAL TO ONE-THIRD OF THE MEMBER'S DEPTH/THICKNESS.
- CONTRACTOR SHALL SUBMIT PROPOSED LOCATIONS OF CONSTRUCTION JOINTS NOT INDICATED ON THE DRAWINGS FOR REVIEW BY THE ENGINEER/ARCHITECT.
- FORMWORK, FOR ALL CONCRETE THAT WILL BE EXPOSED IN THE COMPLETED STRUCTURE, SHALL BE CONSTRUCTED FROM A METAL OR SUITABLE SURFACE PLYWOOD THAT WILL PRODUCE AN ACCEPTABLY SMOOTH SURFACE. SEE SPECIFICATIONS.
- CONCRETE PROTECTION (CLEAR COVER) FOR REINFORCEMENT BARS SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:
 - FOOTINGS:
 - 3 INCHES, BOTTOM AND UNFORMED EDGES
 - 2 INCHES, FORMED EDGES
 - 2 INCHES, EXPOSED TO EARTH, WATER OR WEATHER
 - 2 INCHES, BOTTOM, ON CONCRETE MUDMAT
 - WALLS:
 - 1 1/2 INCHES TO REINFORCEMENT
 - PIERS:
 - 1-1/2 INCH TO TIES
 - 2 INCH FOR VERTICAL REINFORCEMENT
- ALL HOOKS SHALL BE ACI STANDARD HOOKS UNLESS DIMENSIONED OTHERWISE.

CONCRETE MASONRY

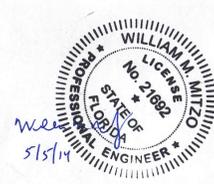
- MASONRY IS SUPPORTED IN THE COMPLETED CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SUPPORTING THE MASONRY DURING CONSTRUCTION IN CONFORMANCE WITH LOCAL, STATE AND NATIONAL LAWS AND AS REQUIRED.
- MASONRY CONSTRUCTION AND MATERIAL SHALL CONFORM TO ALL REQUIREMENTS OF "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 6) EXCEPT AS MODIFIED IN THE SPECIFICATIONS AND BELOW. A COPY OF ACI 530.1/ASCE 6 SHALL BE ON THE JOB SITE AT ALL TIMES THAT MASONRY WORK IS BEING PERFORMED.
- SUBMIT FOR REVIEW, PRIOR TO CONSTRUCTION, SHOP DRAWINGS SHOWING A PLAN AND ELEVATION VIEW OF ALL CMU WALL, AND A PLAN THAT SHOWS ALL DOWELS REQUIRED FOR VERTICAL CMU REINFORCING THAT EXTEND OUT OF CONCRETE. SHOW WALL THICKNESS, AND DIMENSION WALL LENGTH AND LOCATION. SHOWING TOP ELEVATIONS OF WALLS, BOND BEAMS AND GROUT POURS. SHOW LOCATION OF CONTROL JOINT LOCATIONS, SOLID UNITS, CELLS TO BE GROUT FILLED, OPENING, LINTEL, JOINT REINFORCEMENT, REINFORCING BAR AND EMBEDMENT.
- SUBMIT FOR REVIEW, PRIOR TO CONSTRUCTION, DOCUMENTATION FOR THE BLOCK, MORTAR, GROUT, ADMIXTURES, REINFORCING BAR POSITIONER AND OTHER ACCESSORIES PROPOSED FOR USE. SUBMIT A WRITTEN DESCRIPTION OF THE METHOD OF REINFORCEMENT AND GROUT, AND OF GROUT CONSOLIDATION.
- CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90, NORMAL WEIGHT.
- CONCRETE MASONRY UNITS WHICH CONTAIN VERTICAL REINFORCEMENT SHALL BE TWO CORE UNITS AND WITH CORES AND WEBS VERTICALLY ALIGNED.
- MORTAR FOR CONCRETE MASONRY UNITS SHALL BE NON-AIR ENTRAINED PORTLAND CEMENT-LIME CONFORMING TO ASTM C270, TYPE S. CEMENT IN MORTAR SHALL BE LOW-ALKALI AND NON-STAINING. TYPE N MORTAR AND MASONRY CEMENT SHALL NOT BE USED FOR CMU CONSTRUCTION.
- ADMIXTURES SHALL NOT BE USED IN THE MORTAR OR GROUT. ANTIFREEZE AND CALCIUM CHLORIDE SHALL NOT BE USED.
- MINIMUM NET AREA COMPRESSIVE STRENGTH OF CONCRETE MASONRY UNITS SHALL BE:
STANDARD BLOCK = 1,900 PSI (F_m = 1,500 PSI)
- COARSE GROUT SHALL CONFORM TO ASTM C476 WITH A MAXIMUM AGGREGATE SIZE OF 3/8" AND A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI.
- PROVIDE 1#5 VERTICAL BAR IN FIRST CORE AT EACH CORNER, END OF WALL, AND ADJACENT TO OPENINGS AND CONTROL JOINTS.
- VERTICAL REINFORCEMENT SHALL EXTEND THROUGH BOND BEAMS AND TO WITHIN 2 INCHES OF THE TOP OF WALLS.
- REINFORCING STEEL SPLICES SHALL BE LAPPED A MINIMUM OF 48 BAR DIAMETERS BUT NO LESS THAN 12 INCHES, UNLESS NOTED OTHERWISE.
- ANCHORAGE OF REINFORCING STEEL INTO CONCRETE SHALL BE 36 BAR DIAMETERS BUT NO LESS THAN 12 INCHES, UNLESS NOTED OTHERWISE.
- HORIZONTAL JOINT REINFORCING SHALL BE, UNLESS SHOWN OTHERWISE, STANDARD 9 GAGE, LADDER TYPE CONFORMING TO ASTM A651, SPACED VERTICALLY AT 8-INCH ON CENTERS ABOVE AND BELOW OPENINGS FOR THREE CONSECUTIVE COURSES AND AT 16 INCHES ON CENTERS ELSEWHERE. EXTEND REINFORCEMENT 2 FEET BEYOND EACH SIDE OF OPENINGS BUT DO NOT EXTEND THROUGH CONTROL JOINTS. PROVIDE FACTORY FABRICATED "T" AND "L" SHAPED PIECES AT INTERSECTIONS AND CORNERS.
- JOINT REINFORCEMENT SHALL BE SPLICED BY LAPPING THE LONGITUDINAL WIRES AT LEAST 12 INCHES; THE CROSS-WIRES WITHIN THE LAP SHALL BE REMOVED SO THAT THE LONGITUDINAL WIRES ARE SIDE BY SIDE. ALTERNATELY WHERE JOINT REINFORCING IS NOT REQUIRED IN BETWEEN EACH COURSE, SPLICES MAY BE MADE BY ABUTTING THE ADJACENT SECTIONS OF JOINT REINFORCING AND CENTERING A 48 INCH LENGTH OF JOINT REINFORCING IN THE JOINT IMMEDIATELY ABOVE OR BELOW THE BUTT JOINT. SPLICE WITH "T" AND "L" SHAPED PIECES AT INTERSECTIONS AND CORNERS.
- BOND BEAMS SHALL BE PROVIDED IN EACH WALL AND AT TOP OF WALL. FILL BOND BEAMS WITH GROUT. REINFORCE BOND BEAMS WITH 2#5 UNLESS NOTED OTHERWISE. PROVIDE CORNER BARS WITH 2-0" LEGS AND BAR SUPPORTS TO OBTAIN THE REQUIRED CLEARANCE.
- BOND BEAM REINFORCEMENT AND GROUT AT WALL CONTROL JOINTS SHALL BE CONTINUOUS. PROVIDE A DUMMY CONTROL JOINT IN BOTH FACES OF BOND BEAM ALIGNED WITH WALL CONTROL JOINTS. THE BLOCK FACE SHELLS AT DUMMY CONTROL JOINTS SHALL BE FREE OF MORTAR AND GROUT. THE DUMMY CONTROL JOINT IN EXPOSED FACES SHALL HAVE BACKING ROD AND CAULK SEAL AS REQUIRED FOR THE CONTROL JOINT.

INSPECTIONS

- CONCRETE:
 - INSPECTION OF REINFORCING STEEL AND PLACEMENT. (PERIODIC)
 - VERIFYING USE OF REQUIRED MIX DESIGN. (PERIODIC)
 - AT THE TIME FRESH CONCRETE IS SAMPLED TO FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE. (CONTINUOUS)
 - INSPECTION OF CONCRETE AND SHOTCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES. (CONTINUOUS)
 - INSPECTION OF SPECIFIED CURING AND TEMPERATURE AND TECHNIQUES. (PERIODIC)
 - INSPECT FORMWORK FOR SHAPE, LOCATION AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED. (PERIODIC)
- MASONRY: (LEVEL 1)
 - AS MASONRY CONSTRUCTION BEGINS, THE FOLLOWING SHALL BE VERIFIED TO ENSURE COMPLIANCE:
 - PROPORTIONS OF SITE-PREPARED MORTAR. (PERIODIC)
 - CONSTRUCTION OF MORTAR JOINTS. (PERIODIC)
 - LOCATION OF REINFORCEMENT. (PERIODIC)
 - THE INSPECTION PROGRAM SHALL VERIFY:
 - SPECIFIED SIZE, GRADE AND TYPE OF REINFORCEMENT. (PERIODIC)
 - PROTECTION OF MASONRY DURING COLD WEATHER (TEMPERATURE BELOW 40°F) OR HOT WEATHER (TEMPERATURE ABOVE 90°F). (PERIODIC)
 - PRIOR TO GROUTING, THE FOLLOWING SHALL BE VERIFIED TO ENSURE COMPLIANCE:
 - GROUT SPACE IS CLEAN. (PERIODIC)
 - PLACEMENT OF REINFORCEMENT. (PERIODIC)
 - PROPORTIONS OF SITE-PREPARED GROUT. (PERIODIC)
 - CONSTRUCTION OF MORTAR JOINTS. (PERIODIC)
 - PREPARATION OF ANY REQUIRED GROUT SPECIMENS, MORTAR SPECIMENS AND/OR PRISMS SHALL BE OBSERVED. (CONTINUOUS)
 - COMPLIANCE WITH REQUIRED INSPECTION PROVISIONS OF THE CONSTRUCTION DOCUMENTS AND THE APPROVED SUBMITTALS SHALL BE VERIFIED. (PERIODIC)

STRUCTURAL DRAWING ABBREVIATIONS

ADDL	ADDITIONAL	L	ANGLE
ADJ	ADJACENT	LBS	POUNDS
ALT	ALTERNATE	LF	LINEAL FEET
&	AND	LG	LONG
APPROX	APPROXIMATELY	LL	LIVE LOAD
ARCH	ARCHITECT OR ARCHITECTURAL	LLH	LONG LEG HORIZONTAL
@	AT or SPACING	LLV	LONG LEG VERTICAL
		LOC	LOCATION
		LONG	LONGITUDINAL
		LSH	LONG SIDE HORIZONTAL
		LSV	LONG SIDE VERTICAL
		LT WT	LIGHT WEIGHT
		MANUF	MANUFACTURER
		MAS	MASONRY
		MATL	MATERIAL
		MAX	MAXIMUM
		MECH	MECHANICAL
		MEZZ	MEZZANINE
		MFR	MANUFACTURER
		MIN	MINIMUM
		MISC	MISCELLANEOUS
		MK	MARK
		MTL	METAL
		NO. or #	NUMBER
		NOM	NOMINAL
		NS	NEAR SIDE
		NTS	NOT TO SCALE
		OC	ON CENTER
		OD	OUTSIDE DIAMETER
		OF	OUTSIDE FACE
		OIO	OUT TO OUT
		OPNG	OPENING
		OPP	OPPOSITE
		PAF	POWDER ACTUATED FASTENERS
		PAR	PARALLEL
		PC	PRECAST
		PERP	PERPENDICULAR
		PL	PLATE
		PLF	POUNDS PER LINEAL FOOT
		PLYWD	PLYWOOD
		PREFAB	PREFABRICATED
		PSF	POUNDS PER SQUARE FOOT
		PSI	POUNDS PER SQUARE INCH
		PT	POST TENSIONED
		PTR	PRESSURE TREATED
		QL	SEISMIC LOAD
		QTY	QUANTITY
		RAD	RADIUS
		REF	REFERENCE
		REINF	REINFORCEMENT, REINFORCING,
			REINFORCED
		REQD	REQUIRED
		SCHED	SCHEDULE
		SECT	SECTION
		SF	SQUARE FOOT
		SHT	SHEET
		SIM	SIMILAR
		SOG	SLAB-ON-GRADE
		SPA	SPACING
		SPEC(S)	SPECIFICATION(S)
		SPF	SPRUCE PINE FIR
		SQ	SQUARE
		SS	STAINLESS STEEL
		STD	STANDARD
		STIFF	STIFFENER
		STL	STEEL
		STR	STRUCTURAL
		STRUCT	STRUCTURAL
		SUP	SUPPORT
		SYM	SYMMETRICAL
		SYP	SOUTHERN YELLOW PINE
		T	TOP
		TI	TOP OF
		T&B	TOP AND BOTTOM
		T&G	TONGUE AND GROOVE
		TEMP	TEMPERATURE
		THD	THREAD
		THK	THICK
		THRU	THROUGH
		TOL	TOLERANCE
		TRANS	TRANSVERSE
		TYP	TYPICAL
		UN or UNO	UNLESS NOTED (OTHERWISE)
		VERT	VERTICAL
		VIF	VERIFY IN FIELD
		W/	WITH
		W/O	WITHOUT
		WD	WOOD
		WP	WORKPOINT
		WT	WEIGHT
		WWF	WELDED WIRE FABRIC



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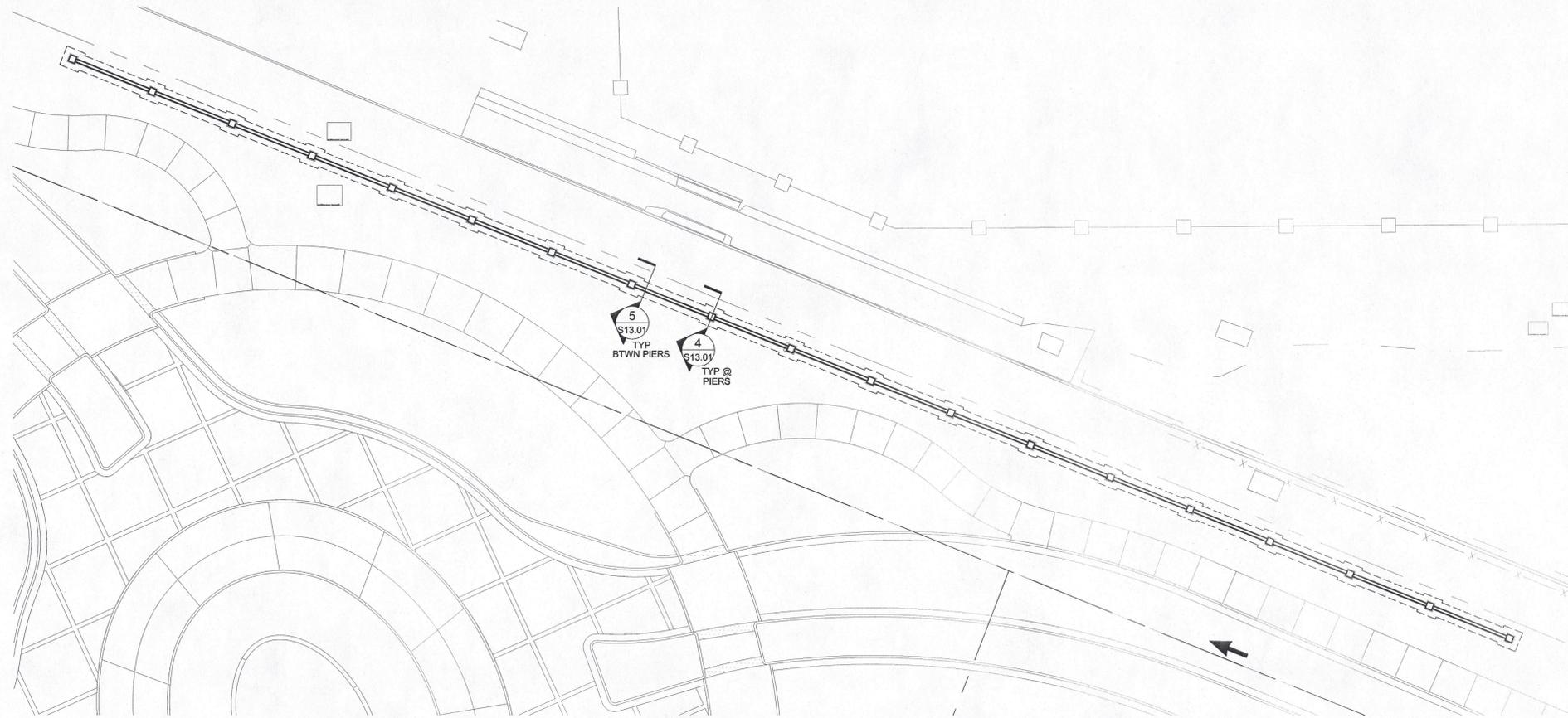
**FLORIDA HOSPITAL
WINTER GARDEN
PHASE 1
WINTER GARDEN, FLORIDA**

Rev:	Date:	Description:	By:
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3			

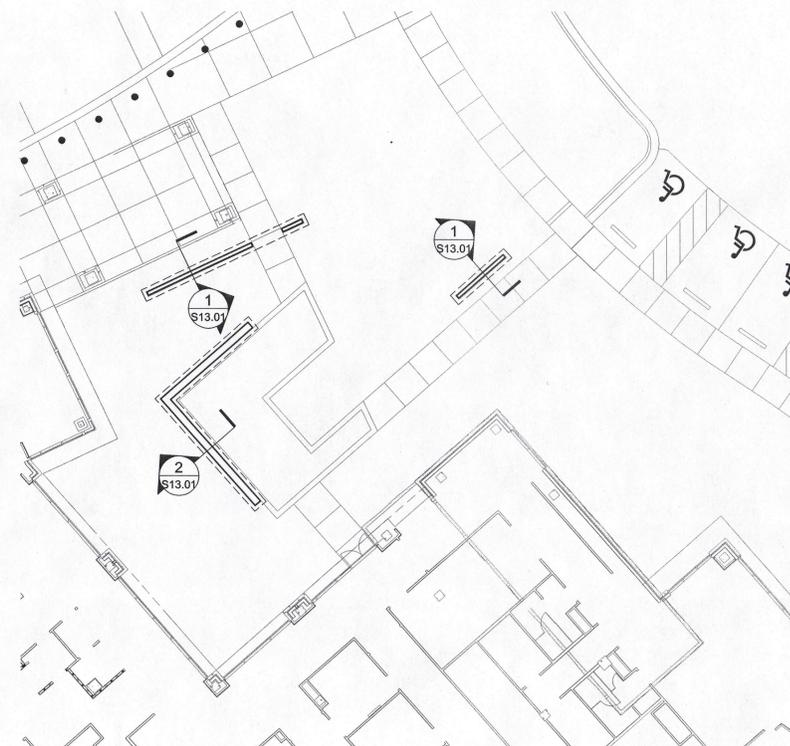
GENERAL NOTES
NOT FOR CONSTRUCTION

Date:	MAY. 05. 2014	Scale:	
Drawn By:	K.A.C.	Designed By:	J.M.
Approved By:	J.M.	Project No:	C00014-002

Seal:	Sheet Number:
	\$00.00



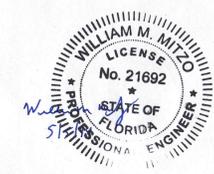
ROUNDABOUT SCREEN WALL PLAN 1
SCALE: 1/16" = 1'-0" S01.01



GARDEN AND SEAT WALL PLAN 2
SCALE: 1/16" = 1'-0" S01.01



AMBULANCE ENTRY SCREEN WALL PLAN 3
SCALE: 1/16" = 1'-0" S01.01



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PLAN NOTES:
1. FOR EXACT LAYOUT AND LOCATION OF WALLS, SEE ARCHITECTURAL DRAWINGS.
2. SEE SHEET S00.00 FOR GENERAL NOTES.



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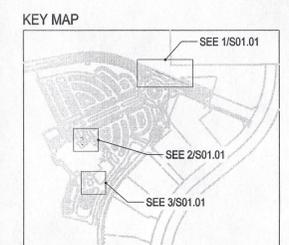
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**FLORIDA HOSPITAL
WINTER GARDEN**
PHASE 1
WINTER GARDEN, FLORIDA



Rev:	Date:	Description:	By:
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3			

Sheet Title:
FOUNDATION PLANS
NOT FOR CONSTRUCTION

Date: MAY. 05. 2014 Scale:
Drawn By: K.A.C. Designed By: J.M.
Approved By: J.M. Project No: C00014-0002

Seal: Sheet Number:
S01.01

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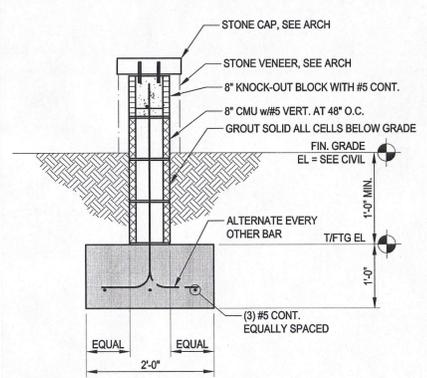
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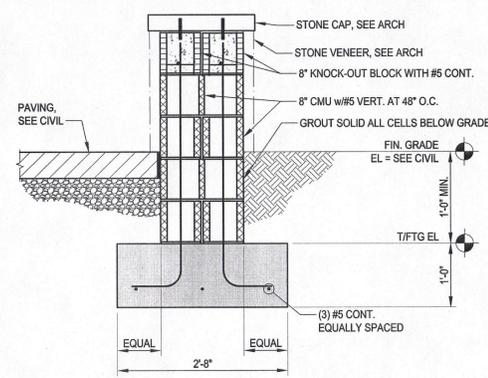
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**FLORIDA HOSPITAL
 WINTER GARDEN
 PHASE 1**

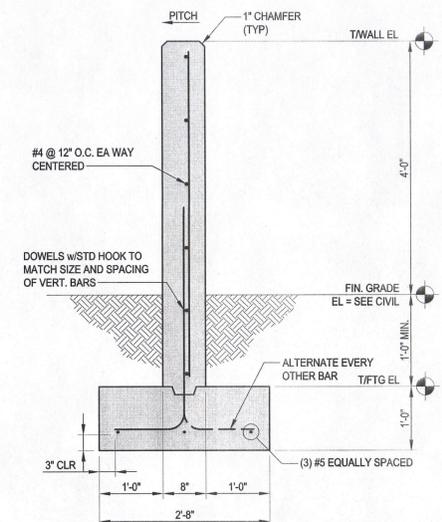
WINTER GARDEN, FLORIDA



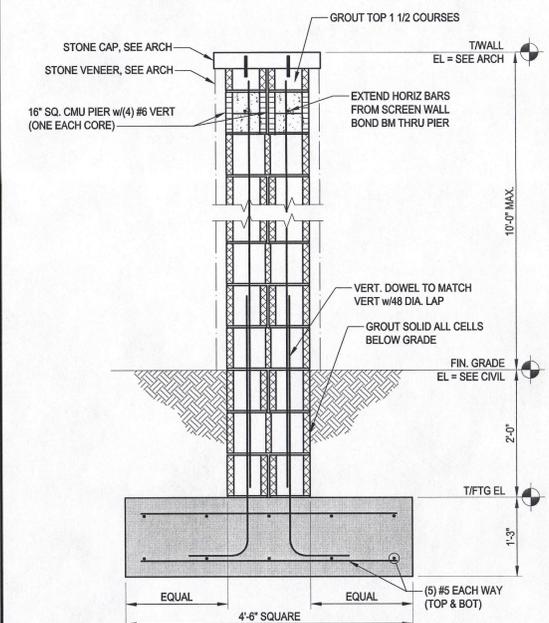
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 \$13.01



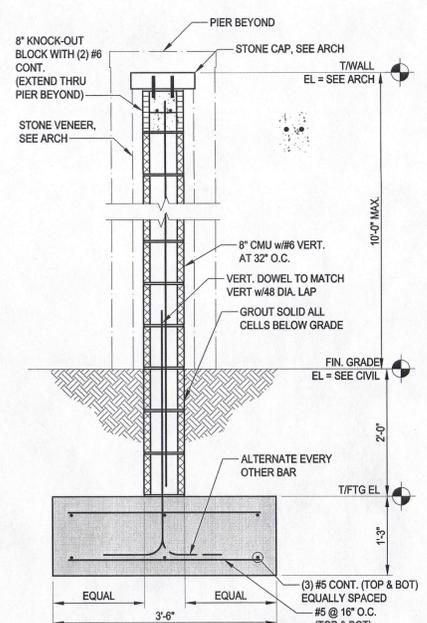
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 \$13.01



SECTION 3
 SCALE: 3/4" = 1'-0"
 REF: SCREEN WALL @ AMBULANCE ENTRY
 \$13.01



SECTION 4
 SCALE: 3/4" = 1'-0"
 REF: COLUMN @ SCREEN WALL
 \$13.01



SECTION 5
 SCALE: 3/4" = 1'-0"
 REF: SCREEN WALL @ ROUNDABOUT
 \$13.01



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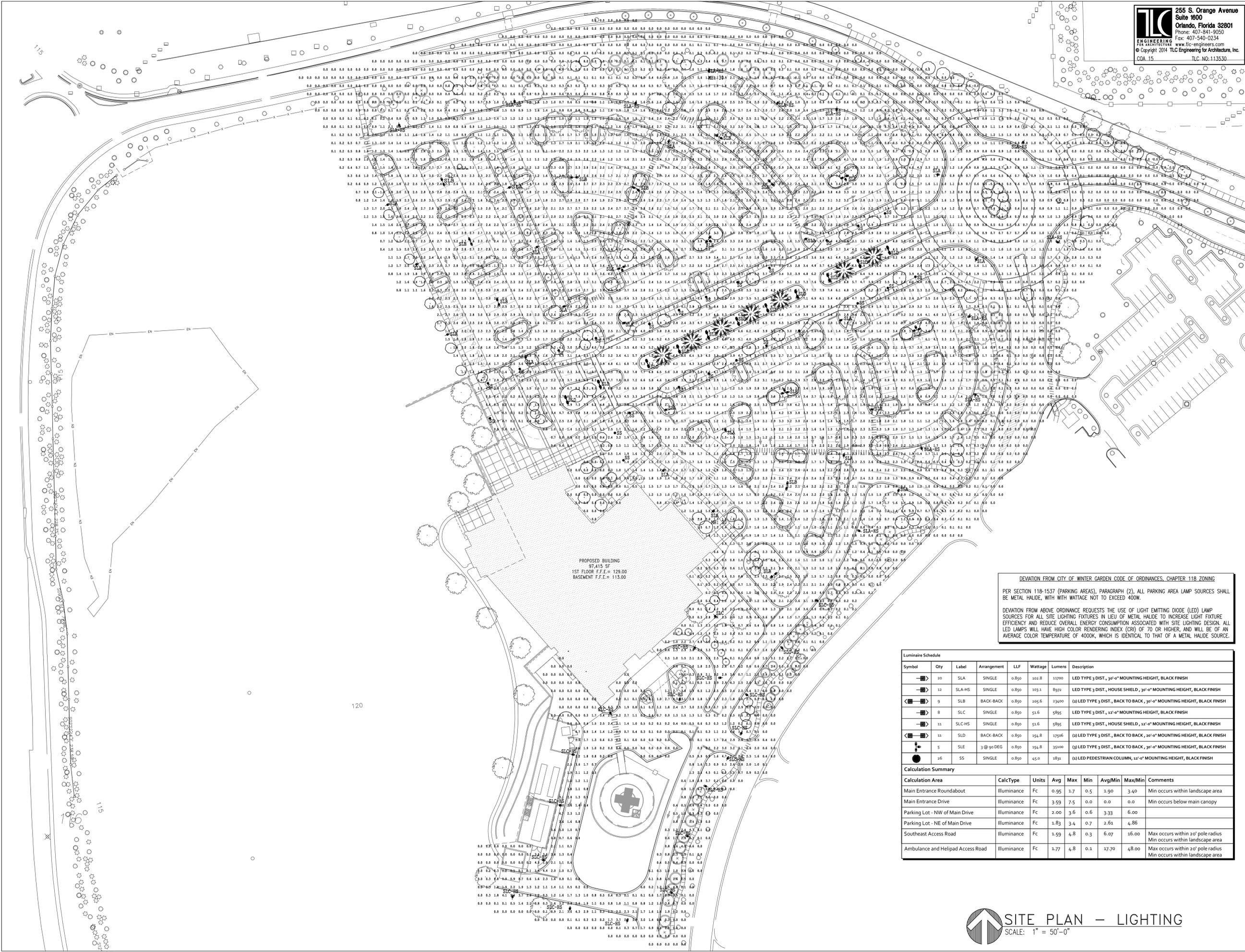
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SECTIONS AND DETAILS
 NOT FOR CONSTRUCTION

Date: MAY. 05. 2014 Scale:
 Drawn By: K.A.C. Designed By: J.M.
 Approved By: J.M. Project No: C00014-0002

Seal: Sheet Number:
S13.01

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DEVIATION FROM CITY OF WINTER GARDEN CODE OF ORDINANCES, CHAPTER 118 ZONING
 PER SECTION 118-1537 (PARKING AREAS), PARAGRAPH (2), ALL PARKING AREA LAMP SOURCES SHALL BE METAL HALIDE, WITH WATTAGE NOT TO EXCEED 400W.
 DEVIATION FROM ABOVE ORDINANCE REQUESTS THE USE OF LIGHT EMITTING DIODE (LED) LAMP SOURCES FOR ALL SITE LIGHTING FIXTURES IN LIEU OF METAL HALIDE TO INCREASE LIGHT FIXTURE EFFICIENCY AND REDUCE OVERALL ENERGY CONSUMPTION ASSOCIATED WITH SITE LIGHTING DESIGN. ALL LED LAMPS WILL HAVE HIGH COLOR RENDERING INDEX (CRI) OF 70 OR HIGHER, AND WILL BE OF AN AVERAGE COLOR TEMPERATURE OF 4000K, WHICH IS IDENTICAL TO THAT OF A METAL HALIDE SOURCE.

Symbol	Qty	Label	Arrangement	LLF	Wattage	Lumens	Description
➡	20	SLA	SINGLE	0.80p	12700	12700	LED TYPE 3 DIST., 30" mounting height, black finish
➡	12	SLA-HS	SINGLE	0.80p	10972	8972	LED TYPE 3 DIST., HOUSE SHIELD, 30" mounting height, black finish
⬅	9	SLB	BACK-BACK	0.80p	20676	23400	(2) LED TYPE 3 DIST., BACK TO BACK, 30" mounting height, black finish
➡	8	SLC	SINGLE	0.80p	5766	5985	LED TYPE 3 DIST., 12" mounting height, black finish
➡	11	SLC-HS	SINGLE	0.80p	5766	5985	LED TYPE 3 DIST., HOUSE SHIELD, 12" mounting height, black finish
⬅	11	SLD	BACK-BACK	0.80p	15488	17506	(2) LED TYPE 3 DIST., BACK TO BACK, 30" mounting height, black finish
⬅	5	SLE	3 @ 90 DEG	0.80p	35488	35100	(3) LED TYPE 3 DIST., BACK TO BACK, 30" mounting height, black finish
●	16	SS	SINGLE	0.80p	4500	1832	(1) LED PEDESTRIAN COLUMN, 12" mounting height, black finish

Calculation Summary							
Calculation Area	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Main Entrance Roundabout	Illuminance	Fc	0.95	1.7	0.5	1.90	3.40
Main Entrance Drive	Illuminance	Fc	3.59	7.5	0.0	0.0	0.0
Parking Lot - NW of Main Drive	Illuminance	Fc	2.00	3.6	0.6	3.33	6.00
Parking Lot - NE of Main Drive	Illuminance	Fc	1.83	3.4	0.7	2.61	4.86
Southeast Access Road	Illuminance	Fc	1.59	4.8	0.3	6.07	16.00
Ambulance and Helipad Access Road	Illuminance	Fc	1.77	4.8	0.1	17.70	48.00

Revisions		
No.	Date	Description

Issue Description	
Issue Date	

Project No	
Drawn By	Checked By
13045.00	
CLM	CLM

SITE PLAN - LIGHTING
 SCALE: 1" = 50'-0"

SITE PLAN - LIGHTING
 Sheet Number
E1.00

L:\2013-jobs\113530-FHWG ED - Phase I\CAD-DRG-MEP-Sheets\E1.00.dwg 6/19/2014 3:12:14 PM chris.moyer

2000 FOWLER GROVE BOULEVARD, WINTER GARDEN, FLORIDA, 34787

TABULATION OF QUANTITIES

PAY ITEM NO.	DESCRIPTION	UNIT	SHEET NUMBERS																		TOTAL THIS SHEET		GRAND TOTAL		REF. SHEET
			T-4																						
			PLAN	FINAL	PLAN	FINAL	PLAN	FINAL	PLAN	FINAL	PLAN	FINAL	PLAN	FINAL	PLAN	FINAL	PLAN	FINAL	PLAN	FINAL					
630-2-11	CONDUIT (F&I) (OPEN TRENCH-UNDERGROUND)	LF	50																		50		50		
632-7-1	SIGNAL CABLE (F&I)	PI	1																		1		1		
633-2-11	PULL & SPLICE BOX (F&I) (13' X 24' STANDARD SIZE)	EA	1																		1		1		
650-1-313	TRAFFIC SIGNAL (F&I) (3-SEC) (1 DIRECTION) (POLYCARBONATE)	AS	1																		1		1		
660-1A-101	LOOP DETECTOR, INDUCTIVE (F&I) (TYPE 1, 1 CH, R, S)	AS	1																		1		1		
660-1-102	LOOP DETECTOR, INDUCTIVE (F&I) (TYPE 1, 1 CH, R, S, TD)	EA	1																		1		1		
660-2-106	LOOP ASSEMBLY (F&I) (TYPE F)	EA	4																		4		4		
670-5-411	TRAFFIC CONTROLLER ASSEMBLY (MODIFY)	AS	1																		1		1		

GENERAL

- Unless otherwise noted all removed equipment shall be turned over to the City of Winter Garden as directed by the engineer. Contractor to notify the City of Winter Garden 2 business days prior to beginning construction.
- It should be noted that no test borings were made where conduit runs are to be installed by jacking, directional boring, or trenching. It shall be the Contractors responsibility to examine the job site conditions before submitting bid proposals in accordance with Section 2-4 of the Specifications.
- The Contractor shall verify color codes for both signal cable and interconnect cable with the City of Winter Garden.
- The contractor is required to inspect the installation of the traffic signals in accordance with FDOT Specification 105-5.10. The contractor shall coordinate the final acceptance inspection in accordance with FDOT Specification 611-2.2 with the engineer at least ten days in advance. The Maintaining Agency and Traffic Signal Quality Assurance Manager at (386) 943-5318 should also be contacted ten days before the inspection is to be performed so they may be present.
- The contractor shall maintain the existing traffic signals during this project.
- In the event permanent vehicle detection is disrupted, provide an alternative means of detection to all lanes approaching the intersection, separating each movement which previously had detection. The type of detector shall be approved by the Engineer prior to installation. Equipment shall only detect the intended movement.
- The contractor shall verify the power service requirements with City of Winter Garden prior to bidding the project. All costs shall be included in pay item 639-1-12 and/or 639-1-22.

SIGNAL CABLE, LOOPS, CONDUIT, & PULL BOXES

- Type 'F' loops shall be 40' x 6' and extend 5' beyond the stop bar.
- Delay times for loops marked "delay" shall be set to 5 seconds. All others shall be set to zero.
- Pull boxes and covers shall be non-metallic construction with recessed cover logo "Traffic Signal" or "Fiber Optic" as appropriate.
- Existing loops damaged by the contractor during construction shall be replaced at the contractor's expense.
- Whenever possible, all loops and system sensors shall be cut into the asphaltic concrete structural course prior to placement of the friction course. All loop lead-in cables shall be placed in conduit.

SIGNAL HEADS

- All proposed vehicular signal head assemblies shall be polycarbonate.
- Contractor is not to use Jones plugs.

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION
4/14	4/2 DRC COMMENTS		

GMB Engineers & Planners, Inc.
 2802 E Livingston Street
 Orlando, FL 32803
 Phone: 407-898-5424 Fax: 407-698-5425
 Kathryn L. Lee, P.E. #62420
 Certificate of Authorization #8156

CITY OF WINTER GARDEN		
ROAD NO.	COUNTY	PROJECT NO.
	ORANGE	14-026.01

TABULATION OF QUANTITIES
 & GENERAL NOTES

SHEET NO.
T-2

Florida Hospital Winter Garden
Phase A
 2000 Fowler Grove Blvd.
 Winter Garden, Florida



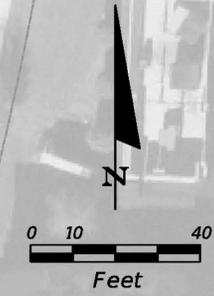
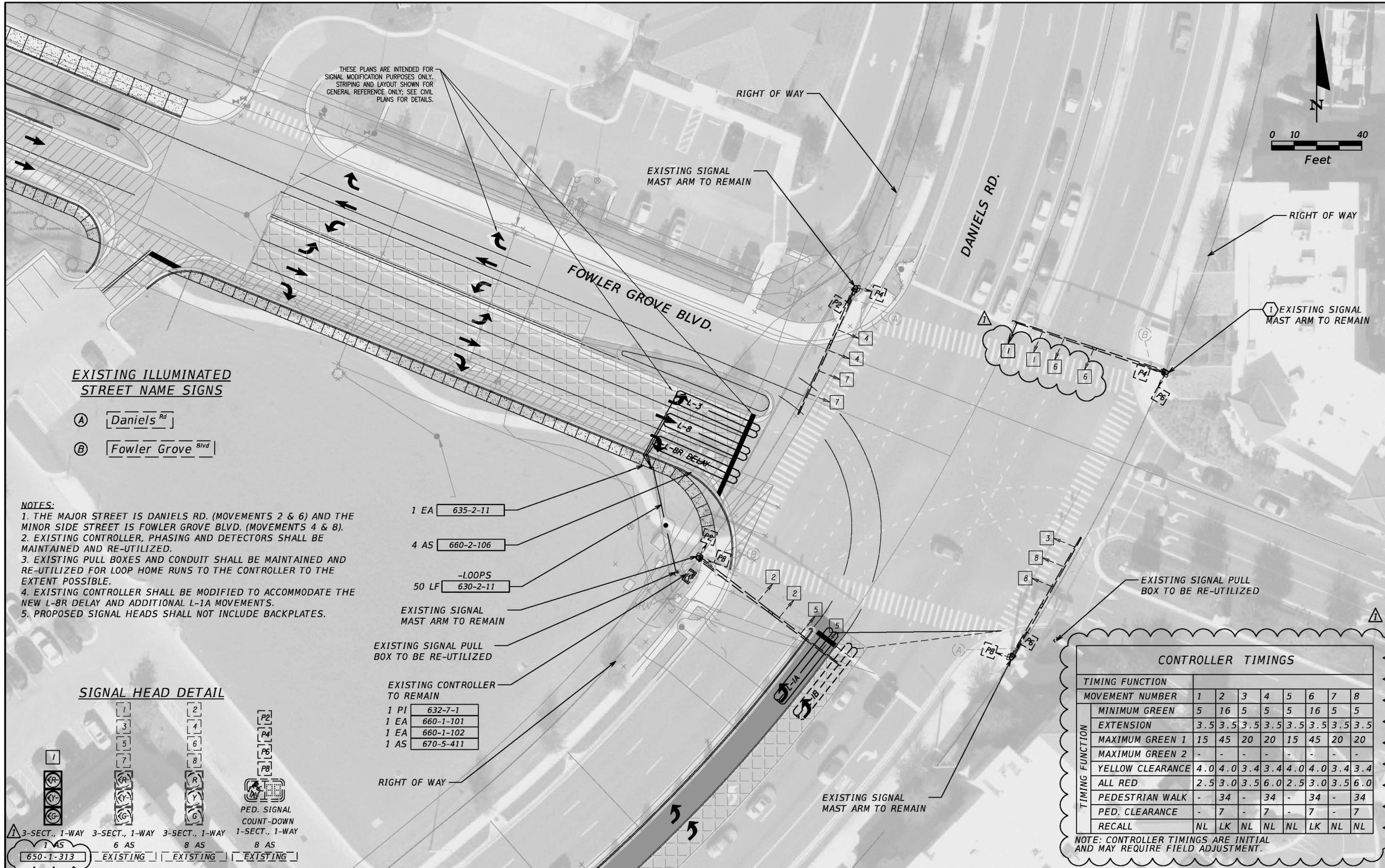
DATE	REVISIONS
6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
DATE	REVISIONS
1/10/14	20130603

T-2

SIGNAL
 QUANTITIES
 AND NOTES

G:\Projects\2013\20130603\dwg\Construction\20130603_T1-0_TRA.dwg-T-2 Signal Quantities and Notes Jun 19, 2014 - 4:34pm landerson

G:\Projects\2013\20130603\dwg\Construction\20130603_T1-0_TRA.dwg-T-3_Signalization Plan Jun 19, 2014 - 4:33pm anderson



EXISTING ILLUMINATED STREET NAME SIGNS

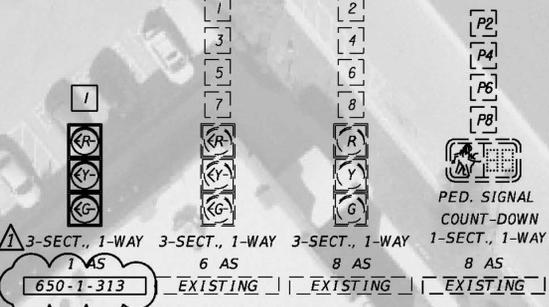
- (A) Daniels Rd
- (B) Fowler Grove Blvd

- NOTES:**
1. THE MAJOR STREET IS DANIELS RD. (MOVEMENTS 2 & 6) AND THE MINOR SIDE STREET IS FOWLER GROVE BLVD. (MOVEMENTS 4 & 8).
 2. EXISTING CONTROLLER, PHASING AND DETECTORS SHALL BE MAINTAINED AND RE-UTILIZED.
 3. EXISTING PULL BOXES AND CONDUIT SHALL BE MAINTAINED AND RE-UTILIZED FOR LOOP HOME RUNS TO THE CONTROLLER TO THE EXTENT POSSIBLE.
 4. EXISTING CONTROLLER SHALL BE MODIFIED TO ACCOMMODATE THE NEW L-BR DELAY AND ADDITIONAL L-1A MOVEMENTS.
 5. PROPOSED SIGNAL HEADS SHALL NOT INCLUDE BACKPLATES.

- 1 EA 635-2-11
- 4 AS 660-2-106
- 50 LF -LOOPS 630-2-11

- EXISTING SIGNAL MAST ARM TO REMAIN
- EXISTING SIGNAL PULL BOX TO BE RE-UTILIZED
- EXISTING CONTROLLER TO REMAIN
- 1 PI 632-7-1
- 1 EA 660-1-101
- 1 EA 660-1-102
- 1 AS 670-5-411

SIGNAL HEAD DETAIL



CONTROLLER TIMINGS								
TIMING FUNCTION								
MOVEMENT NUMBER	1	2	3	4	5	6	7	8
MINIMUM GREEN	5	16	5	5	5	16	5	5
EXTENSION	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5
MAXIMUM GREEN 1	15	45	20	20	15	45	20	20
MAXIMUM GREEN 2	-	-	-	-	-	-	-	-
YELLOW CLEARANCE	4.0	4.0	3.4	3.4	4.0	4.0	3.4	3.4
ALL RED	2.5	3.0	3.5	6.0	2.5	3.0	3.5	6.0
PEDESTRIAN WALK	-	34	-	34	-	34	-	34
PED. CLEARANCE	-	7	-	7	-	7	-	7
RECALL	NL	LK	NL	NL	NL	LK	NL	NL

NOTE: CONTROLLER TIMINGS ARE INITIAL AND MAY REQUIRE FIELD ADJUSTMENT.

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION
4/14	4/2 DRC COMMENTS		

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CITY OF WINTER GARDEN		
ROAD NO.	COUNTY	PROJECT NO.
	ORANGE	14-026.01

SIGNALIZATION PLAN

SHEET NO.
T-3

Florida Hospital Winter Garden Phase A
 2000 Fowler Grove Blvd.
 Winter Garden, Florida



DATE	REVISIONS
6/20/14	SITE PLAN RESUBMITTAL
5/5/14	SITE PLAN RESUBMITTAL
3/6/14	SITE PLAN SUBMITTAL
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL

T-3
 SIGNALIZATION PLAN

