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**PLANNING & ZONING BOARD AGENDA**

To: Jimmy Dunn – Chairman  
Eric Weiss – Vice Chairman  
Heather Gantt  
H. Gerald Jowers  
Mark Maciel  
Mac McKinney  
Rohan Ramlackhan

Copy to: Mike Bollhoefer  
Dan Langley  
Kurt Ardaman  
Ed Williams  
Stephen Pash  
Laura Smith  
Kelly Carson

RE: Agenda – **June 02, 2014** - 6:30 PM  
Commission Chambers, City Hall  
300 West Plant Street, Winter Garden

- 
1. **CALL TO ORDER**
  2. **ROLL CALL AND DETERMINATION OF QUORUM**
  3. **APPROVAL OF MINUTES FROM THE APRIL 07, 2014 MEETING**  
**ANNEXATION / FUTURE LAND USE MAP AMENDMENT / REZONING (PUBLIC HEARING)**
  4. 17901 Marsh Road – Albert Baughman  
Parcel ID # : 06-23-27-4288-08-270
  5. 562 Beard Road – Adalee J Roper Trust  
Parcel ID # : 26-22-27-0000-00-029
  6. 426 W Plant Street – Plant Street Market  
Parcel ID #: 23-22-27-2888-05-021
  7. Winter Garden Vineland Road – West Orange Outparcels  
Parcel ID #: 26-22-27-9147-00-020  
**SPECIAL EXCEPTION PERMIT (PUBLIC HEARING)**
  8. 1630 Avalon Road – Ladybird Academy  
Parcel ID #: 04-23-27-0302-01-000
  9. **ADJOURNMENT**

To the next regular Planning and Zoning Board meeting on Monday, July 07, 2014 at 6:30 p.m. in City Hall Commission Chambers, 300 W. Plant Street, 1<sup>st</sup> floor.



**A REGULAR MEETING MINUTES  
PLANNING AND ZONING BOARD  
APRIL 07, 2014**

**1. CALL TO ORDER / PLEDGE OF ALLEGIANCE / INVOCATION**

Chairman Jimmy Dunn called the meeting of the City of Winter Garden Planning and Zoning Board to order at 6:30 p.m. in the City Hall Commission Chambers. The Pledge of Allegiance was given followed by the invocation.

**2. ROLL CALL AND DETERMINATION OF QUORUM**

The roll was called and a quorum was declared present.

**MEMBERS PRESENT:**

Chairman James Dunn, Vice-Chairman Eric Weiss, and Board Members: Heather Gantt, Mark Maciel, Mac McKinney and Rohan Ramlackhan (arrived at 6:32 pm)

**MEMBERS ABSENT:**

Gerald Jowers - excused

**STAFF PRESENT:**

City Attorney Kurt Ardaman, Community Development Director Ed Williams, Senior Planner Stephen Pash, Planner II Kelly Carson, and Customer Service Representative Kathy Rathel

**3. APPROVAL OF MINUTES**

Approval of minutes from the regular meeting held on March 3, 2014.

*Motion by Eric Weiss to approve the above minutes. Seconded by Mark Maciel, the motion carried unanimously 5 - 0. (Rohan Ramlackhan arrived at 6:32 pm)*

**LOT SPLIT (Public Hearing)**

**4. 303 Bayside Avenue (Johnson, Allen & Abigail)**

Planner II Kelly Carson presented a request for a Lot Split for the property located at 303 Bayside Avenue. Property is zoned R-1 and contains an existing single family residence and pool. The applicant wishes to create two irregularly-shaped parcels: a 0.27 acre western parcel which contains the residence, and a 0.28 acre eastern parcel to be sold as

vacant land. Both lots conform to the lot size requirements of the R-1 zoning district and the existing structures meet all the R-1 required setbacks. Staff recommends approval subject to the conditions stated in the Staff Report.

Board Member Weiss asked if this was a common occurrence to split a half acre lot. Planner Carson stated the applicant had the room and the vacant portion was not being used.

*Motion by Heather Gantt to recommend approval of the Lot Split for 303 Bayside Avenue with Staff Recommendations (Attached Exhibit "A"). Seconded by Rohan Ramlackhan, the motion carried unanimously 6 - 0.*

#### **SPECIAL EXCEPTION PERMIT (Public Hearing)**

##### **5. 315 S Dillard Street (Millionaire Hair)**

Planner II Kelly Carson presented a request for a Special Exception Permit for the property located at 315 S. Dillard Street, a suite located within a building with the main address of 321 S. Dillard Street. The applicant intends to open a beauty salon and hair clinic with occasional hair dressing classes. Property is zoned C-3 which is the Professional Office District. To mitigate any parking impact for the personal use, the Applicant has agreed to certain conditions: a maximum number of 3 for hairdressers or other beauty operators, class sizes limited to 6 with no other salon services performed during class, move or remove an existing chain link gate blocking a parking space and installing landscaping along adjacent rights-of-way to adhere to the City's landscape code. Staff recommends approval subject to conditions stated in the Staff Report.

Board Member Maciel stated for staff that this item is allowing someone to do something productive but getting improvements in return so it is a win-win situation. Planner Carson stated the conditions were to make sure the parking was not an issue as parking requirements are less in a C-3 than for retail properties.

*Motion by Eric Weiss to recommend approval of the Special Exception Permit for 315 S Dillard Street with Staff Recommendations (Attached Exhibit "B"). Seconded by Mark Maciel, the motion carried unanimously 6 - 0.*

##### **6. 703 Carter Road (Manheim Orlando)**

Senior Planner Steve Pash presented a request for a Special Exception Permit for the property located at 703 Carter Road. The applicant is requesting to install 3 rows of barbed wire on top of their existing 6' chain link fence to curb vandalism. Property is zoned I-2 and is used as a parking lot for Manheim Auto Auctions. The surrounding area has industrial uses and the property has substantial landscaping. Staff recommends approval.

*Motion by Mark Maciel to recommend approval of the Special Exception Permit for 703 Carter Road with Staff Recommendations (Attached Exhibit "C"). Seconded by Heather Gantt, the motion carried unanimously 6 - 0.*

**VARIANCE (Public Hearing)**

**7. 686 Bethune Avenue (Jenkins Family Addition)**

Planner II Kelly Carson presented a request for a Variance for the property located at 686 Bethune Avenue. The property is zoned R-4. The Applicant is requesting a 17.8 foot rear yard setback in lieu of the required 30 foot rear yard setback to construct an addition on to the home and would be in compliance with all other setback requirements. The applicant has agreed to remove 2 existing non-conforming structures; a shed and a segment of driveway both located within drainage and utility easements. Staff recommends approval of the Variance.

*Motion by Mac McKinney to recommend approval of the Variance for 686 Bethune Avenue with Staff Recommendations (Attached Exhibit "D"). Seconded by Rohan Ramlackhan, the motion carried unanimously 6 - 0.*

**8. 148 Roper Drive (Buchanan, Bob)**

Senior Planner Steve Pash presented a request for a Variance for the property located at 148 Roper Drive. Applicant is requesting a 17' Variance to the minimum required rear yard setback of 23' to construct a 12' x 16' shed which is greater than 160 square feet. The shed will replace an existing shed on an existing concrete slab with footer. A large hedge on both sides of the property helps buffer the neighbors view and the neighbors have submitted supporting letters. Staff recommends approval of the Variance.

*Motion by Heather Gantt to recommend approval of the Variance for 148 Roper Drive with Staff Recommendations (Attached Exhibit "E"). Seconded by Mark Maciel, the motion carried unanimously 6 - 0.*

**9. ADJOURNMENT**

There being no further business, the meeting was adjourned at 6:43 p.m.

**APPROVED:**

**ATTEST:**

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**Chairman Jimmy Dunn**

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**Customer Service Rep. Kathy Rathel**

EXHIBIT "A"

CITY OF WINTER GARDEN  
PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

**STAFF REPORT**

TO: PLANNING AND ZONING BOARD  
PREPARED BY: KELLY CARSON, PLANNER II  
DATE: March 26, 2014  
SUBJECT: LOT SPLIT  
303 Bayside Avenue  
PARCEL ID # 15-22-27-4197-02-700

APPLICANTS: Allen & Abigail Johnson

**INTRODUCTION**

The purpose of this report is to evaluate the request to allow a lot split on property located at 303 Bayside Avenue for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property, located at the northeast corner of Timbercreek Drive S and Bayside Avenue, is approximately 0.55± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits.



### CURRENT USE AND ZONING

The subject property is located in the R-1 zoning district and consists of an irregularly-shaped lot with an existing single family residence situated within the northwest portion of the lot.

### CODE REFERENCE

Sec. 110-96. Proposed subdivision of existing lot.

(a) Whenever a proposed subdivision is a proposal for the division of a single existing lot into two lots, in lieu of complying with division 3 of this article, the subdivider may conform to the procedural requirements set out in this division or he may comply with the procedure for subdivision or resubdivision contained in this chapter at the applicant's option. This procedure shall not apply to a subdivision into more than two lots or additional lot splits on contiguous land or within the same existing subdivision. The intention being that this procedure may only be used once as it pertains to all or any portion of the lands involved in or previously utilizing or subject to this procedure.

(b) A subdivider shall apply to the city manager on an application form, promulgated by the director of planning, for the subdivision of a single existing lot into two lots, stating the subdivider's plans for development with the following minimum criteria:

- (1) A sketch showing the lot size, location of proposed buildings, location of easements, names of bordering streets, building setbacks, names and locations of all bodies of water, marshlands, drain fields, and all other waterways and watercourses abutting or encroaching upon subject property. This sketch must also show existing buildings and lot dimensions.
- (2) A brief description of all utilities and city services, including sewers, potable water facilities, and fire hydrants electric and telephone poles, streetlights, storm drains and any other utilities or services relevant to the maintenance of subject properties.
- (3) A listing of the names and addresses of the record owners abutting subject property.
- (4) A boundary survey of the lands subject to this procedure, as existing (i.e., prior to the proposed lot split) and as proposed (i.e., after the proposed lot split), performed and prepared under the responsible direction and supervision of a professional surveyor and mapper shall be certified to and submitted to the city. Said surveys shall include the depiction of existing improvements thereon.

(c) Lot split procedure. Once the application is determined to be complete, the city staff shall review the request for compliance with the code (e.g. compliance with lot dimensions requirements, setbacks for existing buildings etc.).

Upon review by the city staff, with or without conditions or restrictions, the application, together with the recommendations, conditions and restrictions, shall be presented to the planning and zoning board at its next regular meeting or session, following action by the city staff, for approval or disapproval. The planning and zoning board may take the following actions:

- (1) Approve the application as recommended by the city staff.

P&Z : PH14-002

- (2) Approve the application, deleting or supplementing the conditions and restrictions of the city staff.
- (3) Approve the application, adding conditions and restrictions as determined by the planning and zoning board.
- (4) Disapprove the application.

The planning and zoning board shall have the option to take such action as it deems necessary and proper upon one hearing.

### SUMMARY

The applicant has submitted a request for a lot split to divide the existing lot into two new parcels: the western parcel will remain oriented toward Bayside Avenue and the eastern parcel will be oriented toward Timbercreek Drive S.

The lot was originally platted in 1985. It is irregularly-shaped and measures approximately 157.74' along the northern property boundary, 153.52' along the eastern property boundary, 226.88' along the southern property boundary, and 101.38' along the western property boundary. The lot has an area of approximately 23,881 SqFt and it fronts on Bayside Avenue. There is an existing single-family residential structure, which is located within the northwestern portion of the lot. This structure will remain after the lot is split.

Section 118-306 of the City Code of Ordinances establishes that the minimum lot requirements for a single-family dwelling in the R-1 residential zoning district are 85' wide at the building's front setback line x 100' deep and a lot area no less than 10,000 SqFt.

The proposed western parcel will be irregular in shape and measure approximately 104.85' along the northern property boundary, 125.44' along the eastern property boundary, 101.38' along the western property boundary, and 101.43' along the southern property boundary. The proposed eastern parcel also be irregular in shape and will measure approximately 52.89' along the northern boundary, 125.44' along the western boundary, 153.52' along the eastern boundary, and 125.45' along the southern boundary. Both properties will conform to the minimum lot requirements for the R-1 zoning district and will be consistent with the sizes of other lots found in the surrounding Kings Bay and Timbercreek neighborhoods. No development for the eastern parcel is proposed at this time. The applicants plan to sell the vacant parcel, on which a single-family residence may be developed by the future owners.

Based on GIS information, an existing water main is located on the north side of Timbercreek Drive South for connection. The sanitary sewer however, is farther west and may pose a problem for connection to the newly created vacant lot. At the time of development of the eastern parcel, plans must be submitted detailing how the new lot will be connected to the sanitary sewer system.

### STAFF RECOMMENDATION

Staff recommends approval of the proposed lot split with the following condition:

1. Easements for cross access, drainage and utilities may be required at the time of site or

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- building plan approval.
2. Following lot split approval and prior to selling or developing the property, the existing 6' tall wood fence running parallel to Timbercreek Drive South must be removed along the frontage of the new lot. A 6' tall fence exceeds the City's maximum height requirement for front yards.
  3. At the time of development, the eastern lot shall be required to connect to city utilities. Piggy backing off of the utility connections for the existing lot shall not be permitted. Any structure on the new lot will need to install a grinder pump and connect to the city force main. The gravity sewer on Bayside Avenue is out of reach for connection. Sump pumps are not sufficient for this condition. Ensure that the sewage pump has a cutting blade.
  4. No Certificate of Occupancy will be issued for any building on a lot until connection to the City's water and wastewater system has been made and cleared for use by FDEP and/or the City.
  5. Payment of utility impact and utility connection fees shall be required.

**NEXT STEP**

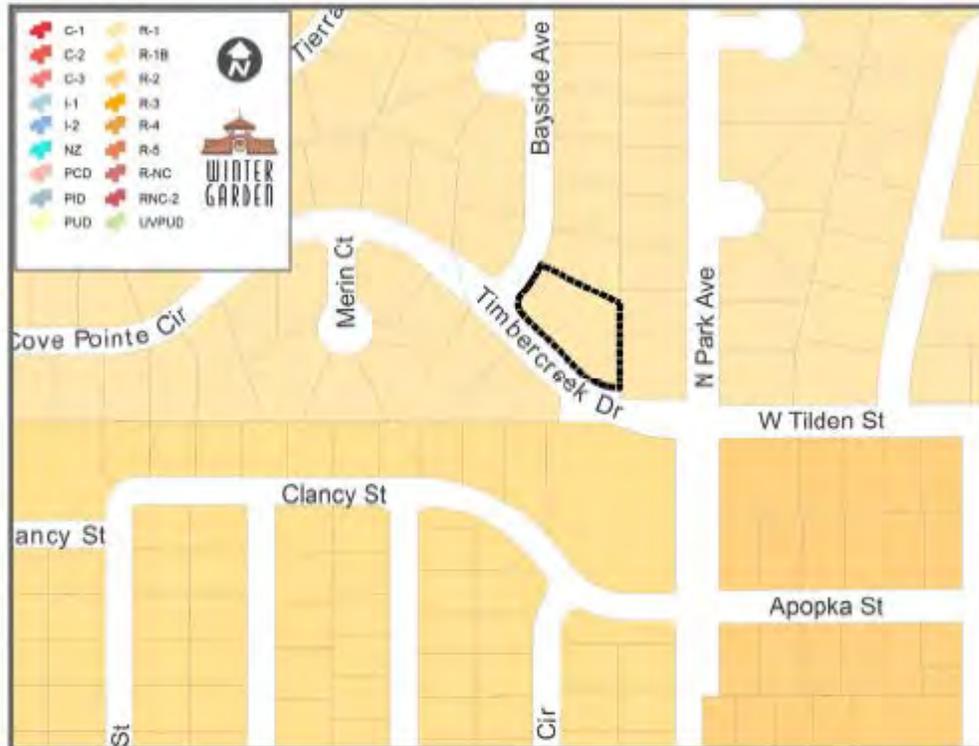
If Planning and Zoning Board approves, file with the Orange County Property Appraiser's Office and Office of Public Records.

**AERIAL PHOTO**  
**303 Bayside Avenue**



P&Z : PH14-002

**ZONING MAP**  
**303 Bayside Avenue**



P&Z : PH14-002





**SITE PHOTOS**  
**303 Bayside Avenue**



**END OF STAFF REPORT**

P&Z : PH14-002

## EXHIBIT “B”

### CITY OF WINTER GARDEN PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

# STAFF REPORT

**TO:** PLANNING AND ZONING BOARD  
**PREPARED BY:** KELLY CARSON, PLANNER II  
**DATE:** MARCH 19, 2014  
**SUBJECT:** SPECIAL EXCEPTION PERMIT  
315 S Dillard Street (Main property address: 321 S Dillard Street)  
PARCEL ID # 23-22-27-7948-02-060

**APPLICANT:** Millionaire Hair (Jamila Burnz)

#### INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan. The applicant is requesting a Special Exception to allow for the subject property to be used for the personal service use of a salon and hair clinic.

The subject property consists of one suite within a larger commercial building generally located at 315 S Dillard Street (the main property address for the parcel is 321 S Dillard). The map below depicts the location of the subject parcel within the City of Winter Garden municipal limits:



The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation C-3 Professional Office District. The subject property is designated Commercial on the Future Land Use Map of the Comprehensive Plan.

**EXISTING USE**

The property contains one 5,368 square foot commercial building. The building is currently divided into four tenant spaces; the businesses that presently occupy these spaces include an eyelash salon/clinic, a personal training fitness studio, and two vacant office/commercial suites. The site contains a total of twelve 90-degree parking spaces and six parallel parking spaces.

**ADJACENT LAND USE AND ZONING**

The properties located to the north, south, and west of the subject property all contain commercial office buildings, which are zoned C-3 within the City of Winter Garden. The property located to the east of the subject property contains a single family residential structure, which is zoned R-2 within the City of Winter Garden.

**PROPOSED USE**

The applicant proposes to open a salon and hair clinic in the tenant space located at 315 S Dillard Street. The space will be used to perform traditional salon services and sell retail salon products. Additionally, the business will provide services for customers who require hair loss solutions, including making custom wigs and extensions to mitigate the hair loss effects of cancer, alopecia, etc. The business will have one shampoo bowl and four salon chairs: two working and two used for hair consultations. The suite will also house hairdressing-related classes several days a week.

**SUMMARY**

City Staff recommends approval of the proposed use subject to the following conditions:

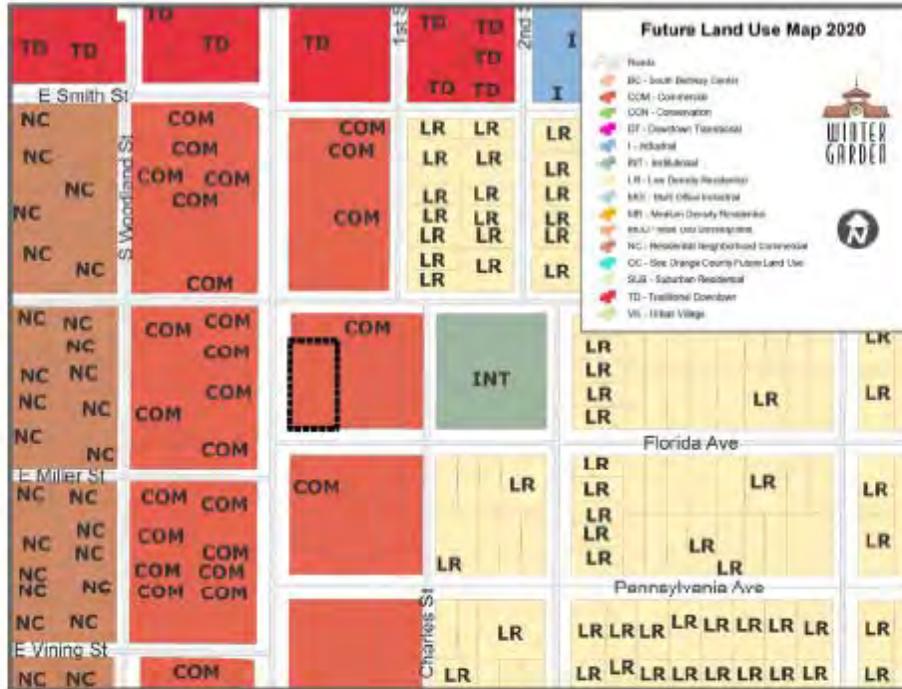
1. The personal service uses permitted at the subject property are limited to those uses which are classified as one of the following: Barber Shop, Beauty Shop, Hair Salon, Hair Clinic (including custom wig-making), and/or Hairdressing Education.
2. The maximum number of state licensed operators and/or service providers within the suite shall be limited to 3 at any given time.
3. The maximum number of students that may attend hairdressing-related classes is limited to six. Salon services that are not related to educational activities may not occur when the classes are in session.
4. Property owner shall remove existing chain link gates so all parking spaces designated on site are usable by visitors.
5. Property owner shall designate a handicapped accessible parking stall to comply with current ADA requirements.
6. Property owner shall install landscaping per City of Winter Garden Code of Ordinances Chapter 144, Article II.
7. All necessary permits must be obtained prior to beginning any construction on or alterations to the site and/or facility.
8. Any new signage must comply with the requirements of the Winter Garden Code of Ordinances Chapter 102 - SIGNS. The following signs are prohibited:

- a) Any sign placed on public property.
- b) Billboard signs, erected after June 11, 1987.
- c) Portable signs.
- d) A-frame, T-framed signs.
- e) Signs on trailer frames with or without mounted wheels.
- f) Vehicle signs or signs on or attached to vehicles which have a total copy area in excess of ten square feet, when the vehicle is not regularly used in the conduct of the business and (a) is visible from a street right-of-way within one hundred feet of the vehicle, and (b) is parked for more than two consecutive hours within one hundred feet of any street right-of-way. Signs projecting over a street or road.
- g) Any sign that interferes with a clear sight triangle distance per Florida Department of Transportation (FDOT) design standards.
- h) Flashing, moving, animated coursing, blinker, racer-type, intermittent, rotating, moving or revolving signs, whirligig devices, inflatable signs and tethered balloons, pennants, banners, ribbons, streamers, spinners, and other similar types of attention-getting devices except for changeable copy signs when in compliance with the applicable regulations of this chapter.
- i) Signage used on bus transit shelters within the right-of-way.
- j) Bench signs.
- k) Roof signs.
- l) Traffic sign replicas.
- m) Snipe signs.
- n) Banner signs used as permanent signage.
- o) Commercial off-premises signs.
- p) Neon signs, luminous tube lights, light-emitting tubes and/or neon type signs.
- q) Any other sign not listed here or otherwise prohibited by the Winter Garden Code of Ordinances Chapter 102, Article III, Sec. 102-92.

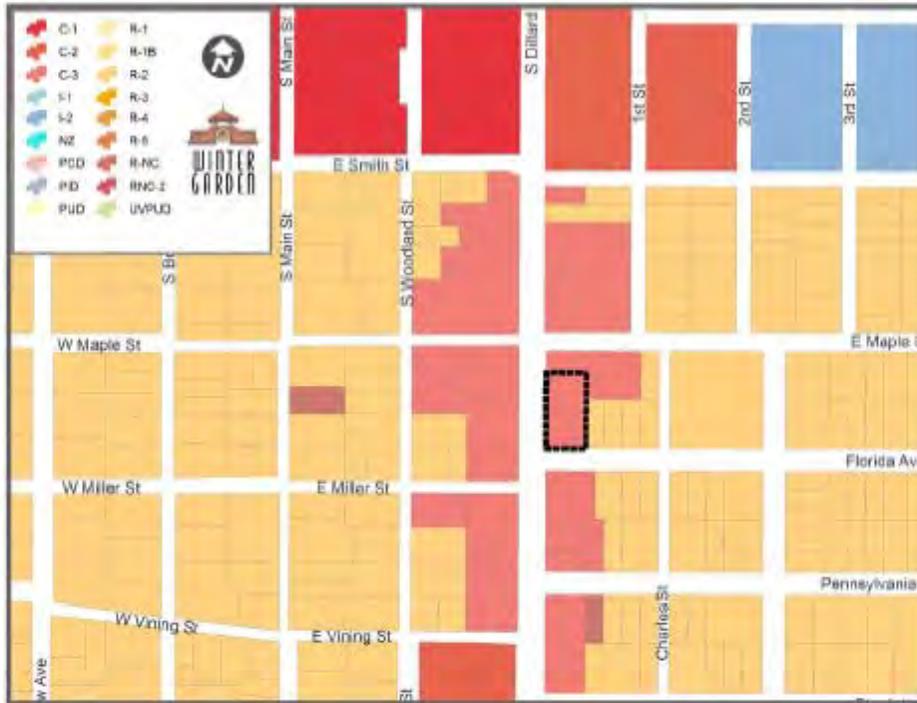
**AERIAL PHOTO**  
**315 S Dillard St**  
**(Main Property Address: 321 S Dillard St)**



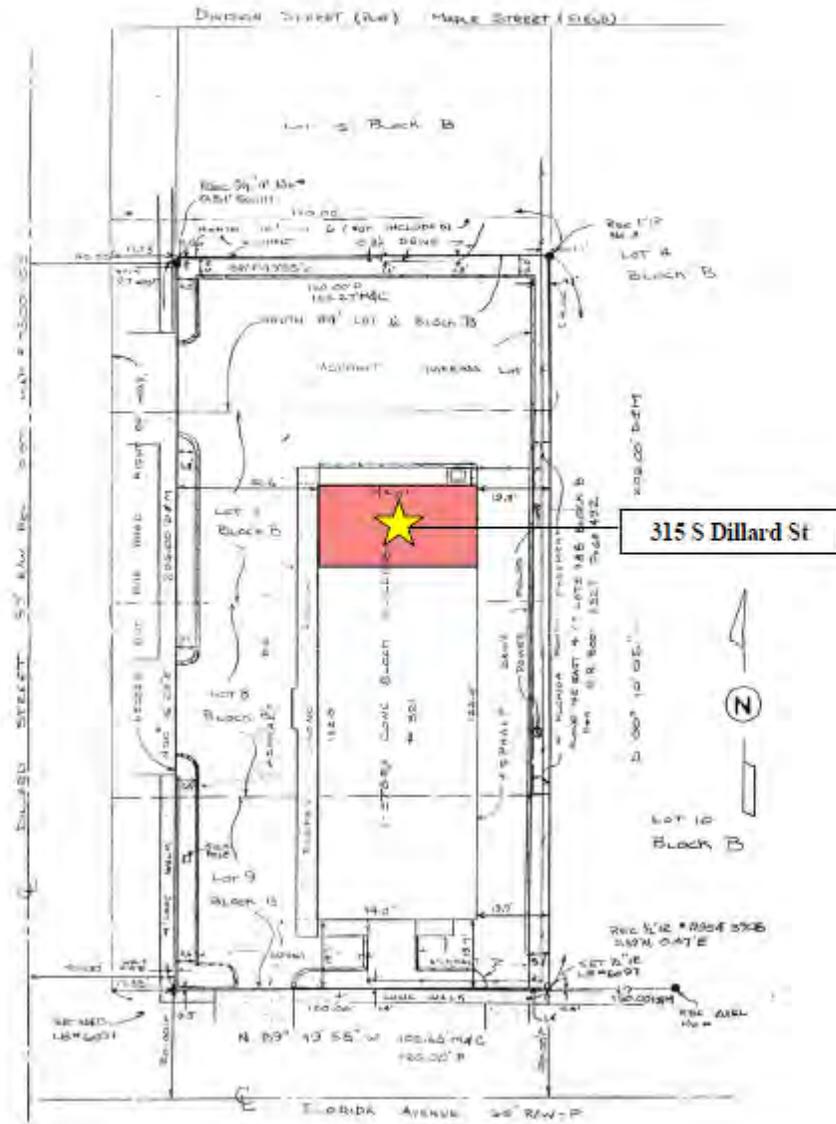
**Future Land Use Map**  
**315 S Dillard St**  
**(Main Property Address: 321 S Dillard St)**



**Zoning Map**  
**315 S Dillard St**  
**(Main Property Address: 321 S Dillard St)**



**Site Plan**  
**315 S Dillard St**  
**(Main Property Address: 321 S Dillard St)**



**Site Photos**  
**315 S Dillard St**  
**(Main Property Address: 321 S Dillard St)**



**END OF STAFF REPORT**

**EXHIBIT “C”**

**CITY OF WINTER GARDEN  
PLANNING & ZONING DIVISION**

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

**STAFF REPORT**

**TO:** PLANNING AND ZONING BOARD  
**PREPARED BY:** STEVE PASH, SENIOR PLANNER  
**DATE:** MARCH 31, 2014  
**SUBJECT:** SPECIAL EXCEPTION PERMIT  
703 Carter Road  
(Manheim Orlando)  
PARCEL ID #24-22-27-0000-00-005  
PARCEL ID #24-22-27-0000-00-006  
PARCEL ID #24-22-27-0000-00-008

**APPLICANT:** Ben Buckner, Facilities Manager

**INTRODUCTION**

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located at the southeast corner of East Story Road and Carter Road. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting a Special Exception Permit to allow barbed wire to be installed on an existing 6 foot tall chain link fence on the northern portion of the property. The subject property is located within the City of Winter Garden municipal limits, carries the zoning designation I-2, and is designated Industrial on the Future Land Use Map of the Comprehensive Plan. Section 118-1297 (d) requires that regardless of the zoning district, no barbed wire may be used in locations without a Special Exception permit that are within 20 feet of a public road.

#### EXISTING USE

The property consists of a paved parking lot, a pond, and some green space.

#### ADJACENT LAND USE AND ZONING

The property located to the north of the subject property is owned by the applicant and used for the same purpose, in the City, and zoned I-2. The property located to the south is zoned A-1 and located in Orange County. The property located to the east is State Road 429. The properties to the west consist of industrial complexes, are in the City, and zoned I-1 and I-2.

#### PROPOSED USE

The applicant operates an automobile auction company and currently uses the property as a parking lot to store vehicles. They plan to use the property for the same use, but due to past crime activity they want to install barbed wire on the existing chain link fence.

#### ANALYSIS

The Manheim business has existed at this location for an extended period of time. The southern portion of the property already has barbed wire on the chain link fence and they would like the barbed wire on the entire property. Over the last several years, they have had trouble with people jumping the fence to gain access to the site and attempting to steal vehicles. They would like to install three rows of barbed wire on top of the existing 6 foot tall chain link fence on the northern portion of the property to help deter intruders from jumping the fence and hopefully prevent the theft of vehicles.

#### SUMMARY

City Staff recommends approval of the Special Exception Permit request to install three rows of barbed wire on top of the existing 6 foot tall fence around the parking area.

MAPS/EXHIBITS

AERIAL PHOTO  
703 Carter Road



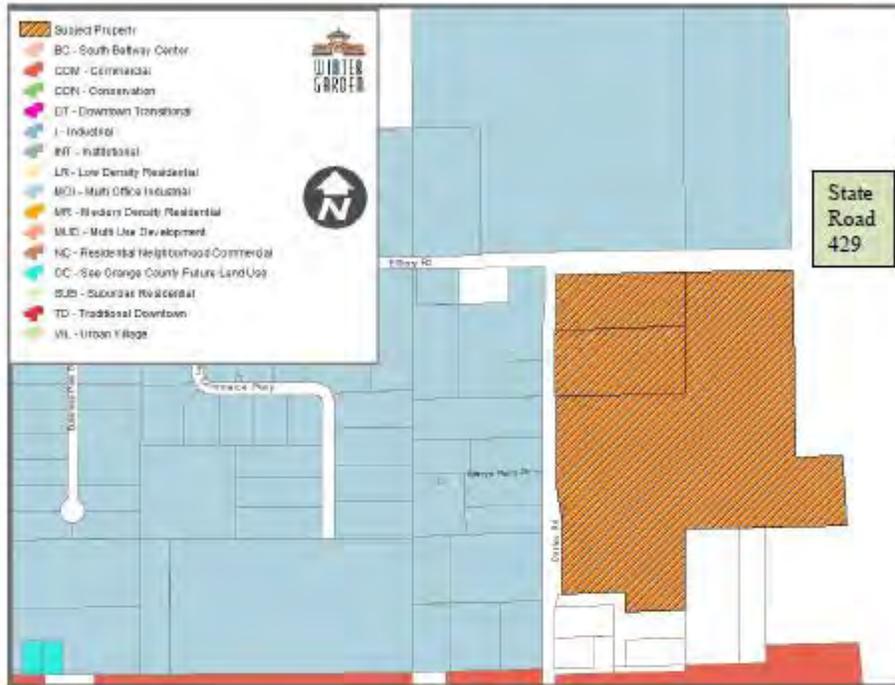


**ZONING MAP**  
**703 Carter Road**



**FUTURE LAND USE MAP**

703 Carter Road



**PHOTOGRAPHS**  
**703 Carter Road**

**View of existing fence along West property**



**View of existing fence along North property**



View looking Southwest



View looking South



View showing existing barbed wire on south property



**END OF STAFF REPORT**

## EXHIBIT "D"

### CITY OF WINTER GARDEN PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

# STAFF REPORT

TO: PLANNING AND ZONING BOARD  
PREPARED BY: KELLY CARSON, PLANNER II  
DATE: MARCH 25, 2014  
SUBJECT: VARIANCE  
686 Bethune Avenue (0.13+/- ACRES)  
PARCEL ID # 24-22-27-2275-00-290

APPLICANT: Anthony Q. Jenkins Jr.

#### INTRODUCTION

The purpose of this report is to evaluate the request for a rear yard setback variance for property located at 686 Bethune Avenue in Winter Garden, Florida. The request is for a 17.8 foot rear yard setback in lieu of the required 30 foot rear yard setback. If approved, this variance will allow an addition to the applicant's home.

The subject property, located on Bethune Avenue, is an approximately 0.13± acre lot in the East Bay Estates Subdivision. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The subject property carries the zoning designation R-4 (R-4 Zoning District) and is designated LR (Low Density Residential) on the Future Land Use Map of the City's Comprehensive Plan.

#### EXISTING USE

The subject property presently contains a single story 1,363.4 square foot single-family residential home with a shed positioned to the west of the proposed addition.

#### ADJACENT LAND USE AND ZONING

The adjacent properties to the north, south, and east of the subject property are single-family residential homes, have the zoning designation R-4 (R-4 Zoning District), and the future land use designation of LR (Low Density Residential). The property to the west is a stormwater retention tract owned by the City of Winter Garden, with a zoning designation of R-4 (R-4 Zoning District) and the future land use designation of LR (Low Density Residential). All adjacent properties are located within the City of Winter Garden municipal limits.

#### PROPOSED USE

The applicant would like to build a one or two story addition onto the existing home. The building footprint for the addition will be approximately 680 square feet (34' length running north/south x 20' length running east/west). The applicant is also planning to demolish an existing shed and remove a section of driveway paving currently located within a drainage and utility easement in order to fully comply with City code.

#### CODE REFERENCE

Sec. 118-458 (1) c of the City Code of Ordinances addresses minimum yard requirements. This section states in part that the minimum yard requirements for single-family residential buildings in the R-4 Zoning District are "*front: 20 feet, side: 7.5 feet, rear: 30 feet.*"

The applicant is seeking a variance to the minimum rear yard setback to allow the proposed addition to be built with a 17.8 foot rear yard setback. The project may require the removal of one tree from the applicant's rear yard.

#### CODE REQUIREMENTS / CRITERIA

##### Code Requirements/Criteria:

Section 118-131 of the City Code that relates to the review criteria states that, "A variance may be granted from land development regulations by the planning and zoning board if the planning and zoning board concludes that literal enforcement of the provisions of land development regulations would result in either practical difficulties (for setback and parking provisions) or unnecessary hardships (for all other land development regulations) for the property at issue." The code also lists the following criteria that are to be addressed before a variance can be approved. Underlined text is Staff's comments concerning this particular petition.

- (1) *Granting the variance will not cause or allow interference with the reasonable enjoyment of adjacent or nearby property owners or negatively impact the standard of living of the citizens of the city;*

The proposed addition located 17.8 feet from the rear property line should not negatively impact or interfere with the reasonable enjoyment of adjacent or nearby property owners.

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There is a City stormwater retention tract to the west of the subject property. In addition, many of the adjacent properties within the neighborhood have accessory structures and other site features located within their rear yards. This project will not negatively impact the standard of living of the citizens of the city. The applicant hopes that this project will add value to his property and be an asset to the neighborhood as a whole.

- (2) *The variance will allow a reasonable use of the property, which use is not out of character with other properties in the same zoning category;*  
The requested variance allowing a 17.8 foot rear yard setback in lieu of the required 30 foot rear yard setback will allow reasonable use of the property. The intention of the R-4 zoning district is to provide for quality residential neighborhoods in an urban setting. While this rear yard setback will exceed most other R-4 zoned homes in close proximity to the applicant's property, it will not change the low-intensity urban residential character of the neighborhood.
- (3) *In the context presented, strict compliance with the land development regulation will not further any legitimate city objective or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under this criteria if the variance were denied;*  
Strict compliance with the City's land development regulations will not further any legitimate City objective. This request does not encroach into any recorded easements, does not exceed the maximum impervious surface allowed in the R-4 zoning district (50%), and it removes two existing site features that do not adhere to current City Code (a shed structure located too close to the property line and paving located within an easement).
- (4) *The granting of the variance is consistent with the city's comprehensive plan; and*  
The variance is consistent with the provisions of the City's Comprehensive Plan relating to low density residential neighborhood character.
- (5) *The variance requested is the minimum variance that will make reasonable use of the land, building, or structure or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under these criteria if the variance were denied.*  
The variance requested is the minimum variance that will make reasonable use of the land. The proposed addition will not negatively impact the neighbors and is consistent with rear yard setbacks enjoyed by many other property owners throughout the City. Denying this variance does not benefit the property owner or the City.

#### SUMMARY

City Staff recommends approval of a variance to Sections 118-458(1)c to allow a 17.8 foot rear yard setback in lieu of the required 30 foot rear yard setback to allow for the construction of the proposed home addition subject to the following condition:

1. The existing shed and section of driveway paving within the drainage and utility easement must be removed.

#### NEXT STEP

Apply for the appropriate Building Permits.

P&Z : PH14-020

**ATTACHMENTS**

- Aerial Photos
- Survey (Site Plan)
- Site Photos

**AERIAL PHOTO  
686 Bethune Avenue**



P&Z : PH14-020



**SITE PHOTOS**  
**686 Bethune Ave**



P&Z : PH14-020



P&Z : PH14-020

**END OF STAFF REPORT**

**EXHIBIT “E”**

**CITY OF WINTER GARDEN  
PLANNING & ZONING DIVISION**

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

**STAFF REPORT**

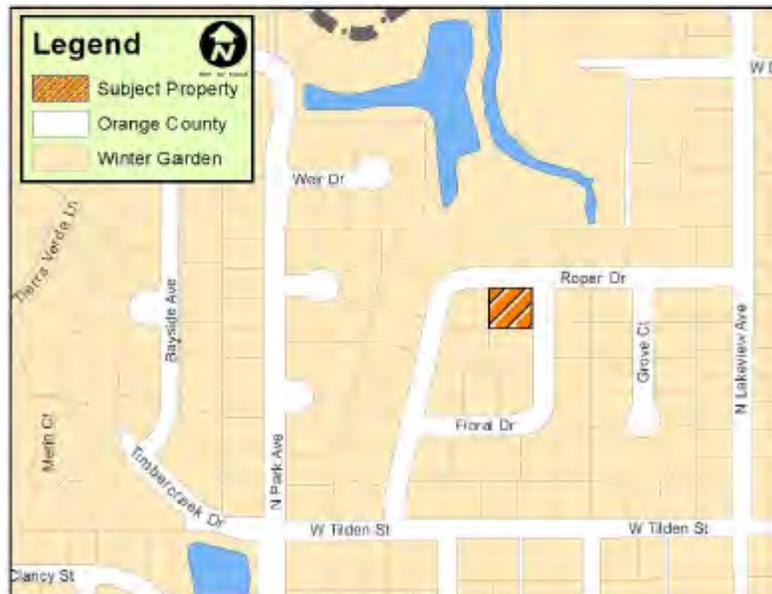
**TO:** PLANNING AND ZONING BOARD  
**PREPARED BY:** STEVE PASH, SENIOR PLANNER  
**DATE:** APRIL 7, 2014  
**SUBJECT:** VARIANCE  
148 Roper Drive (0.33+/- ACRES)  
PARCEL ID # 14-22-27-9203-03-020

**APPLICANT:** Bob Buchanan

**INTRODUCTION**

The purpose of this report is to evaluate the request of a 17 foot rear yard setback variance to allow the construction of a 12 foot x 16 foot accessory structure (shed) 6 feet from the rear property line.

The subject property, located at 148 Roper Drive is approximately a 0.33± acre lot located at the southwest corner of Roper Drive and Floral Drive. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting a variance to Section 118-1310 (c)(2)a. to allow an accessory structure that is greater than 160 square feet to be built at a 6 foot rear yard setback in lieu of the minimum required 23 foot rear yard setback. The subject property carries the zoning designation R-1 (Single Family Residential District) and is designated LR (Low Density Residential) on the Future Land Use Map of the City's Comprehensive Plan.

#### EXISTING USE

The subject property presently consists of a 2,384 square foot single family home.

#### ADJACENT LAND USE AND ZONING

The adjacent properties to the north, south, east, and west of the subject site are developed with single-family homes with R-1 zoning designation.

#### PROPOSED USE

The applicant is requesting a variance to the rear yard setback to allow construction of a 12 foot x 16 foot detached accessory structure (shed) that replaces an existing shed on an existing slab.

#### CODE REFERENCE

Sec. 118-310 (c)(2)a. of the City Code of Ordinances addresses accessory structures and states that

An accessory building greater than 160 square feet must comply with all the setback requirements of the principal structure. The R-1 zoning district requires that structures meet a side yard setback of 10 feet and a rear yard setback of 20% of the lot depth (23 feet).

The applicant is seeking a variance to the minimum required rear yard setback of 23 feet to allow an accessory structure that is greater than 160 square feet to be located 6 feet from the rear property.

#### CODE REQUIREMENTS /CRITERIA

##### Code Requirements/Criteria:

Section 118-131 of the City Code relates to the review criteria states that, "A variance may be granted from land development regulations by the planning and zoning board if the planning and zoning board concludes that literal enforcement of the provisions of land development regulations would result in either practical difficulties (for setback and parking provisions) or unnecessary hardships (for all other land development regulations) for the property at issue." The code also lists the following criteria that are to be addressed before a variance can be approved. Underlined text is Staff's comments concerning this particular petition.

(a) *Granting the variance will not cause or allow interference with the reasonable enjoyment of adjacent or nearby property owners or negatively impact the standard of living of the citizens of the city;*

Construction of the proposed accessory structure 6 feet from the rear property line should not negatively impact or interfere with the reasonable enjoyment of adjacent or nearby property owners as there is a large hedge along both property lines and there is an existing shed in this

location. In addition, the surrounding neighbors have all submitted letters in support of the variance.

- (b) *The variance will allow a reasonable use of the property, which use is not out of character with other properties in the same zoning category;*  
The requested variance allowing a 6 foot rear yard setback in lieu of the required 23 foot setback is reasonable use of the property. While there are no variance requests similar to this in the surrounding area, the proposed structure is 192 square feet and not out of character with other structures located in the surrounding area. In addition, there is already a slightly smaller shed (10' x 12') in the same location on the property.
- (c) *In the context presented, strict compliance with the land development regulation will not further any legitimate city objective or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under this criteria if the variance were denied;*  
Strict compliance with the City's land development regulations will not further any legitimate City objective. This request does not encroach into any recorded easement and does not exceed the maximum impervious surface ratio for R-1 zoning district.
- (d) *The granting of the variance is consistent with the city's comprehensive plan; and*  
The variance is consistent with the provisions of the City's Comprehensive Plan relating to single family residential neighborhood character.
- (e) *The variance requested is the minimum variance that will make reasonable use of the land, building, or structure or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under these criteria if the variance were denied.*  
The variance requested is the minimum variance that will make reasonable use of the land. Denying this variance does not benefit the property owner or the City.

#### SUMMARY

City Staff recommends approval of the variance to Section 118-1310 (c)(2)a. to allow an accessory structure (shed) that is greater than 160 square feet to be built at a 6 foot rear yard setback in lieu of the minimum required 23 foot rear yard setback.

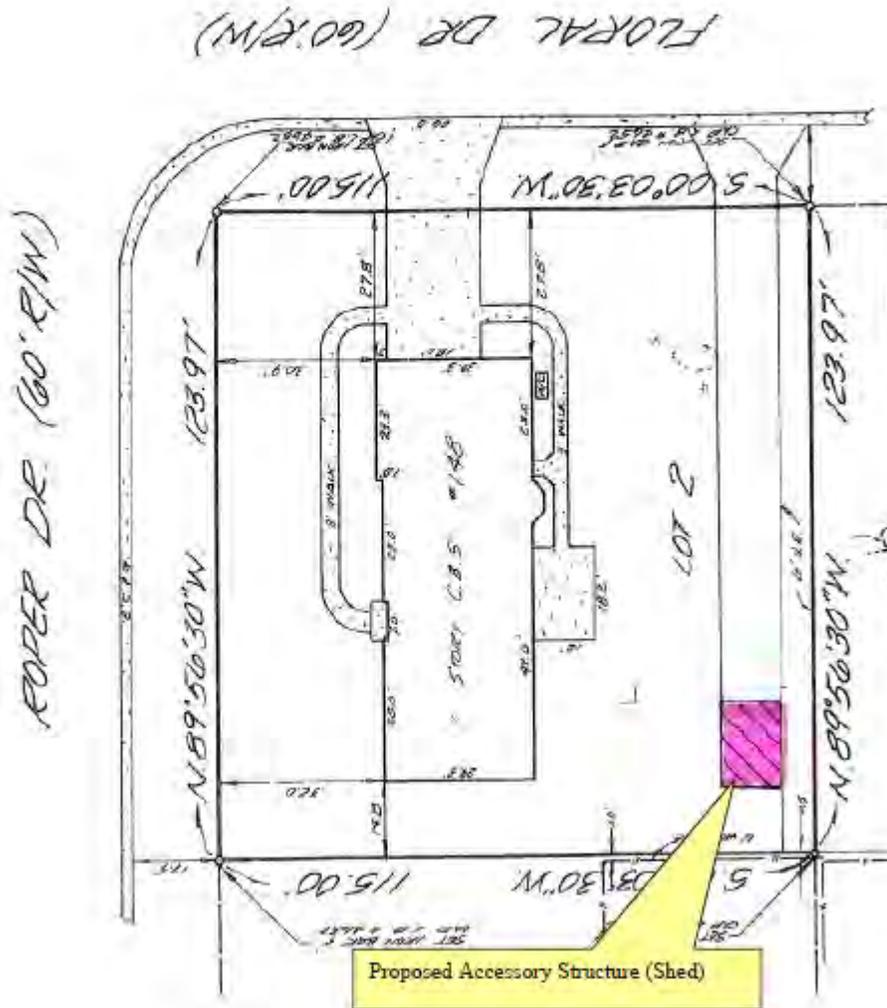
#### ATTACHMENTS

- Aerial Photos
- Site Photos

**AERIAL PHOTO**  
**148 Roper Drive**



**SITE PLAN**  
**148 Roper Drive**



**SITE PHOTOS**  
**148 Roper Drive**

**View of Proposed Location from Roper Drive**



**View looking West in back yard**



**Site Photos**  
**148 Roper Drive**

**View of property to the South**



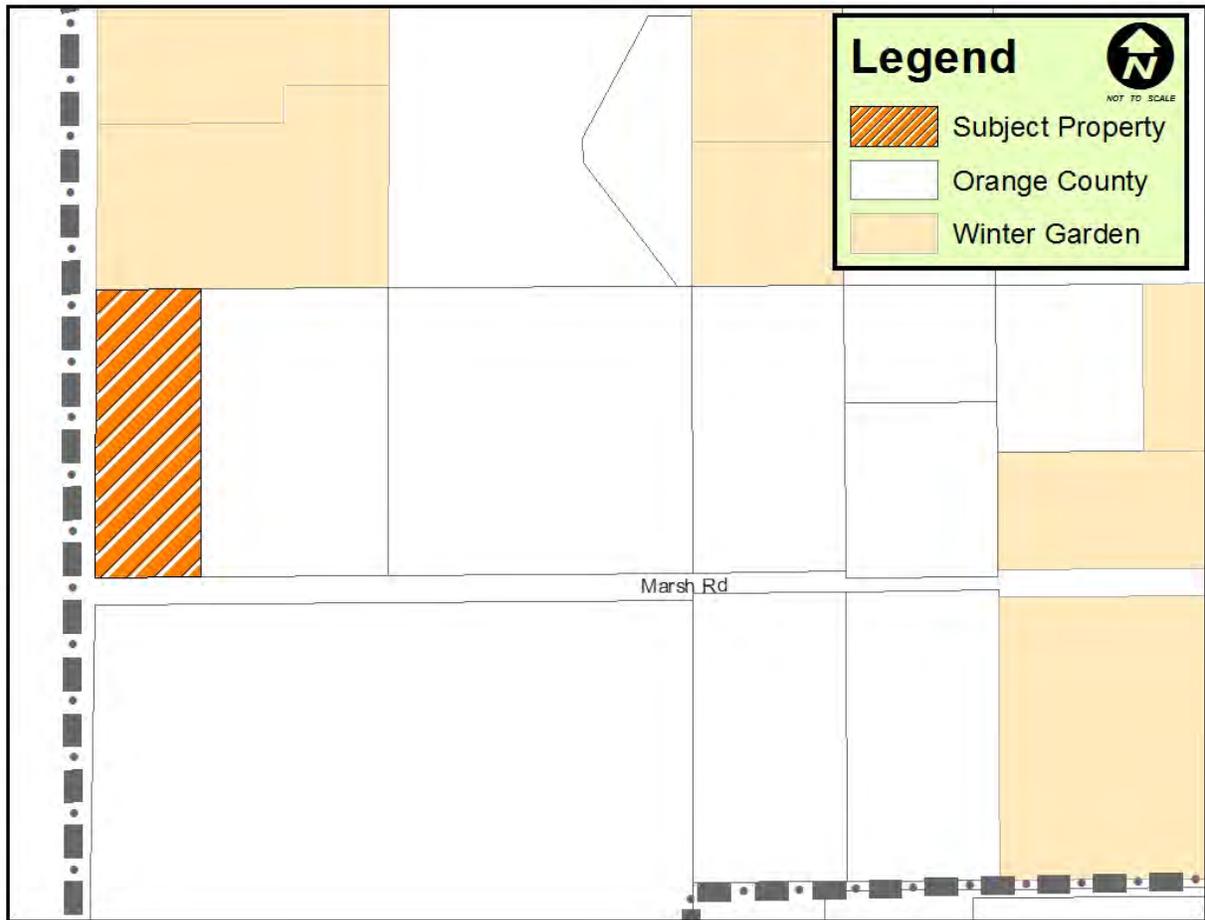
**END OF STAFF REPORT**



# LOCATION MAP

17901 Marsh Road

## ANNEXATION & FLU MAP AMENDMENT



# CITY OF WINTER GARDEN

## PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

# STAFF REPORT

**TO:** PLANNING AND ZONING BOARD

**PREPARED BY:** STEVE PASH, SENIOR PLANNER

**DATE:** JUNE 2, 2014

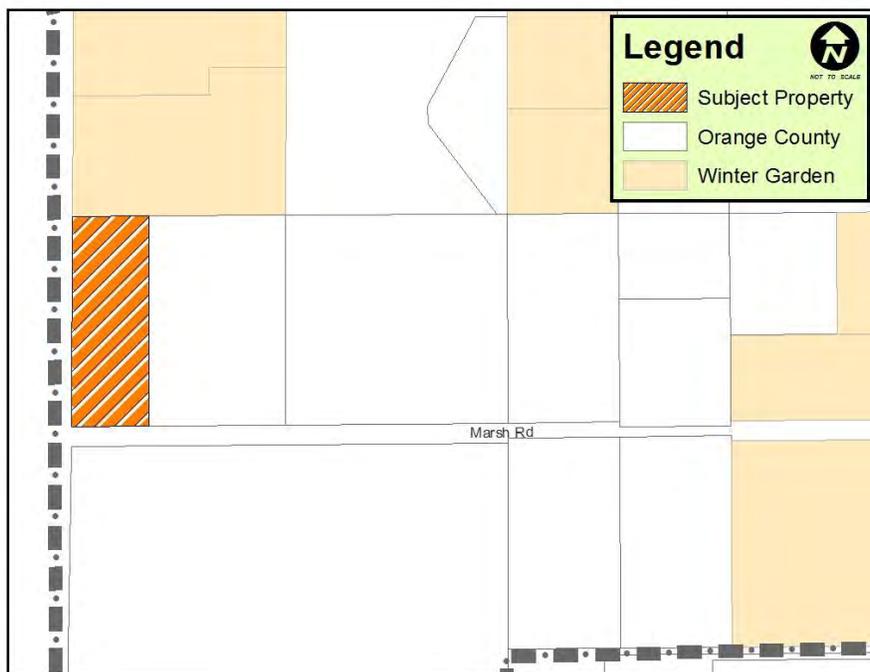
**SUBJECT:** ANNEXATION/FUTURE LAND USE MAP AMENDMENT  
**BAUGHMAN PROPERTY (3.412 +/- ACRES)**  
**Parcel ID # 06-23-27-4288-08-270 – 17901 Marsh Road**

**APPLICANT:** ALBERT & STEFFANI BAUGHMAN

### INTRODUCTION

The purpose of this report is to evaluate the proposed annexation and future land use map amendment for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located on the north side of Marsh Road at the western boundary of Orange County and is approximately 3.412 +/- acres. The map below depicts the location of the property within the City's jurisdictional limits:



The applicant has requested annexation into the City and amendment to the Future Land Use Map (FLUM) of the City's Comprehensive Plan to designate the property as Urban Village.

In accordance with the City's Comprehensive Plan, permitted uses within the Urban Village land use include single family homes and churches and schools. The zoning classifications that are consistent with the Urban Village land use designation include Urban Village PUD and INT.

The City endorses infill of its jurisdictional limits through voluntary annexation of enclaves. The elimination of enclaves through voluntary annexation furthers the goals, objectives, and policies of the City's Comprehensive Plan..

The City's Comprehensive Plan policy for the future land use designation of Urban Village states:

**Policy 1-1.2.12:** Urban Village. Properties designated with the Urban Village land use category are required to be developed at a floor area ratio not greater than 0.3, and a residential density not greater than 4 dwelling units per acre, except in the Village Center where the residential density shall be not greater than 12 units per acre. This land use designation is limited to those 658 ± acres identified on Figure 1.2. These parcels are located within the JPA-6 area as shown on Exhibit —Bll of the Sixth Amendment to the Restated Interlocal Agreement for Joint Planning Area Between Orange County and the City of Winter Garden, Dated January 24, 2007 and were formally part of the Horizon West development in unincorporated Orange County that proposed the same type of development. Development in this area shall be characterized by a community Village structure that includes a Village, Village Center, and neighborhoods that may vary in size to facilitate recreation and pedestrian traffic while preserving natural systems and shall follow the development program below:

Use	Acres	Amount
Residential	531 ±	2,140
Commercial	20 ±	115,000 Sq Ft
Natural	107 ±	N/A

Notes: All parcel acreages and natural delineations are estimated.

Actual determination of acreage shall be made at time of the PUD rezoning.

Development in this land use shall also be subject to the regulations found in the Urban Village PUD zoning designation. The zoning classifications that is consistent with the Urban Village land use designation is the Urban Village PUD and INT.

### **EXISTING USE**

The property is currently developed with a 6,063 square foot single-family house with a large pasture in the back yard that contains a palm tree nursery. The owner lives in the home, but rents it out for events such as: weddings, parties, and receptions (these events also use the open field in the back yard).

### **ADJACENT LAND USE AND ZONING**

To the north of the property is a property that contains orange groves, was recently annexed into the City, and has Urban Village Future Land Use. To the south is timber land in unincorporated Orange County with A-1 zoning. To the east is a single-family home with A-1 zoning, located in Orange County. To the west of the property is a single family house in Orange County with A-1 zoning.

### **PROPOSED USE**

The owners plan to continue using the home and property as a rental facility to hold events. When the owner decides to develop the property, they will be required to submit an application for Urban Village Planned Unit Development.

### **PUBLIC FACILITY ANALYSIS**

The property's primary point of transportation access is from Marsh Road. The existing property access is along Marsh Road, and any future connections will be analyzed when they submit for the UVPUD.

The City's potable water, reclaimed water, and sewer service can be installed by the property owner or a future owner when they want to develop in the future.

The City will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents including building permits. The property will be served by both Orange County Fire and Rescue and the City Fire Department under the First Response system.

### **SUMMARY**

The City Planning Department has reviewed the proposed ordinances and recommends approval.

**MAPS**

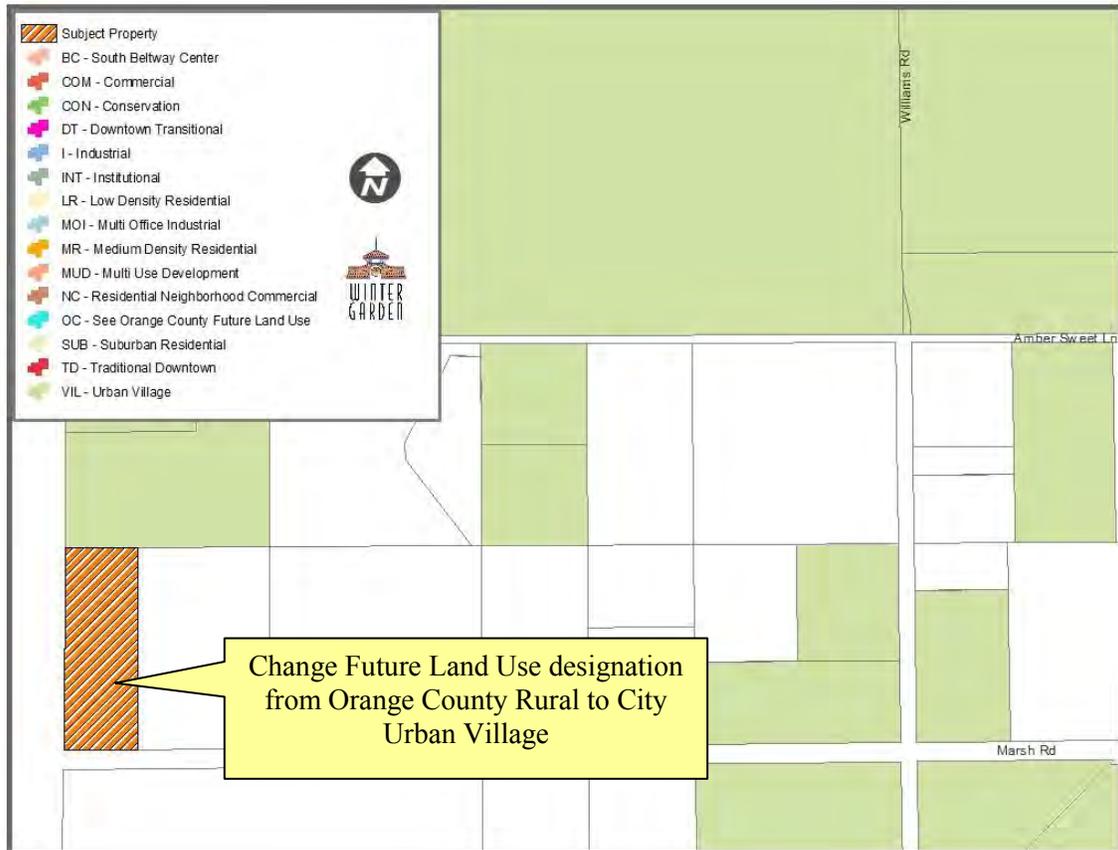
**AERIAL PHOTO**

**17901 Marsh Road**



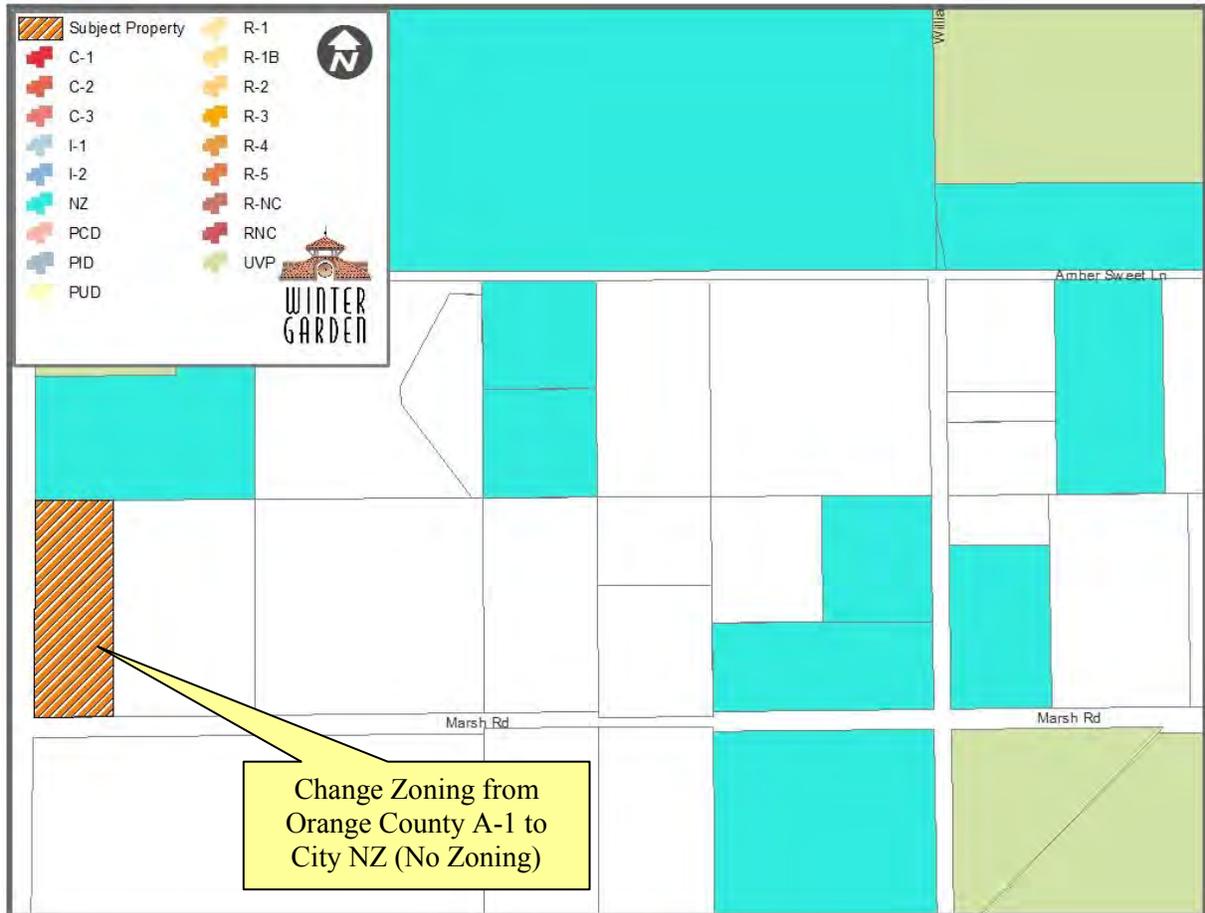
## WINTER GARDEN FUTURE LAND USE MAP

### 17901 Marsh Road



**WINTER GARDEN  
ZONING MAP**

**17901 Marsh Road**



**END OF STAFF REPORT**

ORDINANCE 14-20

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA PROVIDING FOR THE ANNEXATION OF CERTAIN ADDITIONAL LANDS GENERALLY DESCRIBED AS APPROXIMATELY 3.412 ± ACRES LOCATED AT 17901 MARSH ROAD ON THE NORTH SIDE OF MARSH ROAD AT THE WESTERN BOUNDARY OF ORANGE COUNTY INTO THE CITY OF WINTER GARDEN FLORIDA; REDEFINING THE CITY BOUNDARIES TO GIVE THE CITY JURISDICTION OVER SAID PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the owner of the land, generally described as approximately 3.41 ± acres located at 17901 Marsh Road, on the north side of Marsh Road at the western boundary of Orange County and legally described in Section 2 of this Ordinance, which land is reasonably compact and contiguous to the corporate limits of the City of Winter Garden, Florida (“City”), has, pursuant to the prerequisites and standards set forth in § 171.044, Fla. Stat., petitioned the City Commission for voluntary annexation;

**WHEREAS**, the petition for voluntary annexation referenced herein bears the signatures of all owners of the property or properties described in Section 2 of this Ordinance (*i.e.*, the property or properties to be annexed); and

**WHEREAS**, the City has determined that the property described in Section 2 of this Ordinance is located in an unincorporated area of the County and that annexation of such property will not result in the creation of an enclave.

**BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:**

**SECTION 1: *Annexation.*** That the City Commission through its Planning and Zoning Board has conducted an investigation to determine whether the described property meets the prerequisites and standards set forth in Chapter 171, Fla. Stat. and has held a public hearing and said petition and made certain findings.

**SECTION 2: *Description of Area Annexed.*** That, after said public hearing and having found such petition meets said prerequisites and standards, the property legally defined in ATTACHMENT “A” and graphically shown on the attached map shall be annexed into the City of Winter Garden, Florida.

**SECTION 3: *Effect of Annexation.*** That the City of Winter Garden, Florida, shall have all of the power, authority, and jurisdiction over and within the land as described in Section 2 hereof, and the inhabitants thereof, and property therein, as it does and have over its present corporate limits and laws, ordinances, and resolutions of said City shall

apply and shall have equal force and effect as if all territory had been part of said City at the time of the passage of such laws, ordinances, and resolutions.

**SECTION 4:** *Apportionment of Debts and Taxes.* Pursuant to § 171.061, Fla. Stat., the area annexed to the City shall be subject to all taxes and debts of the City upon the effective date of annexation. However, the annexed area shall not be subject to municipal ad valorem taxation for the current year if the effective date of the annexation falls after the City levies such tax.

**SECTION 5:** *Instructions to Clerk.* Within seven (7) days following the adoption of this Ordinance, the City Clerk or his/her designee is directed to file a copy of this ordinance, including ATTACHMENT "A" hereto, with the clerk of the circuit court and the chief administrative officer of Orange County as required by § 171.044(3), Fla. Stat.

**SECTION 6:** *Severability.* Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

**SECTION 7:** *Effective Date.* This Ordinance shall become effective upon adoption at its second reading.

**FIRST READING AND PUBLIC HEARING:** \_\_\_\_\_, 2014.

**SECOND READING AND PUBLIC HEARING:** \_\_\_\_\_, 2014.

**ADOPTED** this \_\_\_\_\_ day of \_\_\_\_\_, 2014, by the City Commission of the City of Winter Garden, Florida.

**APPROVED:**

\_\_\_\_\_  
JOHN REES, Mayor/Commissioner

**ATTEST:**

\_\_\_\_\_  
KATHY GOLDEN, City Clerk

**ATTACHMENT "A"**

**LEGAL DESCRIPTION**

PARCEL ID#: 06-23-27-4288-08-270

LOT 27H (LESS THE EAST 415.00 FEET AND LESS THE SOUTH 15.00 FEET FOR ROAD RIGHT-OF-WAY), LAKE AVALON GROVES REPLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK H, PAGE 81 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF SECTION 6, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA; THENCE RUN N00°17'15"E ALONG THE WEST LINE OF SAID NORTHWEST 1/4, 30.00 FEET; THENCE RUN N89°28'15"E, 25.00 FEET TO THE POINT OF BEGINNING, SAID POINT ALSO BEING ON THE WEST LINE OF LOT 27H, LAKE AVALON GROVES REPLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK H, PAGE 81 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN N00°17'15"E ALONG SAID WEST LINE, 638.59 FEET TO THE NORTHWEST CORNER OF SAID LOT 27H; THENCE RUN N89°39'34"E ALONG THE NORTH LINE OF SAID LOT 27H, 231.51 FEET TO A POINT 415.00 WEST OF THE EAST LINE OF SAID LOT 27H; THENCE RUN S00°01'54"W PARALLEL TO SAID EAST LINE OF LOT 27H, 637.79 FEET TO THE NORTH RIGHT-OF-WAY LINE OF MARSH ROAD; THENCE RUN S89°28'15"W ALONG SAID RIGHT-OF-WAY LINE, 234.36 FEET TO THE POINT OF BEGINNING.

CONTAINING 3.412 ACRES, MORE OR LESS

## ORDINANCE 14-21

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS 3.412 ± ACRES OF LAND LOCATED AT 17901 MARSH ROAD ON THE NORTH SIDE OF MARSH ROAD AT THE WESTERN BOUNDARY OF ORANGE COUNTY FROM ORANGE RURAL TO CITY URBAN VILLAGE; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, on the 13<sup>th</sup> of June, 1991, the City Commission of the City of Winter Garden adopted Ordinance 91-16 which adopted a new Comprehensive Plan for the City of Winter Garden, and on the 24<sup>th</sup> of June, 2010, the City Commission of the City of Winter Garden adopted Ordinance 10-19 readopting and amending the Comprehensive Plan for the City of Winter Garden;

**WHEREAS**, the owner of that certain real property generally described as 3.41 ± acres of land located at 17901 Marsh Road on the north side of Marsh Road at the western boundary of Orange County, and legally described in ATTACHMENT "A" (the "Property") has petitioned the City to amend the Winter Garden Comprehensive Plan to change the Future Land Use classification from Orange County Rural to City Urban Village; and

**WHEREAS**, the City of Winter Garden's Local Planning Agency and City Commission have conducted the prerequisite advertised public hearings pursuant to Chapter 163, Florida Statutes, regarding the adoption of this ordinance; now, therefore,

### **BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:**

**SECTION I.** *FLUM Amendment.* The City of Winter Garden hereby amends the Future Land Use Map of the City of Winter Garden Comprehensive Plan by designating the aforesaid Property to City Urban Village as set forth in ATTACHMENT "B".

**SECTION II.** *Effective Date.* Provided that the Property described herein is annexed into the City of Winter Garden pursuant to Ordinance 14-20, this Ordinance shall become effective 31 days after adoption, unless the Ordinance is timely challenged pursuant to § 163.3187(5), Fla. Stat., in which case, the Ordinance shall not be effective until the state land planning agency or the Administrative Commission, respectively, issues a final order

determining that the adopted Ordinance is in compliance.

**SECTION III. Severability.** Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

**FIRST READING AND PUBLIC HEARING:** \_\_\_\_\_, 2014.

**SECOND READING AND PUBLIC HEARING:** \_\_\_\_\_, 2014.

**ADOPTED** this \_\_\_\_\_ day of \_\_\_\_\_, 2014, by the City Commission of the City of Winter Garden, Florida.

**APPROVED:**

\_\_\_\_\_  
JOHN REES, Mayor/Commissioner

**ATTEST:**

\_\_\_\_\_  
KATHY GOLDEN, City Clerk

**ATTACHMENT  
"A"**

**LEGAL  
DESCRIPTION**

PARCEL ID#: 06-23-27-4288-08-070

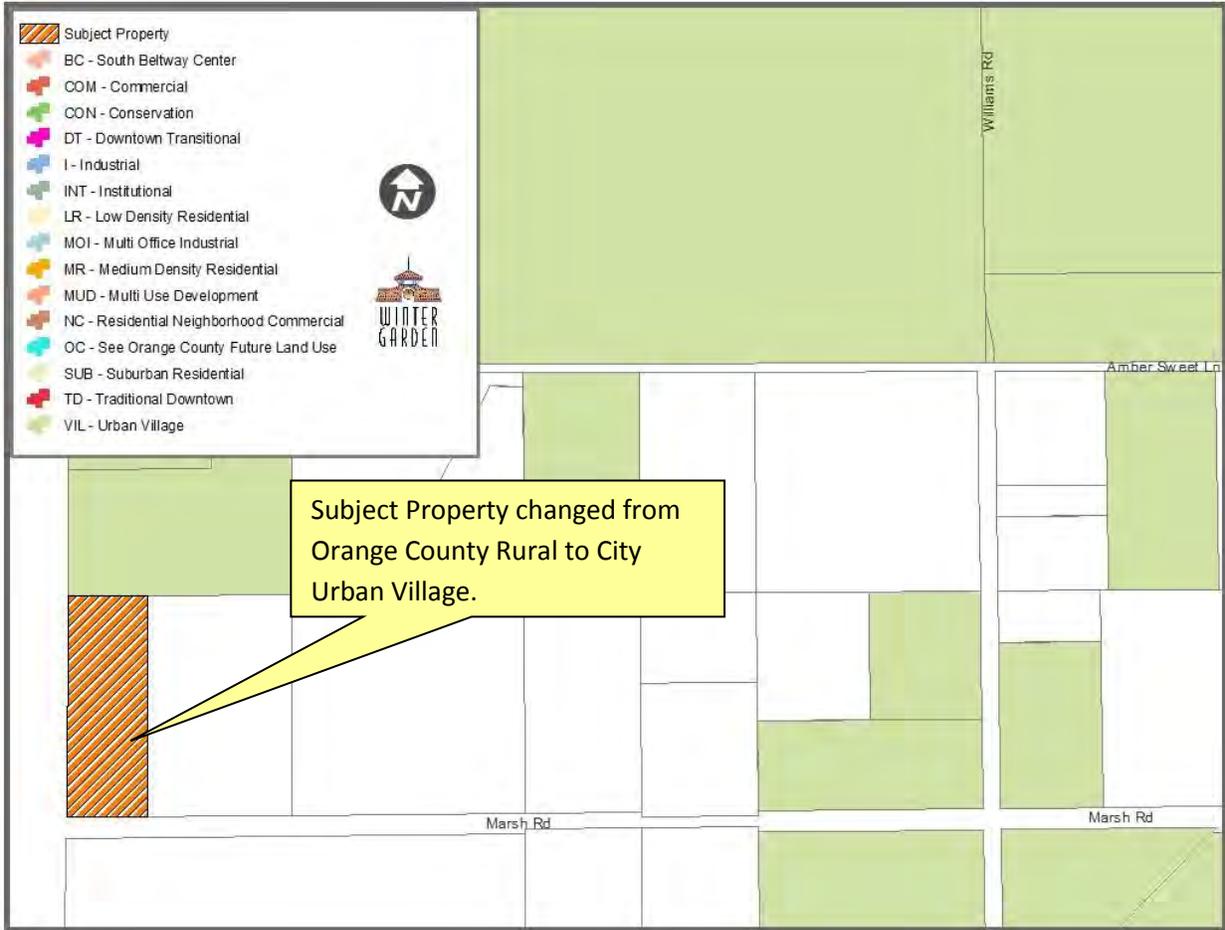
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CONTAINING 3.412 ACRES, MORE OR LESS

**ATTACHMENT "B"**

**FUTURE LAND USE MAP**

**17901 Marsh Road**

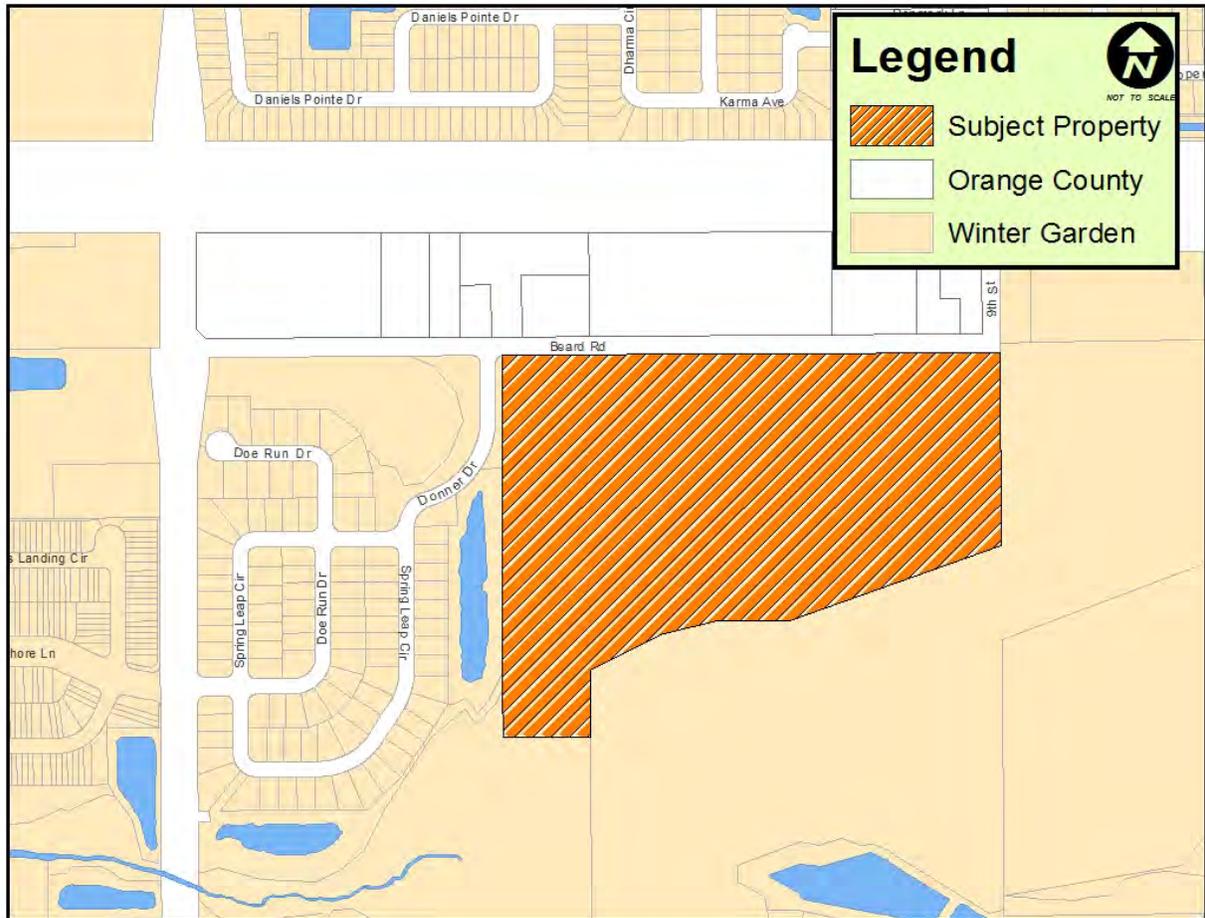




# LOCATION MAP

562 Beard Road

PUD REZONING



# CITY OF WINTER GARDEN

## PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

# STAFF REPORT

**TO:** PLANNING AND ZONING BOARD  
**PREPARED BY:** STEVE PASH, SENIOR PLANNER  
**DATE:** JUNE 2, 2014  
**SUBJECT:** REZONING – BEARD ROAD SUBDIVISION  
**562 Beard Road (33.79+/- ACRES)**  
**PARCEL ID #** 26-22-27-0000-00-029

**APPLICANT:** Adalee J. Roper Trust

### INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property, located south of the Florida Turnpike and east of Daniels Road at the southwest corner of Beard Road and 9<sup>th</sup> Street is approximately 33.79 ± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits.



The applicant is requesting to rezone 33.79 ± acres of land. The subject property is located within

the City of Winter Garden municipal limits, and carries the zoning designation R-1 (Single Family Residential). The subject property is designated LR- Low Density Residential on the Future Land Use Map of the City's Comprehensive Plan (see attached map).

### **EXISTING USE**

The subject property is currently used for agricultural purposes (planted pines).

### **ADJACENT LAND USE AND ZONING**

The properties located to the north of the subject property are vacant or developed with single-family homes, located in un-incorporated Orange County with A-1 Zoning. The properties located to the south and east are vacant wetlands that are owned by the neighboring single-family HOA's, located in the City with PUD and R-1 Zoning. The properties located to the west are single family residential homes within the City of Winter Garden with PUD Zoning.

### **PROPOSED USE**

The applicant proposes to develop the 33.79 ± acre site into a residential planned unit development with 5.35 ± acres of wetlands, 2.54 ± acres of ponds, and the remaining area (25.9 ± acres) will contain 77 single-family dwelling units (minimum 1,800 square feet) on lots ranging in size from 60'x115' to 75'x115' (see Exhibit B Ordinance 14-26). The proposed lot size mixture is:

<b>Lot Size</b>	<b>% of lots</b>
75'x115'	> 15%
70'x115'	> 28%
65'x115'	< 32%
60'x115'	< 25%

The proposed subdivision will be a gated community with gross density proposed at 2.71 dwelling units per acre, the LR-Low Density Residential Future Land Use Designation allows up to 6 dwelling units per acre. Under the existing R-1 Zoning District, the property is vested for 78 units.

The proposed subdivision will contain an active recreational park (tot-lot, gazebo, and outdoor fitness equipment). The proposed park is 0.71 acres, which does not meet the minimum required 5% of the gross developable area (1.42 acres). The developer will be required to contribute the value of the 0.71 acres into the City Park fund.

The proposed development will contain lot widths that are less than required by the R-1 Zoning District, but larger than the minimum lot width in the Dearfield Subdivision located on the east side of the subject property.

### **PUBLIC FACILITY ANALYSIS**

#### **Potable Water, Reclaimed Water, and Wastewater Services**

The proposed residential development will be served by and required to connect to City of

Winter Garden water, wastewater, and reclaimed water which are available and have adequate capacity to serve the proposed residential development. At such time that the property is developed, all necessary utility lines will be extended and connections made, all extension and connection costs shall be borne by the property owner.

### **Stormwater**

The stormwater retention/detention facilities designed to service the proposed development will meet or exceed the LOS Standards stated in Policy 4-1.1.1 of the Public Facilities Element included in the City of Winter Garden Comprehensive Plan. In addition, the stormwater facilities will be designed in accordance with St. Johns River Water Management District and City of Winter Garden requirements.

### **Common Recreation and Open Space**

Section 118-923 (b) states that in no case shall there be less than 5% of the total developable area set aside for active, dry-land recreational uses (1.42 acres). The proposed park is 0.71 acres and will have a gazebo with outdoor cooking equipment, a tot lot, outdoor fitness equipment, and an open area. In order to meet the minimum required park area, they will be required to donate money to the Recreation Fund to purchase the additional required 0.71 acres of park area.

All of the common recreation and open space will be maintained by a homeowner's association and available to the residents. The developer shall establish a homeowner's association in accordance with Chapter 720, Florida Statutes and having governing documents in compliance with Chapter 110 of the City of Winter Garden Code of Ordinances.

### **Transportation**

The developer is in the process of working with the neighboring subdivision (Deerfield Place) to connect the two neighborhoods and provide better access to Daniels Road. The current configuration is based on Deerfield Place approving the proposed connection. If the connection is not approved, the property will need to be redesigned and may require Board approval.

### **Other Services**

The City will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents including building permits. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department under the First Response System.

### **SUMMARY**

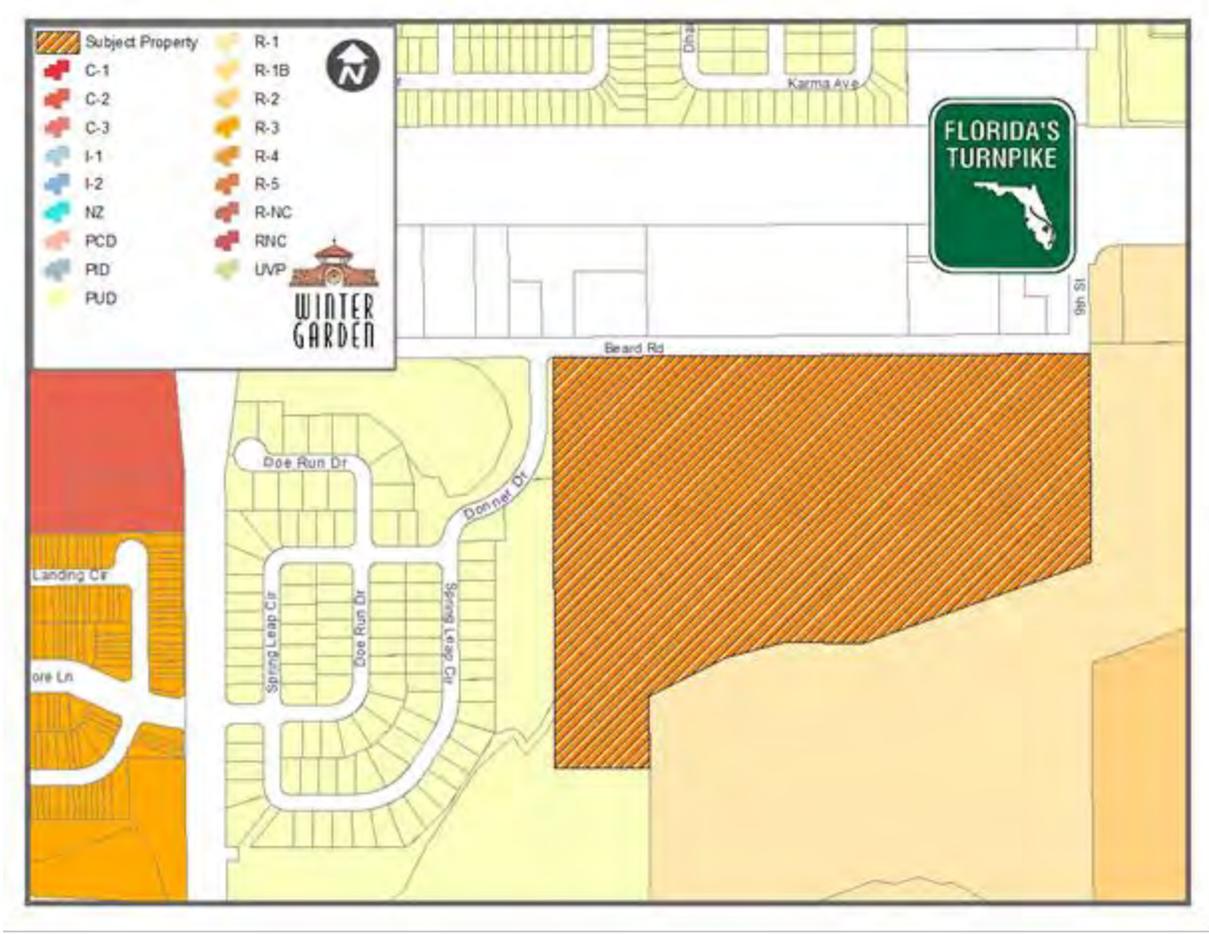
Staff recommends approval of the proposed Ordinance rezoning the subject property from City R-1 to City PUD. The rezoning is consistent with the Future Land Use Map of the City's Comprehensive. The proposed PUD is consistent with surrounding development in the area and is compatible with the uses in the surrounding area. The proposed development of the subject property is consistent with the goals, objectives and policies of the City's Comprehensive Plan and land development regulations.

MAPS

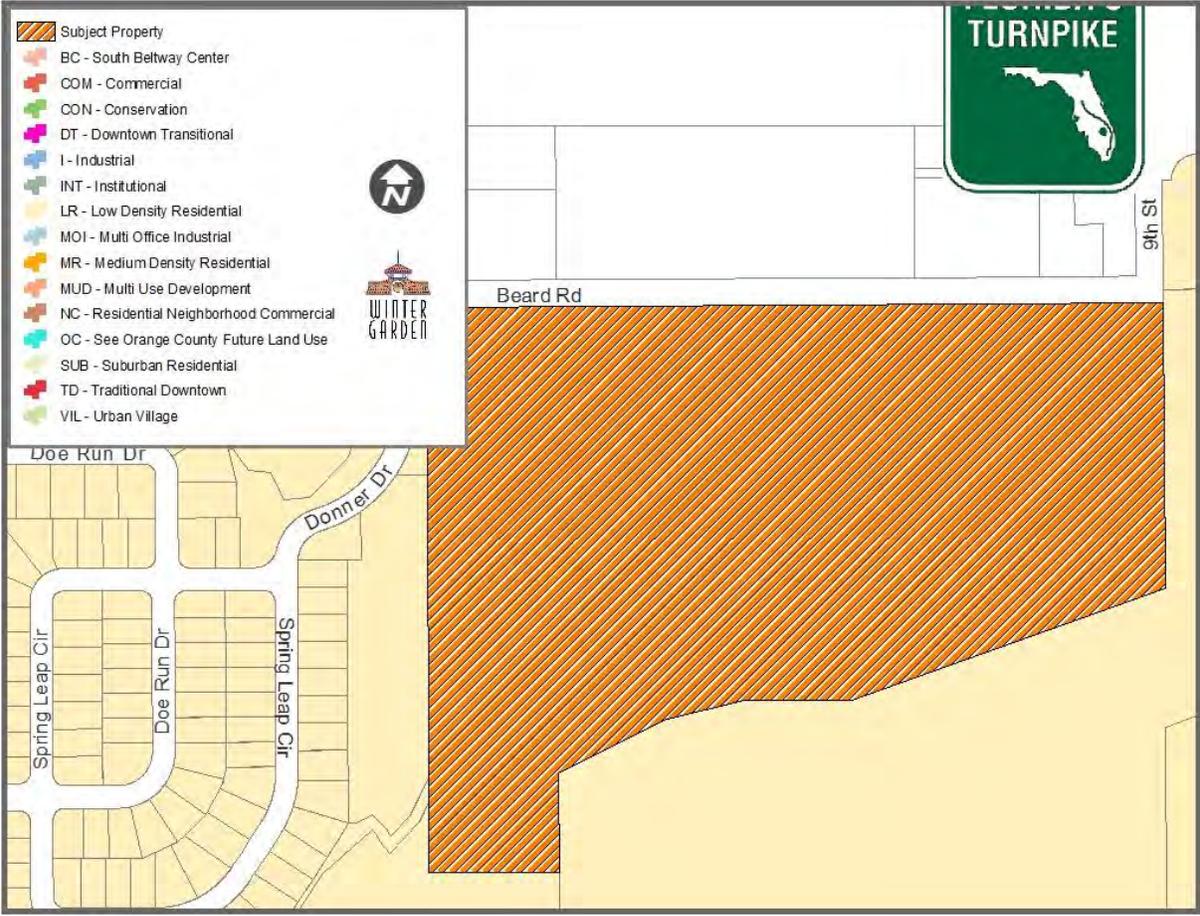
**AERIAL PHOTO  
562 BEARD ROAD SUBDIVISION**



**ZONING MAP**  
**562 BEARD ROAD SUBDIVISION**



**FUTURE LAND USE MAP  
562 BEARD ROAD SUBDIVISION**



**END OF STAFF REPORT**

ORDINANCE 14-26

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING APPROXIMATELY 33.79 ± ACRES OF REAL PROPERTY GENERALLY LOCATED AT 562 BEARD ROAD LOCATED SOUTH OF THE FLORIDA TURNPIKE AND EAST OF DANIELS ROAD AT THE SOUTHWEST CORNER OF BEARD ROAD AND 9TH STREET FROM R-1 (SINGLE-FAMILY RESIDENTIAL DISTRICT) TO PUD (PLANNED UNIT DEVELOPMENT DISTRICT); PROVIDING FOR CERTAIN PUD REQUIREMENTS; PROVIDING FOR NON-SEVERABILITY AND AN EFFECTIVE DATE.

**WHEREAS**, the owner of that certain real property generally described as 33.79 ± acres of land located at 562 Beard Road located south of the Florida Turnpike and east of Daniels Road at the southwest corner of Beard Road and 9th Street, and legally described in Section 1 of this ordinance has petitioned the City to rezone said property from City R-1 Single-Family Residential District to the City's PUD Planned Unit Development District zoning classification, therefore;

**WHEREAS**, further, the City Commission finds that based on competent, substantial evidence in the record, the rezoning approved by this Ordinance meets all applicable criteria for rezoning; and

**WHEREAS**, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the adoption of this Ordinance and the proposed development of the Property is consistent with the City of Winter Garden Comprehensive Plan, and the City of Winter Garden Code of Ordinances; therefore,

**BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:**

**SECTION I.** *Rezoning. The above "Whereas" clauses constitute findings by the City Commission. After due notice and public hearing, the zoning classification of the Property, as described in Exhibit "A" attached hereto, is hereby rezoned from Single-Family Residential District (R-1) to Planned Unit Development (PUD) in the City of Winter Garden, Florida subject to the following conditions, provisions and restrictions:*

- a. Conceptual Plan- All development on the Property must substantially conform to the requirements identified in the Roper Subdivision PUD Development Plan attached hereto as Exhibit "B." Should any conflict be found between this Ordinance and the Roper Subdivision PUD Development Plan attached hereto as Exhibit "B", then the standards and conditions established by this Ordinance shall control.

- b. Zoning- Unless specifically noted elsewhere in Exhibit “B” attached hereto, all residential development on the Property must comply with the general zoning requirements of the R-1 Single Family Residential District for any structures, including but not limited to swimming pools, screen rooms accessory structures and buildings that are developed on the Property.
  - 1. Prohibited Uses- Retail uses, Townhomes and Condominiums.
- c. Staff Conditions- All development on the Property must comply with the following conditions:
  - 1. Beard Road improvements: At the developer’s expense, Beard Road shall be improved along the full project frontage to include 24 foot pavement width, 2’ wide concrete curb & gutter or 12” flush ribbon curb as is determined appropriate by the City Engineer, 5’ wide concrete sidewalk, streetlights meeting dark skies requirements, etc. per City Standards. Turn lane(s) on Beard Road at the access points into the Project are required unless waived by the City after further review and evaluation of traffic study and plans to be submitted by the Developer. Developer shall convey or caused to be conveyed in fee simple ownership to the City, at no cost to the City, such portions of the Property as may be necessary to accommodate such Beard Road improvements.
  - 2. Utilities: At the developer’s expense, utilities shall be installed and extended in accordance with Section 78-2, City Code. A 10” water main shall be extended for the full project frontage on Beard Road from its current terminus at Donner Drive. Reuse main (8” minimum) shall be extended from Daniels Road for the full project frontage (the two existing 12” reuse mains on Beard Road are transmission mains and do not have sufficient distribution pressure). Sanitary force main shall be designed and extended to the property unless a gravity sanitary design can be found feasible – coordinate with Public Services Utilities.
  - 3. 100 year flood zone/Wetlands: An overlay of the 100 year floodplain appears to encroach farther into the property than shown on the plan. A LOMR shall be filed with FEMA as a condition of final plat approval for any areas requiring fill within the 100 year flood zone. Fill within the 100 year flood zone will only be allowed if compensating storage is provided. Future plan submittals shall include 100 year floodplain, topography, and wetlands delineation.
  - 4. A fully engineered site plan, meeting all City requirements shall be reviewed and approved by the City prior to any construction. Permits or exemptions from SJRWMD and FDEP will be required. FDEP NPDES NOI will also be required if any disturbed area is over 1.0 acre.

5. All irrigation shall be metered and connected to the reclaimed water mains within the development. Coordinate with Utilities Department on location and size of reclaimed water mains, etc. All irrigation lines within the City's right-of-way shall be purple color.
6. Provide conceptual drainage plan and geotechnical report with preliminary plat submittal.
7. Plans indicate that the project will be gated. If gated, the streets will be private and maintained by the HOA. While portions of the right-of-way may be dedicated to the City, maintenance of special pavements, landscaping, hardscaping, etc. shall be performed by the HOA under a RW maintenance agreement.
8. All proposed easements shall be 30' minimum width for sanitary, water and storm; improvements shall be centered within the easement. Common areas not abutting right-of-way shall include a minimum 20' wide tract (not easement) for access and maintenance.
9. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
10. All work shall conform to City of Winter Garden standards and specifications.
11. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
12. The Owner's/Developer's Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
13. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The applicant should note that if approval is granted, the City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction

shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.

14. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of site or building permits.

**SECTION II:** General Requirements.

- a. Developer's Agreement- A Developer's Agreement shall be drafted, approval obtained and recorded prior to approval of Preliminary Plat of the Property and prior to the issuance of any site or building permits. The Developer's Agreement shall include, but is not limited to the following: project phasing, Beard Road improvements, lift station construction and tract conveyance, utilities extension and upsizing, internal roadways and utility lines, right-of-way conveyances, bonding requirements for public infrastructure improvements, and adherence to all City Codes and Standards.
- b. Stand Alone Clause- Each phase of development of the Property must operate as an individual unit in that each particular phase will be able to stand-alone in the event that no other phase is developed.
- c. Land Development Approvals and Permits- This Ordinance does not require the City to issue any permit or approval for development, construction, preliminary plat, final plat, building permit, or other matter by the City relating to the Property or the project or any portion thereof. These and any other required City development approvals and permits shall be processed and issued by the City in accordance with procedures set forth in the City's Code of Ordinances and subject to this Ordinance.
- d. Amendments- Minor amendments to this Ordinance will be achieved by Resolution of the City Commission of the City of Winter Garden. Major amendments to this Ordinance will require approval of the City Commission of the City of Winter Garden by Ordinance.
- e. Expiration- Expiration of this PUD shall be governed in accordance with Section 118-830, City of Winter Garden Code of Ordinances. Time extensions may be granted in accordance with Section 118-829, City of Winter Garden Code of Ordinances.

**SECTION III:** Rezoning. After due notice and public hearing, the zoning classification of real property legally described on ATTACHMENT "A," is hereby rezoned from City R-1 Single-Family Residential District to City PUD Planned Unit Development District in the City of Winter Garden, Florida.

**SECTION IV:** Zoning Map. The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

**SECTION V:** Non-Severability. Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

**SECTION VI:** Effective Date. This Ordinance shall become effective upon adoption at its second reading..

**SECTION III. Severability.** Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

**FIRST READING AND PUBLIC HEARING:** \_\_\_\_\_, 2014.

**SECOND READING AND PUBLIC HEARING:** \_\_\_\_\_, 2014.

**ADOPTED** this \_\_\_\_\_ day of \_\_\_\_\_, 2014, by the City Commission of the City of Winter Garden, Florida.

**APPROVED:**

\_\_\_\_\_  
JOHN REES, Mayor/Commissioner

**ATTEST:**

\_\_\_\_\_  
KATHY GOLDEN, City Clerk

**ATTACHMENT "A"**

**LEGAL DESCRIPTION**

PARCEL ID#: 26-22-27-0000-00-029

That part of the NE 1/4 of the SE 1/4 of Section 26, Township 22 South, Range 27 East, Orange County, Florida, lying north of Canal. The NW 1/4 of the SE 1/4 of Section 26, Township 22 South, Range 27 East, Orange County, Florida, LESS West 1054.79 feet thereof. Less also the 30 feet of both of the above tracts for road, described as follows: (Parent Tract Description taken from Official Records Book 9992, Page 1216, Public Records of Orange County, Florida.)

Commence at the Northeast corner of the Northeast 1/4 of the Southeast 1/4 of Section 26, Township 22 South, Range 27 East, Orange County, Florida and a point on the North boundary of COBBLESTONE OF WINTER GARDEN as described and recorded in Plat Book 65, Pages 70 through 74, Public Records of Orange County, Florida, thence South 00 degrees 20 minutes 59 seconds East 30.00 feet along the East boundary of said Southeast 1/4 and the North Boundary of said Plat Book 65, Pages 70 through 74 to a point on the South right of way line of Beard Road per Official Records Book 9992, Page 1216, Public Records of Orange County, Florida for the POINT OF BEGINNING; thence continue South 00 degrees 20 minutes 59 seconds East 630.44 feet along the East boundary of said Southeast 1/4 and the North Boundary of said Plat Book 65, Pages 70 through 74; thence South 70 degrees 19 minutes 23 seconds West 734.78 feet along said North boundary; thence North 89 degrees 40 minutes 37 seconds West 235.82 feet along said North boundary; thence South 76 degrees 19 minutes 23 seconds West 178.83 feet along said North boundary; thence South 63 degrees 19 minutes 23 seconds West 266.69 feet along said North boundary to a point on the East boundary of the Northwest 1/4 of the Southeast 1/4 of said Section 26; thence South 00 degrees 15 minutes 59 seconds East 217.60 feet along said North boundary and said East boundary of the Northwest 1/4 of the Southeast 1/4 to a point on the East boundary of said DEERFIELD PLACE as described and recorded in Plat Book 57, Pages 119 through 121, Public Records of Orange County, Florida; thence South 89 degrees 47 minutes 08 seconds West 287.75 feet along said East boundary to a point on the West boundary of the West 1054.79 feet of the Northwest 1/4 of the Southeast 1/4 of said Section 26; thence North 00 degrees 10 minutes 57 seconds West 1247.54 feet along said East boundary of Plat Book 57, Pages 119 through 121 and said West boundary of the West 1054.79 feet of the Northwest 1/4 of the Southeast 1/4 to a point on the aforesaid South right of way line of Beard Road; thence North 89 degrees 39 minutes 34 seconds East 1626.64 feet along said right of way line to the Point of Beginning.

CONTAINING: 33.785 acres, more or less.

**LEGAL DESCRIPTION**

THAT PART OF THE NE 1/4 OF THE SE 1/4 OF SECTION 26, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, LYING NORTH OF CANAL THE NW 1/4 OF THE SE 1/4 OF SECTION 26, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, LESS WEST 1054.79 FEET THEREOF. LESS ALSO THE 30 FEET OF BOTH OF THE ABOVE TRACTS FOR ROAD.

# PRELIMINARY DEVELOPMENT PLAN

FOR:

# ROPER SUBDIVISION

## RESIDENTIAL PLANNED UNIT DEVELOPMENT

SEC OF BEARD ROAD  
& DONNER DRIVE  
CITY OF WINTER GARDEN, FL

PARCEL I.D. NUMBER 26-22-27-0000-00-029

PREPARED FOR:



9102 SOUTHPARK CENTER LOOP #100  
ORLANDO, FL 32019  
PH : (407) 587-3497

PREPARED BY:



1700 NORTH ORANGE AVENUE  
SUITE 400  
ORLANDO, FLORIDA 32804  
PHONE (407) 898-7858  
FAX (407) 898-1488

Beard Road - 562  
ROPER PROPERTY  
**PUD / REZONING** (3rd Rev 03/21/14)  
Adalee J. Roper Trust  
26-22-27-0000-00-029

Community Development  
Planning & Zoning  
MAR 21 2014  
Received By: PH13-068



ROPER SUBDIVISION DEVELOPMENT PLAN

**SHEET INDEX**

SHEET TITLE	SHEET NO.
COVER SHEET	PD-1
PDP	PD-2
TYPICAL PRODUCT LAYOUTS & OPTIONS	PD-3
SCHEMATICS PLAN	SC-01 TO SC-06

CIVIL DISCIPLINE ONLY P.E. CERT. OF AUTHORIZATION # 0007350	JOB NO 1011.000 DATE 03/21/2014
SHEET PD-1	

**REVISION NOTE:**

REVISION CLOUDS PROVIDED TO ASSIST THE CONTRACTOR. ONLY THE LATEST REVISION IS SHOWN. OTHER PLAN CHANGES MAY BE NECESSARY AS A RESULT OF THIS REVISION WHICH MAY NOT BE CLOUDED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THIS PLAN SET IN ITS ENTIRETY TO ENSURE ALL PLAN CHANGES ARE ACCOUNTED FOR, INCLUDING PREVIOUS REVISIONS, AND CHANGES TO OTHER PLAN SHEETS AS A RESULT OF THE REVISIONS SHOWN.

**REVISIONS:**

DATE	DESCRIPTION
1	
2	
3	

**DEVELOPMENT TEAM:**

**DEVELOPER**  
KB HOME ORLANDO  
9102 SOUTHPARK CENTER  
LOOP #100  
ORLANDO, FLORIDA 32019  
PHONE: (407) 587-3497

**SURVEYOR**  
JONES, WOOD & GENTRY, INC.  
2800 EAST ROBINSON STREET  
ORLANDO, FLORIDA 32803  
PHONE: (407) 898-7780

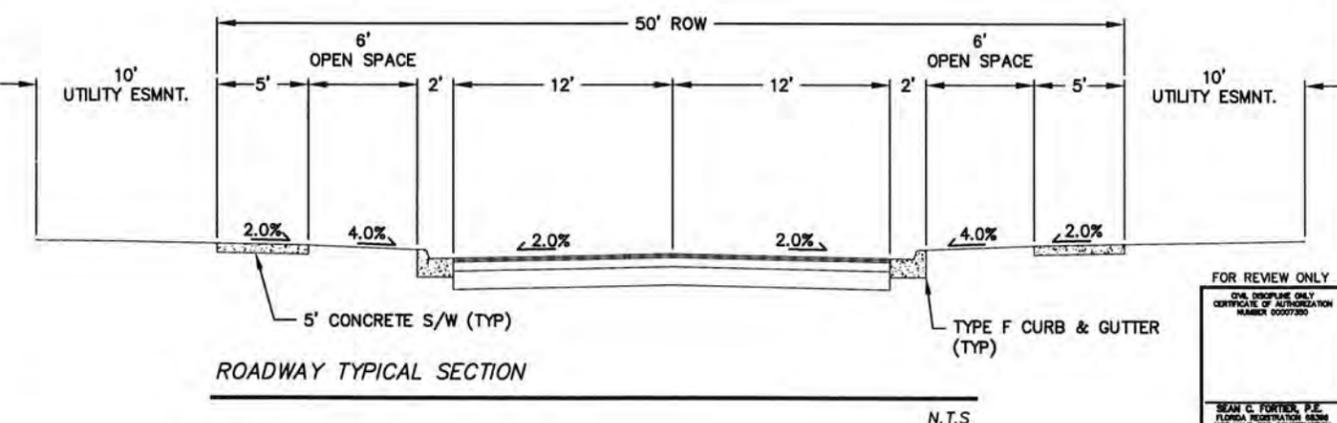
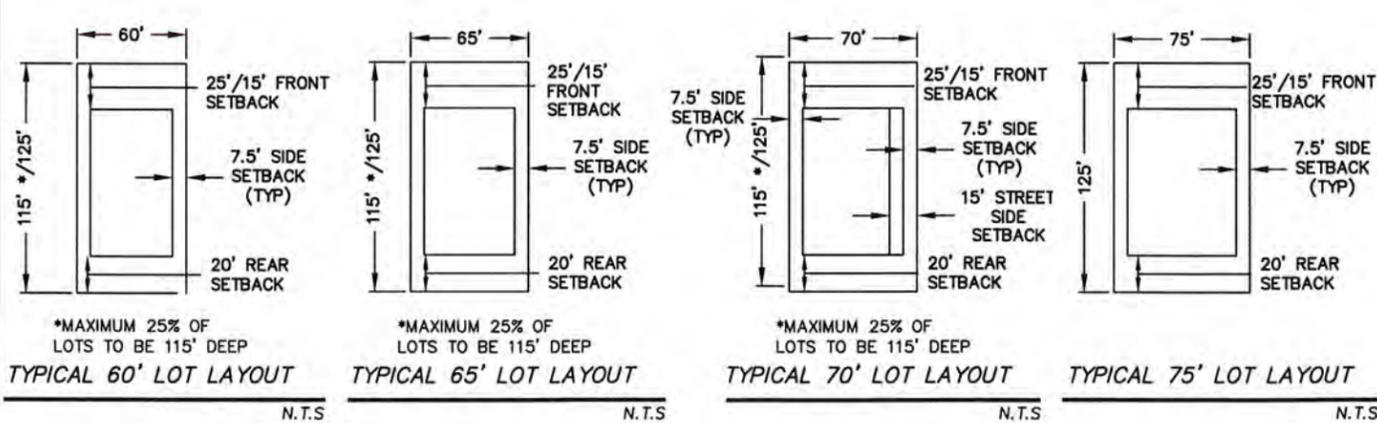
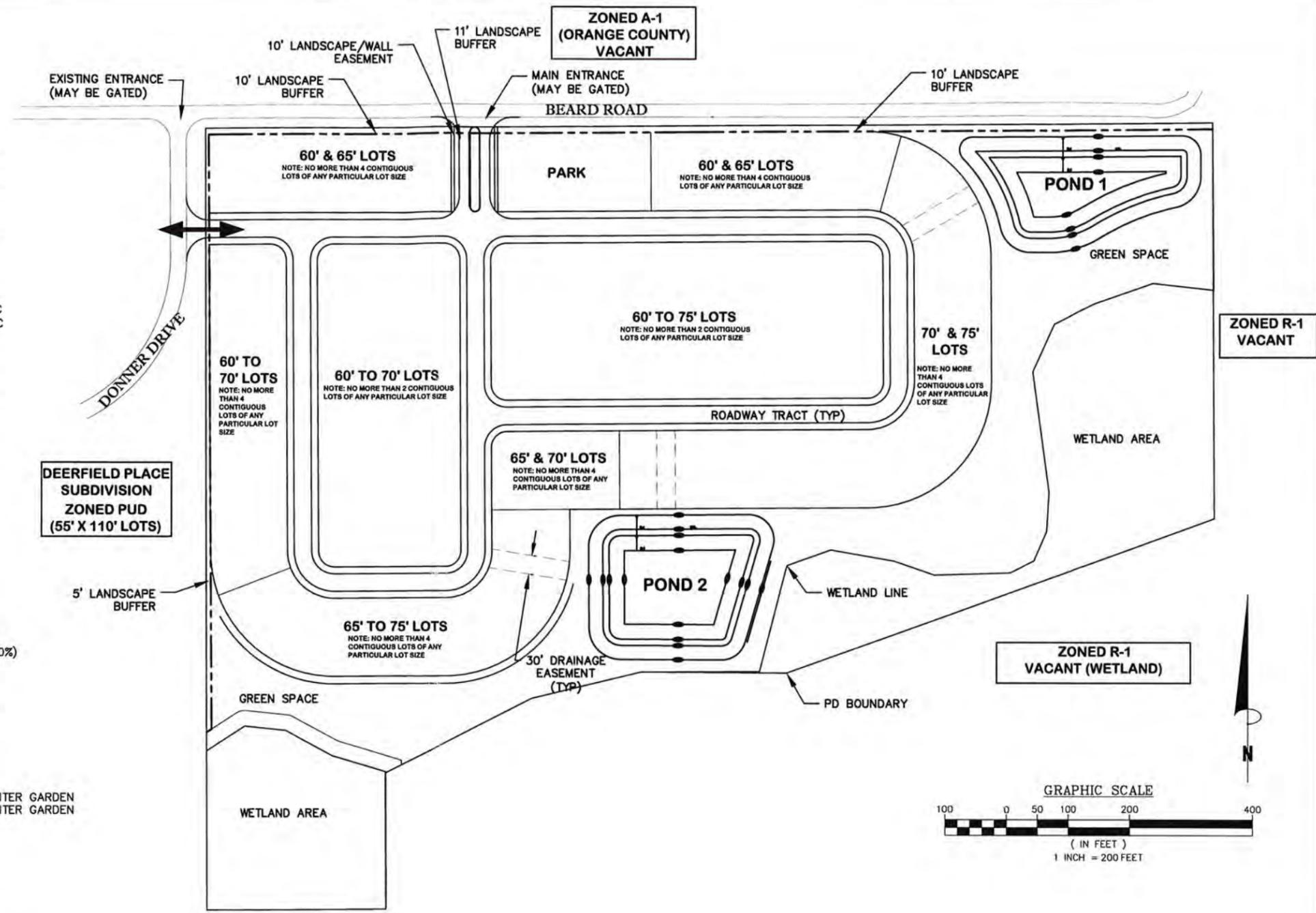
**ENGINEER**  
KELLY, COLLINS & GENTRY, INC.  
1700 NORTH ORANGE AVENUE,  
SUITE 400  
ORLANDO, FLORIDA 32804  
PHONE: (407) 898-7858  
FAX: (407) 898-1488

**LANDSCAPE ARCHITECT**  
LAND RESOURCE DESIGN GROUP  
1700 NORTH ORANGE AVENUE,  
SUITE 400  
ORLANDO, FLORIDA 32804  
PHONE: (407) 898-7858 EXT 117

SECTION 26 TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA

**DEVELOPMENT DATA**

LAND USE:	TIMBERLAND (EXISTING) SINGLE FAMILY RESIDENTIAL (PROPOSED)
FUTURE LAND USE:	LR-LOW DENSITY RESIDENTIAL (6 DU/AC)
ZONING:	R-1 (EXISTING) PUD (PROPOSED)
AREAS:	TOTAL PROJECT AREA 33.79 AC WETLANDS 5.35 AC GROSS DEVELOPMENT AREA (GDA) 28.44 AC (TOTAL PROJECT AREA LESS WETLANDS) ROAD RIGHTS OF WAY 2.41 AC RETENTION AREA 2.54 AC NET DEVELOPMENT AREA 23.49 AC (GROSS DEVELOPMENT AREA LESS ROAD R/W & RETENTION AREA)
SITE DATA:	TOTAL SINGLE FAMILY UNITS 77 UNITS GROSS RESIDENTIAL DENSITY 2.71 DU/AC NET RESIDENTIAL DENSITY 3.28 DU/AC MINIMUM LIVING AREA (UNDER HEAT/AC) 1800 SF
MINIMUM LOT SIZE:	60' WIDTH < 25% 65' WIDTH < 32% 70' WIDTH > 28% 75' WIDTH > 15% *PERCENTAGE OF TOTAL LOTS IN PUD MINIMUM 115' DEPTH MINIMUM 6,875 SF LOT AREA
BUILDING SETBACKS:	FRONT YARD 25'/15'* REAR YARD 20' PD BOUNDARY 25' SIDE YARD 7.5' STREET SIDE YARD 15' POOL SIDE & REAR YARD 5' MAXIMUM BUILDING HEIGHT 30' *15' MINIMUM IF GARAGE RECESSED MIN 10' OR SIDE LOADED
OPEN SPACE:	PROVIDED: PARK AREA: 0.71 AC LANDSCAPE BUFFER: 0.40 AC RETENTION AREA: 2.54 AC GREEN SPACE TRACT AREA: 4.76 AC TOTAL: 8.41 AC (30%)
RECREATION FACILITIES:	REQUIRED: 5% X GDA*: 1.42 AC PROVIDED: PARK AREA: 0.71 AC* *PAYMENT WILL BE MADE TO THE CITY RECREATION FUND TO MAKE UP THE SHORTFALL.
UTILITY PROVIDERS:	WATER: CITY OF WINTER GARDEN WASTEWATER: CITY OF WINTER GARDEN
MAINTENANCE:	COMMON AREAS TO BE MAINTAINED BY HOA



**KCG**  
 KELLY, COLLINS & GENTRY, INC.  
 1700 NORTH ORANGE AVENUE, SUITE 400  
 ORLANDO, FLORIDA 32804  
 (407) 586-1668 FAX (407) 586-1668

NO.	DATE	REVISION

PREPARED FOR:  
**KB HOME ORLANDO**  
 9102 SOUTH PARK CENTER LOOP #100  
 ORLANDO, FL 32019

PROJECT:  
**ROPER SUBDIVISION**  
 RESIDENTIAL PUD

**PRELIMINARY DEVELOPMENT PLAN**

DRAWN: SPJ  
 DESIGN: SPJ  
 CHECKED: SPJ  
 JOB NO.: 1911.000  
 DATE: 03/21/14

SHEET PD-2

FOR REVIEW ONLY  
 SEAL, EXPIRES ONLY  
 CERTIFICATE OF AUTHORIZATION  
 NUMBER 0007280

SEAN C. PORTER, P.E.  
 FLORIDA REGISTERED ENGINEER  
 NOT VALID FOR CONSTRUCTION  
 UNLESS SIGNED BY THIS BLOCK

PRODUCT OPTIONS  
CONTIGUOUS BUILDING  
PRODUCTS: MAX 3

PAVER DRIVEWAYS: 100%



TYPICAL PAVER DRIVEWAY

STONE FRONT ELEVATIONS: MIN 50%



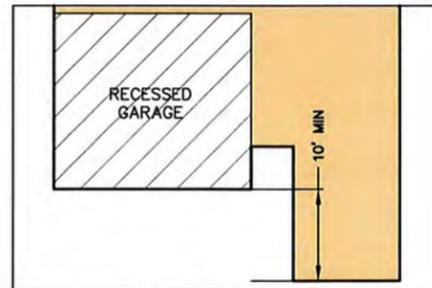
TYPICAL STONE FACADE

FRONT PORCH: MIN 50%  
PORCH DEPTH: MIN 6'



TYPICAL PORCH LAYOUT

RECESSED GARAGE: 100%  
MIN. GARAGE RECESSON: 10'



TYPICAL RECESSED GARAGE LAYOUT

		LOT WIDTHS			
		60'	65'	70'	75'
BUILDING PAD WIDTHS	38'				
	40'				
	42'				
	45'				
	50'				

FOR REVIEW ONLY  
ONE DRAWING ONLY  
CERTIFICATE OF AUTHORIZATION  
NUMBER 0007300

SEAN G. FORNER, P.E.  
FLORIDA REGISTERED PROFESSIONAL ENGINEER  
NOT VALID FOR CONSTRUCTION  
UNLESS SIGNED IN THIS BLOCK

KELLY,  
COLLINS &  
GENTRY, INC.  
1700 NORTH ORANGE AVENUE, SUITE 400  
ORLANDO, FLORIDA 32804  
(407) 846-7500 FAX (407) 846-1488

NO.	DATE	REVISION
6		
5		
4		
3		
2		
1		

PREPARED FOR:  
KB HOME ORLANDO  
9102 SOUTH PARK CENTER LOOP #100  
ORLANDO, FL 32819

PROJECT:  
ROPER  
SUBDIVISION  
RESIDENTIAL PUD

TYPICAL PRODUCT  
LAYOUTS & OPTIONS

DRAWN: OPR  
DESIGN: SCF  
CHECKED: SHG  
JOB NO.: 1911.000  
DATE: 03/21/14

SHEET  
PD-3













**THE CITY OF WINTER GARDEN**  
**PLANNING AND ZONING BOARD AGENDA ITEM**

**ITEM # 6 (Public Hearing)**

---

**DATE:** May 30, 2014 **MEETING DATE:** June 2, 2014

**SUBJECT:** 426 West Plant Street (REZONING)  
**PROJECT NAME** Plant Street Market  
**PARCEL ID#** 23-22-27-2888-05-021

**ISSUE:** Proposal to rezone the property located at 426 West Plant Street from R-NC to C-1.

**SUPPLEMENTAL MATERIAL/ANALYSIS:**

**OWNER/APPLICANT:** City of Winter Garden

**CURRENT ZONING:** R-NC

**PROPOSED ZONING:** C-1

**CURRENT FLU:** Traditional Downtown

**PROPOSED FLU:** N/A

**SUMMARY:**

Proposal to rezone the property located at 426 West Plant Street from R-NC to C-1.

**STAFF RECOMMENDATION(S):**

City Staff requests that the Ordinance 14-11 rezoning 426 W. Plant Street from R-NC to C-1 be tabled to the next Planning and Zoning Board Meeting Agenda on July 7, 2014.

**NEXT STEP(S):**

N/A

**ATTACHMENT(S):**

N/A

**THE CITY OF WINTER GARDEN**  
**PLANNING AND ZONING BOARD AGENDA ITEM**

**ITEM # 7 (Public Hearing)**

---

**DATE:** May 30, 2014 **MEETING DATE:** June 2, 2014

**SUBJECT:** Winter Garden Vineland Road (PCD Amendment)  
**PROJECT NAME** West Orange Outparcels, LLC  
**PARCEL ID#** 26-22-27-9147-00-020

**ISSUE:** The applicant is requesting an amendment to the West Orange Business Center Planned Commercial Development (PCD) Ordinance 03-51 to allow for additional uses on the subject outparcel.

**SUPPLEMENTAL MATERIAL/ANALYSIS:**

**OWNER/APPLICANT:** West Orange Outparcels, LLC

**CURRENT ZONING:** PCD – Planned Commercial Development

**PROPOSED ZONING:** N/A

**CURRENT FLU:** Commercial

**PROPOSED FLU:** N/A

**SUMMARY:**

The applicant requests that permitted and special exception uses similar to those permitted on the other tracts within the West Orange Business Center PCD be included for the subject outparcel.

**STAFF RECOMMENDATION(S):**

City Staff requests that the Ordinance 14-27 be tabled to a future Planning and Zoning Board Meeting Agenda to be determined.

**NEXT STEP(S):**

N/A

**ATTACHMENT(S):**

N/A

**THE CITY OF WINTER GARDEN**  
**PLANNING AND ZONING BOARD AGENDA ITEM**

**ITEM # 8 (Public Hearing)**

---

**DATE:** May 29, 2014 **MEETING DATE:** June 2, 2014

**SUBJECT:** 1630 Avalon Road (SPECIAL EXCEPTION PERMIT)  
**PROJECT NAME** Ladybird Academy  
**PARCEL ID#** 04-23-27-0302-01-000

**ISSUE:** The applicant is requesting a Special Exception Permit to allow for the property located at 1630 Avalon Road to be developed as a Child Daycare Facility

**SUPPLEMENTAL MATERIAL/ANALYSIS:**

**OWNER/APPLICANT:** Ladybird Academy

**CURRENT ZONING:** PCD – Planned Commercial Development

**PROPOSED ZONING:** N/A

**CURRENT FLU:** Commercial

**PROPOSED FLU:** N/A

**SUMMARY:**

The applicant proposes to construct a 13,148 square foot child daycare facility for up to 190 children.

**STAFF RECOMMENDATION(S):**

City Staff recommends approval of the proposed use subject to the conditions of the Staff Report (See Attached)

**NEXT STEP(S):**

Obtain Site Plan Approval

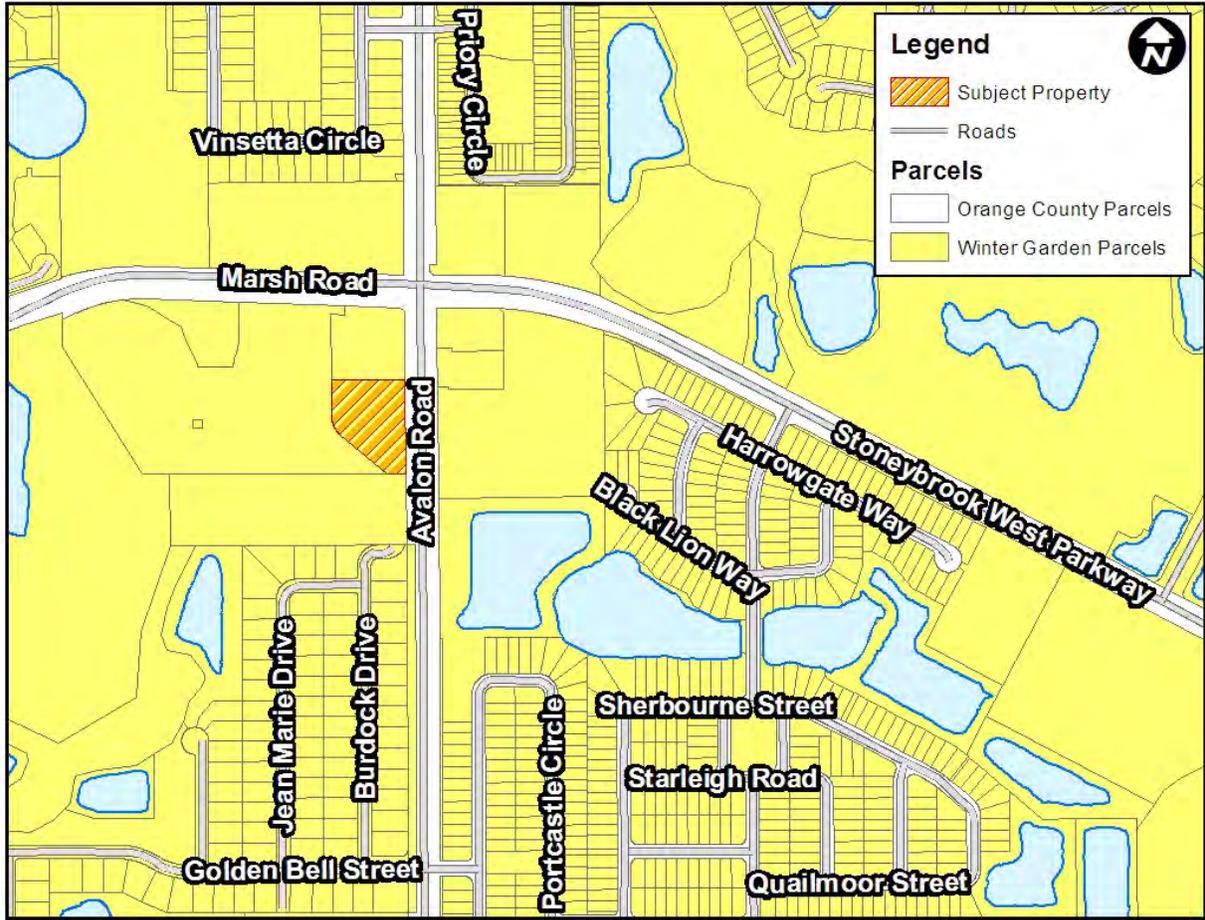
**ATTACHMENT(S):**

Location Map  
Staff Report  
Site Plan

LOCATION MAP

1630 AVALON ROAD

LADY BIRD ACADEMY – SPECIAL EXCEPTION PERMIT



# CITY OF WINTER GARDEN

## PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

# STAFF REPORT

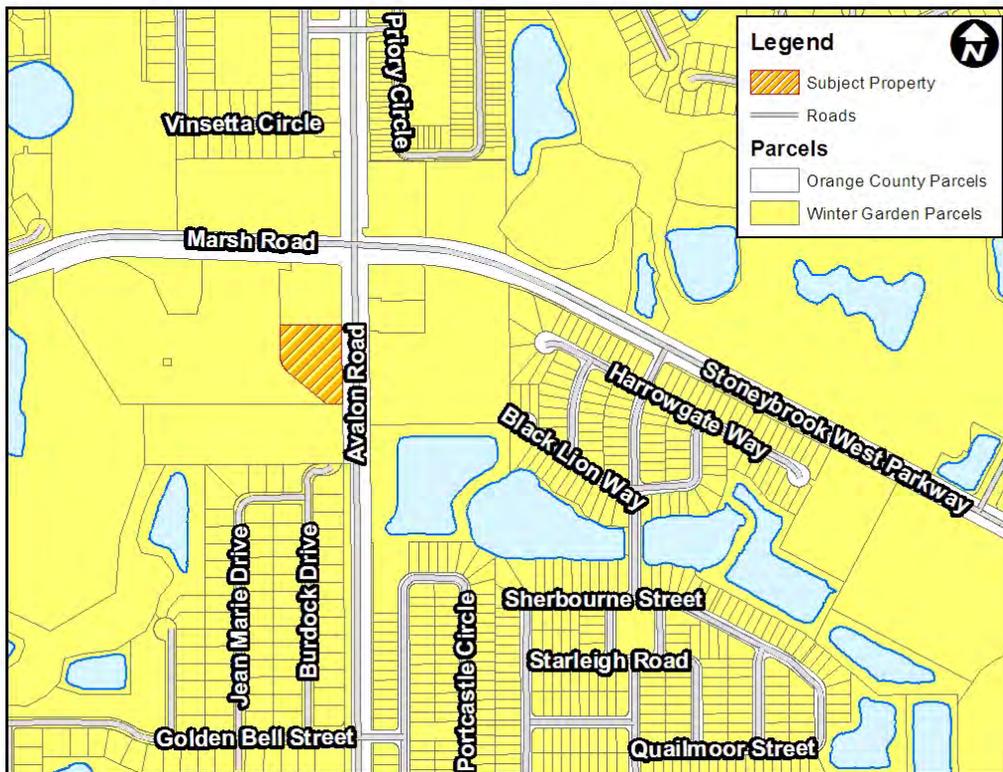
**TO:** PLANNING AND ZONING BOARD  
**PREPARED BY:** LAURA SMITH, SENIOR PLANNER  
**DATE:** MAY 29, 2014  
**SUBJECT:** SPECIAL EXCEPTION PERMIT  
**1630 Avalon Road (Ladybird Academy)**  
**Avamar Crossing**  
**PARCEL ID # 04-23-27-0302-01-000**

**APPLICANT:** Ladybird Academy

### INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is generally located south of Marsh Road on the west side of Avalon Road, in the Avamar Crossing Planned Commercial Development. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting a Special Exception to allow for the subject property to be used for a child day care center for up to 190 children. The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation PCD (Planned Commercial Development). The subject property is designated Commercial on the Future Land Use Map of the Comprehensive Plan.

### **EXISTING USE**

The property is currently an unimproved vacant outparcel within the Avamar Crossing PCD.

### **ADJACENT LAND USE AND ZONING**

The property located to the north of the subject property is an unimproved vacant outparcel within the Avamar Crossing PCD. The properties located to the east of the subject property are made up of another commercial development located in the Stoneybrook West Village (Publix, The Big Easy, etc.) and are zoned PUD within the City of Winter Garden. The properties located to the west of the subject property consist of the portion of the Avamar Crossing PCD which has been developed (Hagan O'Reilly's, NYPD Pizza, etc.). The property located to the south is the Stoneybrook West Self Storage which is a developed commercial property zoned PCD within the City of Winter Garden.

### **PROPOSED USE**

The applicant proposes to construct a 13,148 square foot child daycare facility for up to 190 children. The proposal includes the construction of two playground facilities and 48 parking spaces. The PCD (Planned Commercial Development) zoning of the subject property requires a special exception permit for child daycare facilities.

### **SUMMARY**

City Staff recommends approval of the proposed use subject to the following conditions.

- The child daycare center shall be limited to a maximum enrollment capacity of 190 children, expansion of the facility and/or enrollment of more than 190 children will require additional review and amendment to the special exception permit.
- City Commission approval of the proposed Site Plan and all necessary permits must be obtained prior to beginning any construction on or alterations to the site.
- Utility Impact Fees are due at the time of FDEP Permit Application or Building Permit Application. The following are the utility impact fee calculations. These fees are based on the proposed water and irrigation meters shown on the site plan. The site plan indicates a one inch potable water meter and a one inch irrigation meter.

Water Impact Fee = \$2,715.00

Sewer Impact Fee = \$4,418.00

Irrigation Impact Fee = \$2,715.00

Total Utility Impact Fee = \$9,848.00

- Road, Police and Fire impact fees must be paid at time of application for Building Permit. Fees will be calculated based on square footage of proposed facility. The proposed Site Plan indicates the facility will be 13,148 square feet, the following are the impact fees for Road, Police and Fire Impact Fees:

Road Impact Fee= \$72,931.96

Police Impact Fee= \$6,574.00

Fire Impact Fee= \$8,020.28

- All signage and fencing depicted on the site plan will require separate Building Permits.
- The new driveway proposed on Avalon Road shall be signed and striped for right-in, right-out only. Provide raised concrete island (i.e. “porkchop”), all as shown on the site plan.
- Stormwater permit modification approval by St. Johns River Water Management District shall be provided prior to issuance of site or building permit. Permits or exemptions shall also be required from FDEP for water and sewer and FDEP NPDES NOI if over 1 acre of disturbed area.
- 100% of all water and sewer impact fees shall be paid prior to City execution of FDEP permits and issuance of site or building permits.
- The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
- All work shall conform to City of Winter Garden standards and specifications.
- Fencing, if used, shall meet all City requirements for height, type, etc. All construction shall conform to City of Winter Garden Standards, Specifications and Ordinances.
- The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
- No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The applicant should note that if approval is granted, the City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.
- The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
- After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of the building permit.

**MAPS/EXHIBITS**

**AERIAL PHOTO  
1630 Avalon Road**

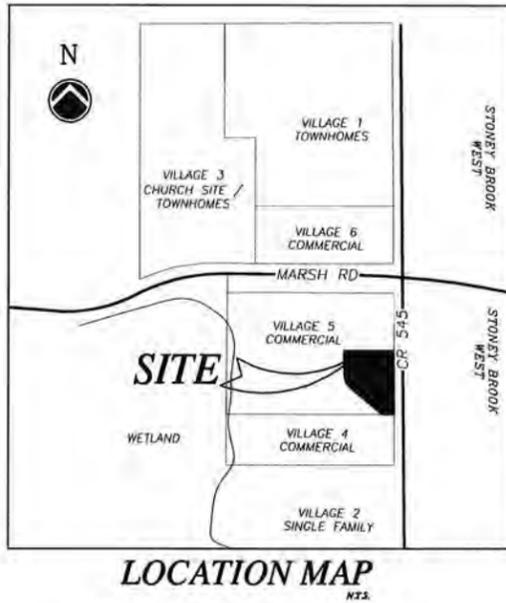


**END OF STAFF REPORT**

# LADYBIRD ACADEMY

## STONEYBROOK WEST

### AVALON ROAD WINTER GARDEN, FLORIDA



**SHEET INDEX:**

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C-4	UTILITY PLAN
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C-6	EROSION CONTROL PLAN
C-7	DETAIL SHEET
C-8 - C-13	CITY STANDARD DETAIL SHEETS
L-1	LANDSCAPE PLAN
L-2	IRRIGATION PLAN
E1.1	SITE LIGHTING PHOTOMETRIC PLAN
E1.2	SITE LIGHTING SPECIFICATIONS
A4.1	EXTERIOR ELEVATIONS

**OWNER**  
SUNTRUST BANK  
200 SOUTH ORANGE AVENUE, MAIL CODE: 2032, SOAB-3  
ORLANDO, FLORIDA 32801  
407-237-5208 PH

**DEVELOPER**  
MTTBA INC.  
221 EASTPARK DRIVE  
CELEBRATION, FLORIDA 34747  
407-361-9616 PH

**ENGINEER**  
FRAGOMENI ENGINEERING, INC.  
4985 HOFFNER AVENUE, SUITE 1  
ORLANDO, FLORIDA 32812  
407-240-0444 PH

**SURVEYOR**  
TINKLEPAUGH SURVEYING SERVICES  
850 COURTLAND STREET, SUITE 2A  
ORLANDO, FLORIDA 32804  
407-262-0957 PH

**LANDSCAPE ARCHITECT**  
SCHWEIZER BOJACK LANDSCAPE ARCHITECT LLC  
P.O. BOX 948383  
MAITLAND, FLORIDA 32794  
407-376-1423 PH

## CONSTRUCTION NOTES

**GENERAL PROJECT DATA**

FOR IDENTIFICATION OF CONTRACTUAL AGREEMENTS, THIS SET OF DRAWINGS IS DATED MARCH 2014. ANY REVISION THEREAFTER WILL BE NOTED AND DATED ON THE AFFECTED DRAWINGS.

THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY COMPANIES, FIELD VERIFY THE LOCATION OF ALL UTILITIES, AND MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATIONS OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE WITH CAUTION WHEN CROSSING AN UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES DUE TO HIS OPERATIONS. ALL UTILITIES THAT INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE RESPECTIVE UTILITY COMPANY AND THE CONTRACTOR SHALL COOPERATE WITH THEM DURING RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE CAUSED BY THE RELOCATION OF VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT, AND NO EXTRA COMPENSATION WILL BE ALLOWED.

EXISTING UTILITIES WHICH SERVE THE SITE AND WHICH ARE DESIGNATED TO BE TERMINATED SHALL BE PROPERLY TERMINATED IN STRICT ACCORDANCE WITH CITY OF ORLANDO AND OUC RULES AND REGULATIONS AS NECESSARY AND APPROPRIATE.

A GEOTECHNICAL EVALUATION OF THE SITE HAS BEEN PERFORMED BY MAKE TANKOUS ENGINEERING. A COPY OF THE REPORT CAN BE OBTAINED FROM THE SOIL CONSULTANT OR FROM THE OWNER. THE CONTRACTOR SHALL OBTAIN A COPY OF THE REPORT FOR REVIEW AND CONSIDERATION PRIOR TO SUBMITTING A BID. THE CONTRACTORS OR SUBCONTRACTORS BID SHALL REFLECT THE COST TO ABIDE BY INCORPORATE THE RECOMMENDATIONS CONTAINED IN THE SOILS REPORT. IF THE SOILS REPORT CONFLICTS WITH DRAWINGS AND SPECIFICATIONS, THE MORE PROHIBITIVE OF THE TWO SHALL TAKE PRECEDENCE AND BE CONSIDERED TO BE THE INTENT OF THE BID DOCUMENTS. IN ALL CASES THE CONTRACTOR SHALL STRICTLY ADHERE TO DRAWINGS AND SPECIFICATIONS, UNLESS THE SOILS REPORT RECOMMENDATION EXCEEDS THE DRAWINGS AND SPECIFICATIONS.

SURVEY INFORMATION WAS PREPARED BY TINKLEPAUGH SURVEYING SERVICES. THE CONTRACTOR SHALL CONTACT THE SURVEYOR TO OBTAIN A COPY OF THE SURVEY FOR LOCATIONS OR CORNERS AND BEYONDS MARKS.

THE OWNER SHALL HAVE THE RIGHT TO SALVAGE MATERIAL OR EQUIPMENT. ALL MATERIAL OR EQUIPMENT NOT SALVAGED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE.

THE CONTRACTOR SHALL COMPLY WITH ALL INSPECTION REQUIREMENTS OF CITY OF WINTER GARDEN. FAILURE TO COMPLY WITH INSPECTION REQUIREMENTS SHALL RESULT IN NON-ACCEPTANCE OF SPECIFIC WORK ITEMS.

THE CONTRACTOR SHALL DIRECT AND BE RESPONSIBLE FOR COORDINATING THE VARIOUS WORK ELEMENTS, CONNECTION POINTS, ETC. OF ALL SUBCONTRACTORS, INCLUDING BUT NOT LIMITED TO, THE PLUMBING SUBCONTRACTOR, ELECTRICAL SUBCONTRACTOR, SITE WORK SUBCONTRACTOR, AND HEATING, AIR CONDITION, AND VENTILATION SUBCONTRACTOR AND THE PROPER EXECUTION OF ALL WORK.

AS-BUILTS SHALL BE PROVIDED BY THE CONTRACTOR TO THE ENGINEER TWO WEEKS PRIOR TO FINAL INSPECTION. ALL AS-BUILT DATA SHALL BE PROVIDED BY A FLORIDA LICENSED SURVEYOR, SIGNED, SEALED AND DATED BY THE RESPONSIBLE PARTY.

**PERMITS AND PERMIT REQUIREMENTS:**  
THE OWNER SHALL OBTAIN APPROVALS AND PERMITS FROM CITY OF WINTER GARDEN (FOR SITE WORK), AND FDEP (NOI FOR STORMWATER DISCHARGE). THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL REGULATORY AGENCY PERMITS AND LOCAL AGENCY PERMITS. THE CONTRACTOR SHALL BE EXPECTED TO REVIEW AND ABIDE BY ALL THE REQUIREMENTS AND LIMITATIONS SET FORTH IN THE PERMITS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REMAINING APPROVALS & PERMITS, PRIOR TO COMMENCING CONSTRUCTION.

**LAYOUT AND CONTROL**

UNLESS OTHERWISE NOTED ON THESE PLANS, THE CONTRACTOR SHALL USE THE GEOMETRY PROVIDED ON THE CONSTRUCTION PLANS. BENCHMARK INFORMATION SHALL BE PROVIDED TO THE CONTRACTOR BY THE OWNER OR HIS SURVEYOR. ANY DISCREPANCIES BETWEEN FIELD MEASUREMENTS AND CONSTRUCTION PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.

FOLLOW WRITTEN DIMENSIONS ALWAYS. DO NOT SCALE DRAWINGS.

**QUALITY CONTROL, TESTING REQUIREMENTS:**

TESTING SHALL BE PROVIDED TO THE OWNER AND THE ENGINEER. TESTING REQUIREMENTS ARE TO BE IN ACCORDANCE WITH THE OWNER'S SPECIFICATIONS AND REQUIREMENTS. ALL TEST RESULTS SHALL BE PROVIDED (PASSING AND FAILING) ON A REGULAR AND IMMEDIATE BASIS.

**SHOP DRAWINGS:**

SHOP DRAWINGS AND CORRECTIONS FOR ALL STRUCTURES ARE REQUIRED. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING THE MATERIALS REQUIRED FOR CONSTRUCTION.

**STORMWATER MANAGEMENT SYSTEM:**

AFTER COMPLETION, MTTBA INC WILL OWN, OPERATE, AND MAINTAIN THE STORM SYSTEM SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE EXPECTED TO MEET ALL THE REQUIREMENTS SHOWN ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS.

ALL MATERIALS AND CONSTRUCTION METHODS ARE TO BE IN ACCORDANCE WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (1991), SECTION 400 (TECHNICAL STRUCTURES) AND THE APPLICABLE FOOT ROAD NUMBER DETAIL, AS SHOWN IN FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS (LATEST EDITION).

ALL OTHER RELATED ITEMS REQUIRED FOR THE CONSTRUCTION OF THE STORM SYSTEM (OUTFALL PROTECTION, POLLUTION CONTROL, ETC.) ARE TO BE IN ACCORDANCE WITH DETAILS SHOWN ON THE CONSTRUCTION PLANS, FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS AND FOOT STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION (1991).

**CONSTRUCTION METHODS:**  
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH FOOT STANDARDS AND SPECIFICATIONS.

**AS-BUILTS:**

THE CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER STORM DRAINAGE AS-BUILTS. AS-BUILTS SHALL INCLUDE, BUT NOT BE LIMITED TO STRUCTURE TOP ELEVATIONS, INVERT ELEVATIONS, PIPE LENGTH, AND PAVEMENT ELEVATIONS.

**EARTHWORK:**

THE CONTRACTOR SHALL BASE HIS BID ON HIS OWN ESTIMATE OF EXCAVATION AND BACKFILL QUANTITIES AND IMPLICATION THAT EARTHWORK BALANCES AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY IMPORT FILL NEEDED, OR REMOVAL AND DISPOSAL OF EXCESS MATERIALS.

THE CONTRACTOR SHALL REFER TO THE SOIL REPORT AND/OR SOIL ENGINEER TO VERIFY THAT THE NATIVE MATERIAL OR BORROW FILL ON WHICH FOOTINGS ARE TO REST SHALL BE CAPABLE OF SUPPORTING A DESIGN LOAD OF 2000 POUNDS PER SQUARE FOOT. IF THIS IS NOT THE CASE, THE CONTRACTOR SHALL CONTACT THE OWNER IMMEDIATELY.

THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF TOPSOIL AND UNSUITABLE MATERIAL FROM THE SITE AND FOR FURNISHING, PLACING AND COMPACTING SUITABLE BORROW FILL, IF NECESSARY, TO ACCOMPLISH THE WORK SHOWN ON THESE PLANS.

**EROSION CONTROL:**

EROSION AND SILTATION CONTROL MEASURES ARE TO BE PROVIDED AND INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THESE MEASURES ARE TO BE INSPECTED BY THE CONTRACTOR ON A REGULAR BASIS AND ARE TO BE MAINTAINED OR REPAIRED ON AN IMMEDIATE BASIS AS REQUIRED.

**LIMITS OF DISTURBANCE:**

THE LIMITS OF DISTURBANCE HAVE BEEN IDENTIFIED TO THE CONTRACTOR ON THE CONSTRUCTION PLANS. UNLESS OTHERWISE DIRECTED BY THE OWNER OR THE ENGINEER, THE CONTRACTOR IS EXPECTED TO CONTAIN ALL CONSTRUCTION ACTIVITIES WITHIN THESE LIMITS. AT NO TIME SHALL THE CONTRACTOR DISTURB SURROUNDING PROPERTIES OR TRAVEL ON SURROUNDING PROPERTIES WITHOUT WRITTEN CONSENT FROM THE PROPERTY OWNER. ANY REPAIR OR RECONSTRUCTION OF DAMAGED AREAS IN SURROUNDING PROPERTIES SHALL BE REPAIRED BY THE CONTRACTOR ON AN IMMEDIATE BASIS. ALL COSTS FOR REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION SHALL BE PROVIDED.

TRUCKING OR OBTAINING THE SITE WILL BE PERMITTED ONLY WITHIN REASONABLE LIMITS AND THE CONTRACTOR SHALL NOT UNREASONABLY ENVELOPE THE PREMISES WITH HIS EQUIPMENT AND MATERIALS. THE STORAGE SHALL BE CONFINED TO SUCH LIMITS AS MAY BE JOINTLY AGREED TO BY OWNER AND CONTRACTOR.

**CLEARING AND GRUBBING:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING AND GRUBBING FOR SITE CONSTRUCTION, INCLUDING CLEARING FOR PAVING, DRAINAGE FACILITIES, AND BUILDING CONSTRUCTION. SEE PLANS FOR LIMITS OF CLEARING AND GRUBBING.

**TREE REMOVAL:**

PRIOR TO COMMENCING CLEARING, BUT AFTER THE SITE WORK IS LAID OUT (SURVEYED), THE CONTRACTOR SHALL SCHEDULE A FIELD INSPECTION WITH THE OWNER AND HIS ENGINEER SO THAT A DETERMINATION MAY BE MADE OF SPECIFIC TREES TO BE REMOVED. GENERALLY TREES TO BE SAVED SHALL BE DESIGNATED ON THE LANDSCAPE PLAN AND WILL INCLUDE THOSE ON THE PROPERTY LINES.

BUT A SPECIFIC DETERMINATION WILL BE MADE DURING THE FIELD INSPECTION. NO TREES SHOWN ON THE CONSTRUCTION PLANS AS BEING SAVED SHALL BE REMOVED WITHOUT PERMISSION FROM THE OWNER OR ENGINEER.

**MATERIALS STORAGE / DEBRIS REMOVAL:**

ALL MATERIALS EXCAVATED SHALL REMAIN ON THE PROPERTY OF THE OWNER AND SHALL BE STOCKPILED AT ON-SITE LOCATIONS AS SPECIFIED BY THE OWNER. MATERIALS SHALL BE STOCKPILED SEPARATELY AS TO USABLE (CONCRETE AND FILL STOCKPILES) AND ORGANIC (MUCK) STOCKPILES. IF MUCK IS ENCOUNTERED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL UNDESIRABLE FILL MATERIALS FROM THE SITE.

**FILL MATERIAL:**

ALL FILL MATERIALS SHALL CONTAIN NO MUCK, STAMPS, ROOTS, BRUSH, VEGETATIVE MATTER, RUBBISH, OR OTHER MATERIAL THAT WILL NOT COMPACT INTO A SUITABLE AND ENDURING BACKFILL.

**COMPACTION:**

FILL MATERIALS PLACED UNDER ROADWAYS SHALL BE COMPACTED TO AT LEAST 98% MAXIMUM DENSITY AS SPECIFIED BY AASHTO-T-193. FILL MATERIALS SHALL BE PLACED AND COMPACTED IN A MAXIMUM OF 12" LIFTS. THE CONTRACTOR SHALL PROVIDE THE ENGINEER AND OWNER WITH ALL (PASSING AND FAILING) TESTING RESULTS. RESULTS SHALL BE PROVIDED ON A TIMELY AND REGULAR BASIS PRIOR TO CONTRACTOR'S PAY REQUEST SUBMITTAL.

ALL FILL ON THE PROPERTY SHALL BE ADEQUATELY COMPACTED IN ACCORDANCE WITH THE RECOMMENDATIONS CONTAINED IN THE SOIL REPORT TO PRODUCE A SURFACE SATISFACTORY FOR THE PROPER INSTALLATION OF THE DRIVEWAY. BEFORE COMMENCING PAVING WORK, THE PAVING SUBCONTRACTOR SHALL VERIFY THAT THE SURFACES TO BE COVERED ARE IN PROPER CONDITION. ANY SURFACES THAT ARE NOT ACCEPTABLE SHALL BE REPORTED TO THE OWNER IMMEDIATELY. CONSTRUCTION OF THE TECHNICAL SURFACE BY THE PAVING CONTRACTOR SHALL CONSTITUTE HIS ACCEPTANCE OF THE SURFACE AND WORKING CONDITIONS, AND HE SHALL BE HELD RESPONSIBLE TO OBTAIN PAVING RESULTS ACCEPTABLE TO THE OWNER.

**SURFACE DRAINAGE:**

THE CONTRACTOR SHALL BE EXPECTED, AT THE END OF EACH DAY, TO HAVE THE SITE GRADED IN SUCH A WAY AS TO NOT CAUSE ANY ADVERSE IMPACT FROM RUNOFF OR SILTATION TO ANY ADJACENT PROPERTIES. SILTATION BARRELS SHALL BE MAINTAINED AND REPAIRED AT THE END OF EACH WORKING DAY.

GRADING SHOWN ON THESE PLANS IS PROVIDED TO THE CONTRACTOR TO EXPRESS THE GENERAL GRADING INTENT OF THE PROJECT. THE CONTRACTOR SHALL BE EXPECTED TO GRADE THE ENTIRE SITE TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS THROUGHOUT THE SITE. SMOOTH TRANSITIONS SHALL BE PROVIDED BETWEEN CONTIGUOUS OR SPOT ELEVATIONS AS SHOWN ON THE PLANS TO ACCOMPLISH THE GRADING INTENT. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADING HAS BEEN COMPLETED. CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER PRIOR TO DEMOBILIZATION OF GRADING EQUIPMENT TO DETERMINE THAT THE GRADING INTENT HAS BEEN ACHIEVED.

**PAVEMENT:**

AFTER COMPLETION, MTTBA INC WILL OWN, OPERATE, AND MAINTAIN THE ROADWAY SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE EXPECTED TO MEET ALL THE REQUIREMENTS OF CITY OF WINTER GARDEN.

**GENERAL DESIGN INTENT:**

ALL PAVING SURFACES AT INTERSECTIONS AND ADJACENT SECTIONS SHALL BE GRADED TO DRAIN POSITIVELY IN THE DIRECTION SHOWN BY THE FLOW ARROWS ON THE PLANS AND TO PROVIDE A SMOOTHLY TRANSITIONING DRIVING SURFACE FOR VEHICLES WITH NO SHARP BREAKS IN GRADE, AND NO UNUSUALLY STEEP OR REVERSE CROSS SLOPES. APPROACHES TO INTERSECTIONS AND ENTRANCE AND EXIT GRADINGS TO INTERSECTIONS WILL HAVE TO BE STAGED IN THE FIELD AT GRADINGS SHOWN ON THE PLANS. IN THESE AREAS, IT MAY ALSO BECOME ADVISABLE TO MAKE MINOR LOCAL FIELD ADJUSTMENTS IN THE CENTERLINE GRADINGS TO ACCOMPLISH THE PURPOSES OUTLINED. IN ADDITION, THE STANDARD CROWN WILL HAVE TO BE CHANGED IN ORDER TO DRAIN POSITIVELY IN THE AREA OF INTERSECTIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH THE ABOVE, AND THE ENGINEER SHALL BE CONSULTED SO THAT THERE MAY BE ANY AND ALL REQUIRED INTERPRETATIONS OF THE PLANS OR GIVE SUPPLEMENTARY INSTRUCTIONS TO ACCOMPLISH THE INTENT OF THE PLANS.

**MATERIALS/CONSTRUCTION SPECIFICATIONS:**

MATERIALS AND CONSTRUCTION METHODS FOR THE DRIVEWAY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 1991, OR LATEST EDITION.

**PAVEMENT SECTION REQUIREMENTS IN RIGHT OF WAY AND ON SITE:**

REFER TO SHEET C-4, CROSS SECTION "AA" FOR PAVEMENT SPECIFICATIONS ON SITE.

**TESTING:**

THE CONTRACTOR SHALL COORDINATE ALL REQUIRED PAVEMENT TESTING WITH THE OWNER'S GEOTECHNICAL CONSULTANT. THE CONTRACTOR SHALL CONTINUE TO WORK AND REMOY THE SPECIFIC WORK ITEMS UNTIL A WRITTEN APPROVAL FROM THE TESTING COMPANY IS ISSUED. FAILURE TO COMPLY WILL RESULT IN NON-ACCEPTANCE OF THE PROJECT. ALL COSTS FOR RETESTING CAUSED BY PREVIOUS TEST FAILURES SHALL BE RECHARGED TO THE CONTRACTOR.

**TRAFFIC CONTROL:**

A MINIMUM OF 2-WAY ONE LANE TRAFFIC SHALL BE MAINTAINED IN THE WORK SITE AREA. ALL CONSTRUCTION WARNING SIGNAGE SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION AND BE MAINTAINED THROUGHOUT CONSTRUCTION. ACCESS SHALL BE CONTINUOUSLY MAINTAINED FOR ALL PROPERTY OWNERS SURROUNDING THE WORK SITE AREA.

**LIGHTED WARNING DEVICES ARE TO BE OPERATIONAL PRIOR TO DUNK EACH NIGHT DURING CONSTRUCTION.**

**AS-BUILTS:**

THE CONTRACTOR SHALL PROVIDE OWNER AND ENGINEER PAVEMENT AS-BUILTS. AS-BUILTS SHALL CONTAIN AT A MINIMUM, BUT NOT BE LIMITED TO, PAVEMENT WIDTHS, PAVEMENT CROSS SLOPES, AND DRAINAGE DIRECTIONS WITH HIGH POINTS DELINEATED. SEE "GENERAL AS-BUILT REQUIREMENTS" FOR ADDITIONAL REQUIREMENTS.

**TRENCH SAFETY:**

THE CONTRACTOR SHALL RECOGNIZE AND ABIDE BY ALL OSHA EXCAVATION SAFETY STANDARDS, INCLUDING THE FLORIDA TRENCH SAFETY ACT (20-06 LAWS OF FLORIDA). ANY MATERIAL, CONSTRUCTION METHOD, OR MATERIAL COST TO COMPLY WITH THESE LAWS SHALL BE INCIDENTAL TO THE CONTRACT.

**TRENCHING AND BACKFILL SHALL BE PER DETAILS PROVIDED IN THE CONSTRUCTION PLANS. COMPACTED BACKFILL SHALL BE 98% MAXIMUM DENSITY AS DETERMINED BY AASHTO-T-193 FOR UNDER PAVEMENT. ALL OTHER COMPACTION OF BACKFILL SHALL BE TO 98% MAXIMUM DENSITY AS DETERMINED BY AASHTO-T-193.**

AT ALL TIMES DURING CONSTRUCTION, KEEP EXCAVATIONS FREE FROM STANDING WATER. SLIPS, IF REQUIRED, SHALL BE LOCATED OUTSIDE OF LOAD BEARING AREAS SO THE BEARING SURFACES WILL NOT BE DISTURBED. WATER PUMPED FROM THE EXCAVATION SHALL BE DISCHARGED TO PREVENT RE-ENTRY INTO THE SOIL STRATA BEING Dewatered. WATER CONTAINING SILT IN SUSPENSION SHALL NOT BE PUMPED INTO SEWER LINES OR ADJACENT STREAMS. THE METHOD OF DISPOSING OF WATER PUMPED FROM THE EXCAVATION SHALL BE APPROVED BY THE ENGINEER, PRIOR TO ACTUAL DISPOSAL.

BACKFILL ALL TRENCHES UNDER SLABS, WALKS, AND PAVED AREAS WITH BANK RUN GRAVEL. COMPACTED BACKFILL FOR ALL PIPE SHALL BE TO 98% MAXIMUM DENSITY AS DETERMINED BY AASHTO-T-193 FOR UNDER ROADWAYS. OTHER COMPACTION OF BACKFILL SHALL BE TO THE 98% MAXIMUM DENSITY AS DETERMINED BY AASHTO-T-193.

**TRENCH OR EXCAVATION BOTTOM STABILIZATION MATERIAL:**

A. SAND SHALL BE WELL GRADED, ORGANIC FREE, DURABLE GRANULAR MATERIAL, AND SHALL PASS A NO. 4 SIEVE. NOT MORE THAN 15% SHALL PASS A NO. 200 SIEVE.

B. PIT RUN GRAVEL SHALL BE ORGANIC FREE AND SHALL PASS A 3/4" HIGH SIEVE

C. GRANULAR MATERIAL SHALL BE WELL GRADED ORGANIC AND SOIL FREE, DURABLE AGGREGATE AND SHALL PASS A 3/4" HIGH SIEVE. NOT MORE THAN 15% SHALL PASS A NO. 200 SIEVE.

**POTABLE WATER:**

AFTER COMPLETION, MTTBA INC WILL OWN, OPERATE, AND MAINTAIN THE WATER SYSTEM SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE EXPECTED TO MEET ALL THE REQUIREMENTS OF CITY OF WINTER GARDEN.

**PIPE MATERIALS:**

POLYETHYLENE GLASS REINFORCED PLASTIC PIPE (PVC) 4" THROUGH 12" SHALL BE MANUFACTURED IN ACCORDANCE WITH ANSII/AWWA C200 (LATEST EDITION) AND SHALL HAVE A MINIMUM WORKING PRESSURE OF 150 PSI AND HAVE A DR (DIMENSION RATIO) OF 1. ALL PVC PIPE SHALL BEAT THE NSF 1000 FOR POTABLE WATER. JOINTS SHALL BE OF THE PUSH-ON TYPE AND COLLARS CONFORMING TO ASTM D2139 CONFORMING TO DR18 PIPE.

DUCTILE IRON PIPE SHALL BE CLASS 80 AND CONFORM TO ANSII/AWWA C150/A21.50 (LATEST EDITION). ALL DUCTILE IRON PIPE SHALL HAVE A STANDARD THROUGNESS OF CEMENT MORTAR LINING AS SPECIFIED IN ANSII/AWWA C150/A21.50 (LATEST EDITION). PIPE JOINTS SHALL BE OF THE PUSH-ON RUBBER GASKET TYPE CONFORMING TO ANSII/AWWA C118/A21.11 (LATEST EDITION).

FITTINGS FOR DUCTILE IRON PIPE AND PVC C200 PIPE SHALL BE DUCTILE IRON AND SHALL CONFORM TO ANSII/AWWA C110/A21.10 (LATEST EDITION) AND SHALL BE CEMENT LINED IN CONFORMANCE WITH ANSII/AWWA C110/A21.10 (LATEST EDITION).

POLYETHYLENE WRAP USED FOR CORROSION PREVENTION ON DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSII/AWWA D1248. THE MINIMUM NOMINAL THICKNESS SHALL BE 0.008 IN. (8 MILS). INSTALLATION OF POLY WRAP SHALL BE IN ACCORDANCE WITH ANSII/AWWA C106.

PIPE INSTALLATION FOR PVC PIPE SHALL BE IN ACCORDANCE WITH ANSII/AWWA D2177-12 (LATEST EDITION). INSTALLATION FOR DUCTILE IRON PIPE SHALL BE IN CONFORMANCE WITH ANSII/AWWA D200-07.

**VALVES:**

VALVES THREE (3) INCHES AND LARGER IN SIZE: GATE VALVES SHALL BE RESILIENT SEAT AND SHALL CONFORM TO ANSII/AWWA C200-07 WITH HANDHELD OR WRENCH MNT. EXTENSION STEMS AND OTHER APPURTENANCES AS REQUIRED. MANUFACTURERS CERTIFICATION OF THE VALVES COMPLIANCE WITH ANSII SPECIFICATIONS O89 AND TESTS LISTED THEREIN WILL BE REQUIRED. VALVE BOX PADS SHALL BE 18" X 18" X 4" THICK CONCRETE WITH 84 THICK TECHNICALE WITH 84 REINFORCING BARS. PAD IS TO BE SET AT FINISHED GRADE. VALVES SHALL BE CLOW, MUELLER, KENNEDY, M&M, AMERICAN, OR APPROVED EQUAL.

**NOTE: ALL CONSTRUCTION SHALL CONFORM TO CITY OF WINTER GARDEN STANDARDS, SPECIFICATIONS, AND ORDINANCES.**

**DETECTOR CHECK VALVES:**

DETECTOR CHECK VALVES SHALL BE AS MANUFACTURED BY HERSHEY, PERCO OR WATTS. INSTALLATION, VAULTS, ETC. SHALL BE IN CONFORMANCE WITH LOCAL AGENCY REQUIREMENTS.

VALVE BOXES ON BURIED POTABLE WATER SHALL BE ADJUSTABLE. CAST IRON CONSTRUCTION WITH A MINIMUM INTERIOR DIAMETER OF 6" WITH COVERS CAST WITH THE INSCRIPTION IN LEGIBLE LETTERING ON THE TOP. WATER BOXES SHALL BE SUITABLE FOR THE APPLICABLE SURFACE LOADING AND VALVE SIZE, AND SHALL BE MANUFACTURED BY MUELLER COMPANY, MODEL 10084 OR APPROVED EQUAL.

**CLEARANCE:**

THE WATER MAIN SHALL BE INSTALLED AS NOTED ON THE PLANS, AND THE CONTRACTOR SHALL PROVIDE AT HIS OWN EXPENSE ALL NECESSARY TEST PUMPING EQUIPMENT, WATER, WATER METERS, PRESSURE GAUGES, AND OTHER EQUIPMENT, MATERIAL AND FACILITIES REQUIRED FOR ALL TESTING. CONTRACTOR SHALL CONTACT THE ENGINEER, OWNER/OPERATOR AND CDD/CITY OF WINTER GARDEN, FORTY EIGHT (48) HOURS IN ADVANCE OF PROPOSED TESTING. THE CONTRACTOR SHALL PERFORM SATISFACTORY PRETESTING PRIOR TO NOTIFICATION.

**CONTRACTOR SHALL SET ALL WATER LINE PIPES AT A MINIMUM 30" FROM TOP OF PIPE TO FINISHED GRADE PER FDEP RULES AND REGULATIONS.**

**CONSTRUCTION METHODS:**

PIPE INSTALLATION: PIPE INSTALLATION OF PVC WATER MAIN SHALL BE IN CONFORMANCE WITH ANSII D2177 (LATEST EDITION). INSTALLATION OF DUCTILE IRON PIPE WATER MAIN SHALL BE IN CONFORMANCE WITH ANSII/AWWA D200-07.

CONTRACTOR SHALL ADJUST ALL VALVE BOX TOPS, FIRE HYDRANT BASE, OR OTHER UTILITY STRUCTURE TOP TO FINAL FINISHED GRADE, WHETHER OR NOT THE INSTRUCTION IS SPECIFICALLY NOTED ON THE PLANS.

**WATER AND SEWER CLEARANCE AND SEPARATION:**

NEW OR RELOCATED UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART 8 OF CHAPTER 62-415, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER, NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY-OR VACUUM-TYPE SANITARY SEWER SHALL BE LAID TO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. NEW OR RELOCATED UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID TO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.

AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART 8 OF CHAPTER 62-415, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY-OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART 8 OF CHAPTER 62-415, F.A.C.

**PIPE IDENTIFICATION:**

BLUE MAGNETIC INDICATOR TAPES SHALL BE BURIED IN THE WATER MAIN TRENCH DIRECTLY ABOVE THE WATER MAIN.

**DISINFECTION AND TESTING:**

ALL PIPE SHALL BE DISINFECTED IN ACCORDANCE WITH ANSII STANDARD C815-96. ALLOWABLE LEAKAGE FOR DUCTILE IRON PRESSURE MAINS WILL BE IN ACCORDANCE WITH ANSII/AWWA C200, AND ALLOWABLE LEAKAGE FOR PVC PRESSURE MAINS WILL BE IN ACCORDANCE WITH ANSII/AWWA C200. THE WATER SYSTEM SHALL BE TESTED FOR LEAKAGE AT 150 PSI FOR TWO (2) HOURS, WITH ALLOWABLE LEAKAGE IN ACCORDANCE WITH ABOVE STANDARDS.

CONTRACTOR SHALL OBTAIN A COPY OF THE FDEP WATER SYSTEM PERMIT AND COLLECT WATER SAMPLES FROM THE SAMPLE POINTS SPECIFIED IN THE PERMIT, AND TEST FOR BACTERIOLOGICAL CLEARANCE. SUCCESSFUL TEST RESULTS SHALL BE PRESENTED TO THE OWNER PRIOR TO PLACING THE SERVICE LINE INTO SERVICE.

**CONNECTIONS TO WATER MAINS:**

PRIOR TO THE CONNECTION TO ANY EXISTING MAIN, THE PROPOSED WATER MAIN SHALL BE DISINFECTED, HAVE ENGINEER APPROVED PRESSURE TESTING AND HAVE FDEP CLEARANCE (IF REQUIRED). REFER TO FDEP PERMIT (IF REQUIRED) FOR ANY ADDITIONAL REQUIREMENTS.

**AS-BUILTS DRAWINGS:**

THE CONTRACTOR SHALL PROVIDE VERTICAL AND HORIZONTAL "AS-BUILT" INFORMATION RELATIVE TO ALL CONTRACTED UTILITIES AND STRUCTURES. AS-BUILT INFORMATION FOR THE WATER SYSTEM SHALL INCLUDE, BUT IS NOT LIMITED TO THE FOLLOWING:

1. LOCATION OF ALL VALVES, FITTINGS, AND SERVICES.  
2. LOCATION OF THE WATER MAIN TIED HORIZONTALLY TO THE BACK OF CURB OR EDGE OF PAVEMENT.  
3. CERTIFICATION AS TO THE SYSTEM MEETING THE MINIMUM COVER REQUIREMENTS.  
4. HORIZONTAL AND VERTICAL DATA FOR ANY CONSTRUCTION WHICH DEVIATES FROM THE APPROVED ENGINEERING PLANS.

**SANITARY SEWER SYSTEM:**

AFTER COMPLETION, MTTBA INC WILL OWN, OPERATE, AND MAINTAIN THE SEWER SYSTEM SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE EXPECTED TO MEET THE REQUIREMENTS OF CITY OF WINTER GARDEN.

**MATERIALS:**

ALL SANITARY SEWER PIPE AND FITTINGS SHALL BE PVC 80-20 MINIMUM. DUCTILE IRON POLYETHYLENE LINED. FITTINGS SHALL BE SUITABLE FOR USE WITH 80-20 GRAVITY SEWER PIPE. ALL FITTINGS SHALL HAVE ELASTOMERIC SEALING GASKETS. JOINTS FOR GRAVITY SEWER PIPE AND ALL FITTINGS SHALL BE ELASTOMERIC RUBBER SEALS. GASKETS SHALL CONFORM TO ASTM F417.

**CONSTRUCTION METHODS:**

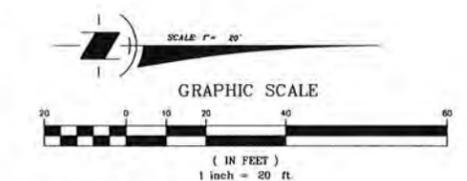
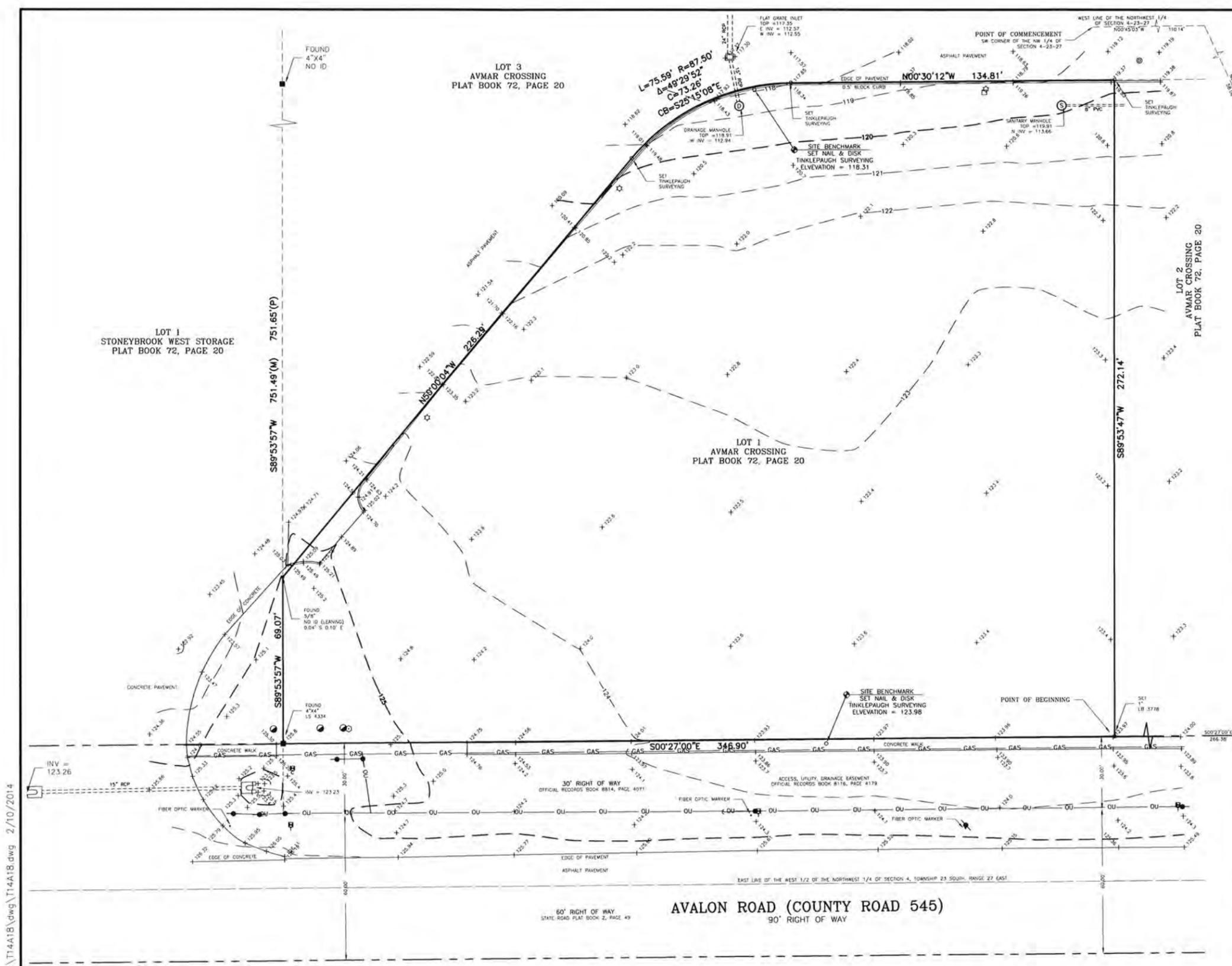
THE PLUMBING CONTRACTOR SHALL VERIFY SEWER DEPTH AND BE RESPONSIBLE FOR PROVIDING ADEQUATE SLOPE OF BUILDING SEWER TOWARD THE UTILITY COMPANY SEWER IN STRICT ACCORDANCE WITH THE GOVERNING AUTHORITIES PRIOR TO BUILDING CONSTRUCTION.

INSTALLATION OF PVC SEWER PIPE SHALL CONFORM TO ANSII D2151. SEE ANSII C-12, LATEST EDITION, FOR CONSTRUCTION METHODS, EXCEPT FOR BACKFILLING, WHICH WILL BE AS SHOWN ON THE DETAIL SHEET. INSTALLATION OF GRAVITY SANITARY SEWER SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

THE CONTRACTOR SHALL ADJUST ALL CLEAN OUT TOPS, OR OTHER UTILITY STRUCTURE TOPS TO FINAL FINISHED GRADE, WHETHER OR NOT THE INSTRUCTION IS SPECIFICALLY NOTED ON THE PLANS.

**TRENCH SAFETY:**

TRENCHING AND BACKFILL SHALL BE PER DETAILS PROVIDED IN THE CONSTRUCTION PLANS. COMPACTED BACKFILL SHALL BE TO 98% MAXIMUM DENSITY AS DETERMINED



**LEGEND & ABBREVIATIONS**

⊕	BENCHMARK	-OU-	OVERHEAD UTILITY LINE
■	CONCRETE MONUMENT	-GAS-	GAS LINE
●	IRON PIPE & CAP	RCP	REINFORCED CONCRETE PIPE
○	IRON ROD & CAP	PVC	POLYVINYL CHLORIDE PIPE
○	NAIL & DISK	INV	INVERT
⋄	POST/BOLLARD	(M)	MEASURED
⊙	WOOD UTILITY POLE	(P)	PLATTED
⊙	LIGHT POLE	ORB	OFFICIAL RECORDS BOOK
⊙	SANITARY MANHOLE	PG	PAGE
⊙	DRAINAGE MANHOLE	ID	IDENTIFICATION
⊙	TELEPHONE PEDESTAL	NVD	NORTH AMERICAN VERTICAL DATUM
⊙	CABLE PEDESTAL	LB	LICENSED BUSINESS
⊙	WIRE PULL BOX	LS	LICENSED SURVEYOR
⊙	FIRE HYDRANT	L	ARC LENGTH
⊙	WATER VALVE	R	RADIUS
⊙	CLEAN OUT	A	CENTRAL ANGLE
⊙	FLAT GRATE INLET	C	CHORD
⊙	MITERED END SECTION	CB	CHORD BEARING

**DESCRIPTION**

A PORTION OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 4, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 4, TOWNSHIP 23 SOUTH, RANGE 27 EAST; THENCE NORTH 02°45'03" WEST ALONG THE WEST LINE OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SAID SECTION 4, A DISTANCE OF 1110.14 FEET; THENCE NORTH 84°31'14" EAST, 54.00 FEET; THENCE EAST ALONG THE ARC OF A TANGENT CURVE, BEING CONVEX TO THE SOUTH, HAVING A RADIUS OF 545.82 FEET, A CENTRAL ANGLE OF 27°21'27", AN ARC DISTANCE OF 261.00 FEET; THENCE SOUTH 88°03'18" EAST, 956.99 FEET; THENCE SOUTH 00°27'00" EAST, 286.38 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 02°27'00" EAST, 548.90 FEET; THENCE SOUTH 89°53'57" WEST, 69.07 FEET; THENCE NORTH 50°00'04" WEST, 226.29 FEET; THENCE NORTHERLY ALONG THE ARC OF A TANGENT CURVE, BEING CONVEX TO THE EAST, HAVING A RADIUS OF 87.50 FEET, A CENTRAL ANGLE OF 49°29'52", AN ARC DISTANCE OF 75.59 FEET; THENCE NORTH 02°30'12" WEST, 134.81 FEET; THENCE NORTH 89°53'47" EAST, 272.14 FEET TO THE POINT OF BEGINNING.

SAID LANDS LIE IN THE CITY OF WINTER GARDEN, ORANGE COUNTY, FLORIDA, CONTAINING 1.761 ACRES, MORE OR LESS.

- SURVEYOR'S NOTES**
- BEARINGS ARE ASSUMED RELATIVE TO WESTERLY RIGHT OF WAY LINE OF AVALON ROAD BEING SOUTH 02°27'00" EAST.
  - THE DESCRIPTION HEREON IS PER OFFICIAL RECORDS BOOK 9029, PAGE 3711 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
  - UNLESS OTHERWISE NOTED OR SHOWN HEREON, UNOBSTRUCTED, ABOVE GROUND IMPROVEMENTS WERE LOCATED. UNDERGROUND IMPROVEMENTS, SUCH AS FOUNDATIONS, WERE NOT LOCATED.
  - ADJOINING PARCEL OWNER AND RECORDING INFORMATION DELINEATED HEREON WAS OBTAINED FROM THE ORANGE COUNTY PROPERTY APPRAISER'S PUBLIC ACCESS SYSTEM.
  - LAND AREAS AS SURVEYED: PARCEL 1.761 ACRES (76,712 SQUARE FEET ±).
  - PORTIONS OF THE PROPERTY LIE WITHIN A CURRENTLY DESIGNATED FLOOD PLAIN OR FLOOD HAZARD AREA, ACCORDING TO FLOOD MAP NO. 12095C0215F EFFECTIVE DATE 09/25/2009. THE PROPERTY LIES IN FLOOD ZONE X FLOOD ZONE "X" IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN".
  - ELEVATIONS ARE BASED ON ORANGE COUNTY BENCHMARK, GRASS, LOCATED AT JUNCTION OF SR 50 AND CR 545, 60.23 MILES SOUTHERLY ON CR 545 TO THE MARK. MARK IS SET IN TOP OF CULVERT HEADWALL, 178' ± E.S.E. OF C/O OF CR 545, 81' ± N.E. OF SOUTHERN EDGE OF HEADWALL, & 90' ± S.W. OF POWER LINE ANCHOR POLE, HAVING AN ELEVATION OF 114.788 FEET. NAVD88

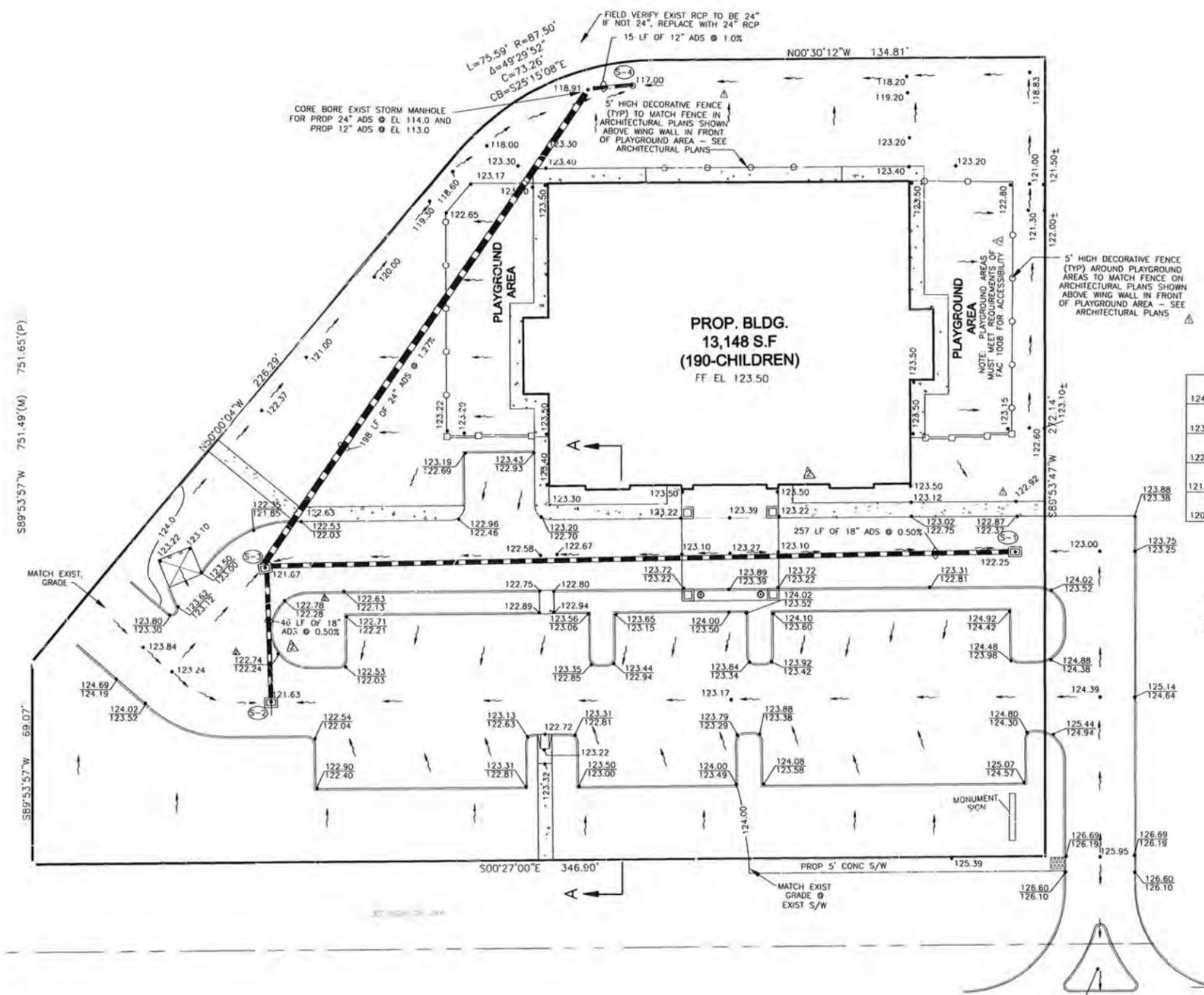
\\SERVER01\Drawings\T14A18.dwg; T14A18.dwg 2/10/2014

<p><b>BOUNDARY &amp; TOPOGRAPHIC SURVEY</b></p>	<p><b>LOT 1, AVMAR CROSSING PLAT BOOK 72, PAGE 21 CITY OF WINTER GARDEN ORANGE COUNTY, FLORIDA</b></p>	<p>I hereby affirm that this survey represented herein is true and correct to the best of my knowledge and belief. It has been prepared in accordance with the Standards set forth in Chapter 5J-17, F.A.C., pursuant to Chapters 177 and 472, Florida Statutes and unless it bears the signature and the original raised seal of a Florida Licensed Surveyor and Mapper, this drawing, sketch, plot or map is for informational purposes only and is not valid.</p> <p>ABRAHAM J. REMCHUK P.S.M. No. 6830</p>	<p>FIELD BY: SH DRAWN BY: AR SCALE: 1" = 20'</p>	<p>SURVEY DATE: 02/04/14 ORDER NO.: T14A18 SHEET 1 OF 1</p>	<p><b>Tinklepaugh SURVEYING SERVICES</b> 850 Courtland Street, Suite 2A • Orlando, Florida 32804 Tele. No. (407) 262-0957 Fax No. (407) 679-6915 LICENSED BUSINESS No. 3778</p>
<p>FILE No. SX8239</p>					





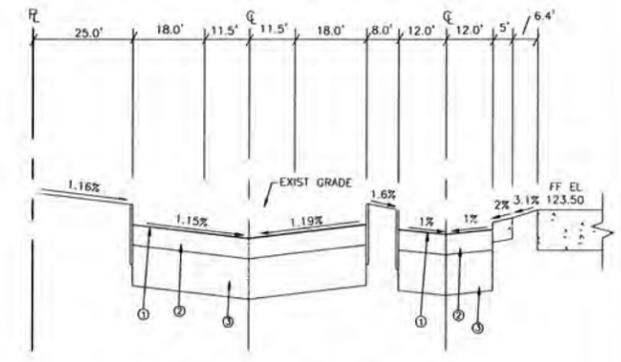
1" = 20'



**STORM STRUCTURES TABLE**

- S-1 FDOT TYPE "F" INLET  
TOP EL 122.25  
INV EL 117.75
- S-2 FDOT TYPE "F" INLET  
TOP EL 121.63  
INV EL 117.13
- S-3 FDOT TYPE "F" INLET  
TOP EL 121.67  
N INV EL 116.48  
E INV EL 116.90  
W INV EL 116.48
- S-4 12" NYLOPLAST YARD DRAIN  
TOP EL 117.00  
INV EL 113.15

REFER TO FDOT INDEX No. 233 FOR FDOT TYPE "F" INLET



**CROSS SECTION "A-A"**  
SCALE: 1"=2' VERTICAL AND 1"=20' HORIZONTAL

**ON SITE PAVEMENT SPECIFICATIONS**

- ① - 1 1/2" TYPE S-1 OR S-3 ASPHALTIC CONCRETE
- ② - 6" THICK LIMEROCK BASE COURSE COMPACTED TO MIN 98% OF STANDARD PROCTOR MOISTURE DENSITY TEST (AASHTO-T-180)
- ③ - 12" COMPACTED SUBGRADE (98% AASHTO-T-180) WITH LBR=40

**LEGEND & ABBREVIATIONS**

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
—	BENCHMARK	—	OVERHEAD UTILITY LINE
—	CONCRETE MONUMENT	—	GAS LINE
—	IRON PIPE & CAP	—	REINFORCED CONCRETE PIPE
—	IRON ROD & CAP	—	POLYVINYL CHLORIDE PIPE
—	NAIL & DISK	—	INVERT
—	POST/BOLLARD	—	MEASURED
—	WOOD UTILITY POLE	—	PLATTED
—	LIGHT POLE	—	OFFICIAL RECORDS BOOK
—	SANITARY MANHOLE	—	PAGE
—	DRAINAGE MANHOLE	—	IDENTIFICATION
—	TELEPHONE PEDESTAL	—	NORTH AMERICAN VERTICAL DATUM
—	CABLE PEDESTAL	—	LICENSED BUSINESS
—	WIRE PULL BOX	—	LICENSED SURVEYOR
—	FIRE HYDRANT	—	ARC LENGTH
—	WATER VALVE	—	RADIUS
—	CLEAN OUT	—	CENTRAL ANGLE
—	FLAT GRATE INLET	—	CHORD
—	WIRED END SECTION	—	CHORD BEARING

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 SAID LANDS LYING IN THE CITY OF WINTER GARDEN, ORANGE COUNTY, FLORIDA, CONTAINING 1.761 ACRES, MORE OR LESS.

**AVALON ROAD (COUNTY ROAD 545)**  
90' RIGHT OF WAY

**FRAGOMENI ENGINEERING, INC.**  
4085 Hollister Avenue  
Orlando, Florida 32812  
Voice: (407) 240-0444 Fax: (407) 240-0880

**LADYBIRD ACADEMY  
STONEBROOK WEST**  
AVALON ROAD, WINTER GARDEN, FLORIDA

**PAVING, GRADING &  
DRAINAGE PLAN**

JOB NO.	H1042			
DATE:	03/2014			
DESIGNED BY:	SF			
DRAWN BY:	SF	2	5/14/14	REVISED PER CITY COMMENTS
CHECKED BY:	SLF	1	5/3/14	REVISED PER CITY COMMENTS
APPROVED BY:	SLF	NO.	DATE	REVISION

**SHERRI FRAGOMENI**  
P.E. NO. 58174

FILE: H1042-C5-PGD  
SCALE: 1" = 20'  
SHEET NO.  
**C-5**





**CITY OF WINTER GARDEN - GENERAL NOTES:**

- ALL UTILITY SYSTEMS AND IMPROVEMENTS CONSTRUCTED IN THE CITY OF WINTER GARDEN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MANUAL OF STANDARDS AND SPECIFICATIONS FOR UTILITY CONSTRUCTION FOR THE CITY OF WINTER GARDEN, TO BE REFERRED TO AS MSS/CWG, THE LATEST EDITION AT THE TIME PERMITS ARE APPROVED SHALL BE EFFECTIVE FOR THE DURATION OF THE SUBJECT WORK OR PROJECT DEVELOPMENT.
- THE CITY OF WINTER GARDEN GENERAL NOTES AND DETAILS ARE PROVIDED FOR THE CONVENIENCE OF FIELD PERSONNEL. THEY DO NOT INCLUDE ALL REQUIREMENTS OF THE MSS/CWG. THE CONTRACTOR SHALL REFER TO THE FULL TEXT OF THE MSS/CWG FOR FURTHER DETAIL AND CLARITY WHEN NEEDED.
- ANY REQUEST FOR VARIANCE OR NONCOMPLIANCE FROM THE MSS/CWG NOTED ABOVE MUST BE APPROVED BY THE CITY ENGINEER OR UTILITIES DIRECTOR.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN CLOSE PROXIMITY TO WATER, WASTEWATER, RECLAIMED WATER AND OTHER UTILITY SYSTEMS. THE CONTRACTOR SHALL COORDINATE UTILITY LOCATIONS WITH RESPECTIVE UTILITY OWNERS AND/OR CALL "SUNSHINE ONE CALL", 1-800-432-4770 A MINIMUM OF 72 HOURS IN ADVANCE.
- CONTRACTOR'S DAMAGE OF WINTER GARDEN UTILITY SYSTEM: THE CONTRACTOR SHALL IMMEDIATELY NOTIFY AND REPORT DAMAGE TO THE CITY OF WINTER GARDEN UTILITY DIVISION, (NO MESSAGE) PHONE # 407-856-4100.
- IMMEDIATELY REPAIR OF DAMAGED UTILITY SYSTEM: THE CONTRACTOR SHALL IMMEDIATELY REPAIR ANY DAMAGE TO THE CITY OF WINTER GARDEN UTILITY SYSTEM AS REQUIRED BY THE UTILITY OWNER AT CONTRACTOR'S COST. IN CASE OF UNRESPONSIVE ACTION BY THE CONTRACTOR, THE CITY RESERVES RIGHT TO REPAIR DAMAGE. THE CONTRACTOR SHALL REIMBURSE THE CITY OF WINTER GARDEN OF ALL REPAIR COSTS.
- ADVANCE NOTIFICATION OF CONSTRUCTION: THE CONTRACTOR SHALL NOTIFY CITY OF WINTER GARDEN UTILITY DIVISION, PH# 407-856-4100, AT LEAST SEVEN (7) CALENDAR DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY.
- ADVANCE NOTIFICATION OF UTILITY CONNECTION: THE CONTRACTOR SHALL NOTIFY THE CITY OF WINTER GARDEN AT LEAST SEVEN CALENDAR DAYS IN ADVANCE TO SCHEDULE CONNECTIONS TO UTILITY SYSTEM.
- UTILITY VALVE OPERATION: ONLY CITY OF WINTER GARDEN UTILITY PERSONNEL SHALL OPERATE VALVES AND FIRE HYDRANTS. THE CONTRACTOR, WHEN NEEDED, SHALL CALL THE CITY TO REQUEST VALVE OPERATIONS AT LEAST TWO (2) DAYS IN ADVANCE OF CONSTRUCTION WORK.
- OPERATIONS INVOLVING WATER OR WASTEWATER FACILITIES INCLUDING PUMPING STATIONS: THE CONTRACTOR SHALL COORDINATE AT LEAST TWO (2) WEEKS IN ADVANCE, ANY CONSTRUCTION OPERATION THAT MAY REQUIRE THE DISCONTINUATION OF SERVICE OR OPERATION OF A FACILITY. THE CITY WILL PROVIDE PERSONNEL TO OPERATE THE CITY FACILITIES.
- REQUIRED TESTING BY CONTRACTOR: THE CONTRACTOR SHALL NOTIFY THE CITY OF WINTER GARDEN AT LEAST TWO (2) DAYS PRIOR TO SAMPLING ACTIVITIES FOR PURPOSE OF TESTING AS REQUIRED BY THE CITY. THE CONTRACTOR SHALL NOT TEST OR SAMPLE WITHOUT OBSERVATION BY CITY INSPECTION PERSONNEL.
- TEMPORARY OR CONSTRUCTION WATER SERVICE CONNECTIONS PROVIDED BY FIRE HYDRANT CONNECTION: THE CITY WILL PROVIDE METER ON FIRE HYDRANT. THE CONTRACTOR SHALL PROVIDE NON-REFUNDABLE ACCOUNT INITIATION FEE, A REFUNDABLE SECURITY DEPOSIT FOR THE METER APPARATUS AND PAY ALL COST FOR WATER USED.
- ALL AS BUILT MEASUREMENTS & ELEVATIONS ARE TO BE MADE BY A LICENSED LAND SURVEYOR.

**CoWG WATER SYSTEM NOTES:**

- THE CONTRACTOR SHALL PROVIDE AND INSTALL A CITY APPROVED BACKFLOW DEVICE ASSEMBLY AT EACH CONNECTION POINT TO THE CITY WATER SYSTEM.
- REPAIRS TO NEW WATER LINES, TO OBTAIN SPECIFIED PRESSURE TEST, WILL BE ALLOWED ONLY UP TO A NUMBER EQUAL TO 10% OF THE TOTAL NUMBER OF JOINT CONNECTIONS.
- THE CONTRACTOR SHALL HYDROSTATICALLY TEST ALL WATER MAINS AND SERVICE LATERALS AT 150 PSI FOR A TWO HOUR PERIOD. TESTING MUST BE OBSERVED BY A CITY INSPECTOR.
- THE CONTRACTOR SHALL INSTALL WARNING TAPE OVER ALL NEW WATER MAINS. WARNING TAPE SHALL BE AS FOLLOWS: NON-DETECTABLE, SIZE 2" WITH "WATER LINE BELOW", MUST BE PLACED 8" TO 12" BELOW FINISHED GRADE ON ALL PVC WATER MAINS, LATERALS AND HEADER TEES. NUMBER 10 GAUGE TRACER WIRE SHALL BE ATTACHED TO THE TOP OF THE PIPE WITH DUCT TAPE, AT LEAST FIVE TIMES PER JOINT. THE TRACER WIRE SHALL ALSO BE ATTACHED TO ALL PVC LATERALS AND ATTACHED TO THE OUTSIDE OF EACH VALVE BOX SO THAT A PIPE LOCATOR CAN BE CONNECTED TO IT.
- THE CONTRACTOR SHALL INSTALL WATER MAINS PER MSS/CWG SPECIFICATIONS. SOLVENT CEMENTED JOINTS AND THRUST BLOCKS ON PIPING SYSTEMS SHALL NOT BE ALLOWED.
- THE CONTRACTOR SHALL INSTALL ALL WATER MAINS TO A MINIMUM DEPTH OF 36 INCHES AND A MAXIMUM DEPTH OF 42 INCHES BELOW FINAL GRADE.
- THE CONTRACTOR SHALL INSTALL ALL SERVICE LATERALS A UNIFORM DISTANCE APART, LOCATED ON PROPERTY LOT LINE AT 90° FROM THE WATER MAIN. SERVICE LATERALS SHALL BE SEPARATELY CONNECTED TO THE WATER MAIN, NOT SPLICED TOGETHER.
- THE CONTRACTOR SHALL CUT A "W" INTO CONCRETE CURB, LOCATED INSIDE OF A PAINTED BLUE SQUARE, LOCATED DIRECTLY IN FRONT OF EACH SERVICE LATERAL.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL IN-LINE VALVES ON WATER MAINS AT 1,000 FOOT MAXIMUM SPACING BETWEEN VALVES. VALVES SHALL BE LOCATED ON ALL TEES AND CROSSES. WATER MAINS SHALL BE PLACED UNDER SIDEWALKS WHERE POSSIBLE.
- ALL WATERMANS SHALL BE CLEANED BY PIGGING THE LINE WITH A FOAM PIG (MINIMUM OF 2 TIMES). A FULL BORE FLUSH MAY BE REQUIRED AFTER PIGGING TO ENSURE THE PIPE IS CLEAN AND READY FOR SERVICE. THE CONTRACTOR SHALL COORDINATE LINE PIGGING AND FULL BORE FLUSH WITH THE CITY INSPECTOR.
- THE CONTRACTOR SHALL DEMONSTRATE THAT LOCATION WIRE INSTALLED OVER ALL WATER MAINS IS IN WORKING CONDITION AT TIME OF ACCEPTANCE BY THE CITY.
- ALL NEW SUBDIVISION CONSTRUCTION SHALL INSTALL DOUBLE POTABLE WATER SERVICES AT THE PROPERTY LINES.

**CoWG - WASTEWATER SYSTEM NOTES:**

- SANITARY SEWER MAINS AND SERVICES SHALL BE PVC SDR-26 (MINIMUM) FITTINGS SHALL BE SDR-26. DUCTILE IRON IS NOT APPROVED FOR SANITARY SEWERS.
- ALL SERVICES SHALL BE 6" (MINIMUM) DIAMETER AND TERMINATE AT THE PROPERTY LINE WITH 6" CLEAN OUT, (36" TO 48" DEEP AT LOT LINE).
- MAGNETIC TAPE MUST BE PLACED 2' ABOVE THE TOP OF PIPE FOR THE ENTIRE LENGTH OF ALL MAINS AND SERVICES.
- ALL SANITARY MANHOLES SHALL BE PAINTED INSIDE AND OUT WITH "BIMASTIC SUPER SERVICE BLACK", BY KOPPERS OR APPROVED EQUAL MANHOLES RECEIVING FLOW FROM FORCE MAINS SHALL BE LINED WITH FIBERGLASS OR HOPE AT THE PRECASTERS FACILITY.
- ALL PIPE CONNECTIONS TO PRE-CAST MANHOLES SHALL BE MADE USING A FLEXIBLE EPDM RUBBER BOOT AND STAINLESS STEEL STRAP OR CAST IN BOOT BY A-LOK, 2-LOK OR EQUAL.
- CONNECTIONS MADE TO EXISTING MANHOLES SHALL BE CORE BORED WITH A MINIMUM 6" BORE AND CONNECTION SEALED WITH FLEXIBLE BOOT AND STAINLESS STEEL CLAMP.
- DEAD END MANHOLES SHALL HAVE A MINIMUM OF 5 FEET OF COVER FROM FINISHED GRADE TO OUTLET PIPE INVERT.
- ALL PRECAST SEWER MANHOLES SHALL HAVE A 4 FOOT MINIMUM HIGH BARREL CONE SECTIONS SHALL BE 3 FOOT MINIMUM. CONCRETE DONUTS FOR EXTENDING ARE ACCEPTABLE TO RAISE MANHOLES UP TO 1 FOOT MAXIMUM.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL BALLCENTRIC PLUG VALVES IN FORCE MAINS AT 1000 FOOT MAXIMUM SPACING BETWEEN VALVES. VALVES SHALL BE LOCATED AT ALL TEES AND CROSSES.
- THE CONTRACTOR SHALL CUT A "S" INTO CONCRETE CURB LOCATED INSIDE OF A PAINTED GREEN SQUARE BOX, IN FRONT OF EACH SERVICE LOCATION.
- THE CONTRACTOR SHALL PROVIDE TV INSPECTION OF ALL SANITARY SEWER MAINS AFTER SYSTEM IS COMPLETED, THOROUGHLY CLEANED, DRAINED AND FULLY VISIBLE. TV INSPECTION SHALL BE PERFORMED IN ACCORDANCE WITH SPECIFICATIONS. FAULTY INSPECTION DUE TO POOR CONDITIONS WILL REQUIRE REINSPECTION BY CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE A (WARRANTY) TV INSPECTION AT THE TWO YEAR IN SERVICE MILESTONE FOR EACH SYSTEM.
- THE CONTRACTOR SHALL PROVIDE SANITARY SEWER TESTING, EXFILTRATION OR AIR, AS REQUIRED BY DESIGN ENGINEER AND SUBMIT CERTIFIED RESULTS TO THE CITY ENGINEER.
- GRAVITY SEWERS DEPTHS SHALL NOT EXCEED 18 FEET.
- THE DESIGN ENGINEER SHALL PROVIDE A MINIMUM OF ONE FOOT OF FREEBOARD BETWEEN THE LOWEST FINISHED FLOOR ELEVATION AND THE TOP ELEVATION OF THE WET WELL.
- ALL PENETRATIONS INTO CONCRETE STRUCTURES SHALL BE PRE-CAST OR CORE-DRILLED.
- WARRANTY - ALL MATERIALS & EQUIPMENT TO BE FURNISHED AND/OR INSTALLED BY THE CONTRACTOR SHALL BE WARRANTED FOR A PERIOD OF TWO YEARS FROM THE DATE OF FINAL ACCEPTANCE THEREOF AGAINST DEFECTIVE MATERIALS, DESIGN, AND WORKMANSHIP. UPON RECEIPT OF NOTICE FROM THE CITY OF FAILURE OF ANY PART OF THE WARRANTED EQUIPMENT OR MATERIALS DURING THE WARRANTY PERIOD, THE AFFECTED PART, PARTS, OR MATERIALS SHALL BE PROMPTLY REPLACED BY THE CONTRACTOR WITH NEW PARTS OR MATERIALS AT NO EXPENSE TO THE CITY. IN THE EVENT THE CONTRACTOR FAILS TO MAKE THE NECESSARY REPLACEMENT OR REPAIRS IMMEDIATELY AFTER NOTIFICATION, THE CITY MAY ACCOMPLISH THE WORK AT THE EXPENSE OF THE CONTRACTOR.

**CLOSED CIRCUIT TELEVISION (CCTV) INSPECTION OF SEWER LINES**

**GENERAL:**

- ALL NEW SANITARY SEWER LINES, PRIVATE OR CITY MAINTAINED, IN THE CITY OF WINTER GARDEN'S SERVICE AREA SHALL BE INSPECTED BY CLOSED CIRCUIT TV INSPECTION BY THE CONTRACTOR WITH A CITY INSPECTOR PRESENT PRIOR TO BEING ACCEPTED BY THE CITY.

**REQUIREMENTS PRIOR TO INSPECTION RELEASE:**

- ALL ELEMENTS OF THE SEWER SYSTEM MUST BE INSTALLED AND BE COMPLETELY FINISHED INCLUDING MAIN SEWER LINES, LATERALS, CLEAN OUTS, AND MANHOLES PRIOR TO CCTV INSPECTION.
- ALL SEWER LINES SHALL BE COMPLETELY CLEANED OF ALL DEBRIS, SAND, WATER, ETC. PRIOR TO THE CCTV INSPECTION. ANY OBJECT OR WATER THAT PREVENTS CCTV INSPECTION FROM VIEWING CONDITION OF PIPELINE IS CONSIDERED AN OBSTRUCTION REQUIRING ADDITIONAL CLEANING. WHEN CCTV VIEW IS OBSTRUCTED, INSPECTION SHALL BE TERMINATED. THE CONTRACTOR SHALL CLEAN THE SEWER SYSTEM COMPLETELY AND RESCHEDULE CCTV RE-INSPECTION WITH THE CITY.
- A HYDRAULIC SEWER CLEANER SHALL NOT BE USED DURING THE CCTV INSPECTION IF LINES ARE FOUND TO BE OBSCURED BY WATER OR DEBRIS DURING THE CCTV INSPECTION, THE INSPECTION SHALL BE TERMINATED AND RESCHEDULED TO A TIME WHEN SEWER CLEANING IS COMPLETE.
- WHEN A SEWER LINE IS UNDER A PAVED AREA, THE AREA SHALL BE COMPACTED AND PRIMED BEFORE THE SYSTEM SHALL BE RELEASED FOR TV INSPECTION.

**TELEVISION EQUIPMENT MINIMUM REQUIREMENTS:**

- THE CLOSED CIRCUIT TV CAMERA SHALL PRODUCE A CLEAR COLOR PICTURE ON THE MONITOR AND ON THE DVD RECORDING. THE CAMERA SHALL BE ABLE TO SHOW DETAIL TO THE POINT THAT ALL JOINTS AND ANY DEFECTS MAY BE READILY SEEN AT THE TIME OF THE INSPECTION. THE CAMERA SHALL STOP AND PAN AT EACH JOINT FOR COMPLETE 360 DEGREE INSPECTION.
- REFER TO APPENDIX B OF THE REFERENCED STANDARDS FOR SPECIFICATION OF CLOSED CIRCUIT TELEVISION INSPECTION EQUIPMENT.
- THE VIDEO RECORDER SHALL PRODUCE A NO NOISE STILL PICTURE, AND PROVIDE BOTH AUDIO AND VIDEO DURING THE INSPECTION.
- A MEASURING DEVICE, APPROVED BY THE CITY, TO CHECK THE GRADE OF THE PIPE DURING THE INSPECTION, SHALL BE REQUIRED. GAUGE DEPTH, 0' TO 2' MIN. WITH 1/2" MARKINGS.
- AUDIO OF THE INSPECTION SHALL BE SIMULTANEOUSLY RECORDED ON DVD DISC. THE AUDIO SHALL CONSIST OF ORDINARY DESCRIPTION AND COMMENTARY. A TAPE WILL BE GIVEN TO THE INSPECTOR ON SITE AT THE END OF THE DAY.

**PROCEDURE FOR TELEVISION**

- THE CITY'S ENGINEERING INSPECTION DIVISION SHALL BE GIVEN AT LEAST THREE (3) BUSINESS DAYS NOTICE PRIOR TO THE TIME PLANNED FOR THE TV INSPECTION TO COMMENCE. A DEFINITE TIME AND DATE WILL BE AGREED UPON BY THE CONTRACTOR AND INSPECTOR AT THAT TIME.
- NO INSPECTION SHALL COMMENCE WITHOUT THE PRESENCE OF THE INSPECTOR, EXCEPT WHEN PRIOR ARRANGEMENTS HAVE BEEN MADE BETWEEN THE CONTRACTOR, INSPECTOR, AND THE CITY. TV INSPECTION SHALL BE PERFORMED BY THE CONTRACTOR AT THE EXPENSE OF THE CONTRACTOR.
- ALL CCTV INSPECTIONS SHALL COMMENCE UP STREAM OF THE SYSTEM TO PREVENT FOREIGN SUBSTANCES FROM ENTERING A SECTION PREVIOUSLY TELEVIEWED. THE CAMERA SHALL BE STARTED FROM THE DOWNSTREAM MANHOLE AND PROCEED UPSTREAM IN DIRECTION OPPOSING THE NORMAL FLOW IN THE LINE. THIS PROCEDURE WILL ALLOW FOR THE VIEWING OF THE SERVICE LATERALS.
- BEFORE THE CAMERA IS PLACED IN THE SEWER LINE, WATER WITH YELLOW OR ORANGE DYE, SHALL BE PUT INTO THE UPSTREAM MANHOLE OF THE SECTION BEING TELEVIEWED. CAMERA WILL HAVE A GAUGE SHOWING 1/2" MARKS FROM 1/2" TO 2-1/2". THIS WILL ENABLE THE CAMERA TO DETECT ANY CHANGES IN GRADE THAT MAY BE PRESENT IN THE SYSTEM.
- THE CCTV AND DVD RECORDER SHALL BE TURNED ON BEFORE THE CAMERA IS PLACED IN THE MANHOLE FOR INSPECTION AND SHALL NOT BE TURNED OFF UNTIL THE CAMERA IS REMOVED FROM THE MANHOLE. THE CAMERA SHALL BE MOVED THROUGH THE LINE UNDER THE CONTROL OF THE CCTV CAMERA OPERATOR. THE CAMERA SHALL BE DRAWN THROUGH THE LINE AT A RATE NOT TO EXCEED THIRTY (30) FEET PER MINUTE AND SHALL STOP AT ALL SERVICE CONNECTIONS AND PIPE JOINTS IN THE PIPELINE.
- A DVD RECORDING SHALL BE MADE OF THE ENTIRE SYSTEM BEING TELEVIEWED. THIS SHALL BECOME THE PROPERTY OF THE CITY UPON COMPLETION OF THE TV INSPECTION (NOT A COPY). THE TABLES SHALL BE LABELED IN SUCH A MANNER THAT STATES THE PROJECT NAME, DATE OF INSPECTION AND LINE SECTION ACCORDING TO CONSTRUCTION PLANS CONTAINED ON EACH TAPE. A WRITTEN REPORT SHALL ACCOMPANY THE DVD DISC.

**CoWG RECLAIMED WATER SYSTEM GENERAL NOTES:**

- ALL PRIVATE RECLAIMED WATER SYSTEMS SHALL HAVE A CITY APPROVED BACKFLOW DEVICE ASSEMBLY AT EACH CONNECTION POINT TO THE CITY WATER SYSTEM.
- REPAIRS TO NEW WATER LINES, TO OBTAIN SPECIFIED PRESSURE TEST, WILL BE ALLOWED ONLY UP TO A NUMBER EQUAL TO 10% OF THE TOTAL NUMBER OF JOINT CONNECTIONS.
- ALL MAINS AND SERVICE LATERALS SHALL BE HYDROSTATICALLY TESTED AT 150 PSI FOR A TWO HOUR PERIOD.
- WARNING TAPE, NON-DETECTABLE, SIZE 2" WITH "REUSE WATER LINE BELOW", MUST BE PLACED 8" TO 12" BELOW FINISHED GRADE ON ALL PVC WATER MAINS, LATERALS AND HEADER TEES. NUMBER 10 GAUGE TRACER WIRE SHALL BE ATTACHED TO THE TOP OF THE PIPE WITH DUCT TAPE, AT LEAST FIVE TIMES PER JOINT. THE TRACER WIRE SHALL ALSO BE ATTACHED TO ALL PVC LATERALS AND ATTACHED TO THE OUTSIDE OF EACH VALVE BOX SO THAT A PIPE LOCATOR CAN BE CONNECTED TO IT. THE CONTRACTOR SHALL DEMONSTRATE THE LOCATE WIRE TO BE IN WORKING CONDITION AT PROJECT COMPLETION.
- THE CONTRACTOR SHALL INSTALL RECLAIMED WATER MAINS PER MSS/CWG. SOLVENT CEMENTED JOINTS AND THRUST BLOCKS SHALL NOT BE ALLOWED.
- REUSE WATER MAIN SHALL BE BURIED TO A MINIMUM DEPTH OF 36" AND A MAXIMUM DEPTH 42" BELOW FINAL GRADE.
- SERVICE LATERALS MUST BE LOCATED A UNIFORM DISTANCE APART AND ALIGNED TO PROPERTY LOT LINE AT 90° FROM THE RECLAIMED WATERMAIN.
- CUSTOMER SERVICE LATERALS SHALL NOT BE SPLICED TOGETHER BETWEEN THE WATER MAIN AND CURB STOP.
- THE CONTRACTOR SHALL CUT CURB A "RW" INTO CONCRETE CURB LOCATED INSIDE OF A PAINTED SQUARE (PURPLE), DIRECTLY IN FRONT OF EACH SERVICE LATERAL AND VALVE.
- THE CONTRACTOR SHALL SET DEPTH OF CURB STOP, IN METER BOX, 6" BELOW FINISHED GRADE.
- THE CONTRACTOR SHALL INSTALL VALVE(S) IN MAIN, NO MORE THAN 1,000 FEET APART IN BETWEEN TEES AND CROSSES. VALVES SHALL BE PROVIDED AT EACH TEE OR CROSS LOCATED IN MAIN LINE.
- RECLAIMED WATER MAINS MAY BE LOCATED UNDER SIDEWALKS. RECLAIMED MAINS LOCATED UNDER PAVEMENT SHOULD BE MINIMIZED.
- ALL WATERMANS SHALL BE CLEANED BY PIGGING THE LINE WITH A FOAM PIG (MINIMUM OF 2 TIMES). A FULL BORE FLUSH MAY BE REQUIRED AFTER PIGGING TO ENSURE THE PIPE IS CLEAN AND READY FOR SERVICE. THE CONTRACTOR SHALL COORDINATE LINE PIGGING AND FULL BORE FLUSH WITH THE CITY INSPECTOR.
- RECLAIMED WATERMAIN MAINS SHALL BE 8 INCH DIAMETER MINIMUM, 4 INCH IS ALLOWED ON DEAD END RUNS SERVING LESS THAN 20 HOMES. THE DESIGN ENGINEER SHALL SUBMIT HYDRAULIC CALCULATIONS THAT DEMONSTRATE THE PROPOSED SYSTEM WILL PROVIDE REQUIRED FLOWS AND MAINTAIN SYSTEM ABOVE MINIMUM PRESSURE. PEAK IRRIGATION RATE SHALL BE SIX(6) TIMES GREATER THAN THE AVERAGE IRRIGATION RATE OF FLOW.
- RECLAIMED WATER SYSTEM COMPONENTS INCLUDING PIPE, VALVE BOX TOPS AND METER BOX TOPS SHALL BE RECLAIMED PURPLE IN COLOR.

**CoWG - THRUST RESTRAINT TABLE**

RESTRAINED FORCE MAIN PIPE TABLE	
MINIMUM LENGTH(FIT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S)	
	PIPE SIZE
	6" 8" 10" 12" 16" 20" 24" 30" 36"
90° BEND	19 25 30 34 44 52 60 70 80
45° BEND	8 10 12 14 18 21 25 30 34
22-1/2° BEND	4 5 6 7 9 10 12 14 16
11-1/4° BEND	2 3 4 5 6 7 8 9 10
PLUG, DEAD END OR BRANCH OF TEE	40 52 63 72 93 111 30 156 178
VALVE	20 25 32 36 47 56 78 116 89

RESTRAINED WATER AND RECLAIMED PIPE TABLE	
MINIMUM LENGTH(FIT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S)	
	PIPE SIZE
	6" 8" 10" 12" 16" 20" 24" 30" 36"
90° BEND	29 37 44 51 65 77 89 105 120
45° BEND	12 15 18 21 27 32 37 44 50
22-1/2° BEND	6 7 9 10 13 15 18 21 24
11-1/4° BEND	3 4 5 6 7 8 9 10 12
PLUG, DEAD END OR BRANCH OF TEE	59 77 93 108 138 166 194 231 265
VALVE	59 77 93 108 138 166 194 231 265

**CoWG THRUST RESTRAINT NOTES:**

- THE TABLES INDICATE MINIMUM LENGTHS OF RESTRAINED JOINTS ON EACH SIDE OF FITTINGS AND CHANGES IN DIRECTION. WHERE PRACTICAL, FULL LENGTHS OF RESTRAINED PIPE SHALL BE LAID TO ACHIEVE THE REQUIRED MINIMUM RESTRAINT.
- WHERE COMBINATIONS OF FITTINGS ARE USED, THE PIPING BETWEEN THE FITTINGS SHALL BE RESTRAINED. THE MINIMUM RESTRAINED LENGTH OF PIPE REQUIRED UPSTREAM AND DOWNSTREAM OF THE COMBINATION OF FITTINGS SHALL BE DETERMINED ON THE BASIS OF ONE EQUIVALENT FITTING (I.E., 2-45 DEGREE BENDS WILL BE CONSIDERED AS THOUGH A 90° BEND WERE LOCATED MIDWAY BETWEEN THE TWO 45° BENDS).
- FOR PIPE THAT IS ENCASED IN POLYETHYLENE, RESTRAINED JOINTS MINIMUM LENGTHS SHALL BE INCREASED BY 50 PERCENT.
- FOR FITTINGS OTHER THAN THOSE PRESENTED IN THE ABOVE TABLES, RESTRAINED JOINT LENGTHS SHALL BE DETERMINED IN ACCORDANCE WITH "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" BY THE DUCTILE IRON PIPE RESEARCH ASSOCIATION. RESTRAINED JOINT LENGTHS FOR A GIVEN PRESSURE RANGE SHALL BE BASED ON THE MAXIMUM PRESSURE. FOR THE TEST PRESSURE RANGE, SH (SAND SLIT) SOL., 3-FEET DEPTH, LAYING CONDITION NO. 3 AND FACTOR OF SAFETY OF 1.5.
- IN-LINE VALVES: PROVIDE MECHANICAL RESTRAINT ON EACH SIDE OF THE VALVE.
- ALL RECLAIMED WATER PIPING SHALL BE HYDROSTATICALLY TESTED AT A PRESSURE OF 150 PSI. ALL WASTEWATER PIPING SHALL BE HYDROSTATICALLY TESTED AT A PRESSURE OF 100 PSI.

HORIZONTAL & VERTICAL SEPARATION REQUIREMENTS											
PROPOSED UTILITY	POTABLE WATER		RECLAIMED WATER		SANITARY SEWER (GRAVITY)		SANITARY SEWER (FORCEMAIN)		STORM WATER		ACCEPTABLE VARIANCES
	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.	
POTABLE WATER	-	-	3'	12"	6'	12"	6'	12"	3'	6" A 12" B	SEE GENERAL NOTES, NO 4 & 5
RECLAIMED WATER	3'	12"	-	-	3'	6" A 12" B	3'	12"	-	-	-
SANITARY SEWER (GRAVITY)	6'	12"	3'	6" A 12" B	-	-	-	-	-	-	-
SANITARY SEWER (FORCEMAIN)	6'	12"	3'	12"	-	-	-	-	-	-	-

**GENERAL NOTES:**

- THE TABLE REPRESENTS THE MINIMUM SEPARATION REQUIREMENTS AS DESCRIBED IN F.D.E.P. RULES OF THE FLORIDA ADMINISTRATION CODE (F.A.C.) THESE SEPARATION REQUIREMENTS SHALL APPLY BETWEEN NEWLY PROPOSED UTILITY LINES AND EXISTING OR PROPOSED UTILITY LINES AND EXISTING OR PROPOSED UTILITY LINES.
- FOR THE PURPOSE OF THIS TABLE, RECLAIMED WATER SHALL MEAN UNRESTRICTED PUBLIC ACCESS REUSE WATER AS DEFINED BY F.A.C. 162-610, CHAPTER III. OTHER TYPES OF RECLAIMED WATER ARE CONSIDERED RAW SEWAGE AND SEPARATIONS LISTED FOR SANITARY SEWER SHALL APPLY.
- ALL SEPARATION DISTANCES ARE FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE UNLESS OTHERWISE SPECIFIED. CRITERION PRODUCING GREATER CLEARANCE SHALL BE USED.
  - A - DENOTES POTABLE WATER ABOVE RECLAIMED WATER, SANITARY SEWER OR STORM WATER, OR RECLAIMED WATER ABOVE SANITARY SEWER.
  - B - DENOTES POTABLE WATER BELOW RECLAIMED WATER, SANITARY SEWER OR STORM WATER, OR RECLAIMED WATER BELOW SANITARY SEWER.
- UTILITY SEPARATION - VERTICAL CLEARANCE MITIGATION
  - A. WHERE WATER AND GRAVITY SANITARY SEWER MAINS CROSS WITH LESS THAN REQUIRED VERTICAL CLEARANCE OR THE SEWER MAIN IS ABOVE THE WATER MAIN, THE SANITARY SEWER WILL BE 20 FEET OF EITHER:
    - DUCTILE IRON PIPE, CENTERED ON THE POINT OF CROSSING, OR;
    - CONCRETE ENCASED VITRIFIED CLAY, OR;
    - PVC PIPE UPGRADED TO WATER MAIN STANDARDS AND PRESSURE TESTED.
  - WHERE WATER MAINS AND STORM WATER MAINS CROSS WITH LESS THAN REQUIRED VERTICAL CLEARANCE, THE WATER MAIN SHALL BE 20 FEET OF DUCTILE IRON PIPE CENTERED ON THE POINT OF CROSSING.
- SEPARATION REQUIREMENTS BETWEEN FORCE MAINS AND POTABLE WATER MAINS MUST BE MAINTAINED UNLESS APPROVED IN ADVANCE BY THE DEPARTMENT.
  - UTILITY SEPARATION - HORIZONTAL SEPARATION MITIGATION
    - A. WHEN A WATER MAIN PARALLELS A GRAVITY SANITARY SEWER MAIN, A SEPARATION (MEASURED EDGE TO EDGE) OF AT LEAST SIX FEET SHOULD BE MAINTAINED. WHERE THIS SEPARATION IS NOT MET, ONE OF THE FOLLOWING MUST OCCUR:
      - THE WATER MAIN IS LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 6 INCHES ABOVE THE TOP OF THE SEWER, OR;
      - IF BOTH SANITARY SEWER AND POTABLE WATER MAINS ARE PROPOSED AND THE ABOVE (1.) IS NOT MET, THE SANITARY SEWER PIPES SHALL BE UPGRADED TO THE EQUIVALENT PIPE MATERIAL AS THE WATER MAIN AND PRESSURE TESTED.
      - IF THE SANITARY SEWER IS EXISTING AND THE POTABLE WATER MAIN IS PROPOSED, THE WATER MAIN SHALL, AT A MINIMUM, BE UPGRADED TO DUCTILE IRON PIPE, CONSTRUCTED IN SEPARATE TRENCHES, LAID AT A HIGHER ELEVATION THAN THE SANITARY SEWER, AND UTILIZE STAGGERED JOINTS.
    - B. SEPARATION REQUIREMENTS BETWEEN FORCE MAINS AND POTABLE WATER MAINS MUST BE MAINTAINED UNLESS APPROVED IN ADVANCE BY THE DEPARTMENT.
- NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SANITARY OR STORM WATER MANHOLE OR STRUCTURE.

**WINTER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEERS DOCUMENTS:**

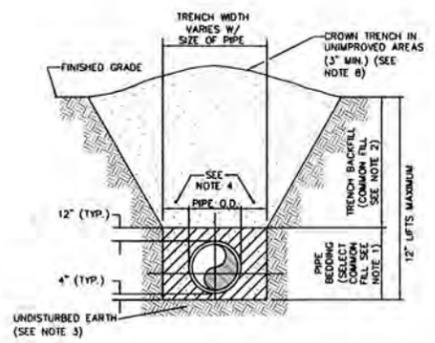
THE DETAILS, NOTES AND SPECIFICATIONS SHOWN ON THIS SHEET REPRESENT THE NOTED STANDARDS OF THE CITY OF WINTER GARDEN FOR CONSTRUCTION OF PUBLIC WORKS AND UTILITY INFRASTRUCTURE. BY INCLUDING THE STANDARDS, THE DESIGN ENGINEER HAS ACKNOWLEDGED THAT THEY ARE EFFECTIVE TO THE PROJECT AND THAT DETAILS, NOTES, OR SPECIFICATIONS ARE AS PROVIDED BY THE CITY AND HAVE NOT BEEN REVISED OR MODIFIED WITHOUT WRITTEN APPROVAL FROM THE CITY ENGINEER OR UTILITY DIRECTOR.

NO.	ITEM	DATE
1	Revised General Notes	4/4/14
2	Revised Water & Sewer Notes	4/4/14

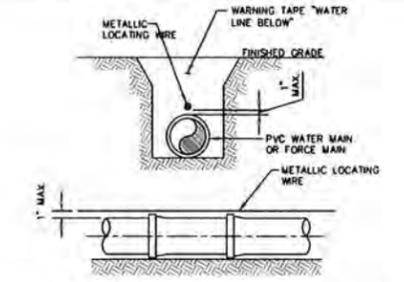
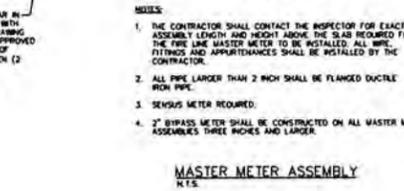
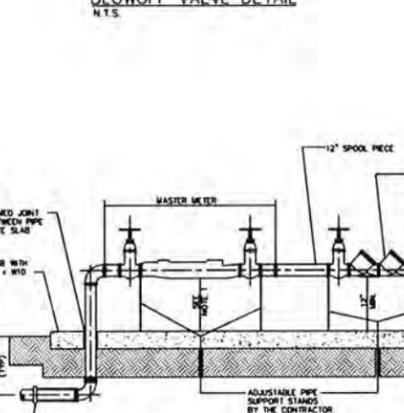
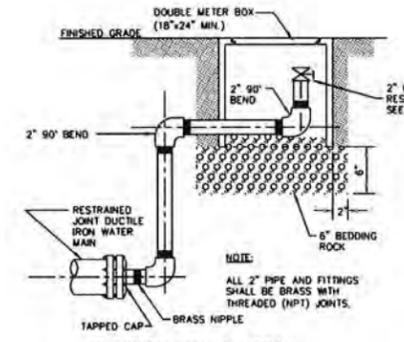
City of Winter Garden, Florida  
STANDARDS AND SPECIFICATIONS  
For Utilities Construction



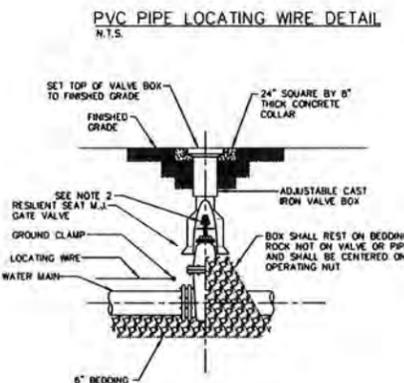
STANDARD DETAILS  
FOR  
UTILITIES SYSTEMS



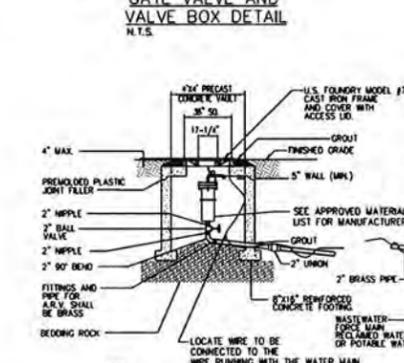
- NOTES:**
- PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
  - TRENCH BACKFILL: COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
  - PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING MAY BE REQUIRED AS DIRECTED BY THE CITY OF WINTER GARDEN.
  - (\*) 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" LARGER.
  - WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
  - ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
  - REFER TO SECTION 32.5 OF THE CITY OF WINTER GARDEN MANUAL OF STANDARDS AND SPECIFICATIONS FOR WASTEWATER AND WATER MAIN CONSTRUCTION FOR SHEETING AND BRACING IN EXCAVATIONS.
  - FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN CITY OF WINTER GARDEN FRONT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.



- NOTES:**
- PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (10 GAUGE COPPER) CAPABLE OF DETECTION BY A CABLE LOCATOR AND SHALL BE ATTACHED TO THE TOP OF PIPE WITH DUCT TAPE, AT LEAST 5 TIMES PER JOINT.
  - LOCATING ROD SHALL TERMINATE AT THE TOP OF EACH VALVE BOX AND BE CAPABLE OF EXTENDING ABOVE TOP OF BOX 3" SO AS NOT TO INTERFERE WITH VALVE OPERATION.



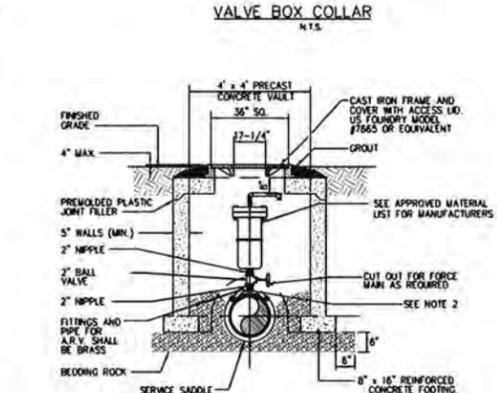
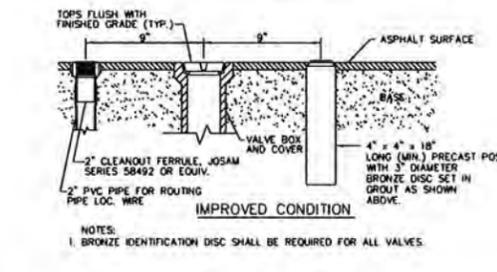
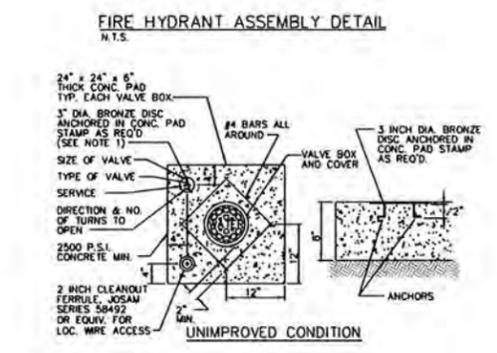
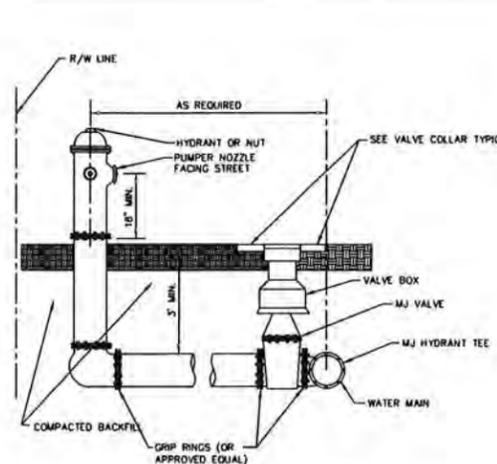
- GENERAL NOTES:**
- PVC EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
  - THE ACTUATING NUT FOR DEEPER VALVES SHALL BE EXTENDED TO COME UP TO A FOOT DEPTH BELOW FINISHED GRADE.



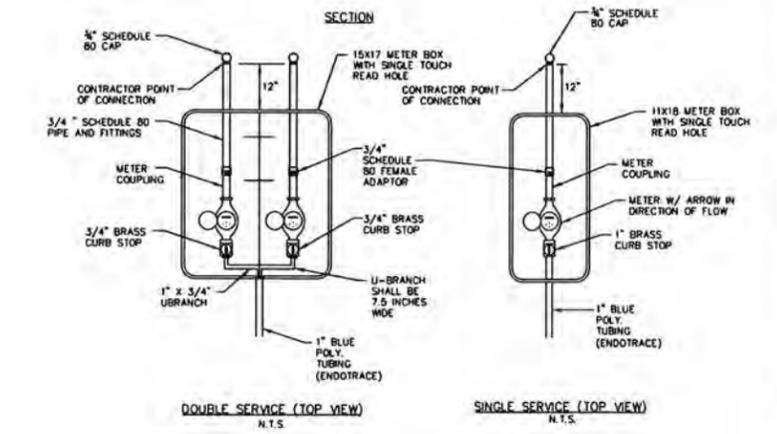
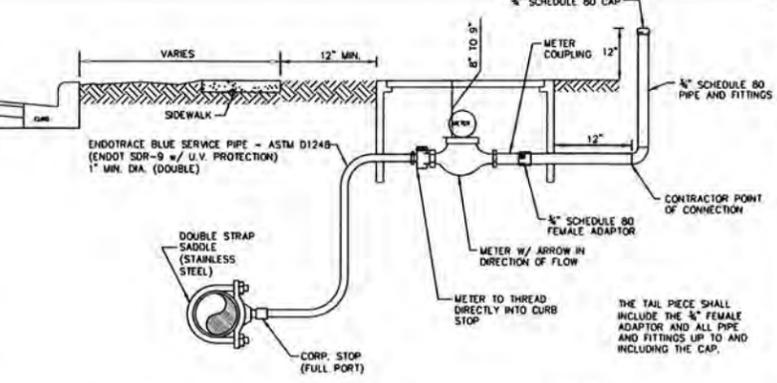
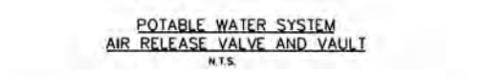
- NOTES:**
- THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 4.0 FEET.
  - DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
  - PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
  - INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATING AS SPECIFIED FOR VALVE VAULTS.
  - CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
  - COVER SHALL READ "WINTER GARDEN UTILITIES DIVISION, "SEWER" RECLAIMED WATER OR POTABLE WATER".
  - NO GALVANIZED PIPE/VALVES.
  - LOCATE WIRE IN THE A.R.V. VAULT SHALL BE SPLICED TO THE WIRE RUNNING WITH THE WATER MAIN AND EXCESS WIRE TO BE PLACED IN A.R.V. VAULT. THE POINT OF CONNECTION AT THE MAIN SHALL HAVE A WATER PROOF CONNECTOR.



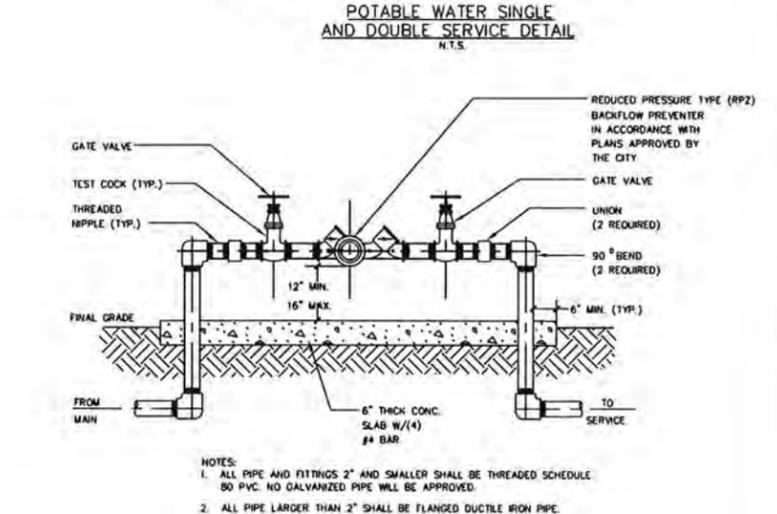
- NOTES:**
- ALL FITTINGS BETWEEN THE WATER MAIN AND THE METER COUPLING SHALL BE BRASS WITH COMPRESSION/PACK JOINT CONNECTIONS.
  - NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
  - EACH SERVICE LINE SHALL TERMINATE IN A METER BOX ASSEMBLY, WHICH SHALL BE PLACED TO GRADE IN THE UTILITY EASEMENT AT THE PROPERTY LINE(S) OF THE LOT(S) TO BE SERVED.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION TO AND INCLUDING THE METER BOX ASSEMBLY. THE CITY SHALL FURNISH THE METER AND THE TAIL PIECE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING THE METER BOX ASSEMBLY TO FINISH GRADE AND MAKING ANY GRADE ADJUSTMENTS TO THE METER BOX IF REGRADING OCCURS.
  - ALL SERVICE LINES SHALL BE POLY ENDOTRACE PIPE AND SHALL BE BLUE IN COLOR W/WIRE.
  - THE POINT OF CONNECTION IS LOCATED ONE FOOT BEYOND THE METER BOX. THE PLUMBER/CUSTOMER SHALL BE RESPONSIBLE FOR MAINTENANCE BEYOND THE POINT OF CONNECTION.
  - IN NO CASE IS METER TO BE INSTALLED IN SIDEWALK OR OTHER PAVED AREAS.



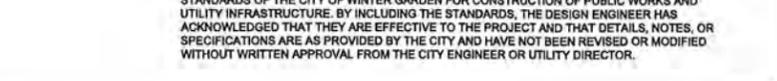
- NOTES:**
- ALL PIPE AND FITTINGS 2" AND SMALLER SHALL BE THREADED SCHEDULE 80 PVC. NO GALVANIZED PIPE WILL BE APPROVED.
  - ALL PIPE LARGER THAN 2" SHALL BE FLANGED DUCTILE IRON PIPE.
  - NO GALVANIZED PIPE ALLOWED.



- NOTES:**
- ALL FITTINGS BETWEEN THE WATER MAIN AND THE METER COUPLING SHALL BE BRASS WITH COMPRESSION/PACK JOINT CONNECTIONS.
  - NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
  - EACH SERVICE LINE SHALL TERMINATE IN A METER BOX ASSEMBLY, WHICH SHALL BE PLACED TO GRADE IN THE UTILITY EASEMENT AT THE PROPERTY LINE(S) OF THE LOT(S) TO BE SERVED.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION TO AND INCLUDING THE METER BOX ASSEMBLY. THE CITY SHALL FURNISH THE METER AND THE TAIL PIECE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING THE METER BOX ASSEMBLY TO FINISH GRADE AND MAKING ANY GRADE ADJUSTMENTS TO THE METER BOX IF REGRADING OCCURS.
  - ALL SERVICE LINES SHALL BE POLY ENDOTRACE PIPE AND SHALL BE BLUE IN COLOR W/WIRE.
  - THE POINT OF CONNECTION IS LOCATED ONE FOOT BEYOND THE METER BOX. THE PLUMBER/CUSTOMER SHALL BE RESPONSIBLE FOR MAINTENANCE BEYOND THE POINT OF CONNECTION.
  - IN NO CASE IS METER TO BE INSTALLED IN SIDEWALK OR OTHER PAVED AREAS.



- NOTES:**
- ALL PIPE AND FITTINGS 2" AND SMALLER SHALL BE THREADED SCHEDULE 80 PVC. NO GALVANIZED PIPE WILL BE APPROVED.
  - ALL PIPE LARGER THAN 2" SHALL BE FLANGED DUCTILE IRON PIPE.
  - NO GALVANIZED PIPE ALLOWED.



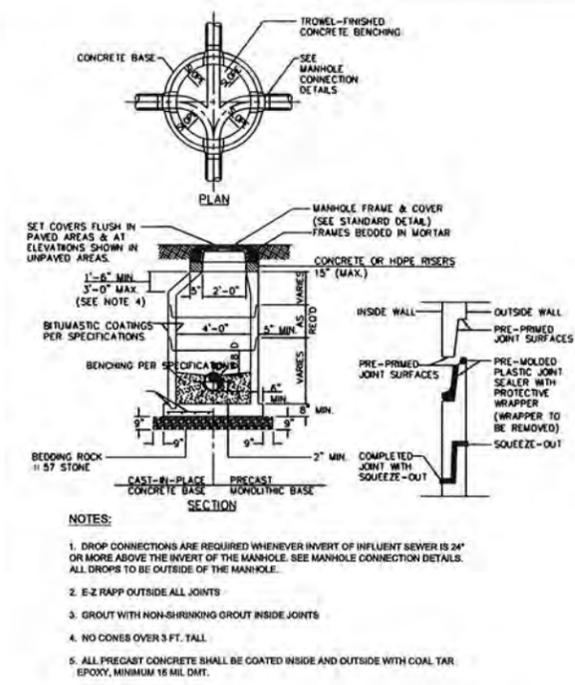
WINTER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEERS DOCUMENTS.  
THE DETAILS, NOTES AND SPECIFICATIONS SHOWN ON THIS SHEET REPRESENT THE NOTED STANDARDS OF THE CITY OF WINTER GARDEN FOR CONSTRUCTION OF PUBLIC WORKS AND UTILITY INFRASTRUCTURE. BY INCLUDING THE STANDARDS, THE DESIGN ENGINEER HAS ACKNOWLEDGED THAT THEY ARE EFFECTIVE TO THE PROJECT AND THAT DETAILS, NOTES, OR SPECIFICATIONS ARE AS PROVIDED BY THE CITY AND HAVE NOT BEEN REVISED OR MODIFIED WITHOUT WRITTEN APPROVAL FROM THE CITY ENGINEER OR UTILITY DIRECTOR.

DATE	4/3/14
ITEM	WATER SERVICE
NO.	1
NO.	2
REV	1-0-020

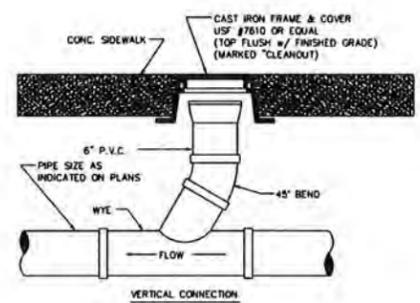
City of Winter Garden, Florida  
STANDARDS AND SPECIFICATIONS  
For Utilities Construction



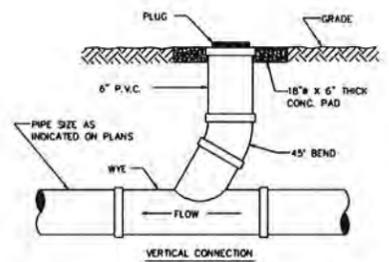
STANDARD DETAILS FOR POTABLE WATER SYSTEMS



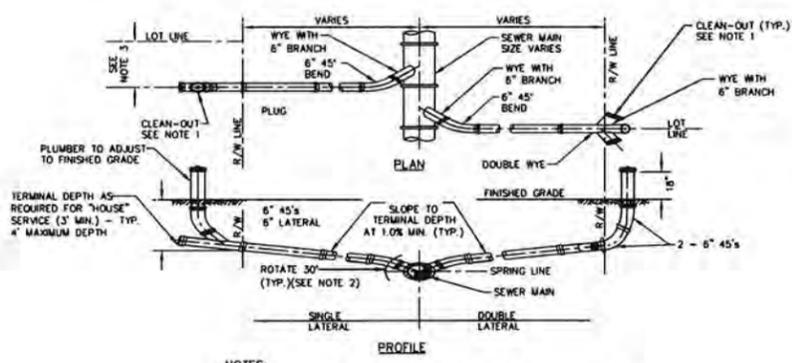
**PRECAST CONCRETE SANITARY MANHOLE**  
N.T.S.



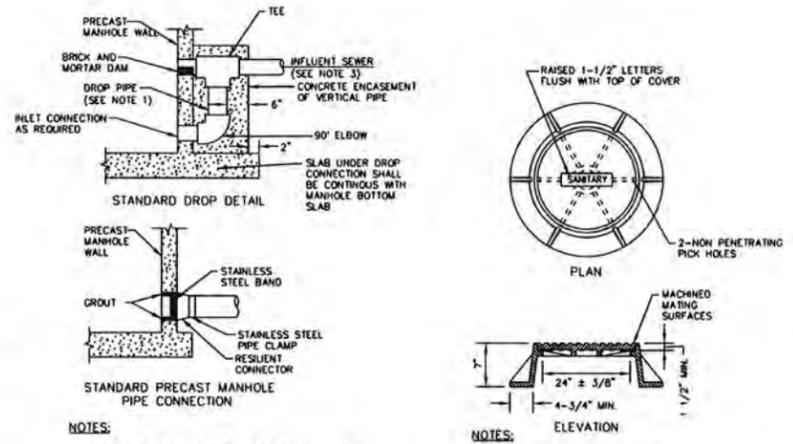
**CLEAN OUT DETAIL FINISHED BUILDOUT (IN PAVED AREA)**  
N.T.S.



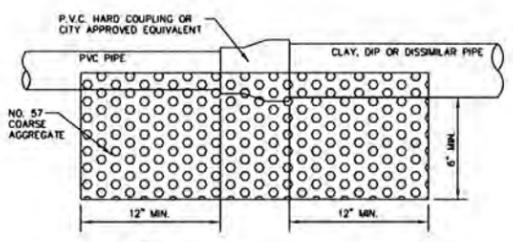
**CLEAN OUT DETAIL FINISHED BUILDOUT (IN UNPAVED AREA)**  
N.T.S.



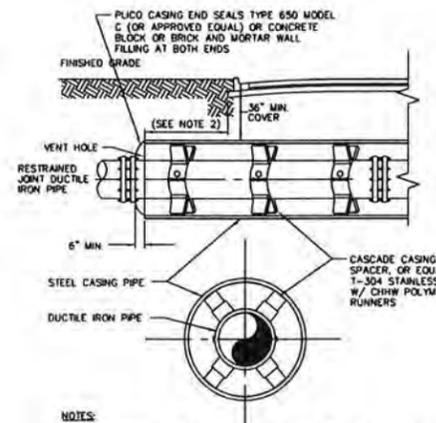
**SANITARY SEWER SERVICE LATERAL DETAIL**  
N.T.S.



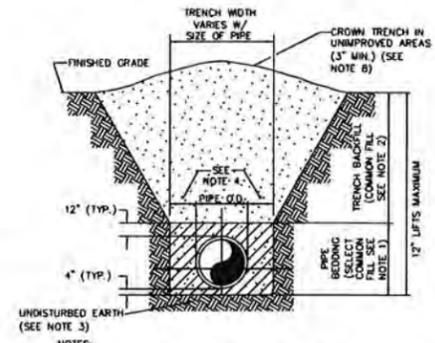
**STANDARD MANHOLE FRAME AND COVER**  
N.T.S.



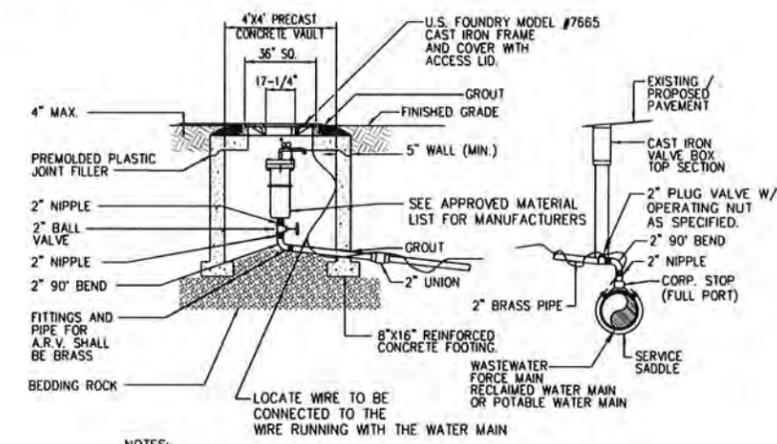
**SEWER MAIN CONNECTION DETAIL**  
N.T.S.



**BORE AND JACK DETAIL**  
N.T.S.



**STANDARD BEDDING DETAIL**  
N.T.S.



**OFFSET TYPE AIR RELEASE VALVE ASSEMBLY**

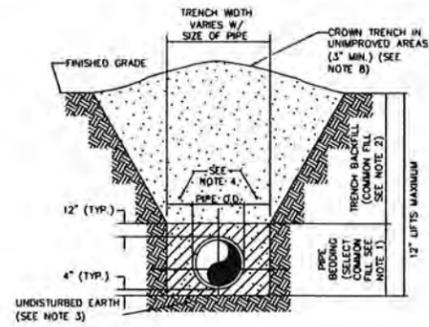
WINTER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEERS DOCUMENTS:  
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NO.	ITEM	DATE
1	SANITARY MANHOLE	4/7/19
2	OFFSET ARV DETAIL	4/7/19

City of Winter Garden, Florida  
STANDARDS AND SPECIFICATIONS  
For Utilities Construction



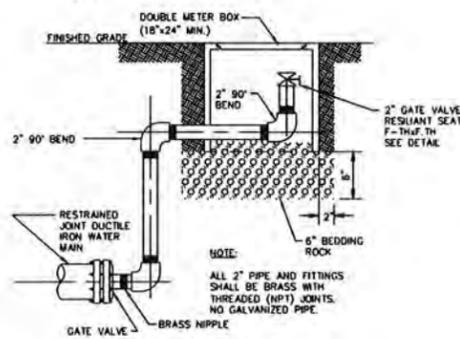
STANDARD DETAILS FOR WASTEWATER SYSTEMS



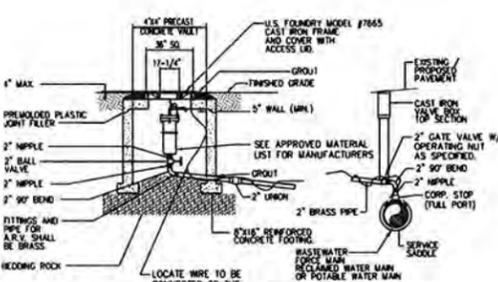
**NOTES:**

1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND CONTAINING NO MORE THAN 5% PASSING #200 SIEVE.
3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE 4 BEDDING AND TRENCHING MAY BE REQUIRED AS DIRECTED BY THE CITY OF WINTER GARDEN.
4. (1) - 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.
5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
7. REFER TO SECTION 32.5 OF THE WINTER GARDEN MANUAL OF STANDARDS AND SPECIFICATIONS FOR UTILITIES CONSTRUCTION FOR SHEETING AND BRACING IN EXCAVATIONS.
8. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN CITY OF WINTER GARDEN RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

**STANDARD BEDDING DETAIL**  
N.T.S.

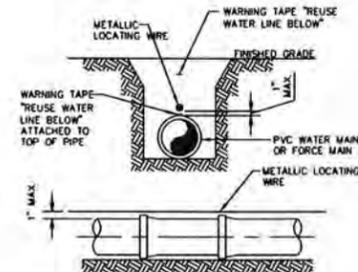


**BLOWOFF VALVE DETAIL**  
N.T.S.



- NOTES:**
1. THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 4.0 FEET.
  2. DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
  3. PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
  4. INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATING AS SPECIFIED FOR VALVE VAULTS.
  5. CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
  6. COVER SHALL READ "WINTER GARDEN UTILITIES DIVISION, "SEWER" RECLAIMED WATER OR POTABLE WATER".
  7. NO GALVANIZED PIPE/VALVES.
  8. LOCATE WIRE IN THE A.R.V. VAULT SHALL BE SPOUED TO THE WIRE RUNNING WITH THE WATER MAIN AND EXCESS WIRE TO BE PLACED IN A.R.V. VAULT. THE POINT OF CONNECTION AT THE MAIN SHALL HAVE A WATER PROOF CONNECTOR.

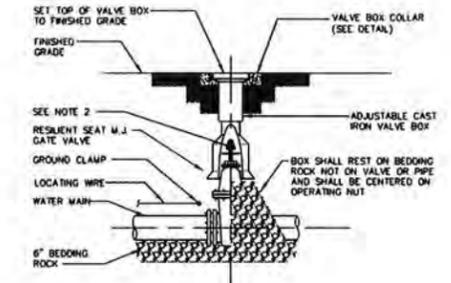
**OFFSET TYPE AIR RELEASE VALVE ASSEMBLY**  
N.T.S.



**NOTES:**

1. PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (10 GAUGE COPPER) CAPABLE OF DETECTION BY A CABLE LOCATOR AND SHALL BE ATTACHED TO THE TOP OF PIPE WITH DUCT TAPE AT LEAST 5 TIMES PER JOINT.
2. LOCATING ROD SHALL TERMINATE AT THE TOP OF EACH VALVE BOX AND BE CAPABLE OF EXTENDING ABOVE TOP BOX 1" SO AS NOT TO INTERFERE WITH VALVE OPERATION.

**PVC PIPE LOCATING WIRE DETAIL**  
N.T.S.

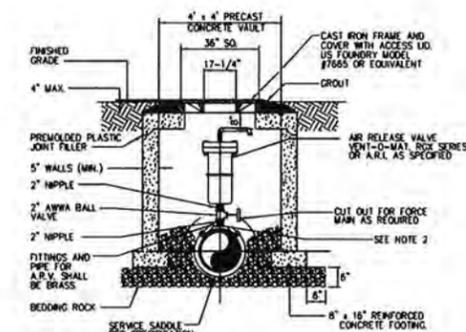


**GATE VALVE AND VALVE BOX DETAIL**  
N.T.S.

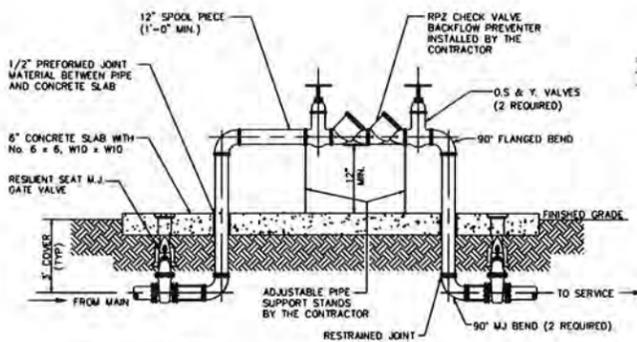
**NOTES:**

1. PVC EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
2. THE ACTUATING NUT FOR DEEPER VALVES SHALL BE EXTENDED TO COME UP TO 4 FOOT DEPTH BELOW FINISHED GRADE.

**RECLAIMED WATER AIR RELEASE VALVE AND VAULT**  
N.T.S.



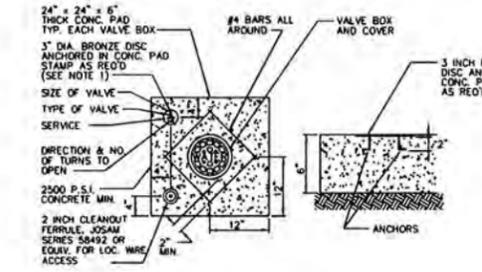
- NOTES:**
1. THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 3.0 FEET.
  2. DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
  3. PIPE INSTALLATION SHALL BE SUCH THAT THE A.R.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
  4. INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATING AS SPECIFIED FOR VALVE VAULTS.
  5. CAST IRON FRAME, COVER AND ACCESS LID SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
  6. COVER SHALL READ "WINTER GARDEN UTILITIES DIVISION AND "RECLAIMED WATER".
  7. NO GALVANIZED PIPE/VALVES.



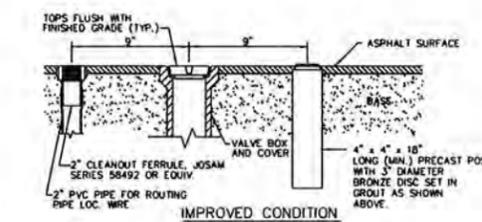
**NOTES:**

1. ALL PIPE AND FITTINGS 2" AND SMALLER SHALL BE THREADED SCHEDULE 80 PVC. NO GALVANIZED PIPE ALLOWED.
2. ALL PIPE LARGER THAN 2 INCH SHALL BE FLANGED DUCTILE IRON PIPE.
3. RECLAIMED WATER JUMPER SHALL BE SIZE ON SIZE.

**RECLAIMED WATER JUMPER CONNECTION**  
N.T.S.



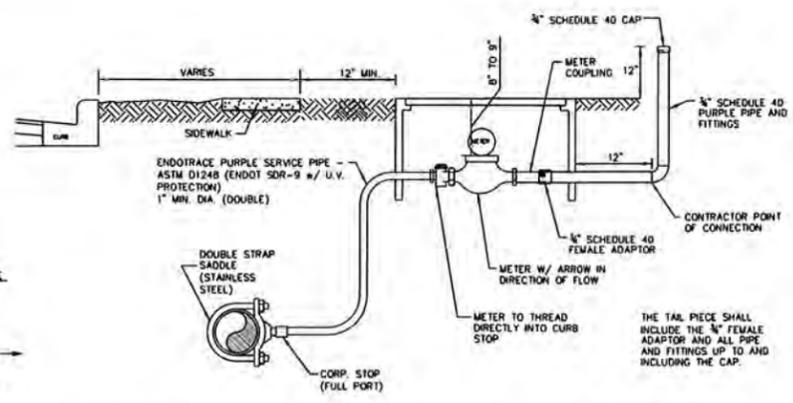
**UNIMPROVED CONDITION**



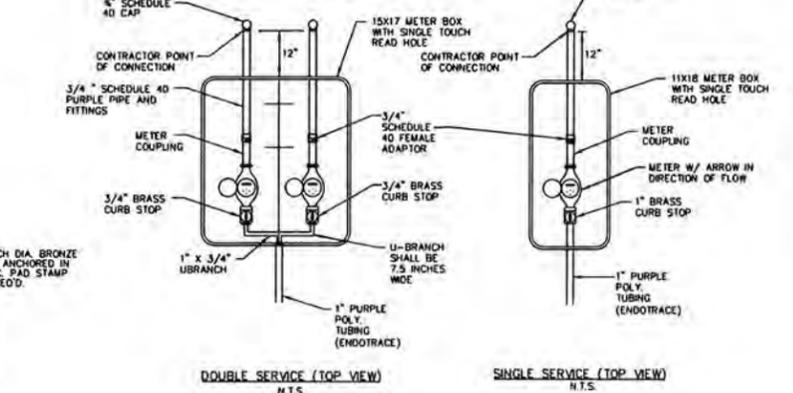
**VALVE BOX COLLAR**  
N.T.S.

**NOTES:**

1. BRONZE IDENTIFICATION DISC SHALL BE REQUIRED FOR ALL VALVES. PROVIDE SIZE, TYPE, SERVICE, DIRECTION AND TURNS TO OPEN STAMPED ON DISC. DISC SHALL BE 3" MINIMUM.



**SECTION**



**NOTES:**

1. ALL FITTINGS BETWEEN THE WATER MAIN AND THE METER COUPLING SHALL BE BRASS WITH COMPRESSION/PACK JOINT CONNECTIONS.
2. NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
3. EACH SERVICE SHALL TERMINATE IN A METER BOX ASSEMBLY, WHICH SHALL BE PLACED TO GRADE IN THE UTILITY EASEMENT AT THE PROPERTY LINE(S) OF THE LOT(S) TO BE SERVED.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION TO AND INCLUDING THE METER BOX ASSEMBLY. THE CITY SHALL FURNISH THE METER AND THE TAIL PIECE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING THE METER BOX ASSEMBLY TO FINISH GRADE AND MAKING ANY GRADE ADJUSTMENTS TO THE METER BOX IF REGRADING OCCURS.
5. ALL SERVICE LINES SHALL BE POLY ENDOTRACE PIPE AND SHALL BE PURPLE IN COLOR W/W.M.R.
6. THE POINT OF CONNECTION IS LOCATED ONE FOOT BEYOND THE METER BOX. THE PLUMBER/CUSTOMER SHALL BE RESPONSIBLE FOR MAINTENANCE BEYOND THE POINT OF CONNECTION.
7. IN NO CASE IS METER TO BE INSTALLED IN SIDEWALK OR OTHER PAVED AREAS.

**RECLAIMED WATER SINGLE AND DOUBLE SERVICE DETAIL**  
N.T.S.

WINTER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEERS DOCUMENTS:  
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DATE	4/7/14
ITEM	WATER METER SERVICE
REV	ARV DETAILS
DATE	4/7/14
NO.	1
NO.	2

City of Winter Garden, Florida  
STANDARDS AND SPECIFICATIONS  
For Utilities Construction

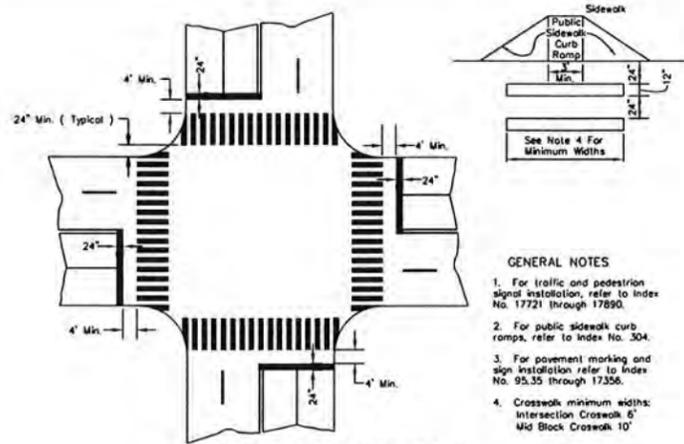


STANDARD DETAILS  
FOR  
RECLAIMED WATER SYSTEMS

DATE	JANUARY 2008
SHEET	7
	7 OF 10

**GENERAL NOTES:**

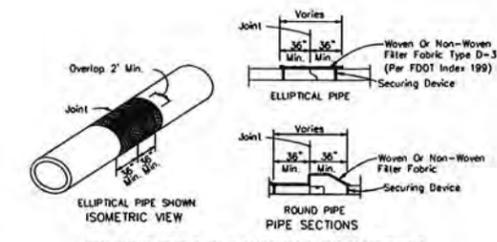
1. ALL NEW STORM AND SANITARY SEWER LINES IN THE CITY OF WINTER GARDEN SHALL BE SUBJECTED TO CLOSED CIRCUIT TV INSPECTION PRIOR TO BEING ACCEPTED BY THE CITY, WHETHER PRIVATE OR CITY MAINTAINED. ALL STORM SEWER PIPE SHALL BE REINSPECTED AT THE YEAR END, COST TO BE PAID BY THE OWNER.
2. PIPE MATERIAL SHALL BE AS SHOWN ON THE CONSTRUCTION PLANS UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
3. CONTRACTOR AND OWNER ARE RESPONSIBLE FOR ENSURING THAT ALL CITY, COUNTY, STATE (FDEP, FDOT, SURWMD, ETC.), AND FEDERAL PERMITS HAVE BEEN ISSUED FOR THE PROJECT.
4. ALL STORM SYSTEM MUST BE WATER-TIGHT WITH ALL JOINTS WRAPPED.
5. STORM SYSTEM WILL BE CLEANED PRIOR TO BEING TV'D.
6. THE OWNER SHALL KEEP A COPY OF THE WATER MANAGEMENT DISTRICT PERMIT, NPDES, NCR AND SWPP PLAN IN A CONSPICUOUS LOCATION ON THE JOB SITE AT ALL TIMES.
7. ALL STORM SEWER MANHOLES FRAME & COVER SHALL BE ASTM 225.
8. CLEAN SAND SHALL CONSIST OF MATERIAL HAVING LESS THAN 5% PASSING THE #200 SIEVE.
9. ONLY CONCRETE RISER RINGS WILL BE ALLOWED TO BE PLACED FOR STORM MANHOLES. ALL RISER RINGS SHALL BE SEALED TO THE STRUCTURE USING WRAPID SEAL. NO MORE THAN 15" WILL BE ALLOWED.
10. STORM SEWER PIPES SHALL MEET ASTM C76 & ASTM C507.
11. ALL STORM SEWER STRUCTURE SECTIONS SHALL BE SEALED WITH WRAPID SEAL.



**SPECIAL EMPHASIS CROSSWALK  
SIGNALIZED OR STOP SIGN  
CONTROLLED INTERSECTION  
N.T.S.**

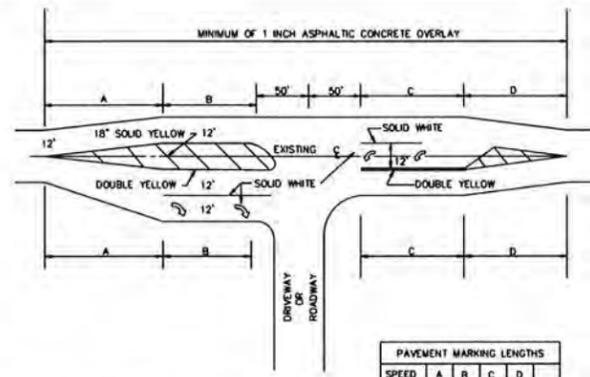
**GENERAL NOTES**

1. For traffic and pedestrian signal installation, refer to Index No. 17721 through 17890.
2. For public sidewalk curb ramps, refer to Index No. 304.
3. For pavement marking and sign installation refer to Index No. 95.35 through 17356.
4. Crosswalk minimum widths:  
Intersection Crosswalk 6'  
Mid Block Crosswalk 10'



**FILTER FABRIC JACKET  
N.T.S.**

Cost of filter fabric jacket to be included in cost of pipe culverts.  
FOR ALL PIPE TYPES - CONCRETE PIPE SHOWN

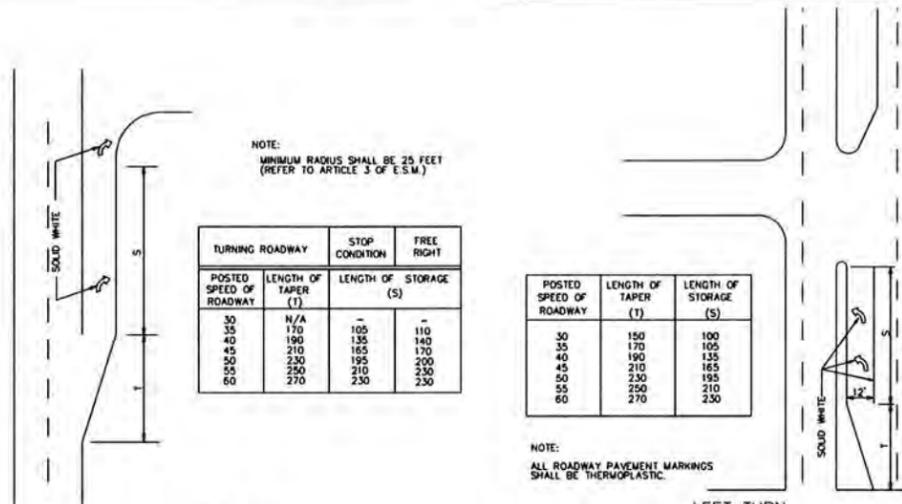


SPEED	PAVEMENT MARKING LENGTHS			
	A	B	C	D
40 MPH	190'	110'	135'	190'
45 MPH	210'	140'	165'	210'
50 MPH	230'	170'	195'	230'
55 MPH	250'	200'	210'	250'

**NOTES:**

- 1) STRIPING ACCORDING TO F.D.O.T. STANDARD INDEX #173468.
- 2) LANE WIDTHS TO MATCH EXISTING LANE WIDTHS.
- 3) MINIMUM RADIUS SHALL BE 25 FEET (REFER TO ARTICLE 3 OF E.S.M.)
- 4) ALL ROADWAY PAVEMENT MARKING SHALL BE THERMOPLASTIC.

**TYPICAL INTERSECTION  
N.T.S.**



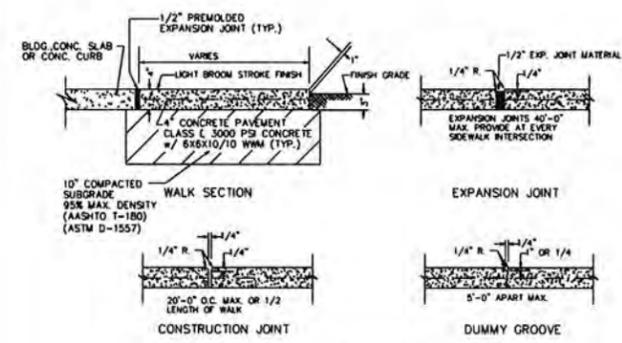
TURNING ROADWAY	POSTED SPEED OF ROADWAY	LENGTH OF TAPER (T)	STOP CONDITION	FREE RIGHT
			LENGTH OF STORAGE (S)	LENGTH OF STORAGE (S)
30	N/A	-	-	-
35	170	105	110	140
40	190	135	140	165
45	210	165	170	190
50	230	195	200	210
55	250	210	230	230
60	270	230	230	230

POSTED SPEED OF ROADWAY	LENGTH OF TAPER (T)	LENGTH OF STORAGE (S)
35	170	105
40	190	135
45	210	165
50	230	195
55	250	210
60	270	230

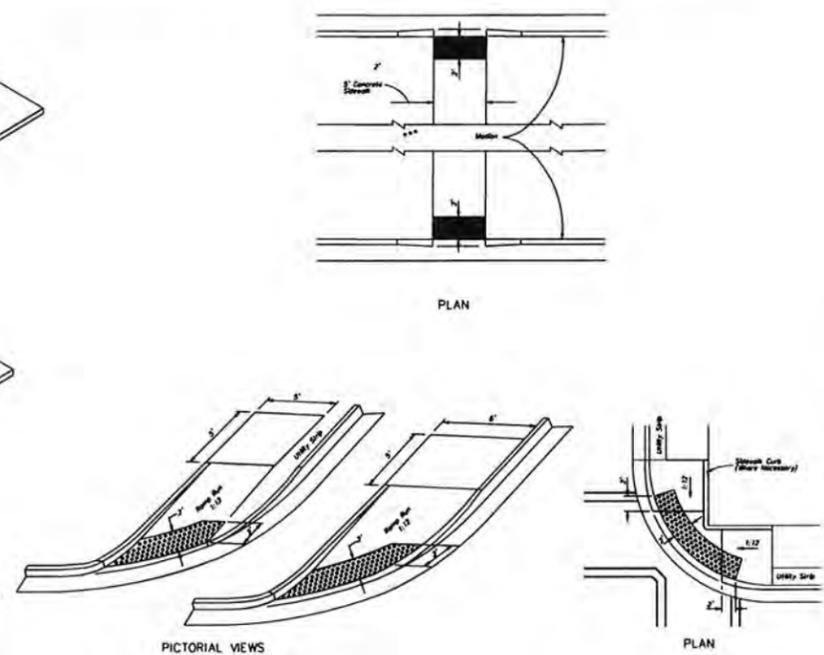
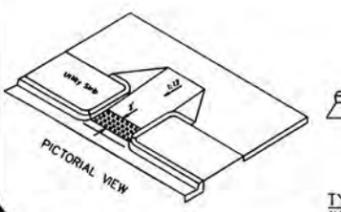
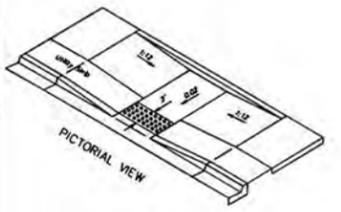
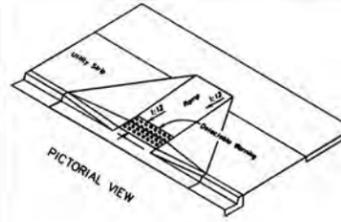
**NOTE:**  
ALL ROADWAY PAVEMENT MARKINGS SHALL BE THERMOPLASTIC.

**RIGHT TURN  
DECELERATION LANE  
N.T.S.**

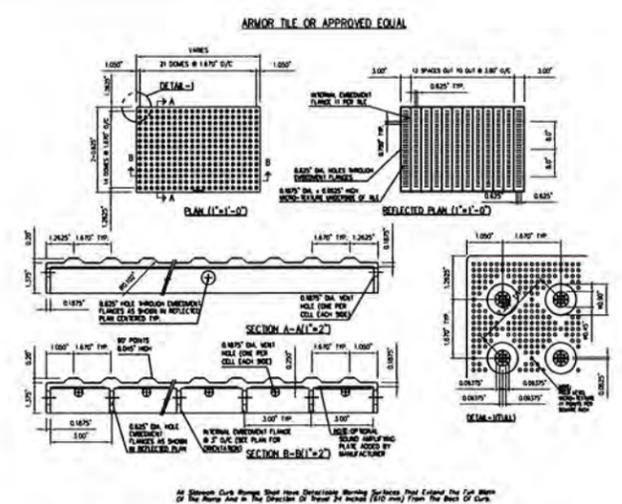
**LEFT TURN  
STORAGE LANE  
(DIVIDED HIGHWAY)  
N.T.S.**



**SIDEWALK DETAILS  
N.T.S.**



**TYPICAL PLACEMENT OF DETECTABLE WARNING ON CURB RAMP  
N.T.S.**



**CURB RAMP DETECTABLE WARNING DETAIL  
N.T.S.**

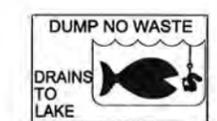


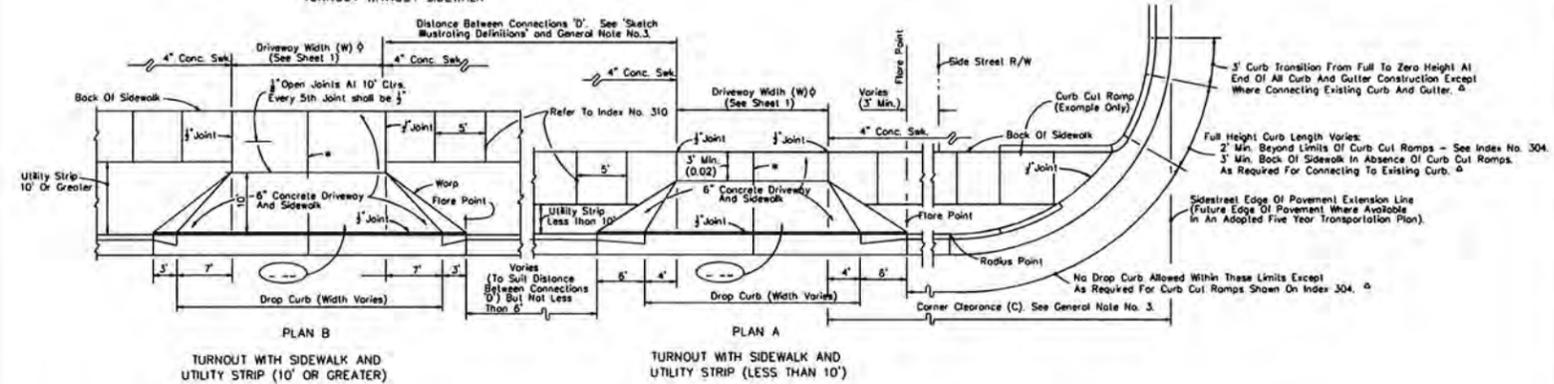
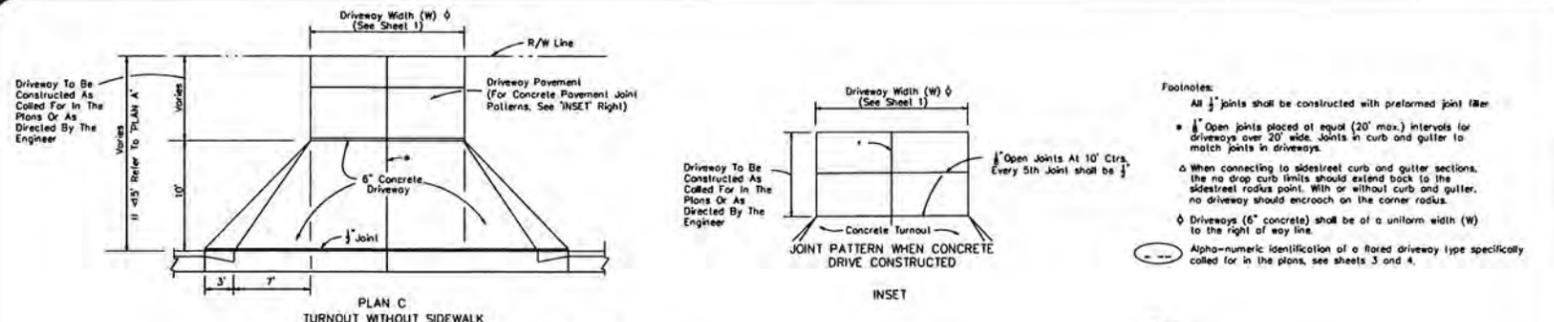
PLATE SHALL BE ADDED TO STORMWATER INLETS AS REQUIRED BY THE CITY.

DATE	ITEM	DESCRIPTION
4/4/14	1	Deleted Underdrain Detail

City of Winter Garden, Florida  
STANDARDS AND SPECIFICATIONS  
For Roadway & Drainage Construction



GENERAL NOTES  
FOR  
PUBLIC SERVICES



**Footnotes:**

- All  $\frac{1}{2}$ " joints shall be constructed with preformed joint filler.
- Open joints placed at equal (20' max.) intervals for driveways over 20' wide. Joints in curb and gutter to match joints in driveways.
- When connecting to sidewalk curb and gutter sections, the no drop curb limits should extend back to the sidewalk radius point. With or without curb and gutter, no driveway should encroach on the corner radius.
- Driveways (6" concrete) shall be of a uniform width (W) to the right of way line.
- Alpha-numeric identification of a flared driveway type specifically called for in the plans, see sheets 3 and 4.

**SPECIAL NOTES FOR URBAN FLARED TURNOUTS**

- Driveway 6" concrete pavement and drop curb shall meet the material and construction requirements of Sections 522 and 520 respectively of the FDOT Standard Specifications. The driveway foundation shall meet the requirement of Subarticle 522-4.
- For details of drop curb and curb cut ramps refer to Index Nos. 300 and 304 respectively.
- Where turnouts are constructed within existing curb and gutter, the existing curb and gutter shall be removed either to the nearest joint beyond the flare point or to the extent that no remaining section is less than 5 feet long, and drop curb constructed in accordance with Notes Nos. 1 and 2.
- Cost for preformed joint filler shall be included in the cost for the concrete pavement (concrete sidewalk, 6" thick).
- For turnouts with radial returns see the requirements under the "Summary Of Geometric Requirements For Turnouts", the "General Notes", the details of "Rural Turnout Construction" and the detail of "Limits Of Clearing & Grubbing, Stabilization And Base At Intersections".
- Department maintenance of pavement shall extend out to the right of way or 2 feet back of sidewalk, whichever distance is less.
- The maintenance and operation of highway lighting, traffic signals, accidented equipment, and other necessary devices shall be the responsibility of a public agency.
- All pavement markings on the State highways, including acceleration and deceleration lane markings, and signing installed for the operation of the State highway shall be maintained by the Department.
- All signing and marking installed for the operation of the connection (such as stop bars and stop signs for the connection) shall be the responsibility of the permittee.
- Turnouts will be paid for under the contract unit price for Sidewalk Concrete (6" Thick), 57.

**DESIGN NOTES FOR URBAN FLARED TURNOUTS**

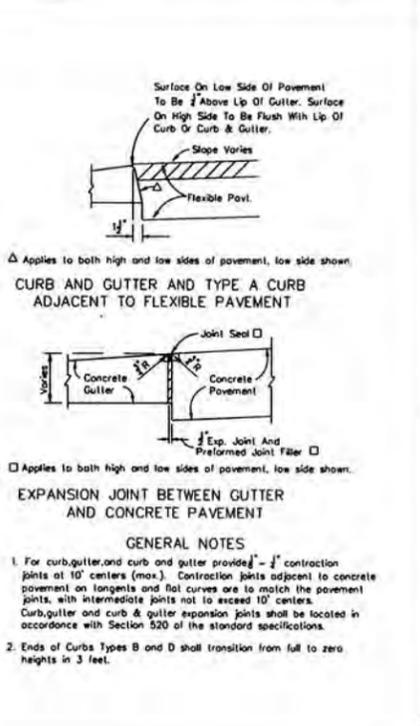
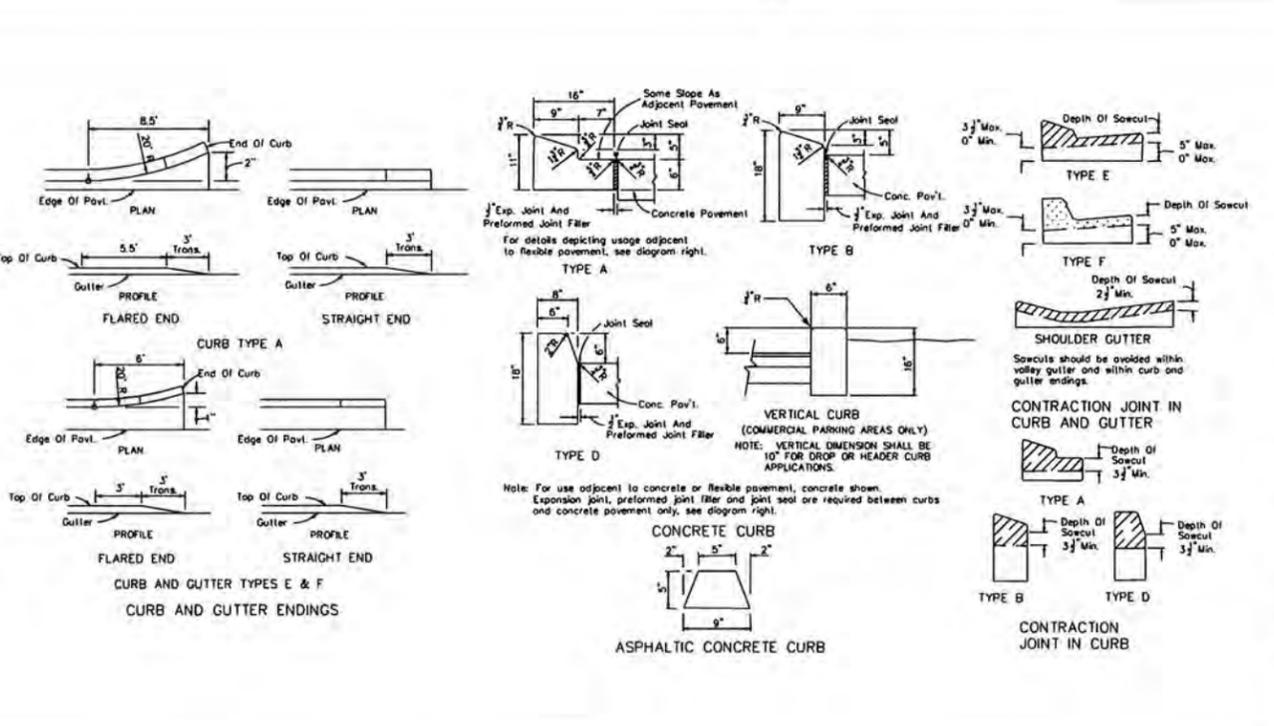
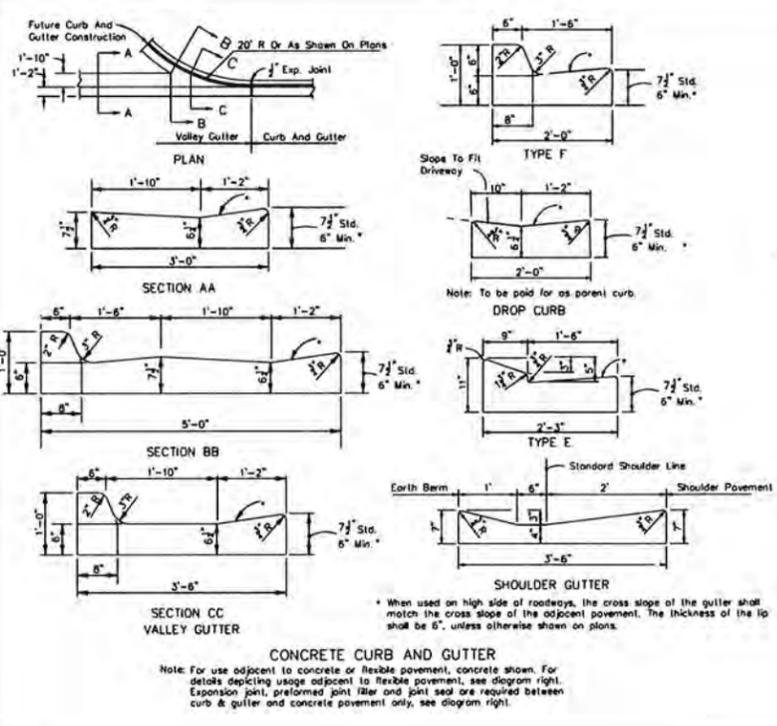
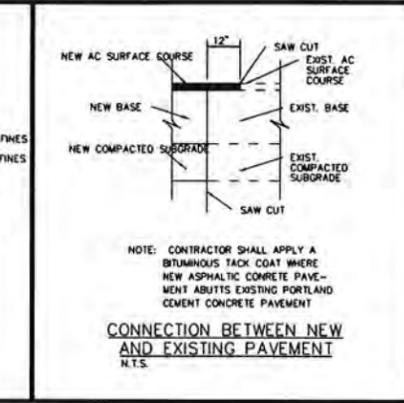
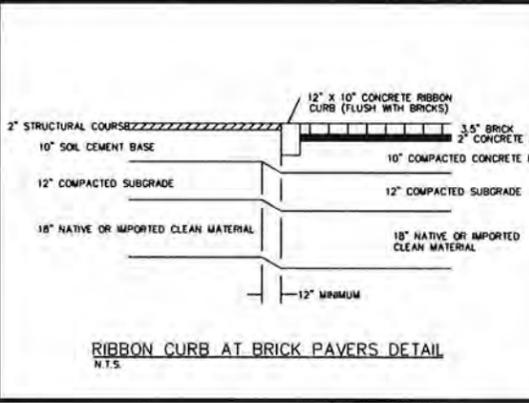
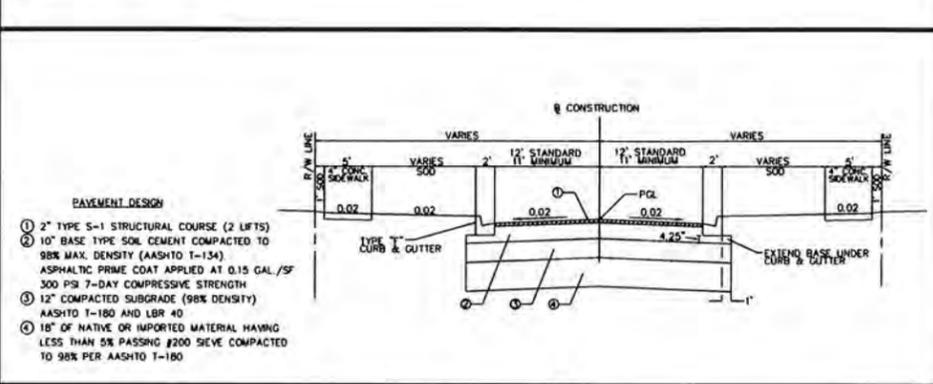
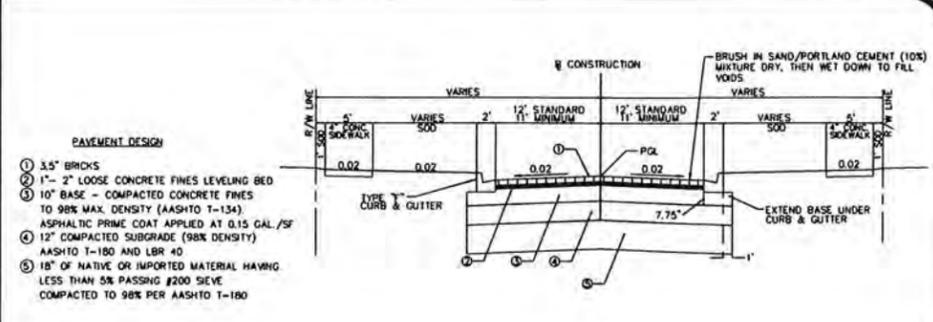
- Driveways indicated as "Adverse Applications" are those with slopes that can cause overhang drop for representative standard passenger vehicles under fully loaded conditions; or, those with slopes that can cause drivers who are leaving the roadway to slow or pause to the extent that traffic demand volumes will be impeded.
- The standard flared driveways on this index may not accommodate vehicles with low beds, low undercarriage or low appendage features. Where such vehicles are design vehicles driveways are to have site specific flare designs or Category --- designs.
- When specific flare type driveways are to be constructed, the type shall be designated in the plans using the assigned alpha-numeric designation.

Driveways indicated as "Marginal Applications" are those with slopes that can cause overhang drop for representative standard passenger vehicles under fully loaded conditions when the driveway is located on the low side of fully super-elevated roadways.

Driveways indicated as "General Applications" are those with slopes that can readily accommodate representative standard passenger vehicles and those that can accommodate representative standard trucks, vans, buses and recreational vehicles operating under normal crown and super-elevation conditions.

Note: See sheet 1 for "GENERAL NOTES"

**URBAN FLARED TURNOUTS**  
N.T.S.  
PER INDEX No. 515 OF THE F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS



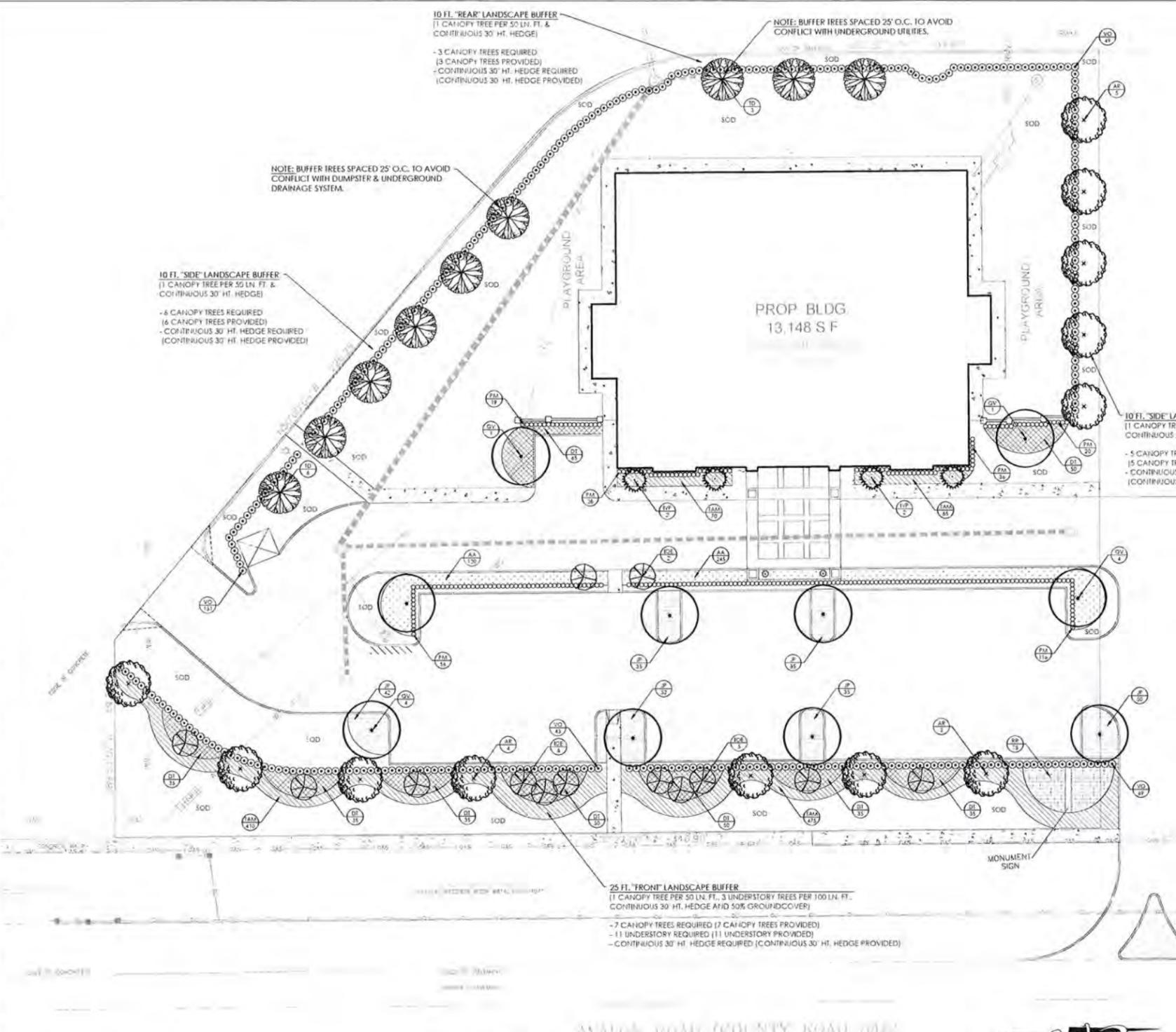
DATE	4/4/19
ITEM	Brick Typical Section
No.	1
02 > - 02 01	

City of Winter Garden, Florida  
**STANDARDS AND SPECIFICATIONS**  
For Roadway & Drainage Construction



STANDARD DETAILS FOR PUBLIC SERVICES

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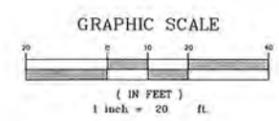
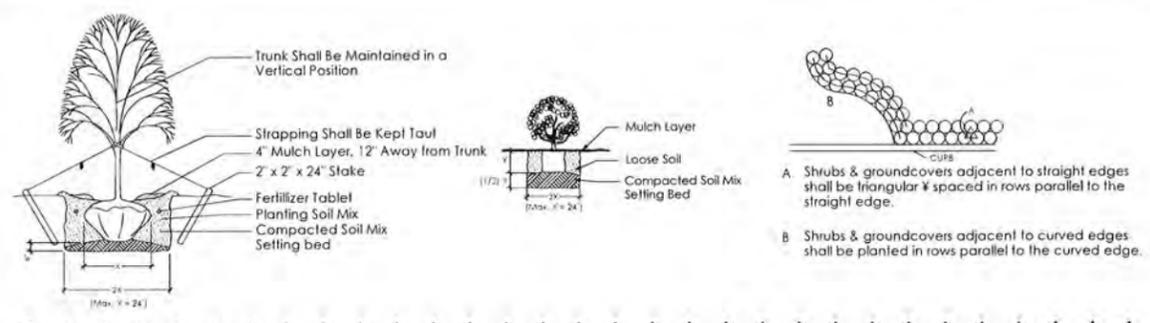
**PLANT MATERIALS LEGEND**

SYMBOL	KEY	QNTY.	COMMON/BOTANICAL NAME	SPECIFICATIONS/DESCRIPTION
	QV	10	Live Oak <i>Quercus virginiana</i>	3" Min. Cal., 12' - 14' HI.
	AR	12	Red Maples <i>Acer rubrum</i>	3" Min. Cal., 12' - 14' HI.
	TD	9	Bald Cypress <i>Taxodium distichum</i>	3" Min. Cal., 12' - 14' HI.
	IOE	13	Eagleston Hollies <i>Ilex opaca 'Eagleston'</i>	2" Cal., 8' - 10' HI., 30 Gal.
	IVP	4	Weeping Yaupon Hollies <i>Ilex vomitoria 'Pendula'</i>	2" Cal., 8' - 10' HI., 30 Gal.
	VO	312	Sweet Viburnum <i>Viburnum odoratissimum</i>	30" HI., 7 Gal., 30" O.C.
	PM	275	Podocarpus <i>Podocarpus macrophyllus</i>	18" HI., 3 Gal., 18" O.C.
	RR	75	Red Knock Out Roses <i>Rosa 'Red Knock Out'</i>	10" - 12" O.A. 3 Gal., 24" O.C.
	JP	249	Parson's Juniper <i>Juniperus chinensis 'Parsonii'</i>	10" - 12" Sprd., 1 Gal., 24" O.C.
	DT	390	Variegated Flax Lily <i>Dianella tasmanica</i>	10" - 12" Sprd., 1 Gal., 24" O.C.
	AA	365	Lily of the Nile <i>Agapanthus africanus</i>	10" - 12" Sprd., 1 Gal., 24" O.C.
	TAM	1,020	Dwarf Asiatic Jasmine <i>Trachelospermum asiaticum 'Minima'</i>	Full, 1 Gal., 18" O.C.
	SOD	TBD	St. Augustine 'Floratan' Sod	Repair Existing Sod As Needed
	MULCH	TBD	Pine Bark Mulch	3" Minimum Depth, All Planting Areas

**LANDSCAPE GENERAL NOTES**

- The Landscape Contractor shall insure that this work does not interrupt established or projected drainage patterns. The Landscape Contractor shall insure adequate vertical drainage in all plant beds and planters. Vertical drilling through any compacted fill to native soil shall be accomplished to insure drainage.
- The Landscape Contractor shall be responsible for all materials and all work as called for on the landscape plans and in the landscape specifications. The list of plant quantities accompanying the plans shall be used as a guide only. Contractor shall verify all quantities and report any discrepancies at the time of bidding.
- All plant materials shall be graded Florida No. 1 or better, as outlined under Grades and Standards for Nursery Plants, Division of Plant Industry, State of Florida, unless otherwise noted.
- All plant beds and tree rings shall be top dressed with a 3" minimum depth of pine bark nuggets.
- The Landscape Contractor shall be wholly responsible for stability and plumb condition of all trees and shrubs. Staking of trees or shrubs, if desired or requested by the Landscape Architect or owner, shall be done utilizing a method agreed upon by the Landscape Architect.
- All specimen plant material shall be approved by the Landscape Architect prior to movement to the job site.
- Sod to the edge of existing trees; sod line to be a smooth, manicured line as indicated on the plans. Bedlines to be approved by the Landscape Architect prior to installing sod.
- No fill material or use of heavy equipment around existing trees is allowed. Existing trees are to be protected by a wood barricade erected in compliance with local codes.
- The Landscape Contractor is responsible for testing project soils. The Landscape Contractor is to provide a certified soils report to the Owner and Landscape Architect. The Landscape Contractor shall verify that the soils on site are acceptable for proper growth of the proposed plant material. Should the Landscape Contractor find poor soil conditions, the Owner and Landscape Architect must be consulted prior to planting.
- All grades, dimensions and existing conditions shall be verified by the Contractor on site before construction begins. Any discrepancies shall be brought to the attention of the Landscape Architect.
- All proposed trees to be installed either entirely in or entirely out of planting beds. Planting bedlines are not to be obstructed; smooth and flowing.
- The Landscape Contractor shall review architectural/engineering plans to become thoroughly familiar with surface and subsurface utilities.
- The Landscape Contractor shall coordinate with the lighting and irrigation contractors regarding the timing of the installation of plant material.
- Every possible safeguard shall be taken to protect building surfaces, equipment and furnishings. Landscape Contractor shall be responsible for any damage or injury to person or property which may occur as a result of his negligence in the execution of work.
- Landscape improvements will be inspected prior to issuance of a certificate of occupancy. You must contact your local building department for a landscape inspection.

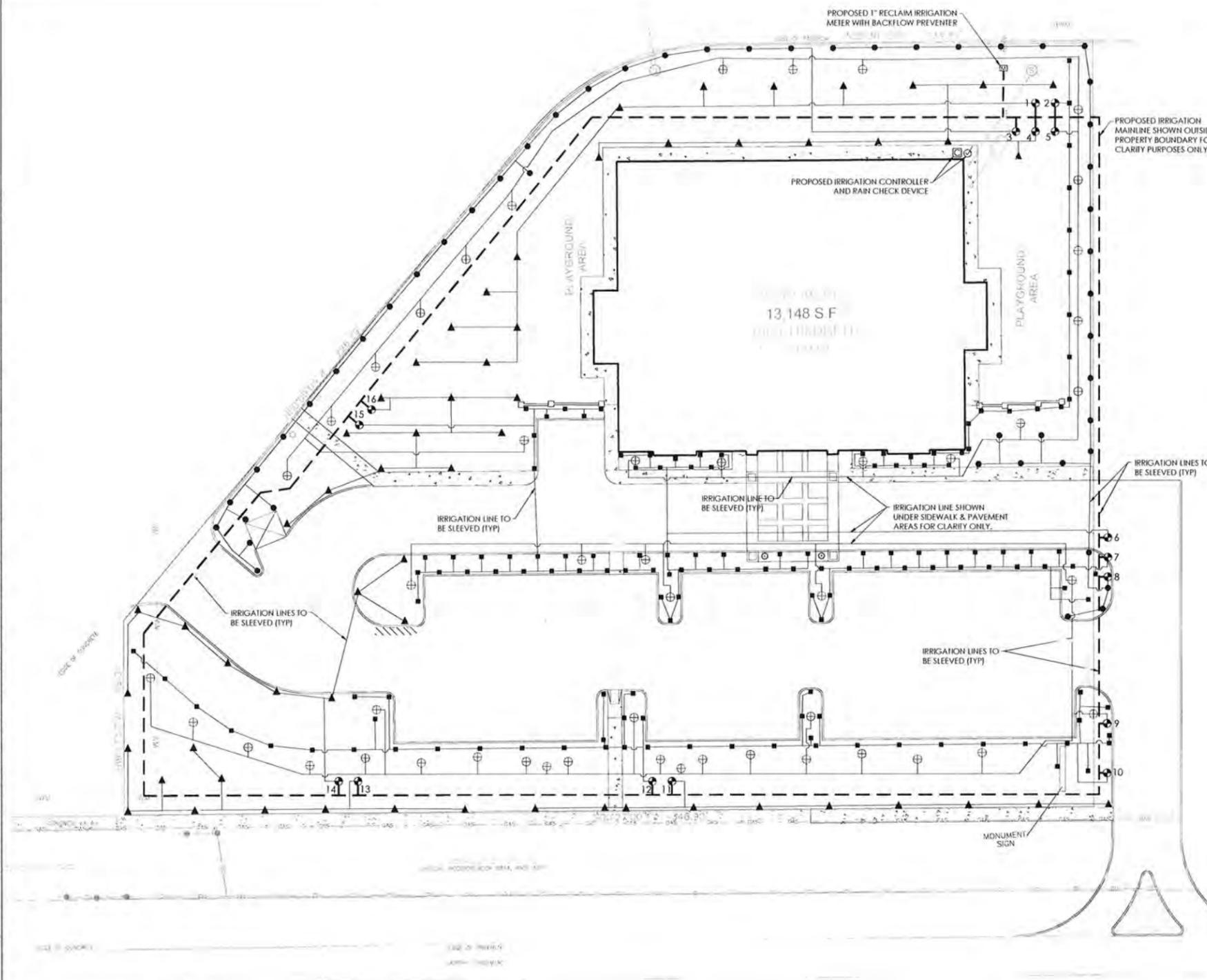
**PLANTING DETAILS**



**LANDSCAPE PLAN**

3/26/14  
DRAWN BY: KB  
SHEET NUMBER  
**L-1**

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### IRRIGATION EQUIPMENT LEGEND

SYMBOL	SPECIFICATIONS/DESCRIPTION
	PROPOSED 1" RECLAIM IRRIGATION METER WITH BACKFLOW PREVENTER
	HUNTER REMOTE RAIN CHECK DEVICE
	RAINBIRD ESP-LX 16 STATION IRRIGATION CONTROLLER
	RAINBIRD 1" PGA ELECTRIC VALVE INSTALLED IN A 12" AMETEK VALVE BOX WITH PURPLE LID, INSTALLED LEVEL WITH GRADE
	IRRITROL BUBBLERS (INSTALLED USING A 1/2" FLEX PIPE WITH A MINIMUM OF 12" LENGTH)
	HUNTER MINI-ROTOR SPRAY HEADS WITH RECLAIM (PURPLE) CAPS
	RAINBIRD 1812-PRS 12" POP-UP SPRAY HEADS WITH RECLAIM (PURPLE) CAPS
	RAINBIRD 1806-PRS 6" POP-UP SPRAY HEADS WITH RECLAIM (PURPLE) CAPS
	1 1/2" RECLAIM (PURPLE) IRRIGATION MAINLINE (CLASS 200 PVC)
	RECLAIM (PURPLE) IRRIGATION LATERAL LINES (TO BE SIZED & INSTALLED BY IRRIGATION CONTRACTOR)

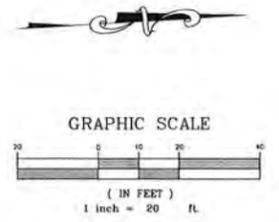
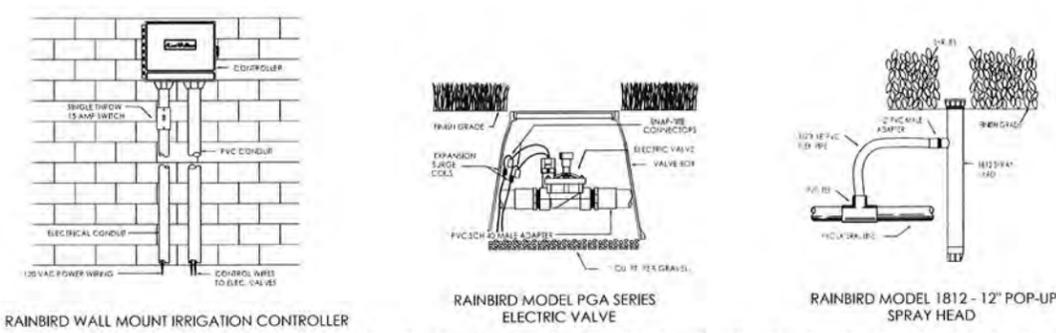
#### ADDITIONAL IRRIGATION NOTES:

1. ALL IRRIGATION LINES UNDER PAVED AREAS TO BE SLEEVED WITH SCH. 40 SLEEVING SIZED AT LEAST (2) TIMES THE DIAMETER OF THE IRRIGATION LINE SIZE.
2. IRRIGATION LINES SHOWN OUTSIDE OF PROPERTY LINES ARE FOR CLARIFICATION PURPOSES ONLY, ALL IRRIGATION COMPONENTS TO BE INSTALLED WITHIN PROPERTY BOUNDARY.
3. TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UTILITIES, FIELD ADJUST LAYOUT AS NECESSARY.

#### IRRIGATION GENERAL NOTES

1. THE IRRIGATION CONTRACTOR SHALL REFER TO THE LANDSCAPE PLAN WHEN TRENCHING TO LAY PIPE TO AVOID NEW AND EXISTING TREES AND LARGE SHRUBS.
2. ALL WIRING FROM THE IRRIGATION CONTROLLER TO THE REMOTE CONTROL VALVES SHALL BE UF-14/1 DIRECT BURIAL CABLE. ALL WIRE SPLICES SHALL BE MADE IN VALVE BOXES ONLY USING RAINBIRD SNAP-TITE CONNECTORS AND SEALANT.
3. UNLESS OTHERWISE INDICATED, PIPE TO A SINGLE SPRAY HEAD SHALL BE 1/2" PVC CL-315 PIPING.
4. ALL MAINLINE PIPING SHALL BE BURIED TO HAVE A MINIMUM COVER OF 18 INCHES, ALL LATERAL PIPING DOWNSTREAM OF THE MAINLINE SHALL BE BURIED TO HAVE A MINIMUM COVER OF 12 INCHES.
5. THE IRRIGATION CONTRACTOR SHALL COORDINATE WITH THE OWNER OR ARCHITECT ON THE EXACT LOCATION OF THE IRRIGATION CONTROLLER.
6. THE IRRIGATION CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS AT THE SITE PRIOR TO COMMENCEMENT OF WORK UNDER THIS CONTRACT.
7. ALL IRRIGATION INSTALLATION SHALL CONFORM TO LOCAL CODES AND REGULATIONS.
8. ALL PIPING ON THE PLANS IS DIAGRAMMATICALLY ROUTED FOR CLARITY AND SHALL BE ROUTED TO AVOID NEW AND EXISTING PLANTS. DESIGN MODIFICATIONS SHALL ONLY BE MADE AS NECESSARY TO MEET FIELD CONDITIONS AND ONLY UPON APPROVAL OF THE LANDSCAPE ARCHITECT.
9. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL ADJUSTMENT OF THE SPRINKLERS ARC AND RADIUS TO ASSURE 100 PERCENT COVERAGE.
10. 115 VOLT, SINGLE PHASE ELECTRICAL POWER IS REQUIRED TO OPERATE THE IRRIGATION CONTROLLER. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION OF THE POWER WITH THE OWNER OR OWNER'S REPRESENTATIVE. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO SEE THAT THE CONTROLLER IS WIRED IN ACCORDANCE WITH ALL ELECTRICAL CODES BY A LICENSED ELECTRICIAN. ALL MATERIALS NECESSARY TO WIRE THE CONTROLLER SHALL BE FURNISHED BY THE IRRIGATION CONTRACTOR.
11. THE IRRIGATION CONTRACTOR SHALL CHOOSE THE APPROPRIATE NOZZLES TO PROVIDE MAXIMUM COVERAGE.
12. ALL LANDSCAPE IRRIGATION SYSTEMS SHALL BE LOW-VOLUME IRRIGATION SYSTEMS. A LOW-VOLUME IRRIGATION SYSTEM IS DESIGNED TO PROVIDE NO MORE THAN THE MINIMUM AMOUNT OF WATER REQUIRED BY ANY SPECIFIC LANDSCAPE MATERIAL TO ENSURE SURVIVAL OF THAT MATERIAL. SUCH A SYSTEM UTILIZES A COMBINATION OF SPRINKLER MECHANISMS AND ZONES TO ACCOMMODATE THE INDIVIDUAL IRRIGATION REQUIREMENTS OF EACH TYPE OF LANDSCAPE MATERIAL, INCLUDING TREES, SHRUBS, ORNAMENTALS AND TURF AREAS.
13. ALL UNDERGROUND IRRIGATION SYSTEMS SHALL BE REGULATED BY AN AUTOMATIC TIMER OR CONTROLLER.
14. THE DESIGN OF THE IRRIGATION SYSTEM SHALL INCLUDE SPRINKLER HEADS AND DEVICES APPROPRIATE FOR THE LANDSCAPE MATERIALS TO BE IRRIGATED.
15. LOW TRAJECTORY HEADS OR LOW-VOLUME WATER DISTRIBUTING DEVICES SHALL BE USED TO IRRIGATE CONFINED AREAS IN ORDER TO PREVENT OVERSPRAY ONTO IMPERVIOUS AREAS.
16. IRRIGATION SYSTEMS SHALL BE DESIGNED TO PLACE HIGH WATER DEMAND AREAS, SUCH AS LAWNS, ON SEPARATE ZONES FROM THOSE AREAS WITH REDUCED WATER REQUIREMENTS.
17. AUTOMATICALLY CONTROLLED IRRIGATION SYSTEMS SHALL BE OPERATED BY AN IRRIGATION CONTROLLER THAT IS CAPABLE OF IRRIGATING HIGH REQUIREMENT AREAS.

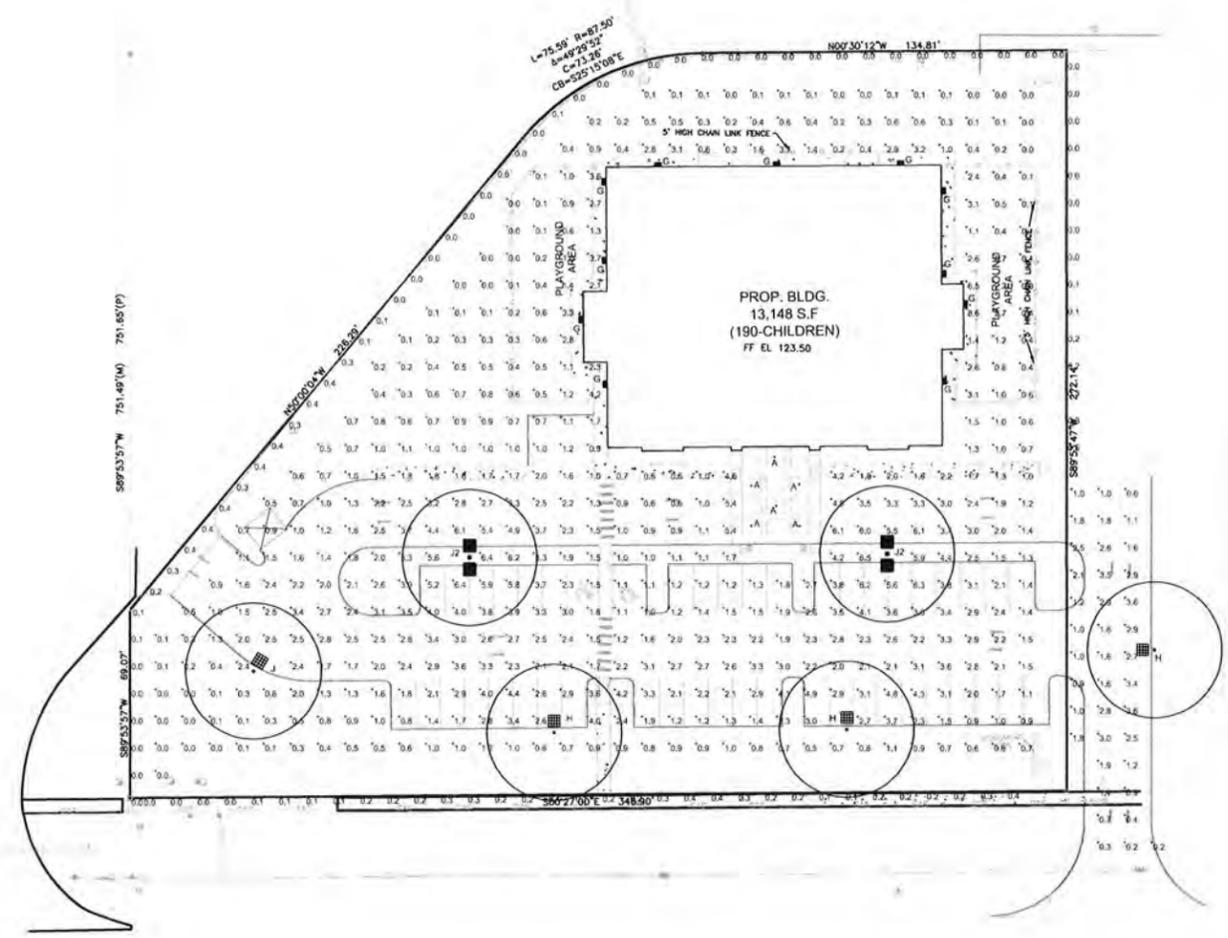
### IRRIGATION DETAILS



## IRRIGATION PLAN

	5/15/14
	5/02/14
	3/26/14
DRAWN BY: KB	
SHEET NUMBER	
L-2	

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**A SITE LIGHTING PHOTOMETRIC PLAN**  
SCALE: 1" = 30'-0"

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts	Mounting height
○	A	6	6100MH016810CL	FORMED STEEL HOUSING, SPUN SPECULAR ALUMINUM REFLECTOR, NO ENCLOSURE.	ONE COATED SYLVANIA M100/CU 100 WATT ED17 METAL HALIDE RATED AT 7500 LUMENS.	LT106372ies	7800	0.81	100	12'-0" (Under Canopy)
■	G	11	D443-42C-C-F	Trapezoidal Performance Source FORWARD THROW TYPE SPECULAR REFLECTOR FLAT CLEAR TEMPERED GLASS LENS.	42W CFL	D443-42C-C-FT.IES	3200	0.81	58	10'-0"
■	H	3	KSF2 250M R3 HS (PULSE START)	Specification Area Luminaire, 250W Metal Halide, R3 Reflector with house-side shield, Full Cutoff MEETS THE "NIGHTTIME FRIENDLY" CRITERIA	ONE (1) 250 WATT CLEAR BT28 PULSE START METAL HALIDE LAMP IN HORIZONTAL POSITION	KSF2_250M_R 3_HS_(PULSE_START).ies	22500	0.81	288	25'-0"
■	J	1	KSF2 250M R4SC (PULSE START)	Specification Area Luminaire, 250W Metal Halide, R4SC Sharp Cutoff Reflector, Full Cutoff MEETS THE "NIGHTTIME FRIENDLY" CRITERIA	ONE (1) 250 WATT CLEAR BT28 PULSE START METAL HALIDE LAMP IN HORIZONTAL POSITION	KSF2_250M_R 4SC_(PULSE_START).ies	22500	0.81	288	25'-0"
■	J2	2	KSF2 250M R5S (PULSE START)	Specification Area Luminaire, 250W Metal Halide, R5 Square Reflector, Full Cutoff MEETS THE "NIGHTTIME FRIENDLY" CRITERIA	ONE (1) 250 WATT CLEAR BT28 PULSE START METAL HALIDE LAMP IN HORIZONTAL POSITION	KSF2_250M_R 5S_(PULSE_START).ies	22500	0.81	576	25'-0"

PROVIDE DIRECT BURIAL CONCRETE POLES FOR MOUNTING HEIGHT INDICATED

STATISTICS					
Description	Symbol	Avg	Max	Min	AvgMin
Overall Site	+	1.8 fc	8.6 fc	0.0 fc	N/A
Property Line	+	0.1 fc	0.5 fc	0.0 fc	N/A

KTD Consulting Engineers  
ALTIMONTE SPRINGS, FL 32714  
CHANTILLY, VA 20151  
14019

MICHAEL L. DODANE  
FL-PE# 0044665

**LADYBIRD GROUP**  
1540 International Pkwy, Suite 3010  
Lake Mary, Florida 32746

**Ladybird**  
D A Y C A R E  
Avalon Road (County Road 545)  
Winter Garden, Florida

**SITE LIGHTING PHOTOMETRIC PLAN**

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revisions:  
ZONING 05/01/14

sheet number  
**E1.1**  
cadd filename  
14019-E-SITE  
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**A FRONT ELEVATION (EAST)**  
SCALE: 1/8" = 1'-0"



**B RIGHT ELEVATION (NORTH)**  
SCALE: 1/8" = 1'-0"



**C REAR ELEVATION (WEST)**  
SCALE: 1/8" = 1'-0"



**D LEFT ELEVATION (SOUTH)**  
SCALE: 1/8" = 1'-0"

MATERIALS	
FASCIA / RAISED STUCCO BANDS / COLUMNS - SW WHITE (STOREFRONT / ALUMINUM WINDOWS - PREFINISHED WHITE)	
EFS WHITE	PANT SW WHITE
FIELD AREA - "LADYBIRD YELLOW" - BUTTER UP SW 6681	
EFS "PAREX" PX# 54386 YELLOW - SWIRL FINE	PANT
BASE AREA -	
EFS "PAREX" PX# 54385 TAN - SAND COARSE	PANT TATAMI TAN SW

SEAL

**LADYBIRD GROUP**  
1540 International Pkwy, Suite 3010  
Lake Mary, Florida 32746

**Ladybird**  
D A Y C A R E  
Avilion Road (County Road 545)  
Winter Garden, Florida  
EXTERIOR ELEVATIONS

**Rodney Jefferson Architect**  
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South Carolina - 10000    North Carolina - 10000  
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revisions:  
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5/1/14

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