



**For More Information, Contact:**

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**PLANNING & ZONING BOARD AGENDA**

To: Jimmy Dunn – Chairman  
Mac McKinney – Vice Chairman  
Heather Gantt  
H. Gerald Jowers  
Mark Maciel  
Rohan Ramlackhan  
Eric Weiss

Copy to: Mike Bollhoefer  
Dan Langley  
Kurt Ardaman  
Ed Williams  
Stephen Pash  
Laura Smith  
Kelly Carson

RE: Agenda – February 03, 2014 - 6:30 PM  
Commission Chambers, City Hall  
300 West Plant Street, Winter Garden

- 
1. **CALL TO ORDER**
  2. **ROLL CALL AND DETERMINATION OF QUORUM**
  3. **APPROVAL OF MINUTES FROM THE JANUARY 06, 2014 MEETING**  
**ANNEXATION / FUTURE LAND USE MAP AMENDMENT / REZONING (PUBLIC HEARING)**
  4. 426 West Plant Street “Shady Nook” – (Mcannuff Investments, LLC) **\*WITHDRAWN\***  
**Rezoning**  
Parcel ID # 23-22-27-2888-05-021  
**PRELIMINARY PLAT / FINAL PLAT / LOT SPLIT (PUBLIC HEARING)**
  5. 14365 Siplin Road “Mathews Grove” – (Dewberry / Bowyer-Singleton)  
**Preliminary Plat**  
Parcel ID # 27-22-27-0000-00-054
  6. 14362 Siplin Road “Black Lake Preserve” – (Hanover Capital Partners)  
**Preliminary Plat**  
Parcel ID # 34-22-27-0000-00-007, 34-22-27-0000-00-008, 34-22-27-0000-00-029  
**SPECIAL EXCEPTION PERMIT (PUBLIC HEARING)**
  7. 12403 West Colonial Drive (Main Street Mower, Inc.)  
**Special Exception Permit**  
Parcel ID # 24-22-27-0000-00-034

**VARIANCE (PUBLIC HEARING)**

8. 210 East Lafayette Street (Chokelal, Eric G.)  
**Variance**  
Parcel ID # 23-22-27-0908-00-270
9. 116 East Story Road (Lopez, Jorge)  
**Variance**  
Parcel ID # 23-22-27-6504-02-021

**SITE PLAN (PUBLIC HEARING)**

10. Florida Hospital of Winter Garden (Littlejohn Engineering Associates)  
**Site Plan**  
Parcel ID # 35-22-27-9398-00-002, 35-22-27-9398-01-110

**APPEAL OF ADMINISTRATIVE OFFICIALS DECISION (PUBLIC HEARING)**

11. 4020 Winter Garden Vineland Road "Shoppes at Lake Butler" – (Z Development Services)  
**Appeal of Administrative Official Decision**  
Parcel ID # 11-23-27-0000-00-026

12. **ADJOURNMENT**

To the next regular Planning and Zoning Board meeting on Monday, March 03, 2014 at 6:30 p.m. in City Hall Commission Chambers, 300 W. Plant Street, 1<sup>st</sup> floor.



**A REGULAR MEETING MINUTES  
PLANNING AND ZONING BOARD  
JANUARY 6, 2014**

**1. CALL TO ORDER/INVOCATION/PLEDGE OF ALLEGIANCE**

Chairman Jimmy Dunn called the meeting of the City of Winter Garden Planning and Zoning Board to order at 6:31 p.m. in the City Hall Commission Chambers. The invocation was given followed by the Pledge of Allegiance.

**2. ROLL CALL AND DETERMINATION OF QUORUM**

The roll was called and a quorum was declared present.

**MEMBERS PRESENT:**

Chairman James Dunn, Vice-Chairman Mac McKinney, Board Members: Heather Gantt, H. Gerald Jowers, Mark Maciel, Rohan Ramlackhan, and Eric Weiss

**MEMBERS ABSENT:**

None

**STAFF PRESENT:**

Attorney Christopher Conley, Community Development Director Ed Williams, Senior Planner Stephen Pash, Planner II Kelly Carson, and Customer Service Representative Kathy Rathel

**3. APPROVAL OF MINUTES**

Approval of minutes from the regular meeting held on December 2, 2013.

*Motion by Gerald Jowers to approve the above minutes. Seconded by Eric Weiss, the motion carried unanimously 7-0.*

**ANNEXATION / FUTURE LAND USE MAP AMENDMENT / REZONING  
(Public Hearing)**

**4. 1401 W. Plant Street (Lake Nona Development, LLC)**

Senior Planner Steve Pash presented an application for Annexation and Future Land Use designation for 1401 W. Plant Street. The property consists of a 4.54 ± acre enclave and the

applicant is requesting a designation of Low Density Residential. Staff recommends approval of Ordinances 14-07 and 14-08.

Lauren Cohn, of 1306 Brandy Lake View Circle in Brandy Creek Subdivision, spoke to oppose the Annexation. She wanted assurances for environmental easements to protect the existing wetlands and something to stop new homeowners from using Brandy Creek's private lake. Ms. Cohn asked what she could do to stop this construction as traffic was already congested on this section of Plant Street and the project would not benefit Winter Garden.

Chairman Dunn stated Ms. Cohn would need to present evidence to the Board as to why she objects, the Board would take the evidence as testimony and render a decision.

Board Member Weiss verified this was already Orange County Residential so there was nothing to stop the County from allowing homes to be built. This is to annex the enclave into the City limits.

*Motion by Gerald Jowers to recommend approval of the Annexation (Ordinance 14-07) for 1401 West Plant Street with Staff Recommendations (Attached Exhibit "A"). Secoded by Eric Weiss, the motion carried 6-0-1 with Mark Maciel abstaining.*

**5. 14365 Siplin Road - Mathews Grove Annexation (Dewberry / Bowyer-Singleton)**

Senior Planner Steve Pash presented a voluntary Annexation for property located at 14365 Siplin Road. The property consists of a 2.26± acre enclave and the applicant is requesting a designation of Low Density Residential Future Land Use. This property is part of the Mathews Grove PUD for rezoning. Staff recommends approval of Ordinances 14-04 and 14-05.

*Motion by Eric Weiss to recommend approval of 14365 Siplin Road Annexation and Future Land Use Amendment (Ordinances 14-04 & 14-05) with Staff Recommendations (Attached Exhibit "B"). Secoded by Mark Maciel, the motion carried unanimously 7-0.*

**6. 14365 Siplin Road – Mathews Grove (Dewberry / Bowyer-Singleton)**

Senior Planner Steve Pash presented a Planned Unit Development application for property located at 14365 Siplin Road. The Applicant is requesting to rezone the property from R-2 to PUD and build a single family subdivision with 155 lots. The subdivision with also contain 4 recreational parks. Staff recommends approval of Ordinance 14-06 to rezone the property with staff recommendations.

Board Member Weiss stated terminology used in the Ordinance that 'it appears that the subdivision will be gated or not gated'. He would like to have it clarified for street ownership.

Senior Planner Pash stated it could be clarified as the community would not be gated.

*Motion by Mark Maciel to recommend approval of 14365 Siplin Road Rezoning (Ordinance 14-06) with Staff Recommendations and to clarify the terminology that the community will not be gated (Attached Exhibit "C"). Seconded by Rohan Ramlackhan, the motion carried unanimously 7-0.*

### **VARIANCE**

**7. 1000 Avalon Road – Hickory Hammock Clubhouse & Recreation (Donald W. McIntosh Associates, Inc.**

Planner Kelly Carson presented a Variance application to allow the construction of a 10 foot tall fence around 2 tennis courts for the Hickory Hammock subdivision located at 1000 Avalon Road. The applicant is requesting the variance to construct the fence to tennis industry standards. The fence does not share any lot lines with residential home sites and 2 sides facing the street will be buffered by landscaping. Staff recommends approval.

*Motion by Mac McKinney to recommend approval of the Variance request at 1000 Avalon Road with Staff Recommendations (Attached Exhibit "D"). Seconded by Eric Weiss, the motion carried unanimously 7-0.*

### **PRELIMINARY PLAT**

**8. 12900 Roper Road – Canopy Oaks (Sift Oaks Investments, LLC)**

Planner Kelly Carson presented a Preliminary Plat application for the Canopy Oaks subdivision located at 12900 Roper Road. The applicant proposes to build 59 single family residences on 52.4± acres. The subdivision will consist of 2 distinct neighborhoods each with their own separate gated entrance with 24.81 acres of jurisdictional wetlands. The East neighborhood, consisting of 50 lots, will be constructed first then the West neighborhood of 9 lots. A 1.5± acre outparcel will remain undeveloped and fenced due to contamination. Staff recommends approval.

Andrea Jernigan-Gwinn with Civil/Site Engineering, Inc. of 815 Orange Ave, Suite 1060, Altamonte Springs Florida, is the engineer for the project and spoke to the Board to clarify items 7, 9 and 11 as noted and per their meeting with City Staff on November 5, 2013. Item #7: No plans for the sanitary force main to extend to the eastern property boundary but will extend the reuse and the potable water. Item #9: Will meet St. Johns River Water Management District permit requirements for the 'A' soils and recharge. Item #11: On western side there are only 9 lots so the reclaimed water for irrigation will be supplied by a 4" line.

Board Member Weiss stated this is the second time for this parcel to come before the Board and wanted to know if traffic studies would be looked into as it opens onto an access road for the High School. Planner Carson stated the developer has agreed to pay a fair share proportion of signaling Roper Road and Daniels Road.

Board Member McKinney questioned whether an illegal land fill found on a portion of the site had been abated. Planner Carson stated the owner of the site has agreed that the parcel (Parcel D) will not be developed and is stated as such in the Developer's Agreement.

*Motion by Eric Weiss to recommend approval of the Preliminary Plat at 12900 Roper Road with Staff Recommendations (Attached Exhibit "E"). Seconded by Heather Gantt, the motion carried unanimously 7-0.*

#### **ITEM #4 VOTING CLARIFICATION**

Planner Steve Pash asked for clarification on Item #4, 1401 West Plant Street. The motion to recommend approval was only for the Annexation and did not include the Future Land Use designation.

*Motion by Gerald Jowers to recommend approval of the Future Land Use designation (Ordinance 14-08) for 1401 West Plant Street with Staff Recommendations (Attached Exhibit "A"). Seconded by Eric Weiss, the motion carried 6-0-1 with Mark Maciel abstaining.*

#### **9. ADJOURNMENT**

There being no further business, the meeting was adjourned at 6:57 p.m.

**APPROVED:**

**ATTEST:**

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**Chairman Jimmy Dunn**

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**Customer Service Rep Kathy Rathel**

**EXHIBIT "A"**

**CITY OF WINTER GARDEN**  
**PLANNING & ZONING DIVISION**  
300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

**STAFF REPORT**

**TO:** PLANNING AND ZONING BOARD  
**PREPARED BY:** LAURA SMITH, SENIOR PLANNER  
**DATE:** JANUARY 2, 2014  
**SUBJECT:** ANNEXATION -FLU AMENDMENT  
1401 WEST PLANT STREET (4.54 +/- ACRES)  
PARCEL ID #: 22-22-27-0000-00-022  
**APPLICANT:** CITY OF WINTER GARDEN

**INTRODUCTION**

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located at 1401 West Plant Street and is approximately 4.54 ± acres. The map below depicts the proximity of the subject property to the City's jurisdictional limits:



The applicant has requested annexation into the City and amendment to the Future Land Use Map (FLUM) of the City's Comprehensive Plan to designate the property as Low Density Residential.

The City endorses infill of its jurisdictional limits through voluntary annexation of enclaves. The elimination of enclaves through voluntary annexation furthers the goals, objectives, and policies of the City's Comprehensive Plan.

#### **EXISTING USE**

The subject property is vacant, unimproved land with the Future Land Use Designation of Low Density Residential according to the Orange County Comprehensive Plan.

#### **ADJACENT LAND USE AND ZONING**

The property located to the north and west are also vacant, unimproved land located in Unincorporated Orange County. The properties to the south are located in the Brandy Creek Subdivision zoned R1-B in the City of Winter Garden. The property to the west vacant, unimproved land inundated by wetlands zoned R-1 within the City of Winter Garden.

#### **PROPOSED USE**

The owner is proposing to annex the property to develop a single family residential subdivision. At this time the applicant is analyzing the site to determine the appropriate zoning designation. A rezoning plan will be presented for consideration in the coming months.

#### **PUBLIC FACILITY ANALYSIS**

The City will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents including building permits. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department under the First Response System.

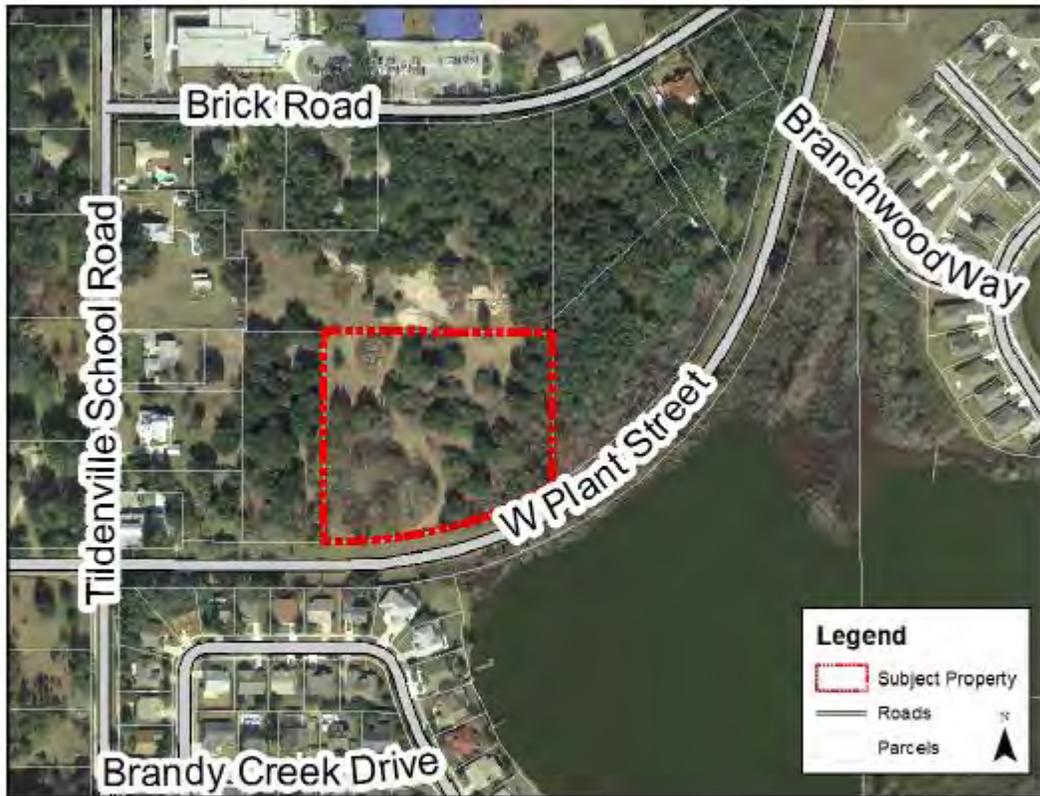
#### **SUMMARY**

City Staff recommends approval of the proposed Ordinances. Annexation will provide a more efficient delivery of services to the property and further the goals and objectives of the City of Winter Garden's Comprehensive Plan to eliminate enclaves. The Future Land Use proposed is consistent with the surrounding area.

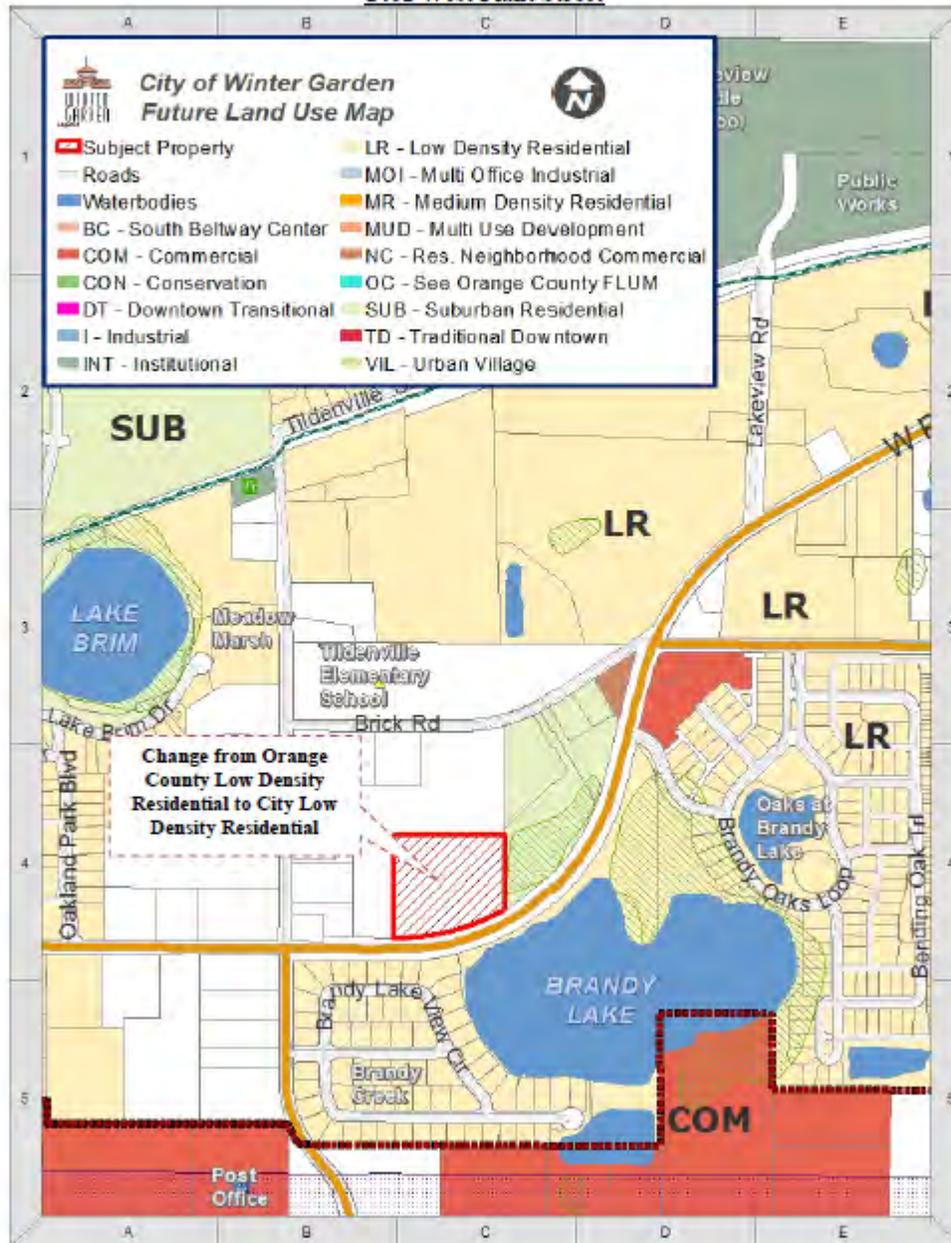
MAPS

AERIAL PHOTO

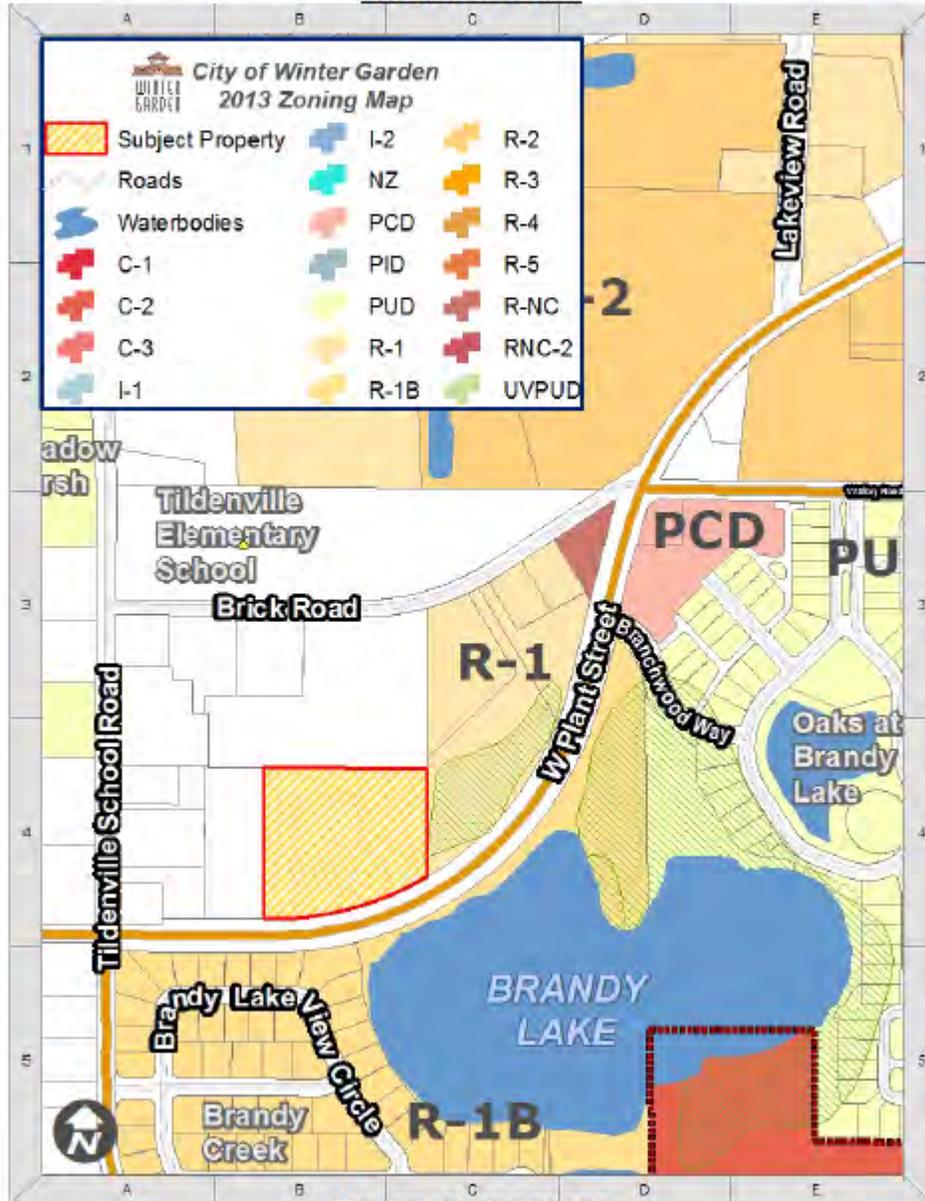
1401 West Plant Street



**FUTURE LAND USE MAP**  
**1401 West Plant Street**



**ZONING MAP**  
 1401 West Plant Street





The applicant has requested annexation into the City and amendment to the Future Land Use Map (FLUM) of the City's Comprehensive Plan to designate the property as Low Density Residential.

The City endorses infill of its jurisdictional limits through voluntary annexation of enclaves. The elimination of enclaves through voluntary annexation furthers the goals, objectives, and policies of the City's Comprehensive Plan.

#### **EXISTING USE**

The subject property is vacant, unimproved land with the Future Land Use Designation of Rural/Agricultural according to the Orange County Comprehensive Plan.

#### **ADJACENT LAND USE AND ZONING**

The property located to the north and west are also vacant, unimproved land located in Unincorporated Orange County. The property to the south and east are located in the Mathews Grove Subdivision which is currently zoned R-2 in the City of Winter Garden, but is currently being rezoned to PUD.

#### **PROPOSED USE**

The owner is proposing to annex the property to be included in the Mathews Grove single family residential subdivision. The property is owned by the same property owner and the 2.26 acres is located within the same parcel as the Mathews Grove single family residential subdivision, however due to an error in the legal description of the Mathews Grove property when it was annexed by Ordinance 90-65 in 1990 the 2.26± acre portion of the property was left out. The 2.26± property is inundated by wetlands and will not be developed, however the acreage is included in the rezoning of the Mathews Grove property to PUD by Ordinance 14-06.

#### **PUBLIC FACILITY ANALYSIS**

The City will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents including building permits. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department under the First Response System.

#### **SUMMARY**

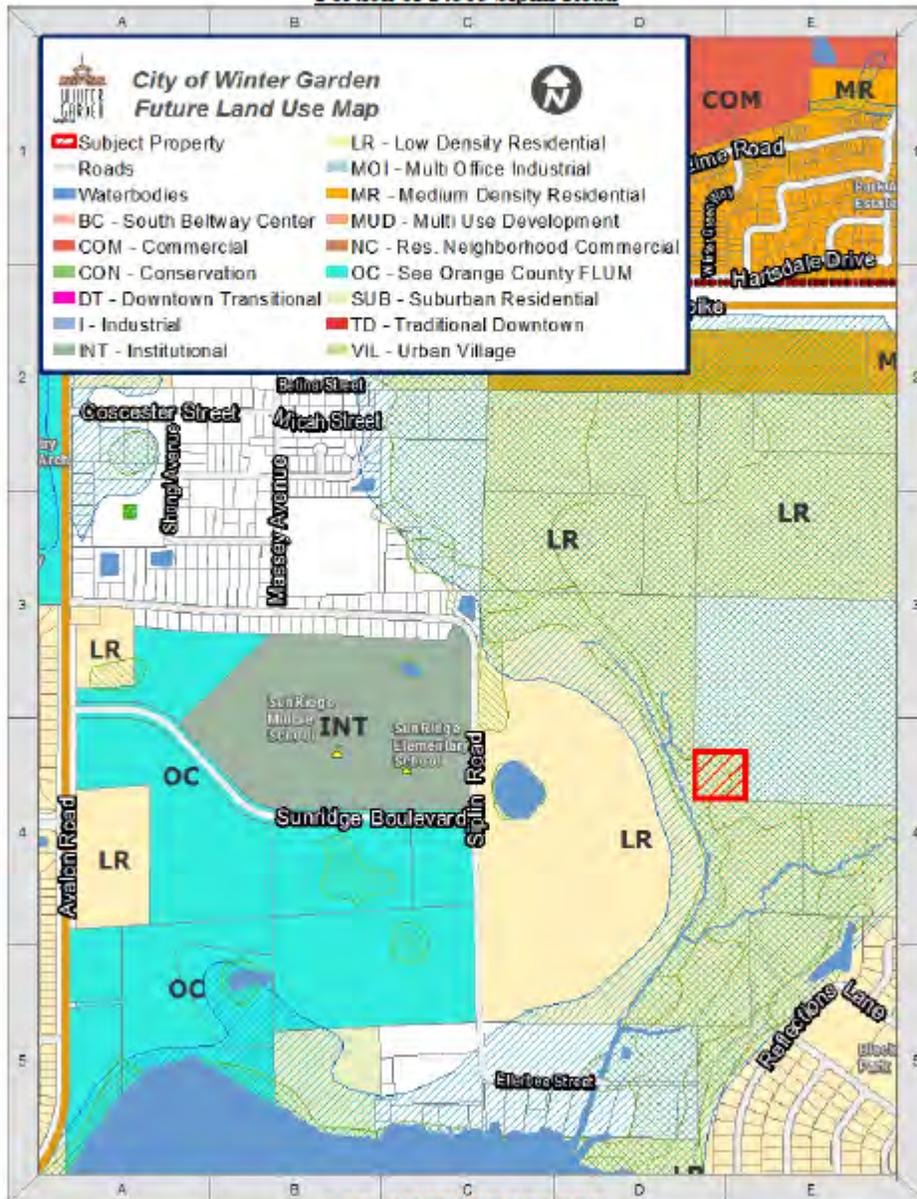
City Staff recommends approval of the proposed Ordinances. Annexation will provide a more efficient delivery of services to the property and further the goals and objectives of the City of Winter Garden's Comprehensive Plan to eliminate enclaves. The Future Land Use proposed is consistent with the surrounding area.

MAPS

**AERIAL PHOTO**  
**Portion of 14365 Siplin Road**



**FUTURE LAND USE MAP**  
**Portion of 14365 Siplin Road**



END OF STAFF REPORT

## EXHIBIT "C"

### CITY OF WINTER GARDEN PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

# STAFF REPORT

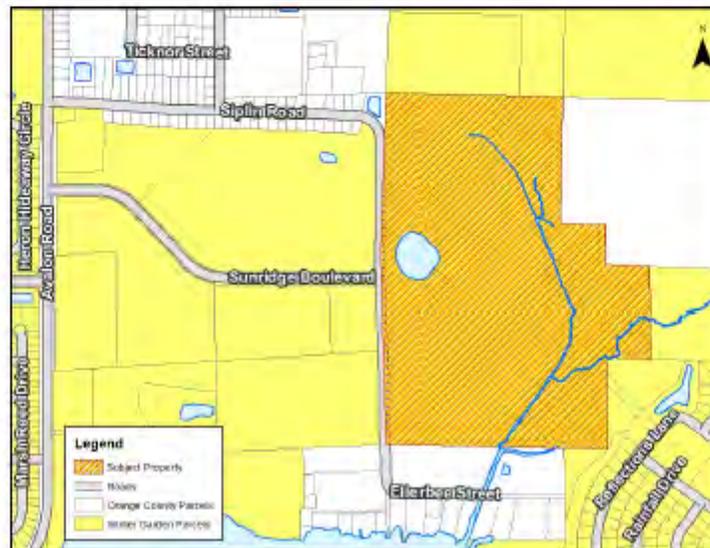
TO: PLANNING AND ZONING COMMITTEE  
PREPARED BY: LAURA SMITH, SENIOR PLANNER  
DATE: JANUARY 2, 2014  
SUBJECT: REZONING  
MATHEWS GROVE PROPERTY  
14365 SIPLIN ROAD (98.71 +/- ACRES)  
PARCEL ID # 27-22-27-0000-00-065

APPLICANT: ALI OF SIPLIN, LLC

#### INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located at 14365 Siplin Road and is approximately 98.71± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits.



The applicant is requesting to rezone 98.71± acres of land. The subject property is designated LR- Low Density Residential on the Future Land Use Map of the City's Comprehensive Plan and is currently designated R-2 on the City's Zoning Map (see attached maps).

#### EXISTING USE

The subject property is primarily vacant unimproved land; however there is one existing single family residential structure located on western portion of the property near the intersection of Siplin Road and SunRidge Blvd and another structure located on the northern half of the property. The structures have been cited by the City's Code Enforcement Department as unfit and will be demolished prior to commencement of site development.

#### ADJACENT LAND USE AND ZONING

The properties located to the west of the subject property include the new school site of SunRidge Middle School and SunRidge Elementary School in the City of Winter Garden, the Future Land Use Designation of the property is Institutional; and the recently approved Black Lake Preserve Subdivision zoned PUD. The properties located to the east are vacant properties located both within the City of Winter Garden and Orange County, primarily inundated with wetlands. Additionally located to the east of the subject property is Black Lake Park Subdivision which is zoned PUD and located within the City of Winter Garden. The properties located to the south include several a Single Family Residential structures located in Unincorporated Orange County.

#### PROPOSED USE

The applicant proposes to develop the 98.71 ± acre site into a residential planned unit development containing 155 single-family dwelling units. The subdivision is proposed to have a gross density of 2.49 dwelling units per acre, the LR- Low Density Residential Future Land Use Designation allows up to 6 dwelling units per acre. The proposed subdivision will contain 4 recreational parks and 15.60 acres of open space.

The proposed project will contain a mixture of 65'x125' lots and 75'x125' lots, with a total of 93 lots at between 65' and 74' wide and 62 lots at 75' or wider.

#### PUBLIC FACILITY ANALYSIS

##### **Potable Water, Reclaimed Water, and Wastewater Services**

The proposed residential development will be served by and required to connect to City of Winter Garden water, wastewater, and reclaimed water which are available and have adequate capacity to serve the proposed residential development. At such time that the property is developed, all necessary utility lines will be extended and connections made, all extension and connection costs shall be borne by the property owner.

##### **Stormwater**

The stormwater retention/detention facilities designed to service the proposed development will meet or exceed the LOS Standards stated in Policy 4-1.1.1 of the Public Facilities Element included in the City of Winter Garden Comprehensive Plan. In addition, the

stormwater facilities will be designed in accordance with St. Johns River Water Management District and City of Winter Garden requirements.

#### **Common Recreation and Open Space**

The proposed residential development is located within the Wekiva Study Area Resource Protection Overlay, and in accordance with the City of Winter Garden Comprehensive Plan Future Land Use Element Policies 1-3.1.7 and 1-3.1.8 no less than 25% Wekiva Study Area Open Space shall be provided. None of the 25% Wekiva Study Area Open Space shall be chemically treated with pesticides to establish sensitive natural habitat.

To the greatest extent possible, 5% of the developable area of the Property shall be set aside for passive, dry-land recreational use. In the event that this requirement cannot be met wholly or in part, then a financial contribution in accordance with Chapter 110, Article V, Division 2 of the City Code of Ordinances shall be made to the City Recreation Fund to fulfill the requirement.

The proposed development will have 18.98 +/- acres of open space, consisting of Wekiva Study Area Open Space and passive, dry-land recreational uses.

All of the common recreation and open space will be maintained by a homeowner's association and available to the residents. The developer shall establish a homeowner's association in accordance with Chapter 720, Florida Statutes and having governing documents in compliance with Chapter 110 of the City of Winter Garden Code of Ordinances.

#### **Environment**

The subject property is located within the Wekiva Study Area Resource Protection Overlay. The developers are required to provide a minimum of 25% of the gross developable area as Wekiva Open Space as stated in Policies 1-3.1.7 and 1-3.1.8 of the Future Land Use Element included in the City of Winter Garden Comprehensive Plan.

#### **Transportation**

The property's primary point of vehicular access is from the intersection of SunRidge Blvd and Siplin Road which will continue to be the primary access point with the development of the property. With the development of this property and in conjunction with the development of the Black Lake Preserve property located on the west side of Siplin Road, there will be a realignment of Siplin Road through the Mathews Grove property.

#### **Other Services**

The City will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents including building permits. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department under the First Response System.

**SUMMARY**

City Staff recommends approval of the proposed Ordinance subject to the following condition:

- Prior to any further approvals the property owner shall enter into a Developer's Agreement which, in addition to other commitments, specifies the cooperation and obligations of the Black Lake Preserve owner/developer and the Mathews Grove owner/developer to construct the realignment of Siplin Road and a joint lift station.

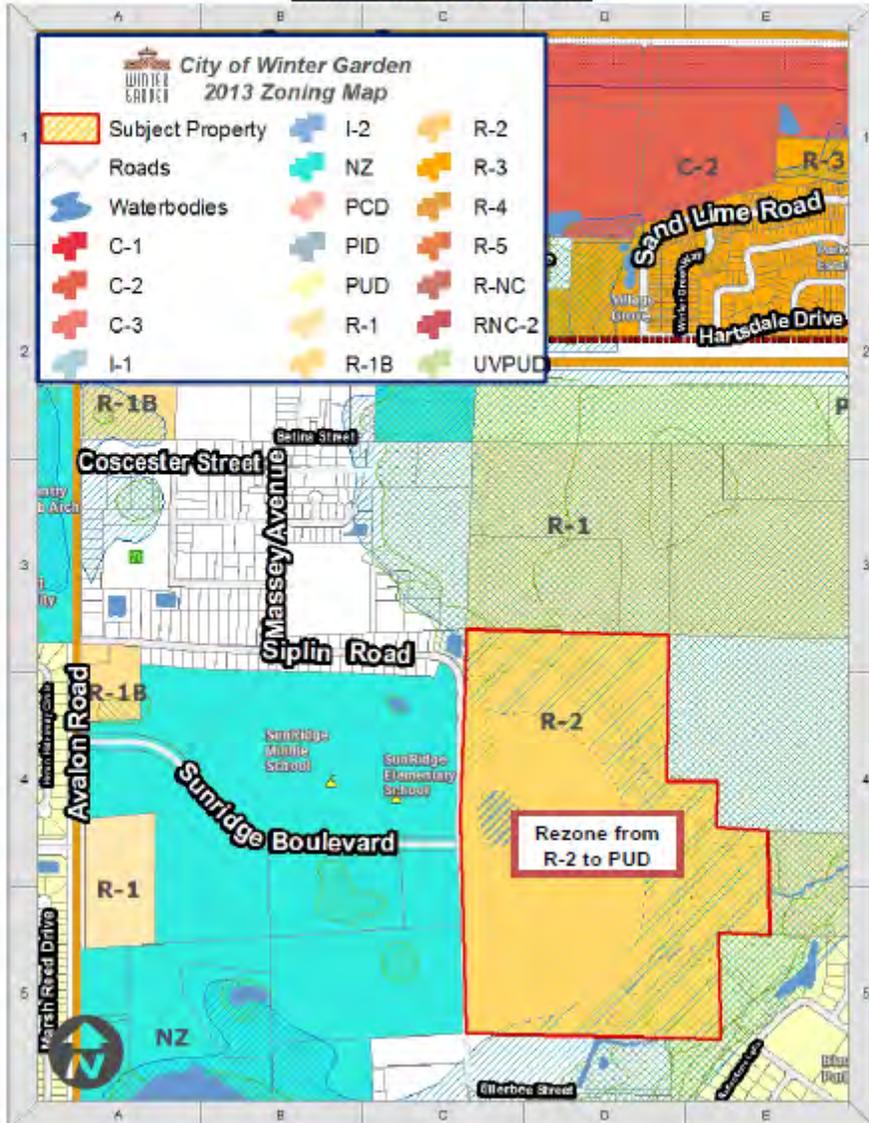
Rezoning the subject property from City R-2 to City PUD is consistent with the Future Land Use Map of the City's Comprehensive Plan, and is consistent with the trend of development in the area. The proposed development is compatible and consistent with the uses in the surrounding area. The proposed development of the subject property is consistent with the goals, objectives and policies of the City's Comprehensive Plan and land development regulations.

**MAPS**

**AERIAL PHOTO  
MATHES GROVE SUBDIVISION**



**ZONING MAP**  
**MATHEWS GROVE SUBDIVISION**





## EXHIBIT "D"

### CITY OF WINTER GARDEN PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

# STAFF REPORT

**TO:** PLANNING AND ZONING BOARD  
**PREPARED BY:** LAURA SMITH, SENIOR PLANNER  
**DATE:** JANUARY 2, 2014  
**SUBJECT:** VARIANCE  
1000 AVALON ROAD (6.52+/- ACRE RECREATION/CLUBHOUSE TRACT)  
PARCEL ID # 33-22-27-0000-00-003

**APPLICANT:** Ryland Group, Inc. & M/I Homes of Orlando, LLC

#### INTRODUCTION

The purpose of this report is to evaluate the request for a fence height variance for property located at 1000 Avalon Road in Winter Garden, Florida. The request is for a 10 foot tall fence in lieu of the 6 foot tall fence permitted by City Code. If approved, this variance will allow a 10 foot tall chain link fence to be constructed around a community tennis court amenity.

The subject property, located on within the Recreation/Clubhouse Tract within the Hickory Hammock project is approximately 6.52± acres and also includes a clubhouse, fitness center, swimming pool, playground and sand volleyball court. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting a fence height of 10 feet in lieu of the 6 foot maximum permitted by City Code. The subject property carries the zoning designation PUD (Planned Unit Development) and is designated SUB (Suburban Residential) on the Future Land Use Map of the City's Comprehensive Plan.

#### EXISTING USE

The subject property is currently vacant, however the site plan for the site includes a clubhouse, fitness center, swimming pool, playground, sand volleyball court and tennis courts.

#### ADJACENT LAND USE AND ZONING

The site is located within the center of the Hickory Hammock subdivision, the property adjacent to the Hickory Hammock subdivision to the west is the Crooked Lake Preserve subdivision, which was rezoned to PUD in 2012 but has not begun site development. To the east is Zion Evangelical Lutheran Church which is zoned PUD and the Stoneybrook West community which is zoned PUD. To the south is vacant property owned by the City of Winter Garden. Hickory Hammock is bordered on the north by Johns Lake.

#### PROPOSED USE

The applicant is seeking site plan approval for their Recreation/Clubhouse Tract which, among other amenities, includes a pair of tennis courts. The industry standard for fencing around tennis courts is 10 foot tall fencing; the applicant seeks a variance to construct the 10 foot fencing which exceeds the maximum 6 foot tall fencing permitted by City Code.

#### CODE REFERENCE

Sec. 118-1297 (3) *Rear yards.* Fences and walls in rear yards may be a maximum of six feet in height.

The applicant is seeking a variance to the maximum fence height requirements for fencing. The application for variance does not include any removal of trees on the property or addition of any new impervious surfaces.

#### CODE REQUIREMENTS /CRITERIA

##### Code Requirements/Criteria:

Section 118-131 of the City Code that relates to the review criteria states that, "A variance may be granted from land development regulations by the planning and zoning board if the planning and zoning board concludes that literal enforcement of the provisions of land development regulations would result in either practical difficulties (for setback and parking provisions) or unnecessary hardships (for all other land development regulations) for the property at issue." The code also lists the following criteria that are to be addressed before a variance can be approved. Underlined text is Staff's comments concerning this particular petition.

*(a) Granting the variance will not cause or allow interference with the reasonable enjoyment of*

*adjacent or nearby property owners or negatively impact the standard of living of the citizens of the city;*

The proposed 10 foot tall fence will not negatively impact or interfere with the reasonable enjoyment of adjacent or nearby property owners as the fence will be located around a pair of tennis courts, which do not share any lot lines with residential home sites, are proposed to be located at the corner of two intersecting streets and will include landscape buffers. Additionally, there were no comments received from any of the surrounding property owners regarding the requested variance.

*(b) The variance will allow a reasonable use of the property, which use is not out of character with other properties in the same zoning category;*

The requested variance allowing a 10 foot tall fence around a pair of tennis courts is reasonable use of the property since the location of the tennis courts is within the primary recreation/clubhouse amenity site for the Hickory Hammock subdivision. The 10 foot fence height is comparable to that used within City parks for tennis court fencing and is consistent with the industry standard for fencing around tennis courts.

*(c) In the context presented, strict compliance with the land development regulation will not further any legitimate city objective or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under this criteria if the variance were denied;*

Strict compliance with the City's land development regulations will not further any legitimate City objective. This request does not encroach into any recorded easement and does not add any new impervious surfaces to the property.

*(d) The granting of the variance is consistent with the city's comprehensive plan; and*

The variance is consistent with the provisions of the City's Comprehensive Plan relating to the inclusion of ample recreation and open space areas within Planned Unit Developments.

*(e) The variance requested is the minimum variance that will make reasonable use of the land, building, or structure or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under these criteria if the variance were denied.*

The variance requested is the minimum variance that will make reasonable use of the land, as the site was defined by the PUD zoning plan as the recreation/clubhouse tract and the tennis court amenity is a benefit to the residents within the subdivision and the tennis court amenity requires adequate fencing. Denying this variance does not benefit the property owner the residents within the subdivision or the City.

#### SUMMARY

City Staff recommends approval of the variance to allow construction of a 10 foot tall fence around the pair of tennis courts to be located within the recreation/clubhouse amenity tract.

#### NEXT STEP

Revise Sit Plan to reflect Variance and proceed with obtaining permits.

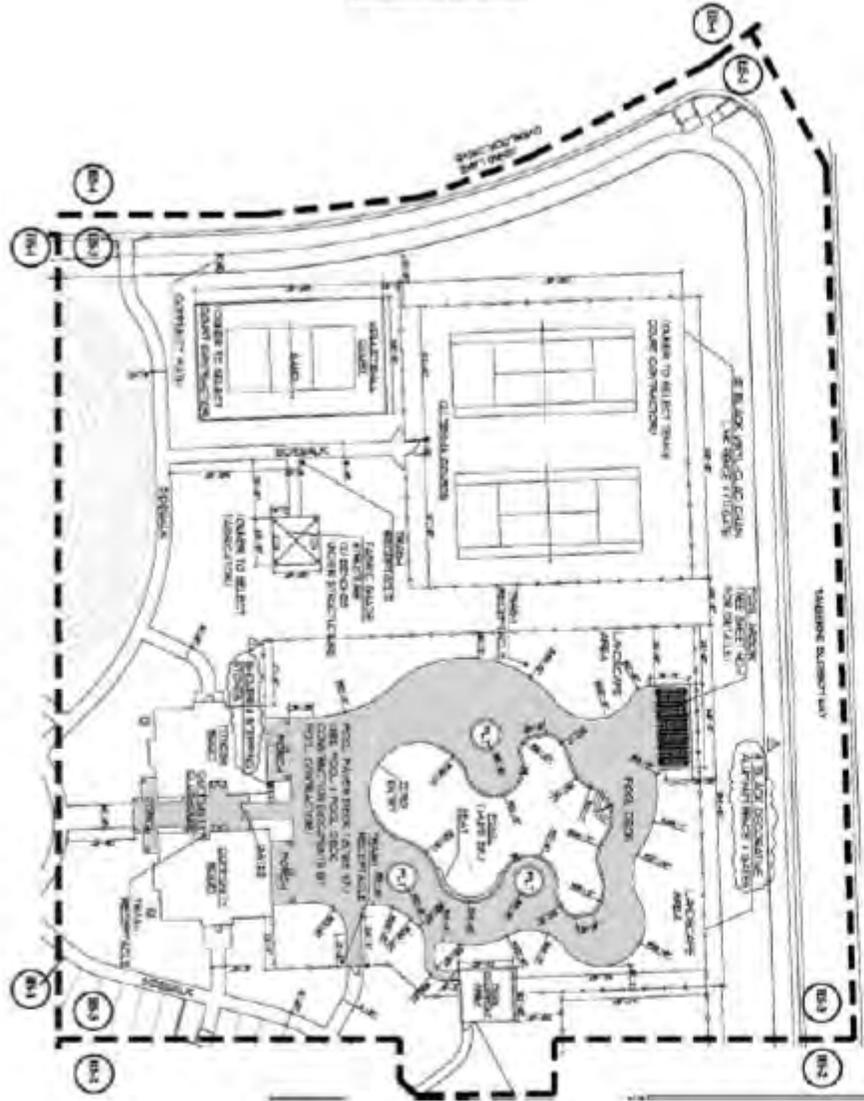
#### ATTACHMENTS

- Aerial Photos
- Survey

**AERIAL PHOTO**  
**1000 Avalon Road**



**SURVEY**  
**1000 Avalon Road**



END OF STAFF REPORT

# EXHIBIT “E”

## CITY OF WINTER GARDEN PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

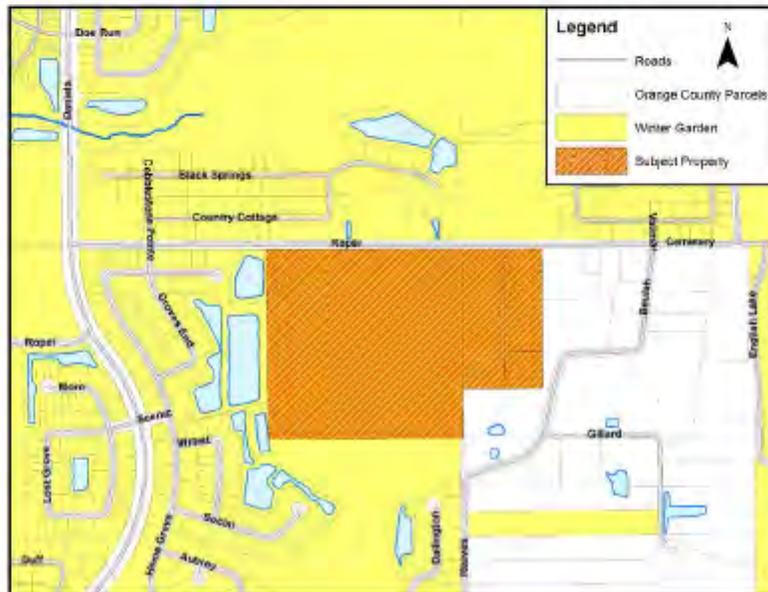
# STAFF REPORT

**TO:** PLANNING AND ZONING BOARD  
**PREPARED BY:** KELLY CARSON, PLANNER II  
**DATE:** JANUARY 2, 2014  
**SUBJECT:** PRELIMINARY PLAT  
12900 Roper Road (52.414+/- ACRES)  
**PARCEL ID #** 35-22-27-0000-00-024, 36-22-27-0000-00-012,  
36-22-27-0000-00-094, 36-22-27-0000-00-011

**APPLICANT:** Sift Oaks Investments, LLC

### INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan. The subject property, located on the south side of Roper Road, east of Daniels Road, and west of Beulah Road, is approximately 52.414± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits.



The applicant is requesting approval of Preliminary Plat of the 52.414± acre property, which is the Canopy Oaks Subdivision for 59 single family residential lots. The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation R1-B (Single-Family Residential) in the City of Winter Garden. The subject property is designated Low Density Residential on the Future Land Use Map of the Comprehensive Plan.

#### EXISTING USE

Four parcels constitute the Canopy Oaks Subdivision subject property, which consists mostly of vacant land. Approximately half the land area, 24.81±/- acres, contains jurisdictional wetlands. One parcel, which had been previously used for agricultural purposes, is currently developed with a one-story manufactured home, a trailer, five sheds, and a barn. The 1.532±/- acre parcel located at the southeast corner of the subject property had at one time been utilized as an illegal landfill. A series of environmental analyses revealed ongoing contamination issues within this parcel.

#### ADJACENT LAND USE AND ZONING

The majority of properties located to the north, south, and west of the subject property are developed residential subdivisions zoned PUD and R-1 within the City of Winter Garden. One property to the south of the subject property is a single-family residence located in Unincorporated Orange County. The properties located to the east of the subject property consist of a single family residence (A-1), Beulah Baptist Church (A-1), and the Orange County Highway Maintenance Department (A-1), all of which are located in Unincorporated Orange County.

#### PROPOSED USE

The applicant proposes to develop the 52.414 ± acre site into a residential development containing 59 single-family dwelling units. The site will be developed in two phases; development of the east neighborhood will occur during Phase I and the west neighborhood will be developed in Phase II. The lot sizes will range from the minimum allowed per R1-B zoning (75' x 100') to larger, irregularly-shaped lots that conform to the site's environmental boundaries. Both neighborhood entrances (east and west) of the proposed subdivision will be gated. The gross density is proposed to be 2.26 dwelling units per acre; the LR-Low Density Residential Future Land Use Designation allows up to 6 dwelling units per acre.

The proposed subdivision will contain active recreational areas including a tot lot and two neighborhood parks with recreational amenities. The site will also contain a series of passive recreation areas including walking trails and open space. The contaminated parcel will remain an undeveloped outparcel and will be fenced along the development boundaries to prevent access.

The development will preserve 24.81±/- acres of wetlands for conservation and retain 2.33 acres of undisturbed land to buffer the wetland. Approximately 0.163 acres of wetlands will be disturbed during development.

A portion of the proposed development area, particularly areas within the west neighborhood, have existing grades that are below the 100-year flood elevation of 108.2'. These depressional areas will require significant amount of fill material to raise the proposed lots to an elevation appropriate for home development. Within the west neighborhood, much of the development area will be filled with approximately 4' of material. In the east neighborhood, an existing man-

made pond will be filled to a depth of approximately 9'. Because of these significant grading activities, 108 trees over 18" DBH are proposed for removal, including six oaks that exceed 30" DBH. These trees will be replaced on site at a ratio of 2:1. Additionally, the developer plans to preserve 66 trees above 18" DBH, which includes five oaks above 40" DBH.

#### SUMMARY

DRC recommends conditional approval of the proposed Preliminary Plat subject to the following conditions:

1. The environmental report states that gopher tortoises are active on site and that there is no evidence of sand skinks. Provide approvals from FFWCC prior to construction that these species have been addressed.
2. Provide geotechnical report, including location and depth of organic soils if present. Provide the muck delineation overlay on the final construction plans to ensure that these areas will not fall on building lots without the muck being removed.
3. Draft drainage calculations, including preliminary compensating storage calculations, have been provided. Final plans and calculations will be subject to review and approval by the City and SJRWMD prior to final construction plan approval and commencement of construction. The geotechnical report shall address the "dry" stormwater areas, seasonal high groundwater table, need for under drains, etc.
4. Walls and landscaping shall be located within a landscape and wall tract, to be maintained by the HOA.
5. Applicant's previous response indicates that the project will be gated. The streets will be private and maintained by the HOA. While portions of the right-of-way may be dedicated to the City, maintenance of special pavements, landscaping, etc. shall be performed by the HOA under a R/W maintenance agreement.
6. All proposed easements shall be 30' minimum width for sanitary, water and storm; improvements shall be centered within the easement. Common areas not abutting right-of-way shall include a tract (not easement) for access and maintenance.
7. Utilities: Minimum 8" potable water (internal), 8" reuse water, and minimum 6" sanitary force main are required. Utilities shall be extended the full property frontage per Code – 8" diameter water main and 10" diameter reuse water main on Roper Road.
8. Minimum 5 ft. wide utility and drainage easements shall be provided on each side lot line; minimum 10' wide drainage, pedestrian and utility easements required adjacent to R/W.
9. Some of this property appears to be "A" type soils and may require adherence to the Wekiva protection regulations. Wekiva Protection requirements for open space as outlined in the Comprehensive Plan shall be met.
10. Streetlighting shall be pursuant to City Code, including frontage on Fullers Cross Road, meeting dark skies requirements (Code Section 118-1536(k)). Submit streetlighting plan from Progress Energy prior to preconstruction meeting.
11. All irrigation on the site shall be designed to be supplied by reclaimed water (minimum 8" internal main size).

12. Permits from SJRWMD and FDEP (water, wastewater and NPDES) are required prior to issuance of site or building permits.
13. The 100 year flood boundary is shown to encroach on many of the lots abutting the wetlands. A LOMR shall be filed with FEMA as a condition of final plat approval for any areas requiring fill within the 100 year flood zone. Fill within the 100 year flood zone will only be allowed if compensating storage is provided. *Additional areas of the site, including those currently proposed as single family lots, may need to be utilized for compensating storage if the storage areas shown on the plans prove insufficient for the purposes of mitigating the impacts of development within the 100 year flood zone.*
14. Sidewalks internal to the development shall be constructed adjacent to all lands not containing building lots prior to final acceptance. This shall include all retention, conservation, lift station, or recreation tracts, abutting roadways, pedestrian walkways, etc. Sidewalks external to the development shall be constructed upon final completion.

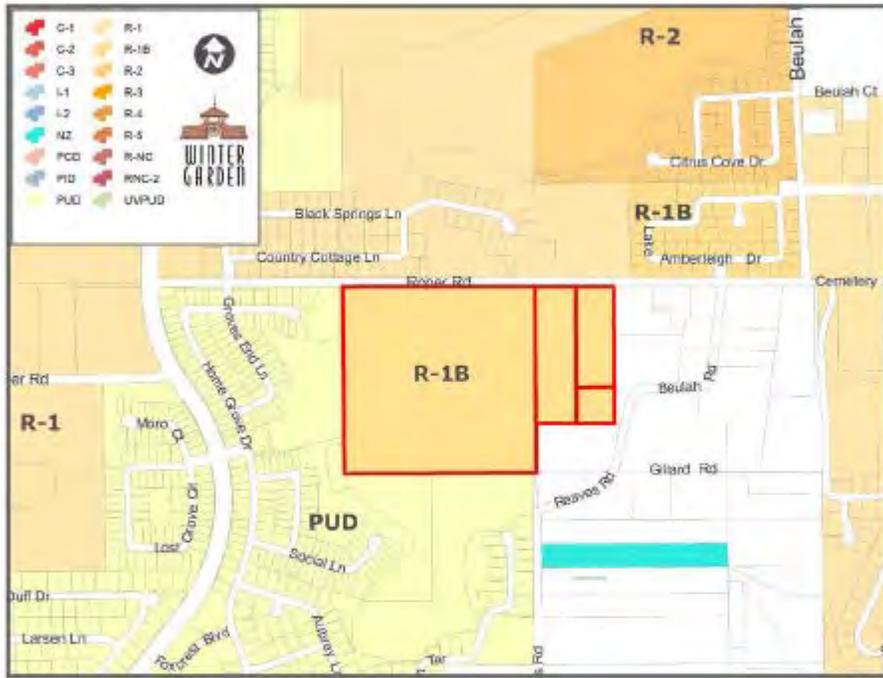
Conditional approval of the Preliminary Plat will allow the owner to proceed with development plans as well as the final plat.

MAPS

**AERIAL PHOTO**  
Canopy Oaks



**ZONING MAP**  
Canopy Oaks



**FUTURE LAND USE MAP**  
Canopy Oaks



**END OF STAFF REPORT**

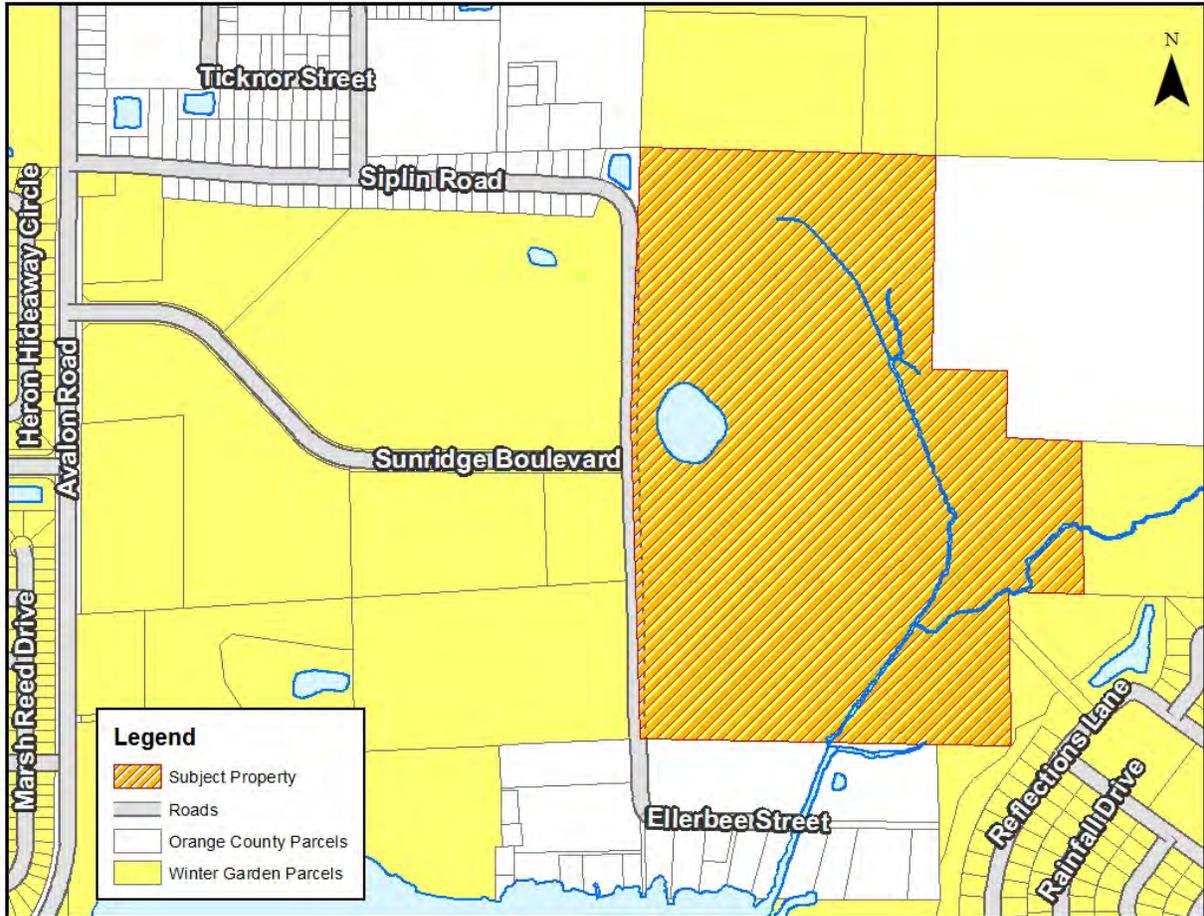




# LOCATION MAP

14365 SIPLIN ROAD

MATHEWS GROVE



# CITY OF WINTER GARDEN

## PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

# STAFF REPORT

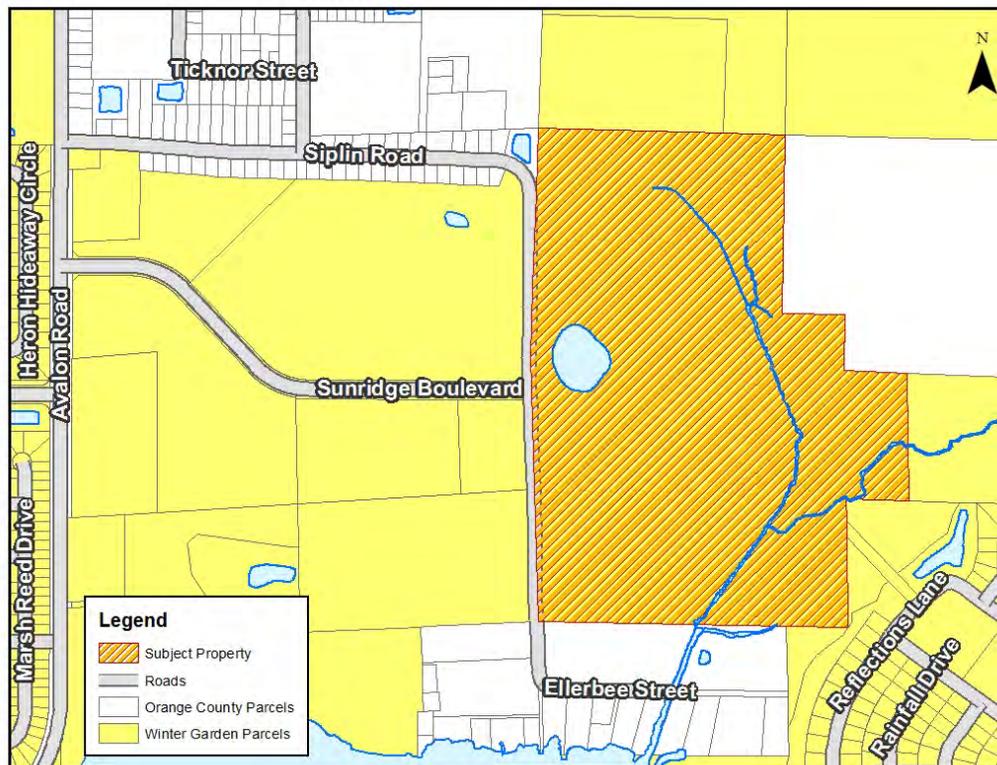
**TO:** PLANNING AND ZONING COMMITTEE  
**PREPARED BY:** LAURA SMITH, SENIOR PLANNER  
**DATE:** JANUARY 28, 2014  
**SUBJECT:** PRELIMINARY PLAT  
**MATHEWS GROVE PROPERTY**  
**14365 SIPLIN ROAD (98.71 +/- ACRES)**  
**PARCEL ID # 27-22-27-0000-00-065**

**APPLICANT:** ALI OF SIPLIN, LLC

### INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located at 14365 Siplin Road and is approximately 98.71± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits.



## **EXISTING USE**

The subject property is primarily vacant unimproved land; however there is one existing single family residential structure located on western portion of the property near the intersection of Siplin Road and SunRidge Blvd and another structure located on the northern half of the property. The structures have been cited by the City's Code Enforcement Department as unfit and will be demolished prior to commencement of site development.

## **ADJACENT LAND USE AND ZONING**

The properties located to the west of the subject property include the new school site of SunRidge Middle School and SunRidge Elementary School in the City of Winter Garden, the Future Land Use Designation of the property is Institutional. Additionally, located to the west is the recently approved Black Lake Preserve Subdivision zoned PUD. The properties located to the east are vacant properties located both within the City of Winter Garden and Orange County, primarily inundated with wetlands. Additionally located to the east of the subject property is Black Lake Park Subdivision which is zoned PUD and located within the City of Winter Garden. The properties located to the south include several a Single Family Residential structures located in Unincorporated Orange County.

## **PROPOSED USE**

The applicant is requesting preliminary plat approval to move forward with development plans and the final plat. The property has been rezoned to PUD to allow development of the 98.71 ± acre site into a residential subdivision containing 155 single-family dwelling units. The subdivision will have a gross density of 2.49 dwelling units per acre, the LR- Low Density Residential Future Land Use Designation allows up to 6 dwelling units per acre. The subdivision will contain 4 recreational parks and 15.60 acres of open space.

The PUD will contain a mixture of 65'x125' lots and 75'x125' lots, with a total of 93 lots at between 65' and 74' wide and 62 lots at 75' or wider.

- The applicant has signed the SunRidge Fair Shar Agreement.
- The applicant has an agreement with Black Lake Preserve for shared infrastructure.
- Includes relocation and upgrade of Siplin Road.

## **SUMMARY**

City Staff recommends conditional approval of the Preliminary Plat subject to the following condition(s):

- A Developer's Agreement shall be drafted, approval obtained and recorded prior to approval of Preliminary Plat of the Property becoming effective and prior to the issuance of any site or building permits.
- All irrigation on the site shall be designed to be supplied by reclaimed water (minimum 8" internal main size).
- The 100 year flood plain for Black Lake and the adjacent wetlands, including the on-site canals is Elevation 99.70 (NAVD '88). Any areas developed within the 100 year flood plane shall be compensated for; LOMR with FEMA is required for any development within the 100 year flood zone.
- Siplin Road abandonment and proposed cul-de-sac shall be coordinated with Orange County and

finalized prior to preliminary plat approval becoming effective. Any right-of-way required for a minimum 40' radius cul-de-sac (50' minimum R/W radius) shall be dedicated with the project.

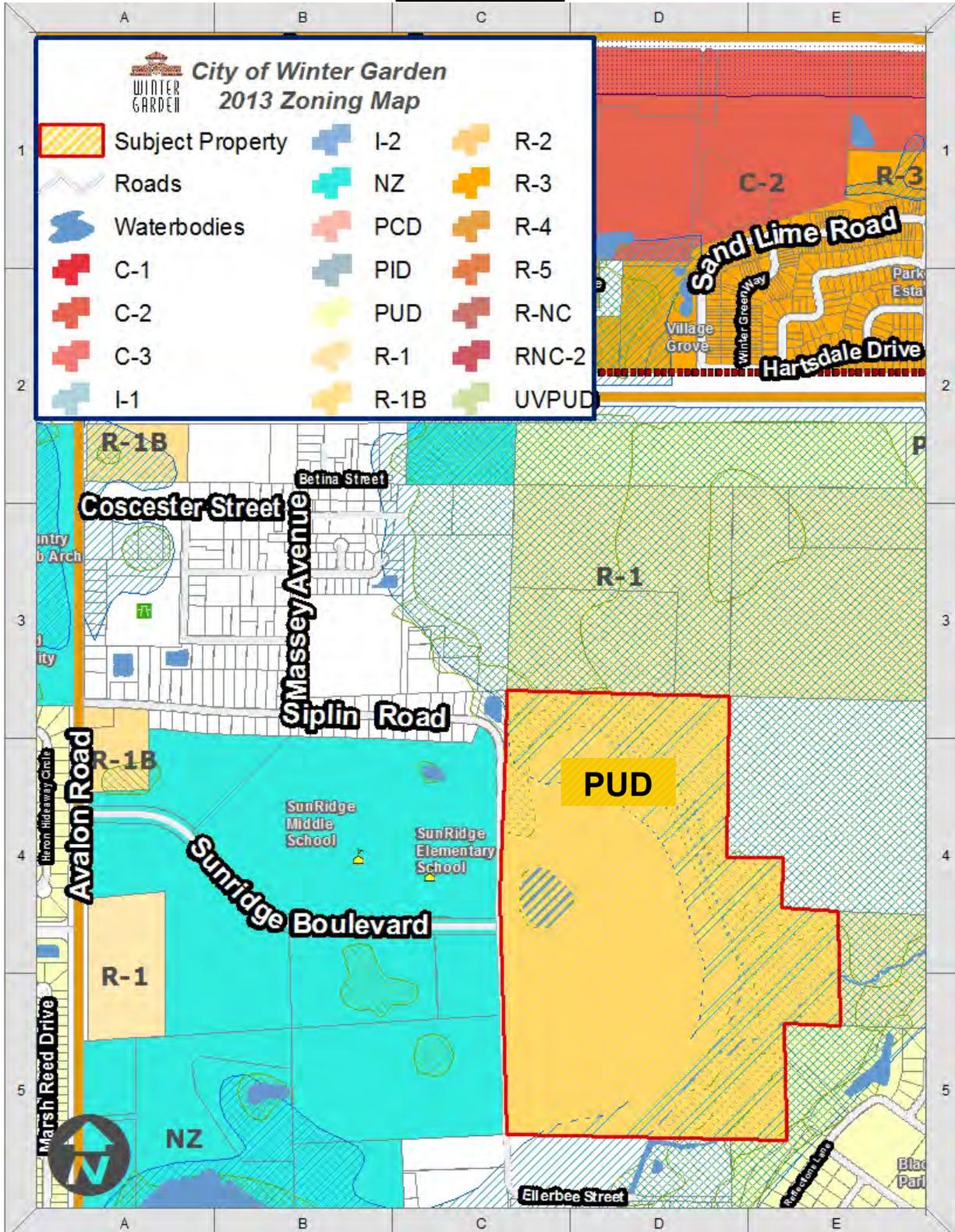
- There is an existing 12" X 18" ERCP culvert crossing Siplin Road. This is one of the stormwater outfalls for the SunRidge schools and this off-site flow shall be accommodated with the Mathews Grove drainage system.
- The roadway connection between the Mathews Grove project and the Black Lake Preserve project shall be coordinated on the final construction plans (as shown).
- Final construction plans shall coordinate the sanitary connection point for Black Lake Preserve; manhole will be required (as shown) depending on timing of the two projects, etc.
- SunRidge Boulevard has been constructed with two lanes, to be expanded as designed, to four lanes. This project, along with others along this corridor shall be required to participate in the funding of the widening to four lanes (signed agreement required as discussed at DRC).
- Typical Section: Right-of-way width shall be a minimum of 50 feet with minimum roadway pavement width of 24' as required by City Code (**12' minimum each lane**); 16' minimum lane width for any divided portion (additional width may be required if parking is allowed); 18" of clean fill with no more than 5% passing a #200 sieve required under the subbase; 98% density required on all compaction; 2" minimum asphalt thickness; 10" minimum crush concrete (concrete aggregate) base thickness as approved by the City Engineer; minimum 24" wide concrete curb and gutter required (or Miami curb); 5' wide concrete sidewalks required on both sides of street; minimum 10' wide drainage, utility and pedestrian easements required adjacent to all rights-of-way. All construction shall meet City of Winter Garden requirements for drainage, roadways and utilities (see City Standard Details available on-line at [cwgd.com](http://cwgd.com)).
- Walls and landscaping shall be located within a landscape and wall tract, to be maintained by the HOA.
- It appears the project will not be gated, due to the pending agreement with the Hanover/Black Lake Preserve project for secondary access, as well as maintaining access to Siplin Road south of the two projects. While portions of the right-of-way may be dedicated to the City, maintenance of special pavements, landscaping, hardscaping, etc. shall be performed by the HOA under a R/W maintenance agreement.
- All proposed easements shall be 30' minimum width for sanitary, water and storm; improvements shall be centered within the easement. Common areas not abutting right-of-way shall include a tract (not easement) for access and maintenance.
- Utilities: Minimum 8" potable water (internal), 8" reuse water, and minimum 6" sanitary force main are required.
- Minimum 5 ft wide utility and drainage easements shall be provided on each side lot line; 10' drainage, utility and pedestrian easements required adjacent to R/W.

**MAPS**

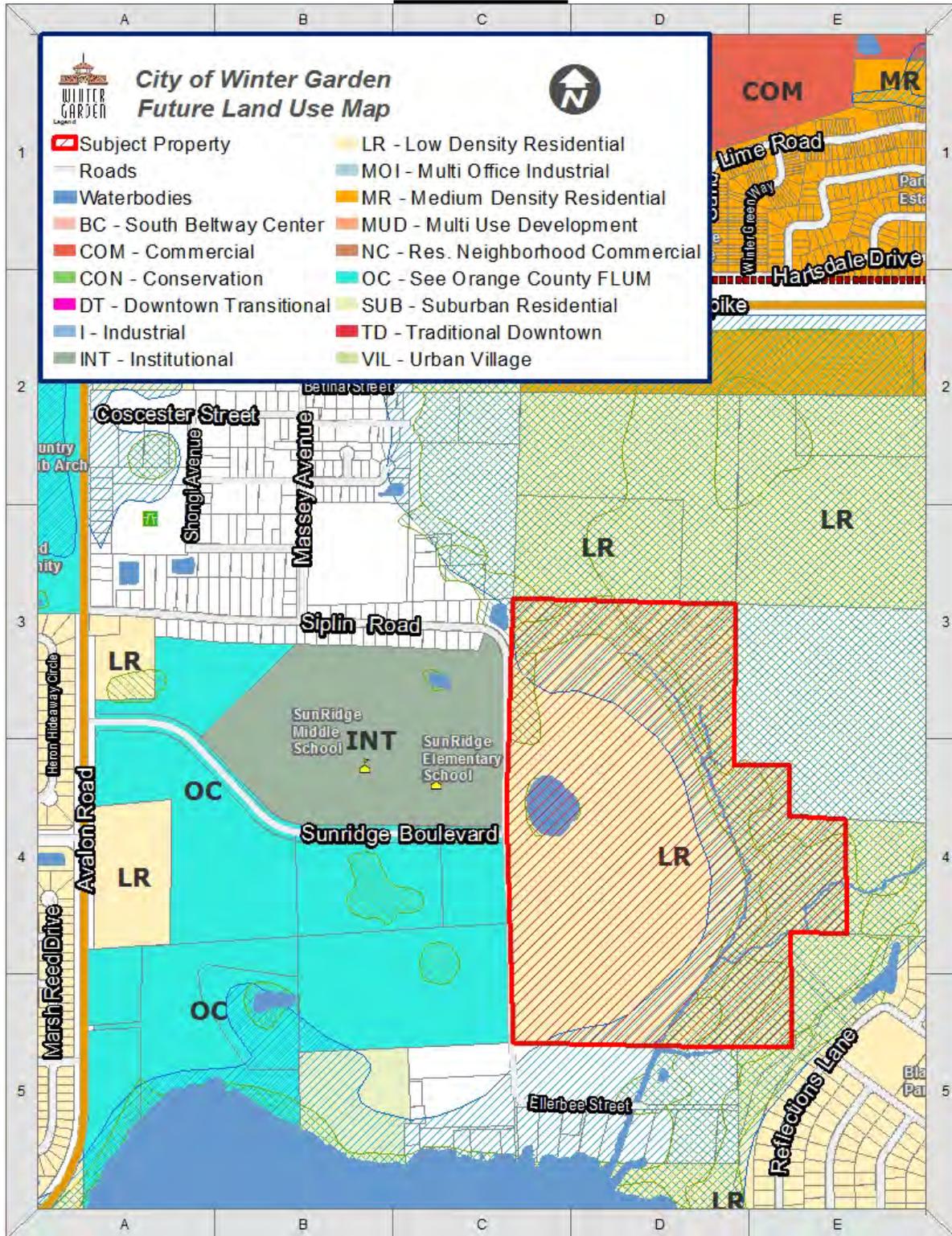
**AERIAL PHOTO  
MATHEWS GROVE**



**ZONING MAP**  
**Mathews Grove**



**FUTURE LAND USE MAP**  
**Mathews Grove**



**END OF STAFF REPORT**

# PLANNED UNIT DEVELOPMENT PRELIMINARY PLAT

A PLANNED UNIT DEVELOPMENT IN THE CITY OF WINTER GARDEN, FLORIDA

# MATHEWS GROVE

PARCEL ID. NUMBER: 27-22-27-0000-00-054

DECEMBER 2013

PREPARED FOR  
**ALI OF SIPLIN, LLC**  
7575 DR. PHILLIPS BLVD, SUITE 265  
ORLANDO, FL 32819  
PHONE: (407) 730-9916

## PROJECT DESCRIPTION

A 155 UNIT SINGLE FAMILY PLANNED UNIT DEVELOPMENT.

## LEGAL DESCRIPTION

A PORTION OF SECTIONS 27 AND 34, TOWNSHIP 22 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTH 1/4 CORNER OF SAID SECTION 27; THENCE ALONG THE WEST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 27 NORTH 01°55'01" EAST, A DISTANCE OF 1,221.66 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH 1/2 OF THE SOUTHEAST 1/4 OF SAID SECTION 27; THENCE ALONG SAID NORTH LINE SOUTH 88°28'34" EAST, A DISTANCE OF 1,319.45 FEET; THENCE SOUTH 00°56'54" WEST, A DISTANCE OF 956.48 FEET; THENCE SOUTH 89°03'06" EAST, A DISTANCE OF 333.74 FEET; THENCE SOUTH 00°42'22" WEST, A DISTANCE OF 298.75 FEET; THENCE SOUTH 87°26'39" EAST, A DISTANCE OF 335.17 FEET; THENCE SOUTH 00°49'34" EAST, A DISTANCE OF 684.04 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 34, TOWNSHIP 22 SOUTH, RANGE 27 EAST; THENCE ALONG SAID NORTH LINE NORTH 88°10'15" WEST, A DISTANCE OF 333.15 FEET TO A POINT ON THE EAST LINE OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 34; THENCE ALONG SAID EAST LINE SOUTH 00°58'19" EAST, A DISTANCE OF 688.44 FEET; THENCE ALONG THE SOUTH LINE OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SAID SECTION 34 THE FOLLOWING TWO COURSES: NORTH 88°54'32" WEST, A DISTANCE OF 331.23 FEET; THENCE NORTH 88°52'04" WEST, A DISTANCE OF 1,333.92 FEET TO A POINT ON THE WEST LINE OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 34; THENCE ALONG SAID WEST LINE NORTH 01°18'59" WEST A DISTANCE OF 1,419.06 FEET TO THE POINT OF BEGINNING.

### DEVELOPER

ALI OF SIPLIN, LLC  
7575 DR. PHILLIPS BOULEVARD  
SUITE 265  
ORLANDO, FL 32819  
PHONE: (407) 730-9916

### ENGINEERS

CIVIL DESIGN GROUP, INC.  
8969 CHARLES E. LIMPUS ROAD  
ORLANDO, FLORIDA 32836  
PHONE: (407) 876-3996  
&  
DEWBERRY - BOWYER-SINGLETON  
520 SOUTH MAGNOLIA AVE.  
ORLANDO, FLORIDA 32801  
PHONE: (407) 843-5120  
CONTACT: SCOTT STEARNS, P.E.

### ENVIRONMENTAL CONSULTANT

BIO-TECH CONSULTING, INC.  
2002 EAST ROBINSON STREET  
ORLANDO, FLORIDA 32803  
PHONE: (407) 894-5969

### SURVEYORS

SHANNON SURVEYING, INC.  
499 NORTH S.R. 434 - SUITE 2155  
ALTAMONTE SPRINGS, FLORIDA 32714  
PHONE: (407) 306-3989  
&  
DEWBERRY - BOWYER-SINGLETON  
520 SOUTH MAGNOLIA AVE.  
ORLANDO, FLORIDA 32801  
PHONE: (407) 843-5120  
CONTACT: SCOTT STEARNS, P.E.

### GEOTECHNICAL CONSULTANT

ANDREYEV ENGINEERING, INC.  
4055 ST JOHN'S PARKWAY  
SANFORD, FLORIDA 32771  
PHONE: (407) 330-7763

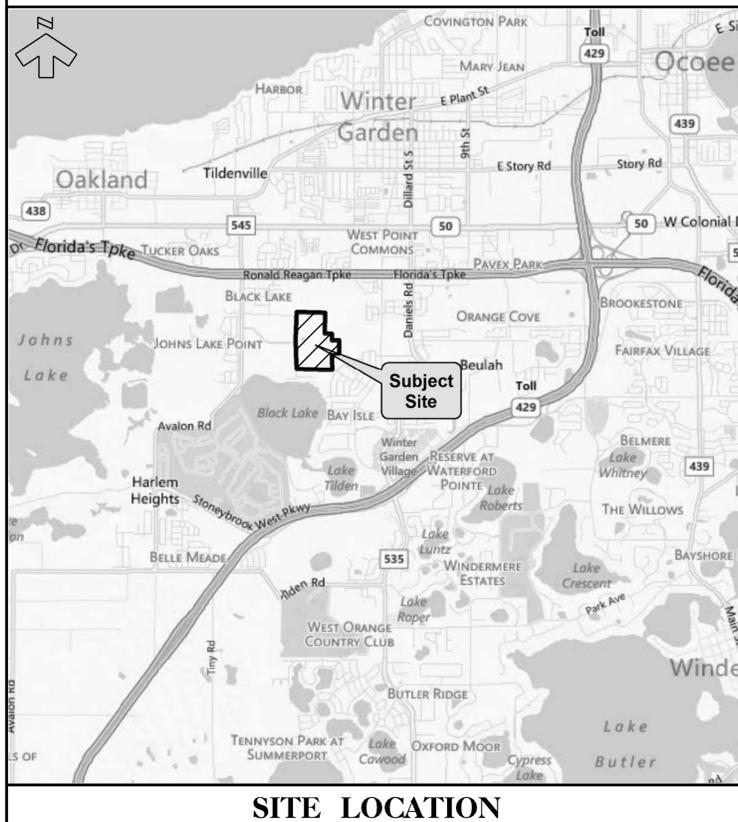
### TRAFFIC CONSULTANT

LUKE TRANSPORTATION ENGINEERING  
CONSULTANTS, INC.  
29 EAST PINE STREET  
ORLANDO, FLORIDA 32801  
PHONE: (407) 423-8055

## TABLE OF CONTENTS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	OVERALL SITE PLAN
4, 5	GEOMETRY SITE PLANS
6, 7	GRADING & DRAINAGE PLANS
8, 9	UTILITY PLANS
10-10A	TREE REMOVAL/WETLAND IMPACT PLAN

THIS IS TO CERTIFY THAT THE ROADWAY CONSTRUCTION PLANS AND SPECIFICATIONS AS CONTAINED HEREIN WERE DESIGNED TO APPLICABLE STANDARDS AS SET FORTH IN THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS" AS PREPARED BY FLORIDA DEPARTMENT OF TRANSPORTATION.



FLORIDA  
**MATHEWS GROVE  
PRELIMINARY PLAT**

REVISIONS	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			

CONTRACTOR HAS BUILT...  
I, the undersigned, being a duly licensed Professional Engineer in the State of Florida, do hereby certify that the above described project has been reviewed and approved for construction in accordance with the applicable provisions of the Florida Building Code, and that the same conforms to the applicable provisions of the Florida Building Code. This statement is based upon site observations of the construction.  
Contractor's Name: \_\_\_\_\_  
Engineer: \_\_\_\_\_  
Not valid without the signature and the original raised seal of a Florida Registered Engineer.

DATE	NOVEMBER 2013
DESIGNED	SKH
CHECKED	MSS
SCALE	N/A
PROJECT NO.	MTGR/PPSP
FILE NAME	MTGR/PPSPCover
SHEET	1 OF 10



**SITE DATA**

- TOTAL PROJECT AREA:** 98.71 ac.  
**WETLAND AREA:** 36.33 ac.  
**ROAD ROW:** 8.98 ac.  
**RETENTION AREA:** 8.80 ac.  
**GROSS DEVELOPABLE AREA:** 62.38 ac. (Total Project Area minus Wetland Area)  
**NET DEVELOPABLE AREA:** 44.60 ac. (Gross Developable Area minus Road ROW & Retention Area)
- SITE DATA:**  
 Total Single Family Units: 155  
 Gross Residential Density: 2.48 du/ac  
 Net Residential Density: 3.48 du/ac  
 Minimum sq.ft. Under Heat & Air: 1400 sq.ft.  
 Maximum Building Height: 40 ft.  
 Minimum Lot Width Size: 65 ft.  
 Maximum Impervious: 65%
- SUPPORT SERVICES:**  
**Water Service:** CITY OF WINTER GARDEN  
**Sewer Service:** CITY OF WINTER GARDEN  
**Stormwater Management:** Stormwater Management to be provided in on-site Master Stormwater Management Areas to satisfy the City of Winter Garden and St. John's River Water Management District Criteria  
 Pre versus Post Peak Discharge: 25yr - 24hr storm event  
  
**Schools:** School concurrency has been provided per OCPS letter dated: May 28, 2013.  
  
**Traffic:** See traffic impact analysis by others
- FUTURE LAND USE:** Low Residential (2 - 6 du/ac)
- EXISTING ZONING:** R2
- PROPOSED ZONING:** Planned Unit Development (PUD)
- REQUESTED USES:** Approved Land Use Plan for PUD  
 Single-Family As shown on Land Use Plan

**8. BUILDING SETBACKS:**

65'x125' LOTS:	Front Yard 20'	75'x125' LOTS:	Front Yard 20'
	Rear Yard 20'		Rear Yard 20'
	Side Yard 7.5'		Side Yard 7.5'
	Corner 20'		Corner 20'
	Front Load Garage (Front) 25'		Front Load Garage (Front) 25'
	Porch/Courtyard Garage (Front) 15'		Porch/Courtyard Garage (Front) 15'
	Pool (side & rear) 5'		Pool (side & rear) 5'
	No. Lots 93 (60%)		No. Lots 62 (40%)

**9. OPEN SPACE - (25% GROSS DEVELOPABLE AREA) = 15.60 AC. (REQ.) (Excludes Impervious amenity areas)**

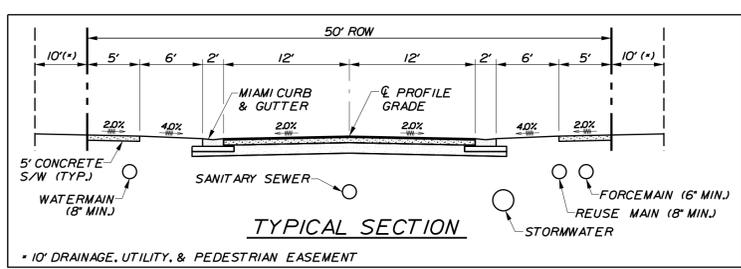
**PROVIDED:** PARK AREA - (May Include Pool/Cabana) 3.17 AC.  
 OPEN SPACE/BUFFERS - 5.29 AC.  
 RETENTION AREAS (MAX. 50% OF REQ.) - 7.80 AC.  
**TOTAL AREA = 16.26 AC. (Acres Excludes Impervious Surfaces)**

**10. RECREATION FACILITIES: FACILITIES FOR COMMUNITY PARK MAY INCLUDE GAZEBO, POOL/CABANA, AND PARK BENCHES.**  
 62.38 X 0.05 = 3.12 ACRES REQUIRED  
 PARK = 3.17 ACRES PROVIDED

**11. All lots bordering the PUD perimeter shall meet the requirements of Chapter 118, Article V, Division 2, Subdivision II, Section 118-924(d): A minimum 25-foot yard shall be required from the nearest part of any building wall to the edge of any public right-of-way or private street, and all structures shall have a minimum 20-foot rear yard. A minimum 25-foot yard shall be maintained between the walls of all structures and the perimeter of the PUD. Additional perimeter yard requirements for multistory buildings shall be figured at five additional feet for each ten feet of height over the first story.**

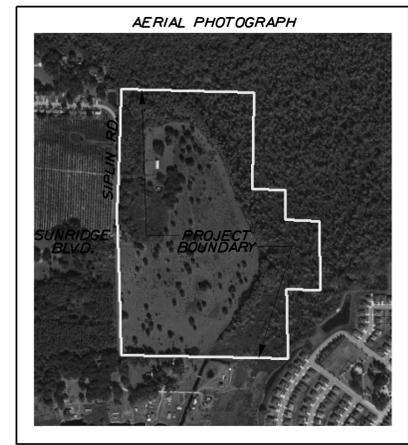
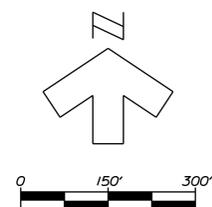
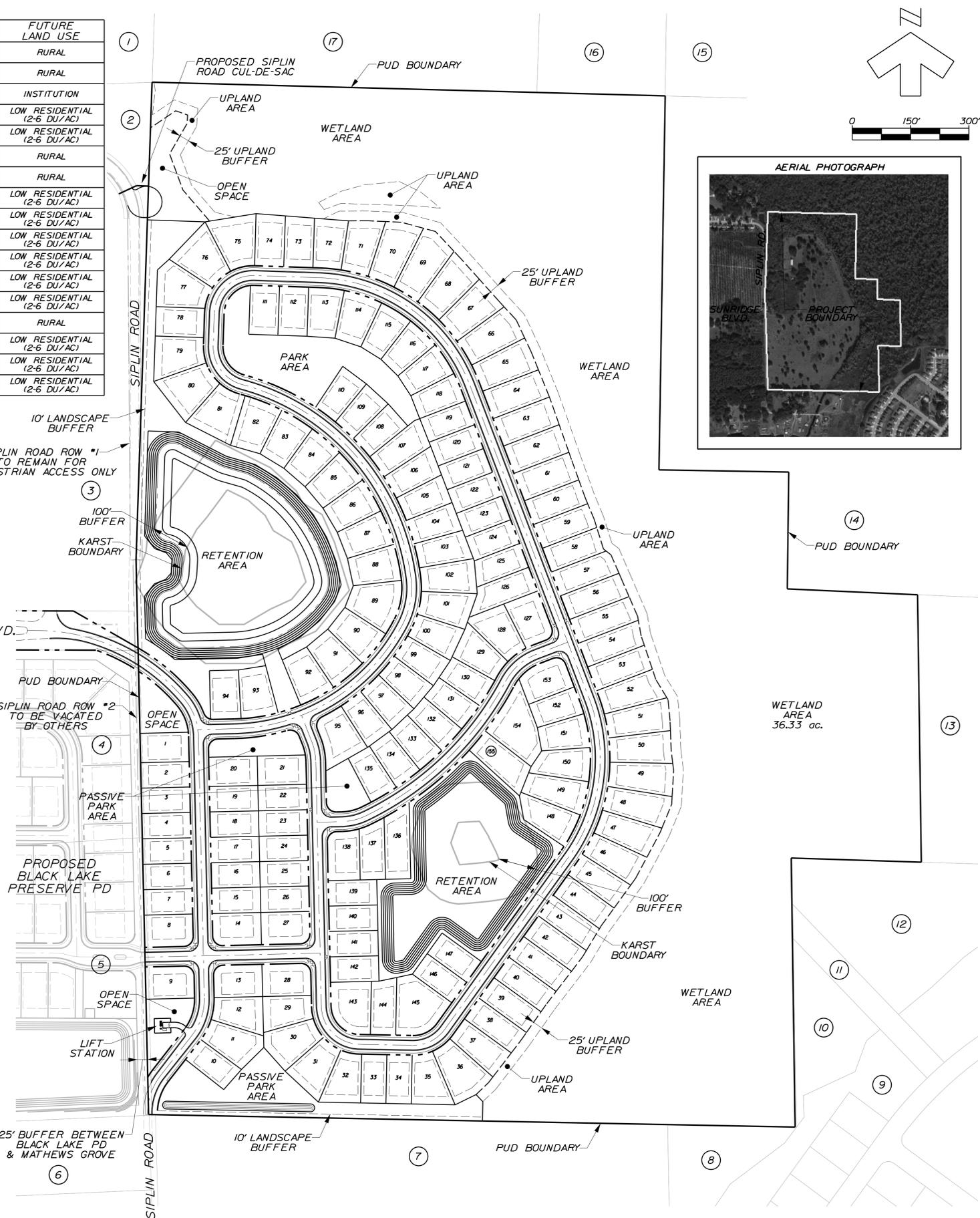
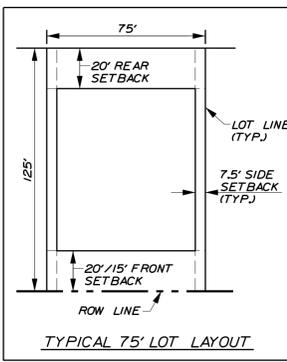
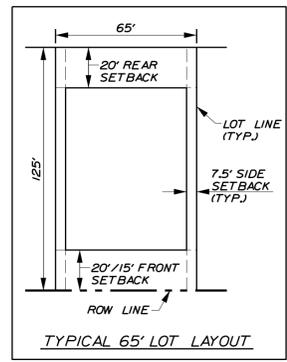
**NOTES:**

- NONE OF THE 25% WSA OPEN SPACE MAY BE CHEMICALLY TREATED WITH PESTICIDES OR FERTILIZERS TO ESTABLISH SENSITIVE NATURAL HABITAT.
- PER ANDREYEV ENGINEERING, INC. GEOTECHNICAL REPORT: GPGT-13-016/ THE KARST FEATURE HAS A CONFINING LAYER AND THEREFORE CAN BE USED FOR DRAINAGE RETENTION.
- PHASING TO BE DETERMINED AT CONSTRUCTION PLAN REVIEW.
- COMMUNITY PARK TO BE COMPLETED BY 75th C.D.
- ALL IRRIGATION ON SITE SHALL BE SUPPLIED BY RECLAIMED WATER.



**ZONING TABLE**

No.	EXISTING LAND USE	ZONED	FUTURE LAND USE
1	WASTE LAND	A-1 COUNTY	RURAL
2	STORM/RETENTION/DRAINAGE	A-1 COUNTY	RURAL
3	SCHOOL	R-1 CITY	INSTITUTION
4	NON-AGRICULTURAL	A-1 CITY	LOW RESIDENTIAL (2-6 DU/AC)
5	NON-AGRICULTURAL	A-1 CITY	LOW RESIDENTIAL (2-6 DU/AC)
6	NON-AGRICULTURAL	A-1 COUNTY	RURAL
7	SINGLE FAMILY/WASTE LAND	A-1 COUNTY	RURAL
8	VACANT HOA	PUD CITY	LOW RESIDENTIAL (2-6 DU/AC)
9	VACANT HOA	PUD CITY	LOW RESIDENTIAL (2-6 DU/AC)
10	VACANT HOA	PUD CITY	LOW RESIDENTIAL (2-6 DU/AC)
11	VACANT HOA	PUD CITY	LOW RESIDENTIAL (2-6 DU/AC)
12	VACANT HOA	PUD CITY	LOW RESIDENTIAL (2-6 DU/AC)
13	WASTE LAND	R-1 CITY	LOW RESIDENTIAL (2-6 DU/AC)
14	WASTE LAND	A-1 COUNTY	RURAL
15	WASTE LAND	R-1 CITY	LOW RESIDENTIAL (2-6 DU/AC)
16	WASTE LAND	R-1 CITY	LOW RESIDENTIAL (2-6 DU/AC)
17	COUNTY	R-1 CITY	LOW RESIDENTIAL (2-6 DU/AC)



FLORIDA  
**OVERALL SITE PLAN**  
 MATHews GROVE - PRELIMINARY PLAT  
 CORPORATE OFFICE - 550 SOUTH MAGNOLIA AVENUE - ORLANDO, FLORIDA 32801  
 407-843-9120 - ENGINEERING BUSINESS - 1221  
 hal@bsi.net

REVISIONS

NO.	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			
6			
7			
8			
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CONTRACTOR HAS BUILT "As-Built" sets furnished to me by the contractor listed below. I or an employee under my direct supervision have reviewed these "As-Built" sets and believe them to be in accordance with the actual construction. This statement is based upon site observations of the construction.  
 Contractor's Name: \_\_\_\_\_  
 Engineer: \_\_\_\_\_  
 Not valid without the signature and the original seal of a Florida Registered Engineer.

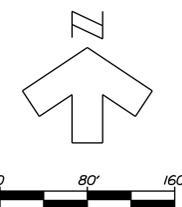
DATE	NOVEMBER 2013
DESIGNED	SKH
CHECKED	MSS
SCALE	1" = 150'
PROJECT NO.	MTGR/PPSP
FILE NAME	MTGR/PPSP/OverallSite
SHEET	3 OF 10

12/20/2013  
 \\\PSP\MTGR\ppsp\OverallSite.dgn

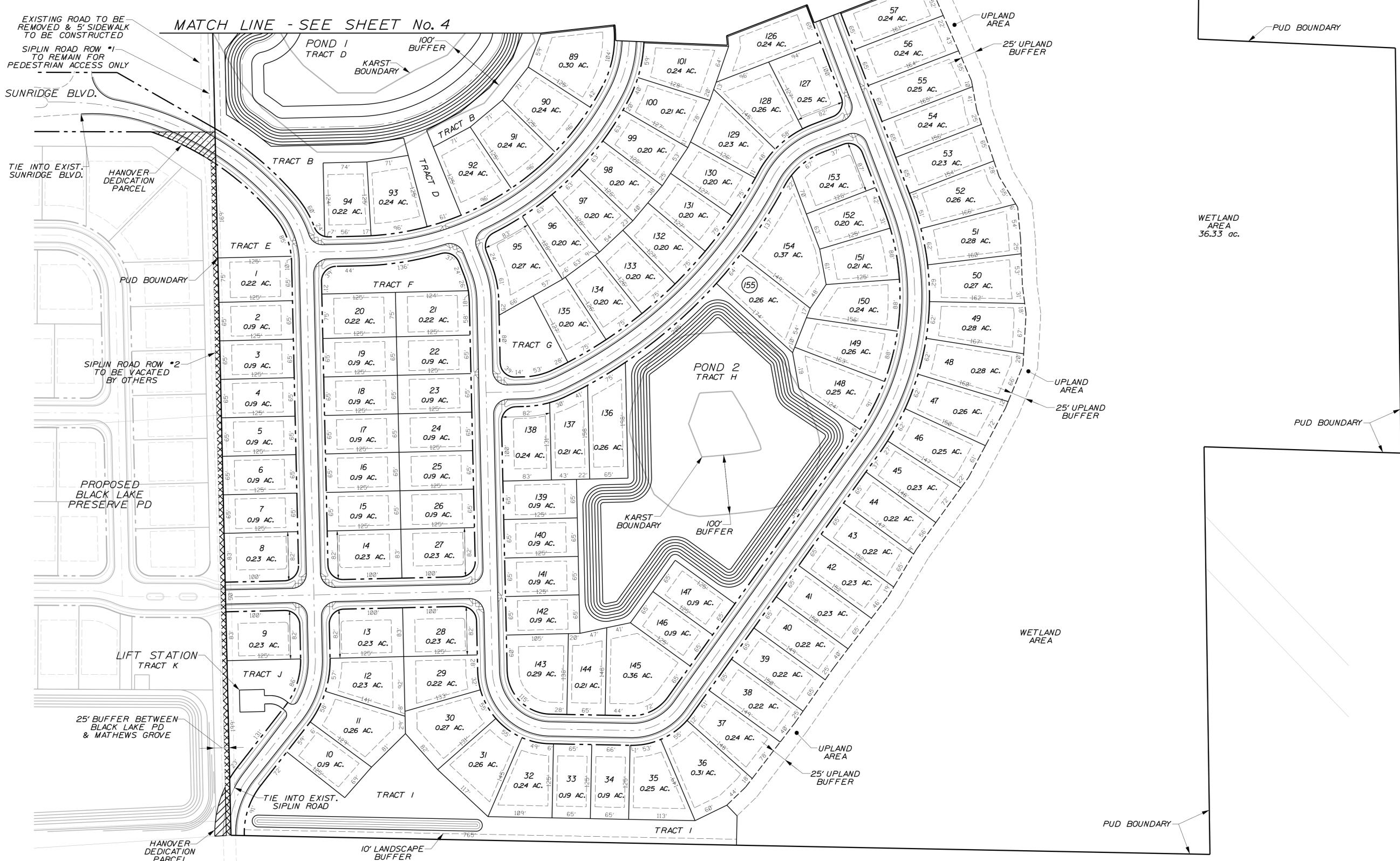


TRACT SUMMARY TABLE

TRACT	AREA	DESIGNATION	OWNERSHIP	MAINTENANCE	DEVELOPMENT RIGHTS
E	0.29 AC.	OPEN SPACE	HOA	HOA	HOA
F	0.28 AC.	PASSIVE PARK	HOA	HOA	HOA
G	0.25 AC.	PASSIVE PARK	HOA	HOA	HOA
H	3.60 AC.	RETENTION/OPEN SPACE	HOA	HOA	HOA
I	1.44 AC.	PASSIVE PARK/BUFFER	HOA	HOA	HOA
J	0.29 AC.	OPEN SPACE	HOA	HOA	HOA
K	0.05 AC.	LIFT STATION	HOA	HOA	HOA
TOTAL	SEE SHEET No. 4				



FLORIDA  
**BOWYER SINGLETON**  
 WINTER GARDEN  
**GEOMETRY SITE PLAN**  
 MATHEWS GROVE - PRELIMINARY PLAT  
 CORPORATE OFFICE - 550 SOUTH MAGNOLIA AVENUE - ORLANDO, FLORIDA 32801  
 407-943-6120 - ENGINEERING BUSINESS - 1221  
 hsf@bse.com



REVISIONS	DESCRIPTION
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CONTRACTOR "AS-BUILT" "As-Built" notes furnished to me by the contractor listed below. I, as an employee under my direct supervision have reviewed these "As-Built" notes and believe them to be in substantial compliance with the actual construction. This statement is based upon site observations of the construction.  
 Contractor's Name: \_\_\_\_\_  
 Engineer: \_\_\_\_\_  
 Not valid without the signature and the original seal of a Florida Registered Engineer.  
 \JSPEN\MTG\app\geometry-02.dgn

DATE	DESCRIPTION
NOVEMBER 2013	DESIGNED SKH
	CHECKED MSS
	SCALE 1" = 80'
	PROJECT NO. MTGR/PPSP
	FILE NAME MTGR/PPSP/Geometry-02
	SHEET 5 OF 10



FLORIDA

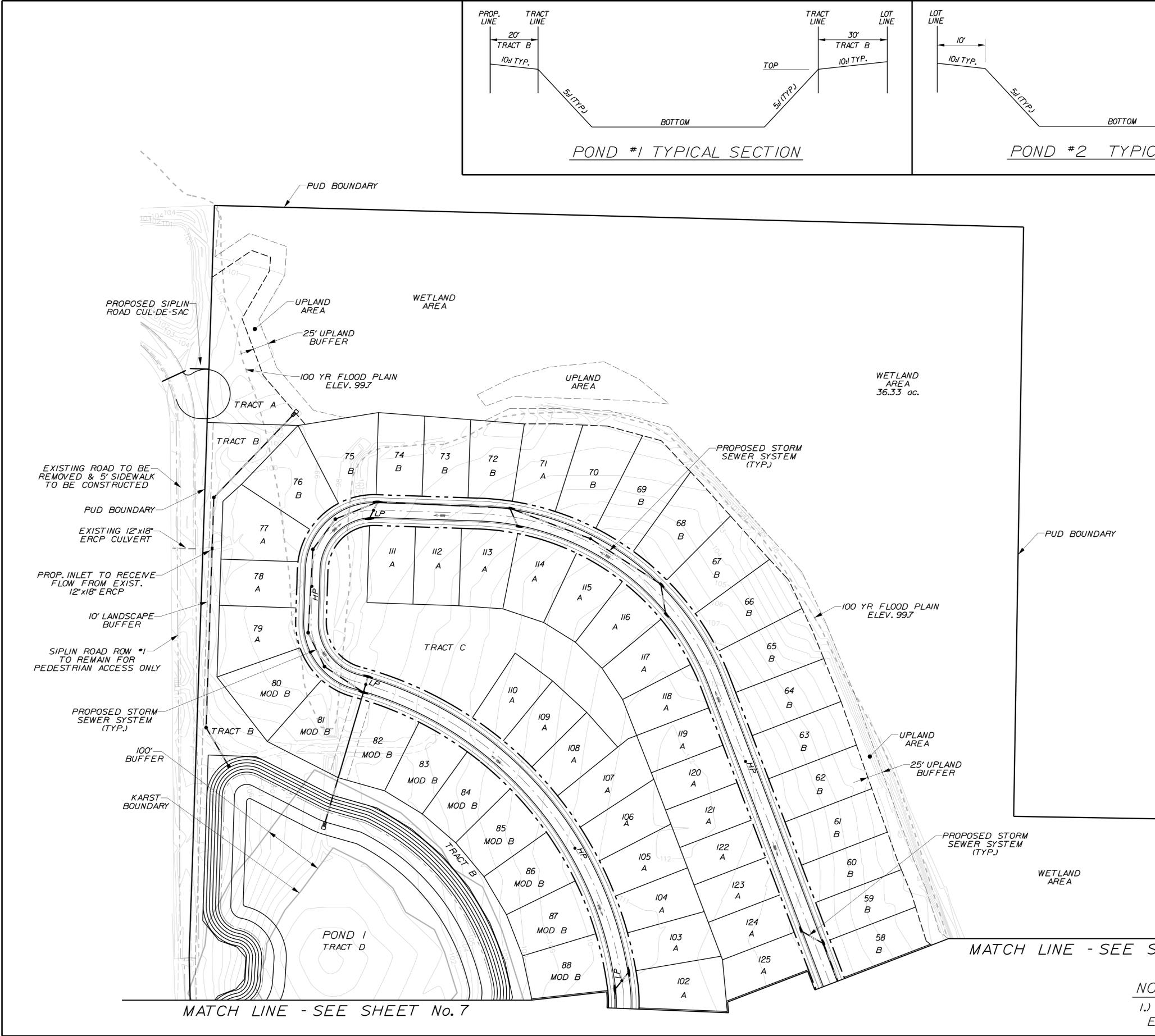
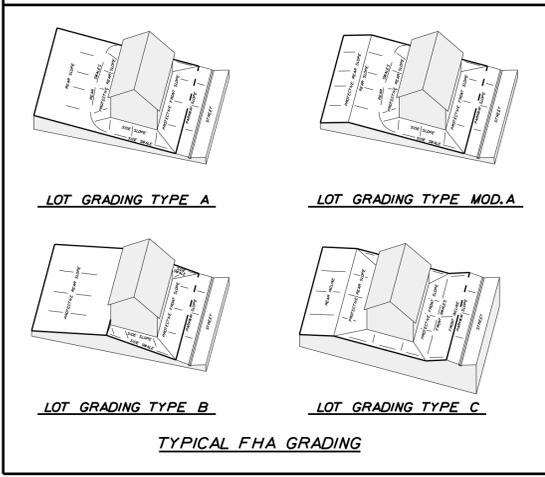
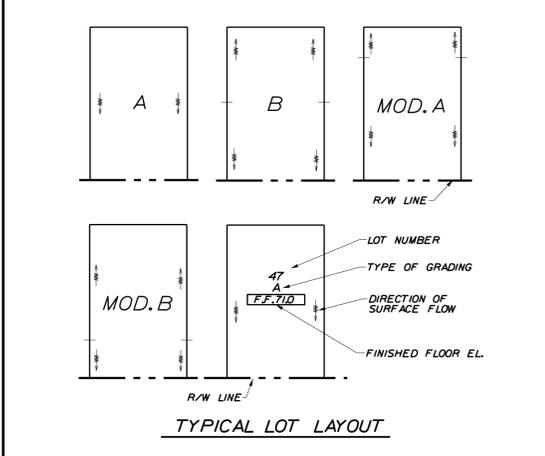
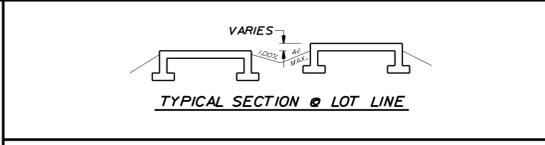
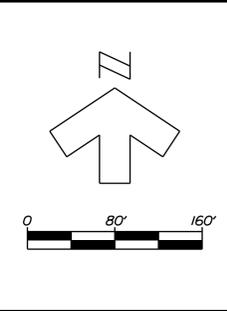
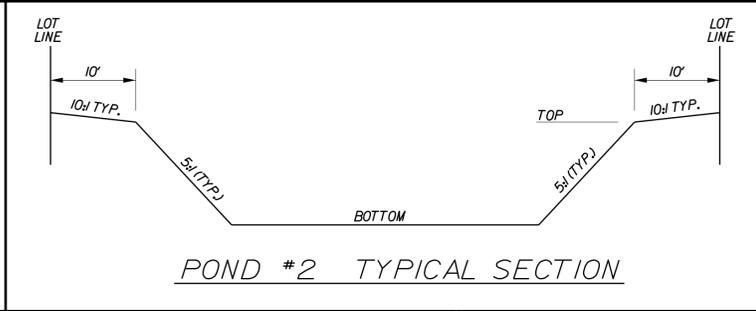
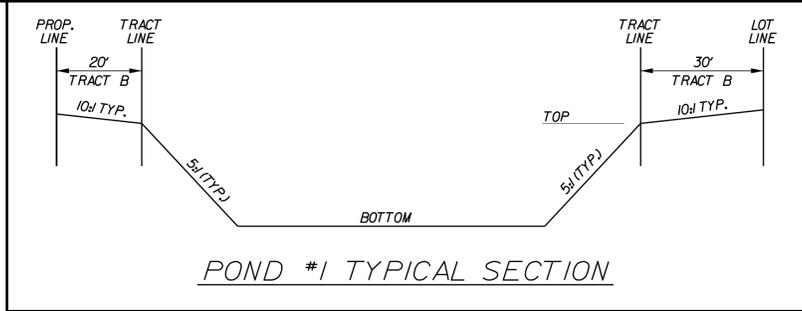
WINTER GARDEN  
**GRADING & DRAINAGE PLAN**  
 MATHEWS GROVE - PRELIMINARY PLAT

12/20/2013

DATE	BY	DESCRIPTION

CONTRACTOR HAS BUILT "As-Built" notes furnished to me by the contractor listed below. I, or an employee under my direct supervision have reviewed these "As-Built" notes and believe them to be in accordance with the actual construction. This statement is based upon site observations of the construction.  
 Contractor's Name: \_\_\_\_\_  
 Engineer: \_\_\_\_\_  
 Not valid without the signature and the original seal of a Florida Registered Engineer.

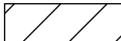
DATE	NOVEMBER 2013
DESIGNED	SKH
CHECKED	MSS
SCALE	1" = 50'
PROJECT NO.	MTGR/PPSP
FILE NAME	MTGR/PPSP/Grading-01
SHEET	6 OF 10

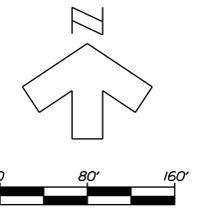


**NOTE:**  
 1.) A UTILITY, DRAINAGE, ACCESS & SIDEWALK ESMT. IS DEDICATED OVER ALL HOA TRACTS.

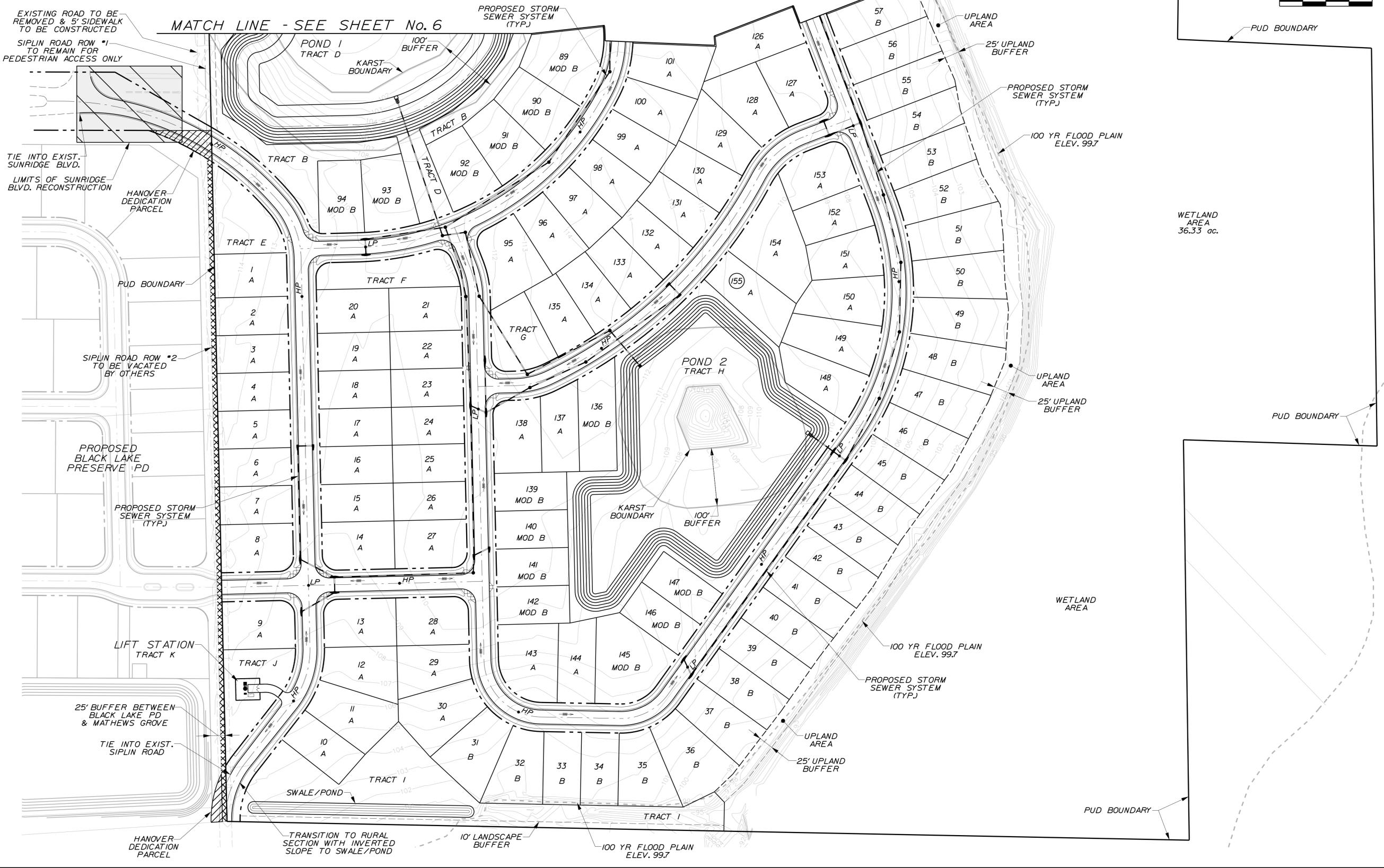
**NOTES:**

- 1.) A UTILITY, DRAINAGE, ACCESS & SIDEWALK ESMT. IS DEDICATED OVER ALL HOA TRACTS.
- 2.) SEE SHEET No. 6 FOR TYPICAL GRADING SECTIONS & DETAILS.

	LIMITS OF SUNRIDGE BLVD. RECONSTRUCTION
	SIPLIN ROAD ROW TO BE VACATED
	HANOVER DEDICATION PARCELS



FLORIDA  
**BOWYER SINGLETON**  
 WINTER GARDEN  
**GRADING & DRAINAGE PLAN**  
 MATHews GROVE - PRELIMINARY PLAT  
 CORPORATE OFFICE - 550 SOUTH MAGNOLIA AVENUE - ORLANDO, FLORIDA 32801  
 407-943-9120 - ENGINEERING BUSINESS - 1221  
 hal@bsst.com



DATE	DESCRIPTION

CONTRACTOR "AS-BUILT" sheets furnished to me by the contractor listed below. I, an employee under my direct supervision have reviewed these sheets and believe them to be in accordance with the plans actually constructed. This statement is based upon site observations of the construction.  
 Contractor's Name: \_\_\_\_\_  
 Engineer: \_\_\_\_\_  
 Not valid without the signature and the original seal of a Florida Registered Engineer.

DATE	NOVEMBER 2013
DESIGNED	SKH
CHECKED	MSS
SCALE	1" = 50'
PROJECT NO.	MTGR/PPSP
FILE NAME	MTGR/PPSP/Grading-02
SHEET	7 OF 10

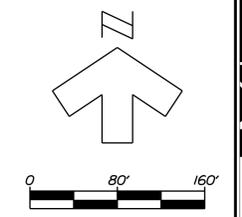
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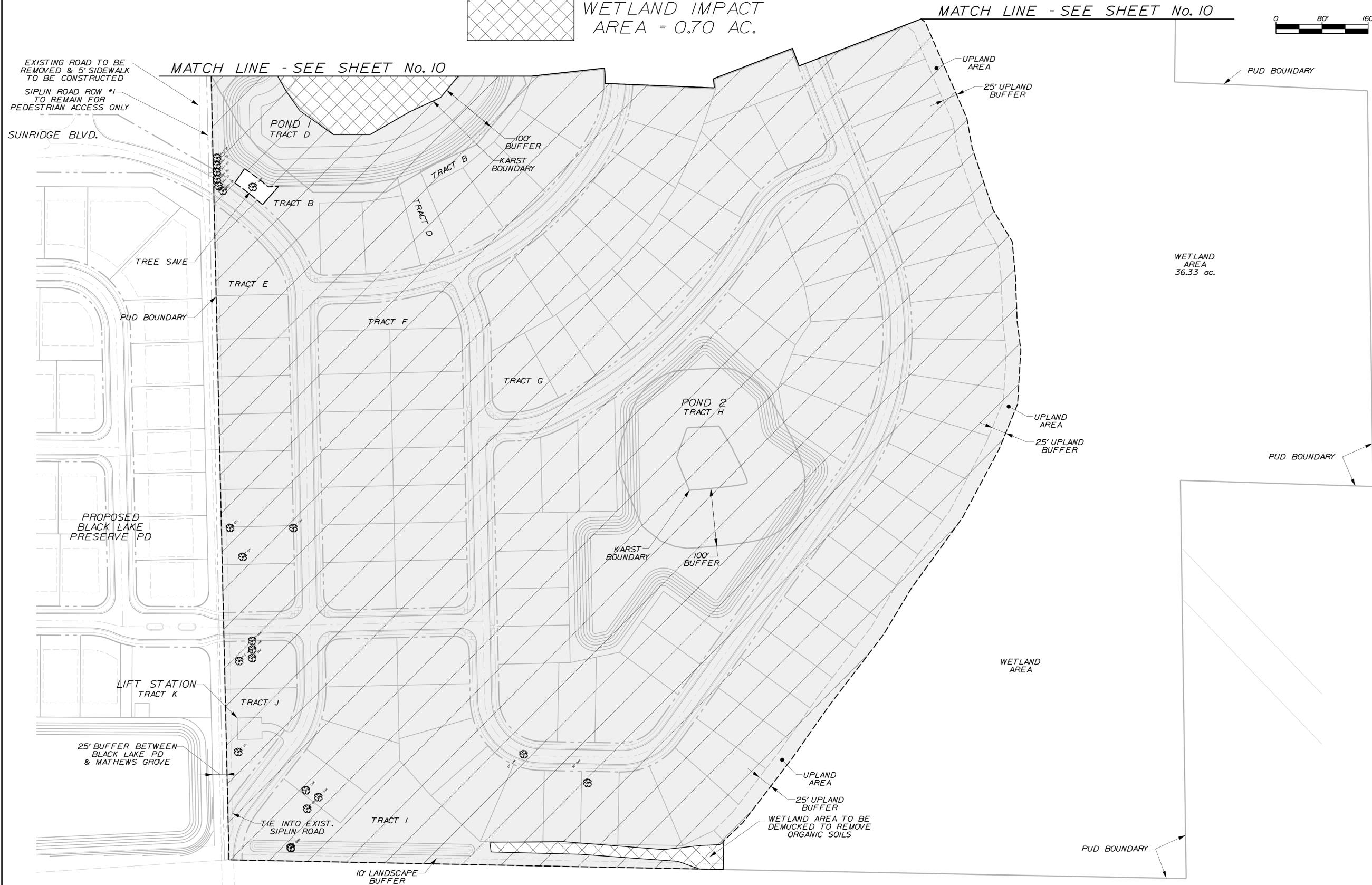




 AREA OF TREE REMOVAL  
 WETLAND IMPACT AREA = 0.70 AC.



BOWYER SINGLETON



FLORIDA  
 WINTER GARDEN  
**TREE REMOVAL/WETLAND IMPACT PLAN**  
 MATHEWS GROVE - PRELIMINARY PLAT  
 CORPORATE OFFICE - 550 SOUTH MAGNOLIA AVENUE - ORLANDO, FLORIDA 32801  
 407-943-9120 - ENGINEERING BUSINESS - 121

DATE	BY	DESCRIPTION

CONTRACTOR "AS-BUILTS" - "As-Built" notes furnished to me by the contractor listed below. I, or an employee under my direct supervision have reviewed these "As-Built" and believe them to be in substantial conformance with the plans as actually constructed. This statement is based upon site observations of the construction.  
 Contractor's Name: \_\_\_\_\_  
 Engineer: \_\_\_\_\_  
 Not valid without the signature and the original seal of a Florida Registered Engineer.

DATE	NOVEMBER 2013
DESIGNED	SKH
CHECKED	MSS
SCALE	1" = 50'
PROJECT NO.	MTGR1/PSP
FILE NAME	MTGR1spTreeRemoval-02
SHEET	10A OF 10

12/20/2013  
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**THE CITY OF WINTER GARDEN**  
**PLANNING AND ZONING BOARD AGENDA ITEM**

**ITEM # 6 (Public Hearing)**

---

**DATE:** January 30, 2014 **MEETING DATE:** February 3, 2014

**SUBJECT:** 14288, 14350 & 14362 Siplin Road (35.176 +/- Acres)  
(Preliminary Plat)

**PROJECT NAME** Mathews Grove PUD

**PARCEL ID#** 32-22-27-0000-00-008

32-22-27-0000-00-029

32-22-27-0000-00-007

**ISSUE:** Applicant is requesting approval of a Preliminary Plat for Black Lake Preserve PUD to allow platting of 91 single-family lots. The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation PUD. The subject property is designated Suburban Residential on the Future Land Use Map of the Comprehensive Plan.

**SUPPLEMENTAL MATERIAL/ANALYSIS:**

**OWNER/APPLICANT:** HANOVER CAPITAL PARTNERS, LLC

**CURRENT ZONING:** PUD

**PROPOSED ZONING:** N/A

**CURRENT FLU:** SUB- Suburban Residential

**PROPOSED FLU:** N/A

**SUMMARY:**

City staff recommends approval of the proposed Preliminary Plat for 91 single-family lots. The proposed single-family subdivision is consistent with the City's Comprehensive Plan and the City of Winter Garden Code of Ordinances. The proposed Pre-plat is consistent with the Planned Unit Development (PUD) approval (See attached Staff Report).

**STAFF RECOMMENDATION(S):**

City staff recommends approval of the Preliminary Plat of 91 single-family lots in Black Lake Preserve.

**NEXT STEP(S):**

Submit final plat and construction plans for review.

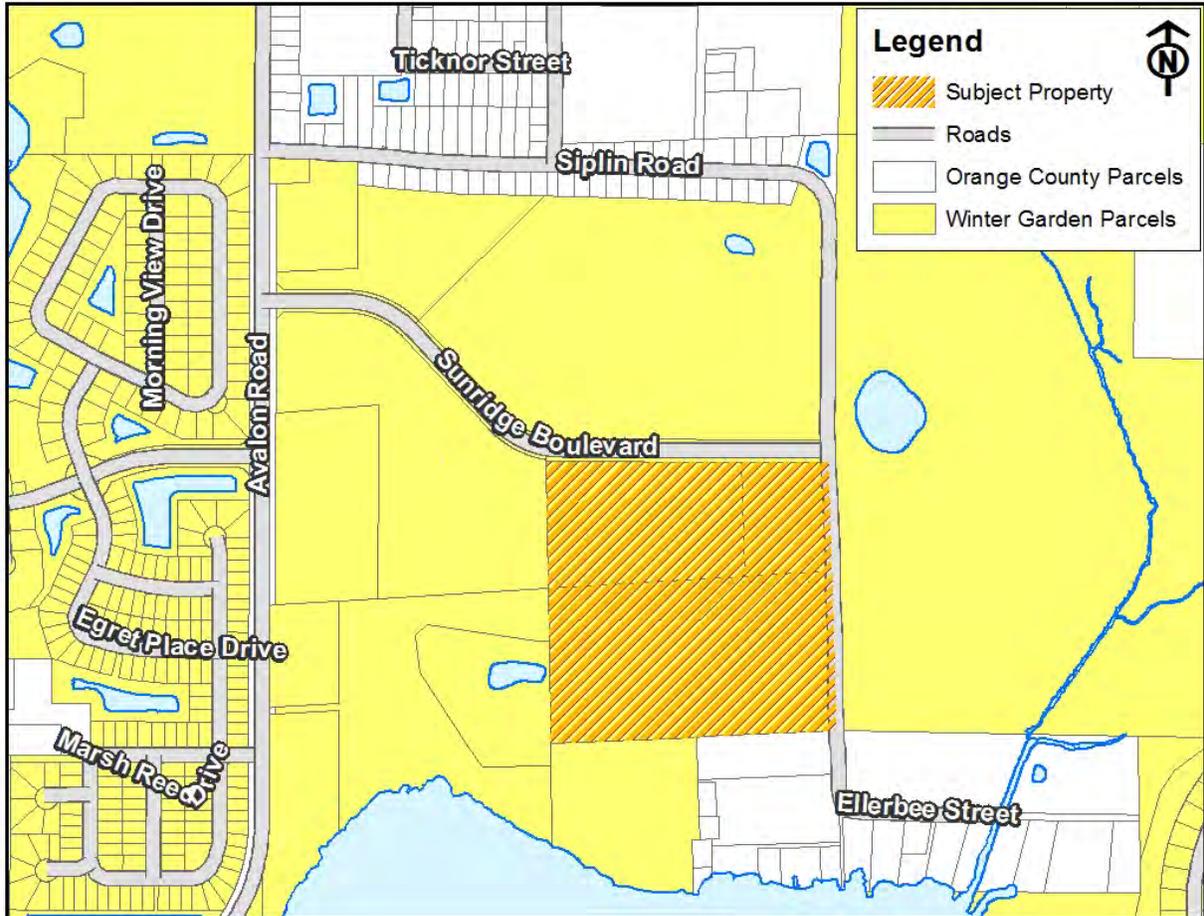
**ATTACHMENT(S):**

Location Map  
Staff Report  
Preliminary Plat

# LOCATION MAP

14288, 14350 & 14362 Siplin Road

BLACK LAKE PRESERVE



# CITY OF WINTER GARDEN

## PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

# STAFF REPORT

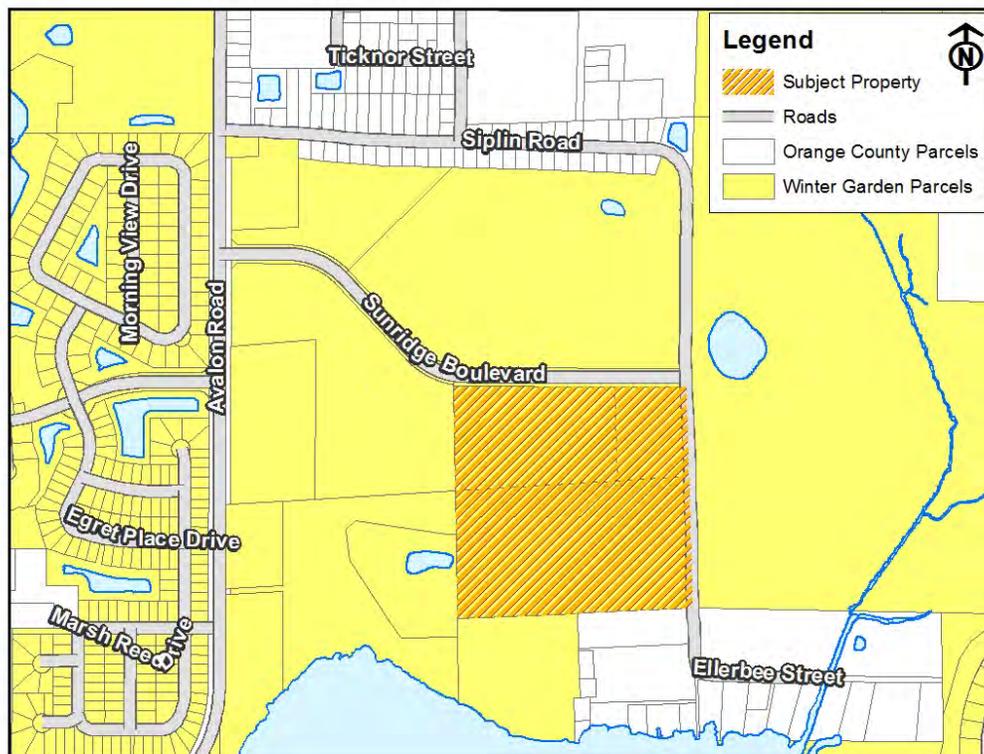
**TO:** PLANNING AND ZONING COMMITTEE  
**PREPARED BY:** LAURA SMITH, SENIOR PLANNER  
**DATE:** JANUARY 28, 2014  
**SUBJECT:** PRELIMINARY PLAT  
**BLACK LAKE PRESERVE PROPERTY**  
**14288, 14350 & 14362 SIPLIN ROAD (35.176 +/- ACRES)**  
**PARCEL ID #** 32-22-27-0000-00-008; 32-22-27-0000-00-029  
32-22-27-0000-00-007

**APPLICANT:** HANOVER CAPITAL PARTNERS, LLC

### INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located at 14288, 14350 & 14362 Siplin Road and is approximately 35.176± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits.



## **EXISTING USE**

The subject property is primarily vacant unimproved land; however there is one existing single family residential structure located on the portion of the property addressed at 14362 Siplin Road.

## **ADJACENT LAND USE AND ZONING**

The property located to the north of the subject property is the new school site of SunRidge Middle School and SunRidge Elementary School which opened last year in the City of Winter Garden, the Future Land Use Designation of the property is Institutional. The properties located to the west are vacant properties within the City of Winter Garden, one containing an Orange Grove and the other is a retention pond owned by the City of Winter Garden. Since the annexation of these properties, located to the west of the subject property, they have not been assigned Zoning or Future Land Use Designation on the Future Land Use Map of the City's Comprehensive Plan. The properties located to the south include vacant unimproved land located in Unincorporated Orange County and a Single Family Residential structure also located in Unincorporated Orange County. The property to the east is primarily vacant land but will be developed as the Mathews Grove PUD with Future Land Use Designation of Low Density Residential and the Zoning is PUD in the City of Winter Garden.

## **PROPOSED USE**

The applicant is requesting preliminary plat approval to move forward with development plans and the final plat. The property has been rezoned to PUD to develop the 35.176 ± acre site into a residential subdivision containing 91 single-family dwelling units. The subdivision will have a gross density of 2.58 dwelling units per acre, the SUB- Suburban Residential Future Land Use Designation allows up to 4 dwelling units per acre. The subdivision will contain 2 recreational parks, walking trails and 8.89 acres of open space.

The project contains a mixture of 70'x125' lots and 75'x125' lots, with a total of 44 lots at between 70' and 75' wide and 47 lots at 75' or wider.

- The applicant has signed the SunRidge Fair Shar Agreement.
- The applicant has an agreement with Mathews Grove for shared infrastructure.
- Includes relocation and upgrade of Siplin Road.

## **SUMMARY**

City Staff recommends conditional approval of the Preliminary Plat subject to the following condition(s):

- A Developer's Agreement shall be drafted, approval obtained and recorded prior to approval of Preliminary Plat of the Property becoming effective and prior to the issuance of any site or building permits.
- SunRidge Boulevard has been constructed with two lanes, to be expanded as designed, to four lanes. This project, along with others along this corridor shall be required to participate in the funding of the widening to four lanes. 5' wide concrete sidewalk will be required along the frontage of SunRidge Boulevard if not constructed with the road widening.
- Typical Section: Right-of-way width shall be a minimum of 50 feet with minimum roadway pavement width of 24' as required by City Code (12' minimum each lane); 16' minimum lane width for any divided portion (additional width may be required if parking is allowed); 18" of clean

fill with no more than 5% passing a #200 sieve required under the subbase (show on typical section); 98% density required on all compaction; 2" minimum asphalt thickness; 10" minimum soil cement base thickness; minimum 24" wide concrete curb and gutter required; 5' wide concrete sidewalks required on both sides of street; minimum 10' wide drainage and utility easements required adjacent to all rights-of-way. All construction shall meet City of Winter Garden requirements for drainage, roadways and utilities.

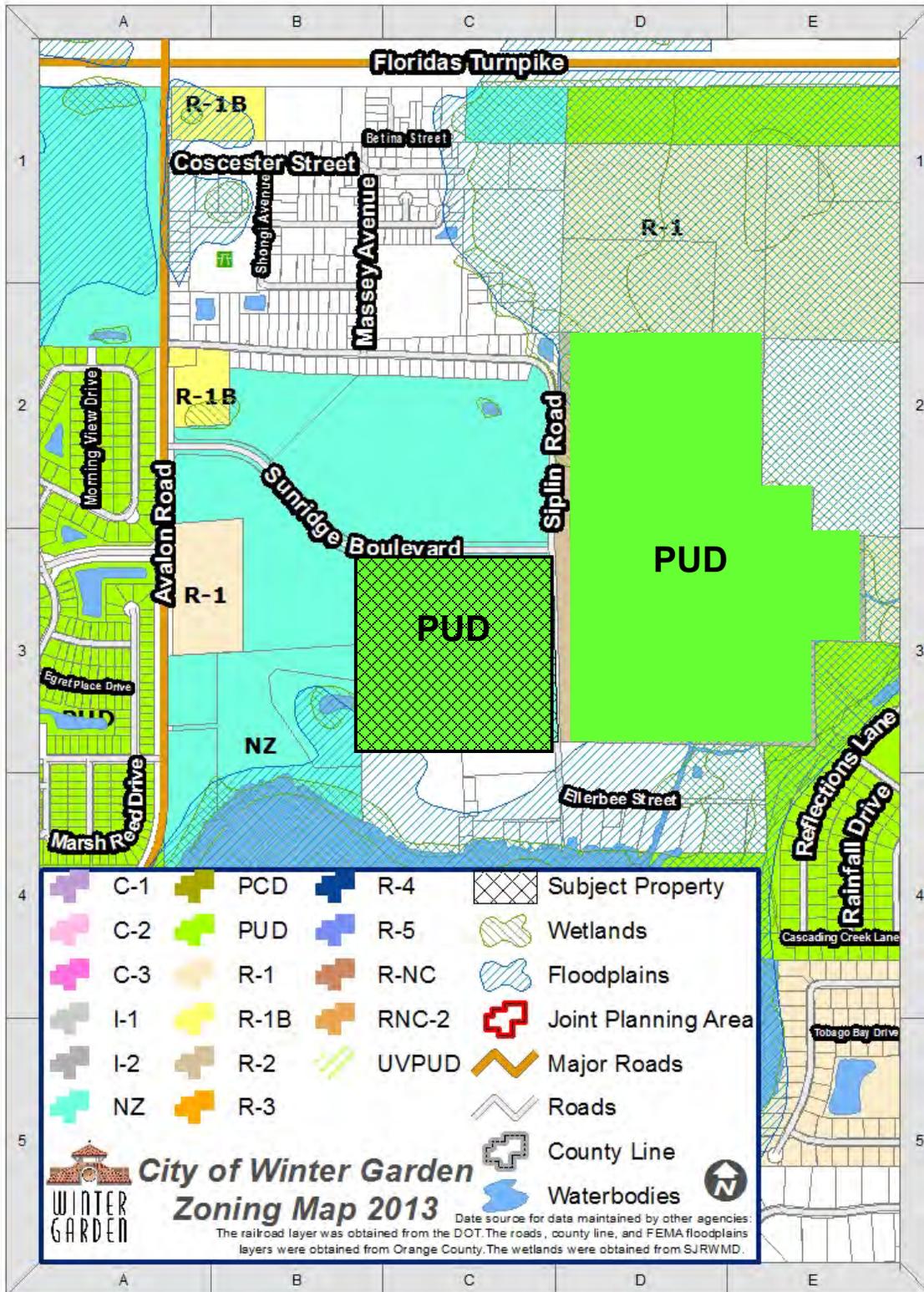
- The "Primary Entrance" layout on SunRidge Boulevard will be pending the outcome of the Mathews Grove/Siplin Road improvements (see above). As discussed previously, this access shall be a right-in only, with no exit depending on the above stated outcome. Final Construction plans shall address the City's concerns regarding residents using this as an exit.
- Landscaping, perimeter fencing, and screen walls shall be located within a landscape and wall tract, to be maintained by the HOA, not individual lot owners.
- All proposed easements shall be 30' minimum width for sanitary, water and storm; improvements shall be centered within the easement. Common areas not abutting right-of-way shall include a tract (not easement) for access and maintenance.
- Utilities: Minimum 8" potable water, 8" reuse water, and minimum 6" sanitary force main are required, except on cul-de-sacs where 4" potable water looping is allowed.
- Proposed 5 ft building setbacks will only be approved provided that no obstructions of any kind are allowed within the 5 ft setback area. Minimum 5 ft wide utility and drainage easements shall be provided on each side lot line (as noted).
- The project is proposed to be gated. The streets will be private and maintained by the HOA. While portions of the right-of-way may be dedicated to the City, maintenance of special pavements, landscaping, hardscaping, etc. shall be performed by the HOA under a R/W maintenance agreement.
- Some of this property appears to be "A" type soils and may require adherence to the Wekiva protection regulations. Wekiva Protection requirements as outlined in the Comprehensive Plan shall be met, especially for drainage and Karst protection.

MAPS

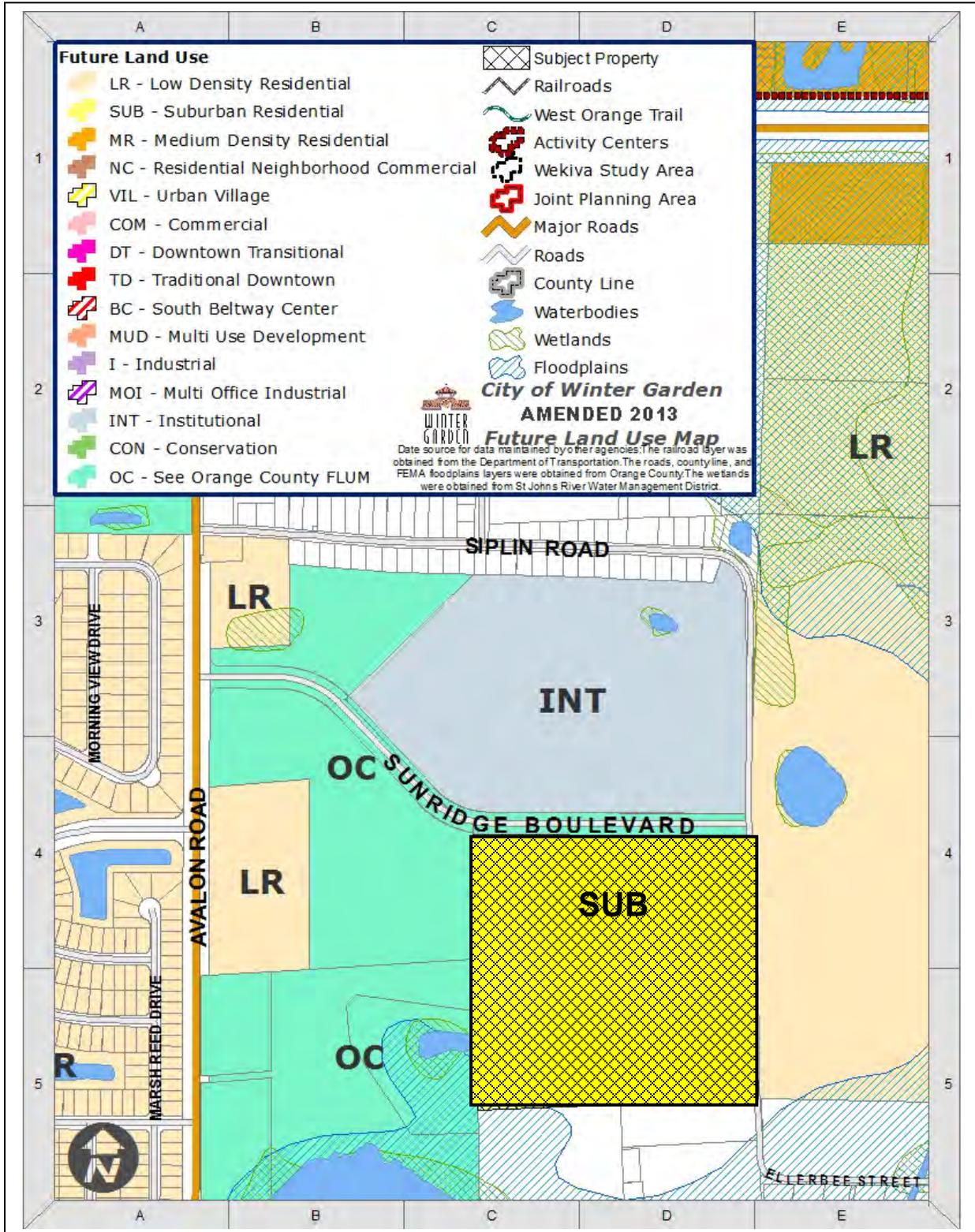
**AERIAL PHOTO  
BLACK LAKE PRESERVE**



**ZONING MAP**  
**BLACK LAKE PRESERVE**



**FUTURE LAND USE MAP  
 BLACK LAKE PRESERVE**



END OF STAFF REPORT

# BLACK LAKE PRESERVE PRELIMINARY PLAT PLAN

PARCEL ID # 34-22-27-0000-00-007,  
34-22-27-0000-00-008 & 34-22-27-0000-00-029

LEGAL DESCRIPTION:  
THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4, LESS THE SOUTH 5/8 OF THE WEST 1/2 THEREOF AND THE SOUTH 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4, SECTION 26, TOWNSHIP 21 SOUTH, RANGE 30 EAST, SEMINOLE COUNTY, FLORIDA; LESS THE RIGHT OF WAY OF DODD ROAD, AND LESS PARCEL 108 DESCRIBED IN ORDER OF TAKING FILED IN O.R. BOOK 4224, PAGE 1031, PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA, AND LESS THE WEST 175 FEET OF THE NORTH 200 FEET OF THE SOUTH 824.68 FEET AND THE WEST 25 FEET OF THE SOUTH 624.68 FEET OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 26.

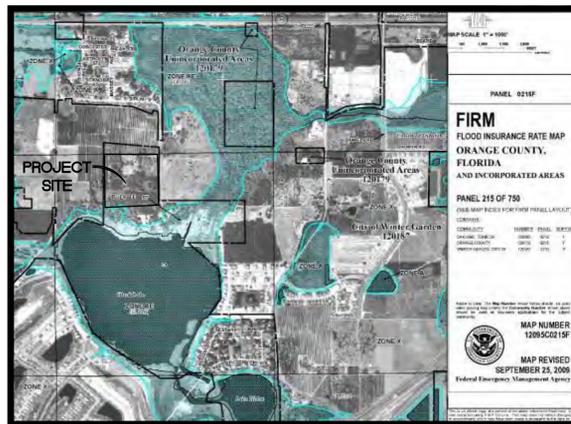
PREPARED FOR  
**HANOVER BLACK LAKE, LLC**  
911 OUTER ROAD  
ORLANDO, FLORIDA 32814

## LOCATION MAP



SECTION 34 TOWNSHIP 22S RANGE 27E  
MAP FROM ORANGE COUNTY PROPERTY  
APPRAISER - 10-15-13  
SCALE: 1" = 1,000'

## FLOOD MAP



## USGS MAP



## SOILS MAP



SOIL TYPE	SOIL NAME	HYDROLOGIC GROUP
3	BASINGER FINE SAND, DEPRESSIONAL	A
6	CHANDLER-APDOKA FINE SAND 5 TO 12 PERCENT SLOPES	A
34	POMELLO FINE SAND, 0 TO 5 PERCENT SLOPES	A
37	ST. JOHN'S FINE SAND	B/D
46	TAVARES FINE SAND, 0 TO 5 PERCENT SLOPES	A
47	TAVARES-MILLHOPPER FINE SAND, 0 TO 5 PERCENT SLOPES	A

Sheet List Table		
Sheet Number	Sheet Title	Revision
C0.0	COVER SHEET	
C1.0	EXISTING CONDITIONS and EROSION CONTROL PLAN	
C2.0	PRELIMINARY PLAT PLAN	
C3.0	TYPICAL SECTIONS	
C4.0	GRADING PLAN	
C5.0	DRAINAGE DETAILS	
LS-1	LANDSCAPE PLAN	
LS-2	LANDSCAPE DETAILS	
TR-1	TREE REMOVAL ( NORTH)	
TR-2	TREE REMOVAL PLAN (SOUTH)	

## PROJECT INFORMATION

EXISTING ZONING: PD  
EXISTING LAND USE: PD  
PROJECT AREA: 35.265 ACRES (SECT. 34, T 22S, R 27E)  
PROPOSED DEVELOPMENT:  
70'x125' LOTS = 44  
75'x125' LOTS = 26  
CORNER/VARYING WIDTH & LENGTH LOTS = 21  
TOTAL 91 SINGLE-FAMILY LOTS (ONE PHASE)

MIN. LIVING AREA: 1,500 S.F.  
PROPOSED DENSITY: 2.6 DWELLINGS PER ACRE  
SETBACKS: 25' - FRONT  
5' - SIDE  
25' - REAR  
15' - STREET  
25' - PD PERIMETER

NOTES:  
1. 25% OF THE UNITS WILL HAVE EITHER A RECESSED GARAGE OR FRONT PORCH WITH NO ELEVATION SIDE BY SIDE OR DIRECTLY ACROSS THE STREET.  
2. UNITS WITH A FRONT PORCH CAN ENCRoACH UP TO 5' INTO THE FRONT SETBACK.  
3. UNITS WITH A RECESSED GARAGE WILL HAVE A REDUCED FRONT SETBACK OF 20'  
4. REAR OF ALL UNITS VISIBLE TO PUBLIC RIGHT OF WAY WILL HAVE ADDITIONAL ARCHITECTURAL FEATURES.

MAXIMUM HEIGHT: 35'  
MINIMUM LOT: 70'x125'  
MINIMUM LOT AREA: 8,750 S.F.  
SCHOOL CALCULATION: PROJECTED SCHOOL AGE POPULATION (91 DWELLING UNITS) x 0.404 STUDENTS/DWELLING UNITS) = 37 STUDENTS)  
ITE AVERAGE DAILY TRIPS: 91 UNITS X 10.1 ADT/LOT = 919.1 ADT (ITE CODE 210)  
POTABLE WATER SERVICE: WINTER GARDEN UTILITIES  
91 LOTS X 350 GPD = 31,850 GPD (22.1 GPM)  
FIRE PROTECTION: CITY OF WINTER GARDEN  
500 GPM  
SEWER SERVICE: WINTER GARDEN UTILITIES  
91 LOTS X 300 = 27,300 GPD (19.0 GPM)  
EXIST. VEGETATION: PASTURE GRASS W/ SCATTERED OAK  
STORMWATER: STORMWATER FACILITY ON-SITE  
REQUIRED OPEN SPACE: 25% OF TOTAL ACRES = (35.265x25%) = 8.82 AC.  
PROVIDED OPEN SPACE: WSA (OPEN SPACE) - 4.48 AC.  
PONDS - 4.45 AC. (50%x8.82) = 4.41 AC.  
TOTAL = 8.89 AC. > 8.82 AC.

## PROJECT TEAM

### OWNER/APPLICANT

HANOVER BLACK LAKE, LLC  
911 OUTER ROAD  
ORLANDO, FLORIDA 32814  
PHONE: 407-206-9303

### ENGINEER

B&S ENGINEERING CONSULTANTS, LLC  
MAJOR STACY, P.E.  
2265 LEE ROAD, SUITE 103  
WINTER PARK, FLORIDA 32789  
PHONE: 407-960-5868

### SURVEYOR

PEC SURVEYING AND MAPPING, LLC  
2100 ALAFAYA TRAIL, SUITE 103  
OVIEDO, FLORIDA 32765  
PHONE: 407-542-4967

### ENVIRONMENTALIST

ECOLOGICAL CONSULTING SOLUTIONS  
235 HUNT CLUB BOULEVARD, SUITE 202  
LONGWOOD, FLORIDA 32789  
PHONE: 407-869-9434

## UTILITY SERVICE PROVIDERS

### WATER

WINTER GARDEN UTILITIES  
300 WEST PLANT STREET  
WINTER GARDEN, FLORIDA 34787  
PHONE: 407-656-4100

### SEWER/WASTEWATER

WINTER GARDEN UTILITIES  
300 WEST PLANT STREET  
WINTER GARDEN, FLORIDA 34787  
PHONE: 407-656-4100

### ELECTRIC

PROGRESS ENERGY  
P.O. BOX 33199  
ST. PETERSBURG, FLORIDA 33733  
PHONE: 877-372-8477

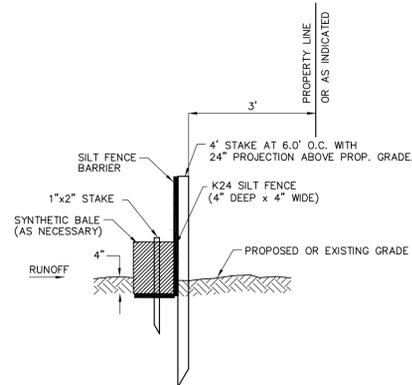
PRELIMINARY DEVELOPMENT PLAN SUBJECT TO CHANGE PENDING SITE ENGINEERING.

**B&S** ENGINEERING CONSULTANTS, LLC  
*engineers planners*

Board of Professional Engineer Certificate No. 28973  
2265 Lee Road, Suite 103, Winter Park, Florida 32789  
Phone (407) 960-5868 b&s@bandseng.com

**LEGEND**

-  PROPERTY LINE
-  TYPE III SILT FENCE
-  MISCELLANEOUS DEMOLITION
-  REMOVE BUILDING & DRIVEWAY REMOVAL
-  WETLAND REMOVAL

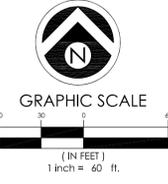
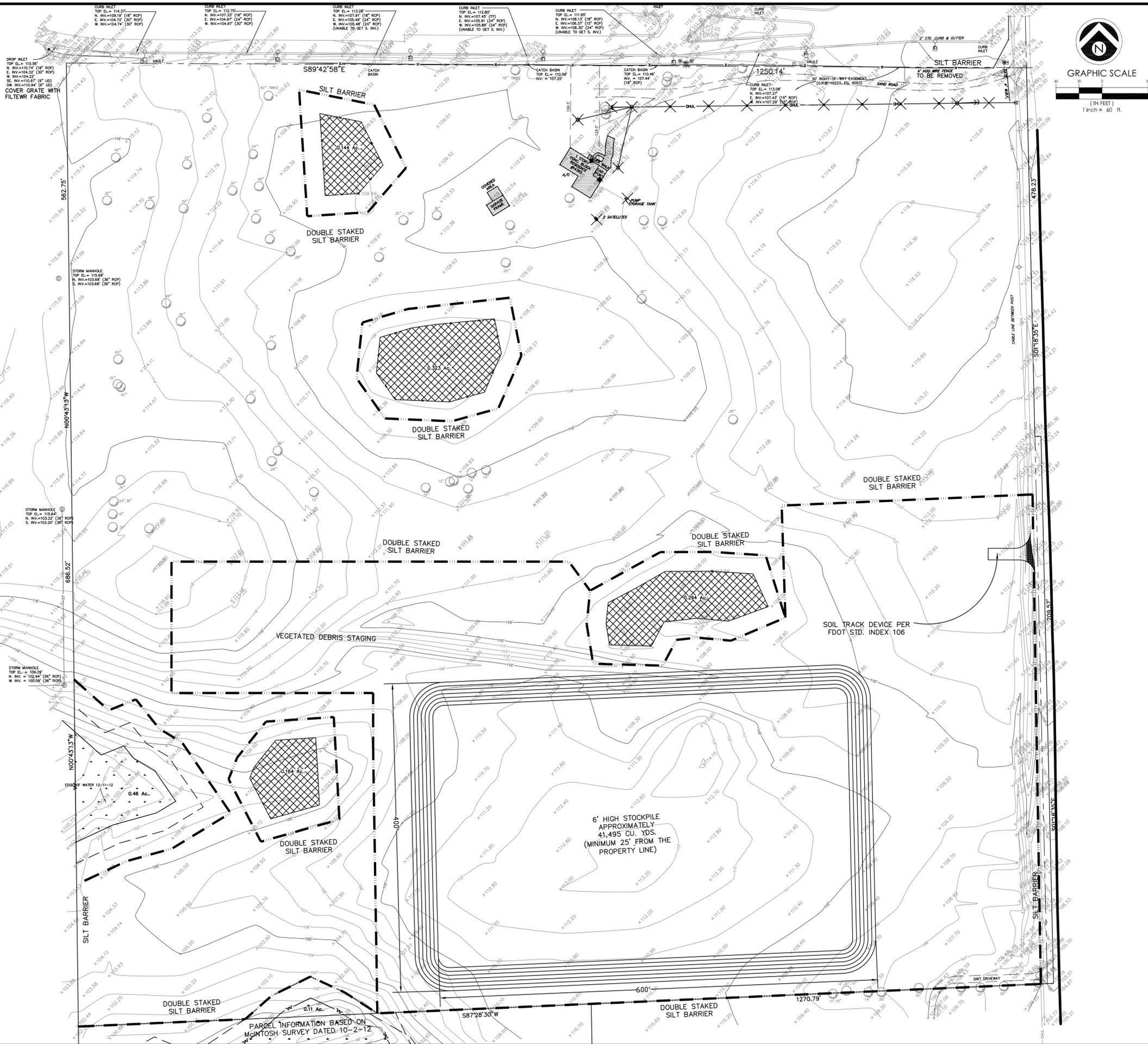


**SILT FENCE DETAIL**  
N.T.S.

- FOR ATTACHING TWO SILT FENCES TOGETHER ROTATE THE TWO END STAKES AT LEAST 180° IN A CLOCKWISE DIRECTION TO SEAL THE TWO FABRIC MATERIAL.

**EROSION AND TURBIDITY CONTROL NOTES:**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL EROSION AND TURBIDITY CONTROL DEVICES AND THE QUALITY AND QUANTITY OF ANY OFFSITE OR WETLAND DISCHARGES.
- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION COMMENCEMENT.
- THE APPROPRIATE TURBIDITY AND EROSION CONTROL METHODOLOGIES SELECTED BY THE CONTRACTOR FOR THIS PROJECT SHOULD BE MADE FOLLOWING ASSESSMENT OF THE PLANS AND PROJECT SITE SPECIFIC FACTORS AND AFTER CONSULTATIONS AS NEEDED WITH THE PROJECT ENGINEER AND APPROPRIATE AGENCIES. THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS FOR SUCH ACTIVITY.
- THE CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF CONSTRUCTION. SUCH DEVICES SHALL REMAIN UNTIL SUFFICIENT GROUND COVER IS ESTABLISHED.
- THE EROSION CONTROL MEASURE TAKEN SHALL BE IN CONFORMANCE WITH CITY OF WINTER GARDEN, SOUTH FLORIDA WATER MANAGEMENT DISTRICT, FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, AND ANY OTHER LOCAL, STATE, OR FEDERAL AGENCIES HAVING JURISDICTION.
- AT THE ONSET OF CONSTRUCTION THE CONTRACTOR, AS THE PARTY RESPONSIBLE FOR IMPLEMENTATION OF THE EROSION AND SEDIMENT CONTROL MEASURES SHALL ASSESS THE SITE CONDITIONS AND SELECT THE APPROPRIATE METHODS OF PROTECTION, INCLUDING THOSE MEASURES IN EXCESS OF WHAT IS SHOWN IN THE PLANS. THE CONSTRUCTION SEQUENCING SHOULD BE THOUGHT OUT IN ADVANCE OF INITIATION TO PROVIDE ADEQUATE PROTECTION OF WATER QUALITY.
- FLOATING TURBIDITY BARRIERS SHALL BE IN PLACE IN FLOWING SYSTEMS OR IN OPEN WATER LAKE EDGES PRIOR TO INITIATION OF EARTHWORK.
- THE INSTALLATION OF TEMPORARY EROSION CONTROL BARRIERS SHALL BE COORDINATED WITH THE CONSTRUCTION OF THE PERMANENT EROSION CONTROL FEATURES TO THE EXTENT NECESSARY TO ASSURE ECONOMICAL, EFFECTIVE, AND CONTINUOUS CONTROL OF EROSION AND WATER POLLUTION THROUGHOUT THE LIFE OF THE CONSTRUCTION PHASE.
- THE TYPE OF EROSION CONTROL BARRIERS USED SHALL BE GOVERNED BY THE NATURE OF THE CONSTRUCTION OPERATION AND SOIL TYPE THAT WILL BE EXPOSED. SILTY AND CLAYEY MATERIAL MAY REQUIRE SOLID SEDIMENT BARRIERS TO PREVENT TURBID WATER DISCHARGE WHILE SANDY MATERIAL MAY NEED ONLY SILT SCREENS OR SYNTHETIC BALES TO PREVENT EROSION. FLOATING TURBIDITY BARRIERS SHOULD GENERALLY BE USED IN OPEN WATER SITUATIONS. DIVERSION DITCHES OR SWALES MAY BE REQUIRED TO PREVENT TURBID STORMWATER RUNOFF FROM BEING DISCHARGED TO WETLANDS OR OTHER WATER BODIES. IT MAY BE NECESSARY TO EMPLOY A COMBINATION OF BARRIERS, DITCHES, AND OTHER EROSION/TURBIDITY CONTROL MEASURES IF CONDITIONS WARRANT.
- THE PERMITTEE SHALL SCHEDULE HIS OPERATIONS SUCH THAT THE AREA OF UNPROTECTED, ERODIBLE EARTH EXPOSED AT ANY ONE TIME IS NOT LARGER THAN THE MINIMUM AREA NECESSARY FOR EFFICIENT CONSTRUCTION OPERATION AND THE DURATION OF EXPOSED, UNCOMPLETED CONSTRUCTION TO THE ELEMENTS SHALL BE AS SHORT AS PRACTICABLE. CLEARING AND GRUBBING SHALL BE SO SCHEDULED AND PERFORMED SUCH THAT GRADING OPERATIONS CAN FOLLOW IMMEDIATELY THEREAFTER. GRADING OPERATIONS SHALL BE SO SCHEDULED AND PERFORMED THAT PERMANENT EROSION CONTROL FEATURES CAN FOLLOW IMMEDIATELY THEREAFTER IF CONDITIONS ON THE PROJECT PERMIT.
- EXPOSED SOILS SHOULD BE STABILIZED AS SOON AS POSSIBLE ESPECIALLY SLOPES LEADING TO WETLANDS. STABILIZATION METHODS INCLUDE SOILED SO2, SEEDING AND MULCHING, OR HYDROMULCHING TO PROVIDE A TEMPORARY OR PERMANENT GRASS COVER. MULCH BLANKETS, FILTER FABRICS, ETC., CAN BE EMPLOYED TO PROVIDE VEGETATIVE COVER.
- ENERGY DISSIPATORS (SUCH AS RIP-RAP, A GRAVEL BED, SYNTHETIC BALES, ETC.,) SHALL BE INSTALLED AT THE DISCHARGE POINT OF PIPES OR SWALES IF SCOURING IS OBSERVED.
- VEHICLE OR EQUIPMENT WASHDOWN DEBRIS/AREAS SHALL BE SUFFICIENTLY REMOVED FROM WETLANDS OR OFFSITE AREAS, SO AS TO PREVENT TURBID RUNOFF FROM READING THESE AREAS.



REV.	DATE	DESCRIPTION

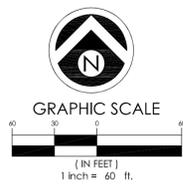
HANOVER BLACK LAKE, LLC - BLACK LAKE PRESERVE  
**EXISTING CONDITIONS, STOCKPILE AND EROSION CONTROL PLAN**  
 WINTER GARDEN, FLORIDA

**B&S**  
 ENGINEERING CONSULTANTS, LLC  
 2265 Lee Road, Ste. 103  
 Winter Park, FL 32789  
 (407) 960-5868  
 b@sbandson.com  
 Board of Professional Engineers  
 Certificate No. 28973

JOB No.: HCP-001  
 DESIGNED BY: p.l.b.  
 DRAWN BY: ACAD  
 APPROVED BY: MLS  
 DATE: 01-17-14  
 SHEET: **C1.0**

P:\PROJECT DRAWINGS\HCP-001\_Ben Snyder-Winter Garden\Preliminary\Plot\C1.0 EXISTING CONDITIONS and EROSION CONTROL PLAN.dwg PLOTTED: 1/17/2014 3:51 PM BY: phil bishop

PRELIMINARY PLAT PLANS



**ZONING - NZ  
FLU - INT**

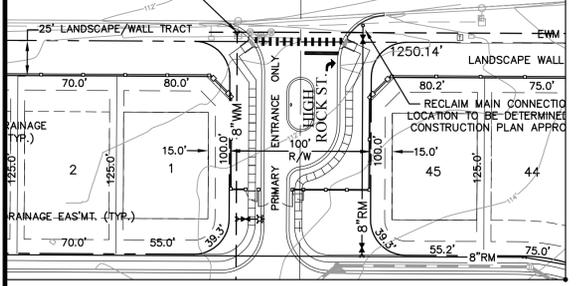
**SUNRIDGE BLVD.**

- NOTES:**
- STREETS WILL BE PRIVATE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION (HOA). WHILE PORTIONS OF THE RIGHT-OF-WAY MAY BE DEDICATED TO THE CITY, MAINTENANCE OF SPECIAL PAVEMENTS, LANDSCAPING, HARDSCAPING, ETC. SHALL BE PERFORMED BY THE HOA UNDER A R/W MAINTENANCE AGREEMENT.
  - A MINIMUM 5 FT. WIDE UTILITY AND DRAINAGE EASEMENTS SHALL BE PROVIDED ON EACH SIDE LOT LINE WITH NO OBSTRUCTIONS WITHIN 5' SETBACK AREA.
  - EXISTING SIPLIN ROAD WILL BE REALIGNED AND LANDSCAPED.
  - THE STORMWATER SYSTEM WILL CONSIST OF INTERCONNECTED DRY RETENTION PONDS MODELED AS ONE POND. THE GEOTECHNICAL ENGINEER WILL DEMONSTRATE RECOVERY AND THE OUTFALL WILL BE LOCATED ON THE WEST POND BANK OUTFALLING TO THE WETLAND. THE SYSTEM WILL BE PERMITTED IN ACCORDANCE WITH ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SJRWD) CODE AS WELL AS THE CITY OF WINTER GARDEN, FLORIDA.
  - STREET LIGHTING WILL BE REQUIRED ADJACENT TO THE EXISTING RIGHT OF WAY AND INTERNAL ROADWAYS PER CITY OF WINTER GARDEN, FLORIDA CODE.

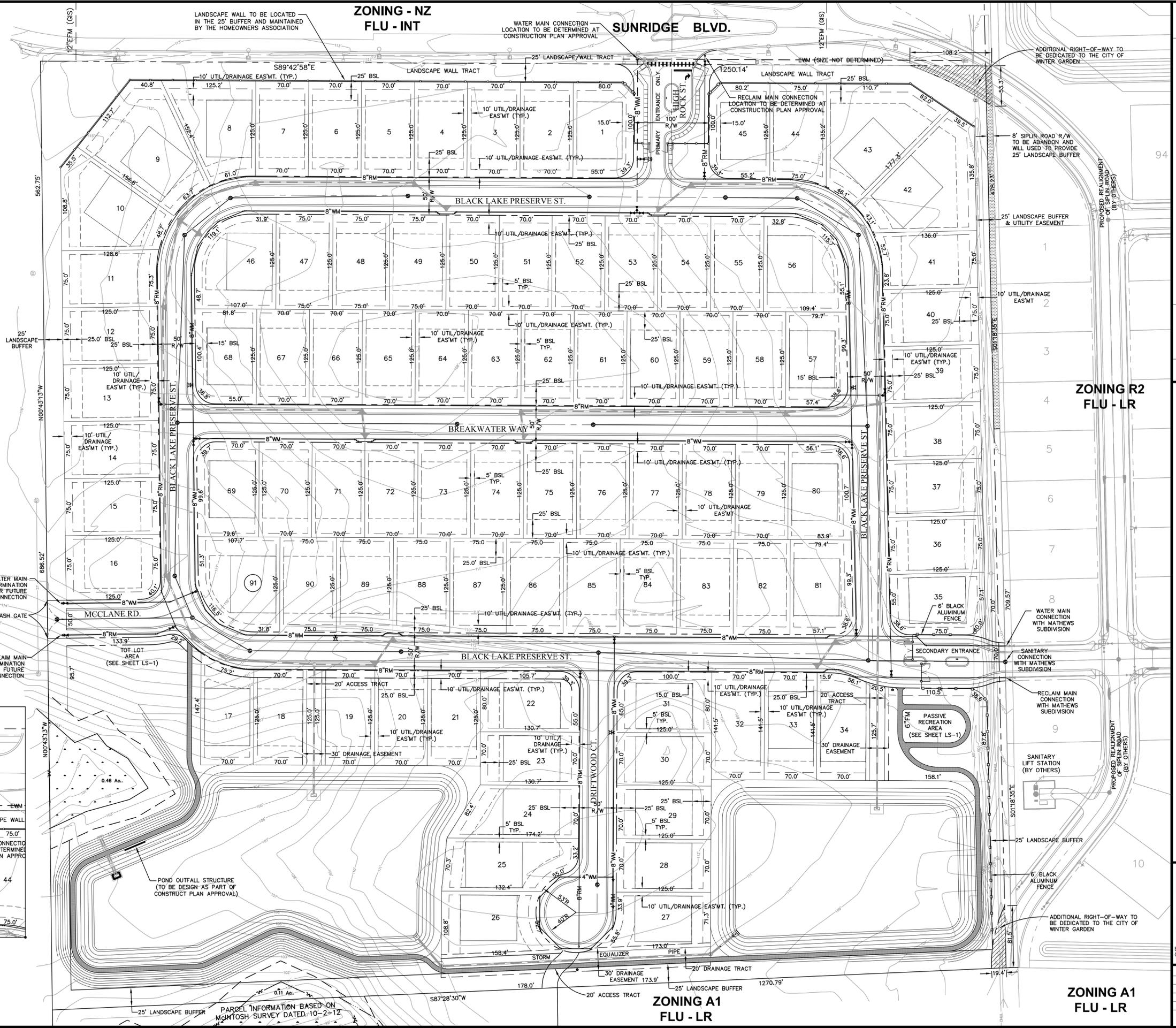
- UTILITY NOTE:**
- DOMESTIC WATER MAIN FITTINGS ARE SHOWN IN PLANS. FITTINGS CAN BE ELIMINATED IF PIPE DEFLECTION PER MANUFACTURER'S SPECIFICATIONS IS APPROVED BY CITY OF WINTER GARDEN AT TIME OF PRE-CONSTRUCTION MEETING.
  - RECLAIM WATER MAIN DEPICTED IF REQUIRED BY CITY OF WINTER GARDEN.
  - ALL WATER AND REUSE MAINS TO BE INSTALLED UNDER SIDEWALK.

**ZONING - NZ  
FLU - OC**

**SUNRIDGE BLVD.**



**SIDEWALK IMPROVEMENTS**



**ZONING R2  
FLU - LR**

**HANOVER BLACK LAKE, LLC - BLACK LAKE PRESERVE**

**PRELIMINARY PLAT PLAN**

**B&S**  
ENGINEERING CONSULTANTS, LLC  
2265 Lee Road, Ste. 103  
Winter Park, FL 32789  
(407) 960-5868  
b@sbandeng.com  
Board of Professional Engineers  
Certificate No. 28973

JOB No.:	HCP-001
DESIGNED BY:	p.l.b.
DRAWN BY:	ACAD
APPROVED BY:	MLS
DATE:	01-17-14
SHEET:	C.2.0

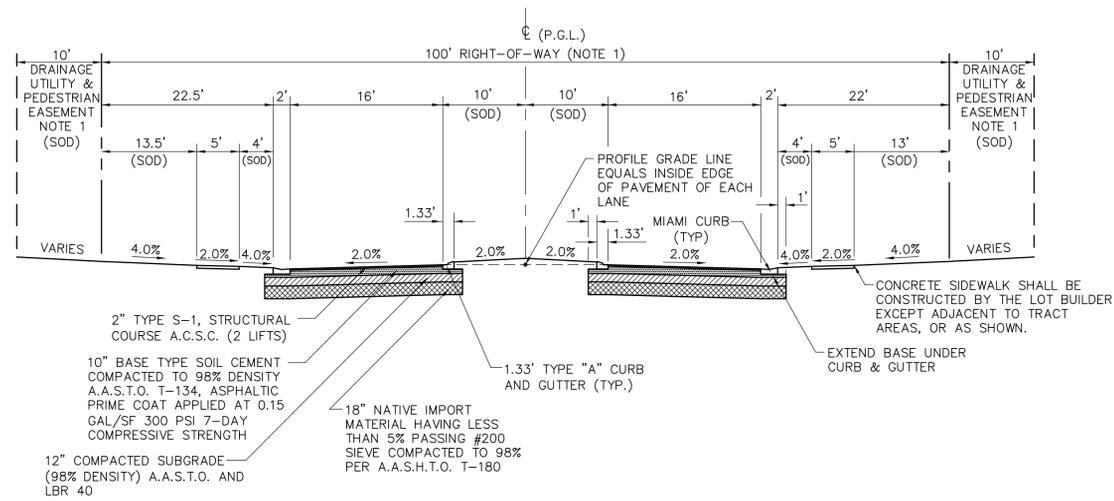
**ZONING A1  
FLU - LR**

PRELIMINARY PLAT PLANS

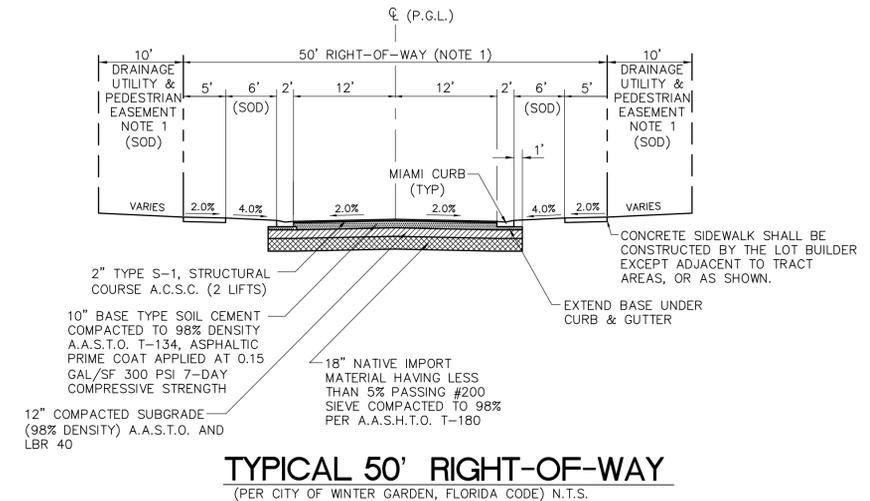
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WINTER GARDEN, FLORIDA

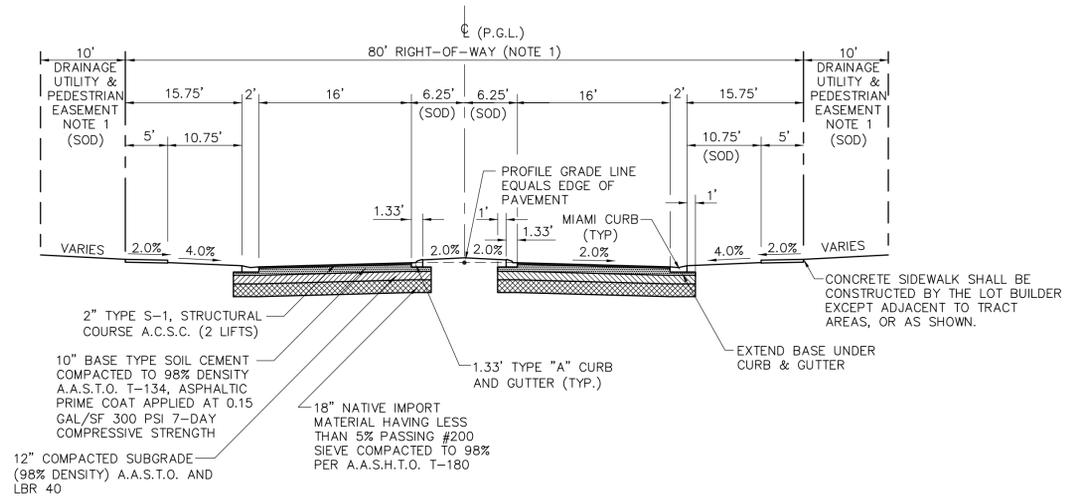
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**PRIMARY ENTRANCE TYPICAL SECTION (100' WIDTH)**  
(PER CITY OF WINTER GARDEN, FLORIDA CODE) N.T.S.



**TYPICAL 50' RIGHT-OF-WAY**  
(PER CITY OF WINTER GARDEN, FLORIDA CODE) N.T.S.



**SECONDARY ENTRANCE TYPICAL SECTION (80' WIDTH)**  
(PER CITY OF WINTER GARDEN, FLORIDA CODE) N.T.S.

REV.	DATE	DESCRIPTION	APPLD BY

HANOVER BLACK LAKE, LLC - BLACK LAKE PRESERVE

**TYPICAL SECTIONS**

WINTER GARDEN, FLORIDA

**B&S**  
ENGINEERING CONSULTANTS, LLC

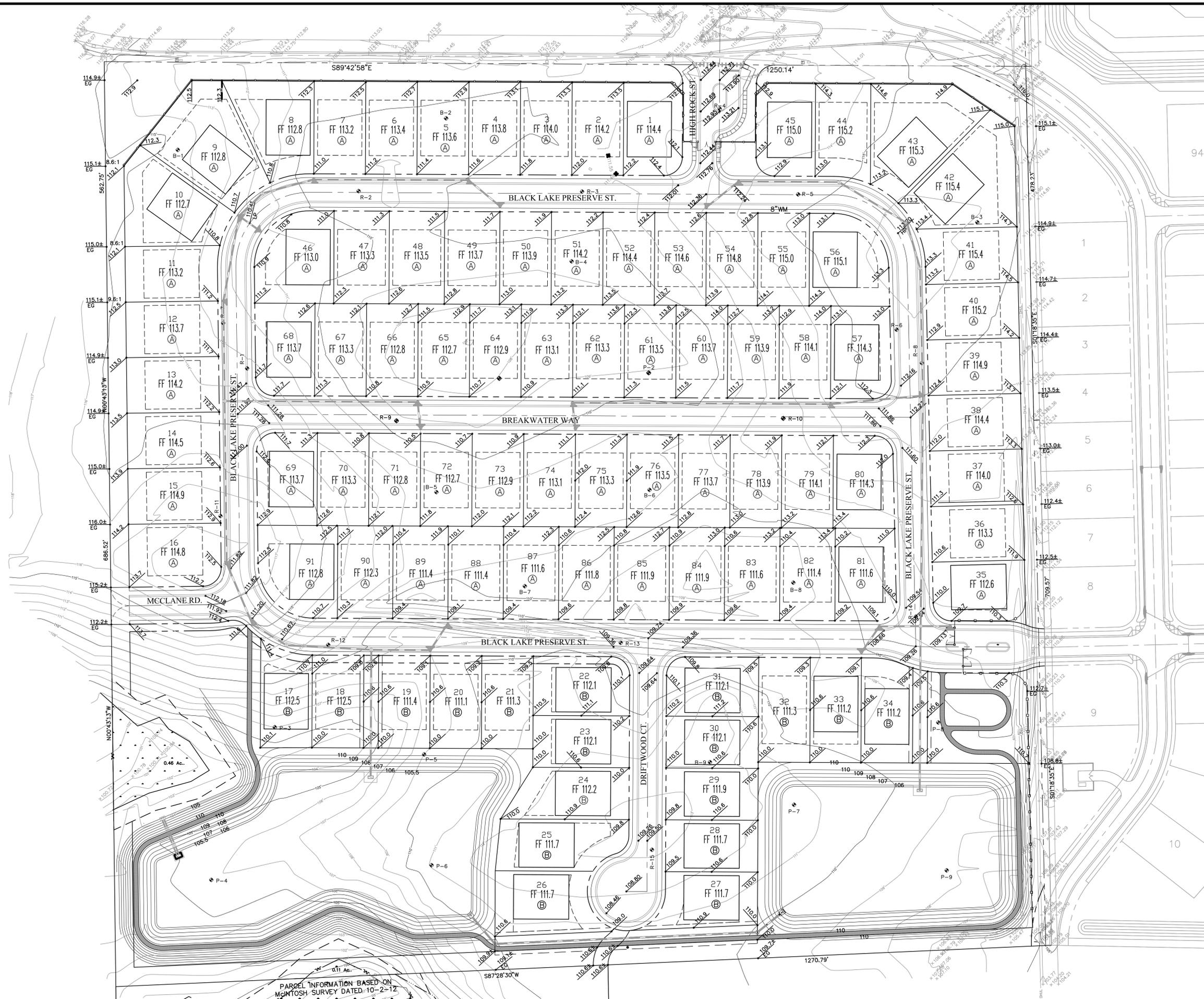
2265 Lee Road, Ste. 103  
Winter Park, FL 32789  
(407) 960-5868  
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Board of Professional Engineers  
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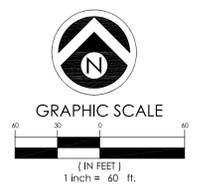
JOB No.:	HCP-001
DESIGNED BY:	p.i.b.
DRAWN BY:	ACAD
APPROVED BY:	MLS
DATE:	01-17-14
SHEET:	<b>C3.0</b>

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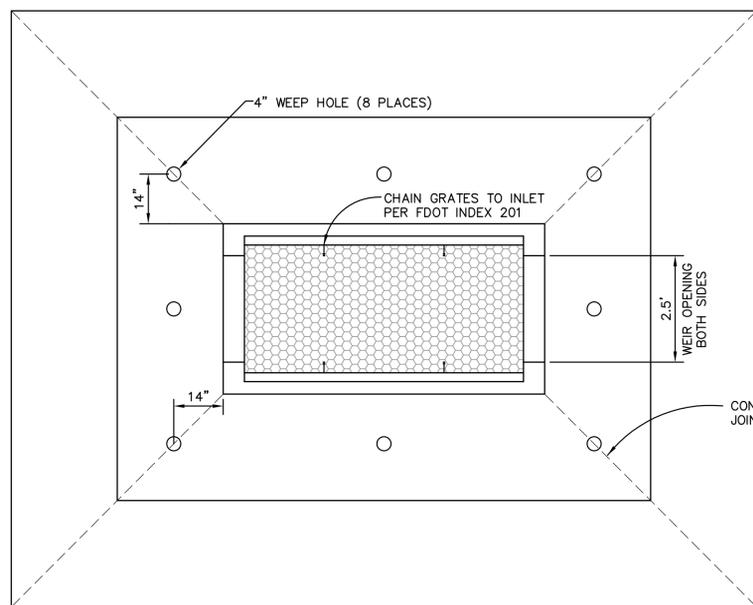
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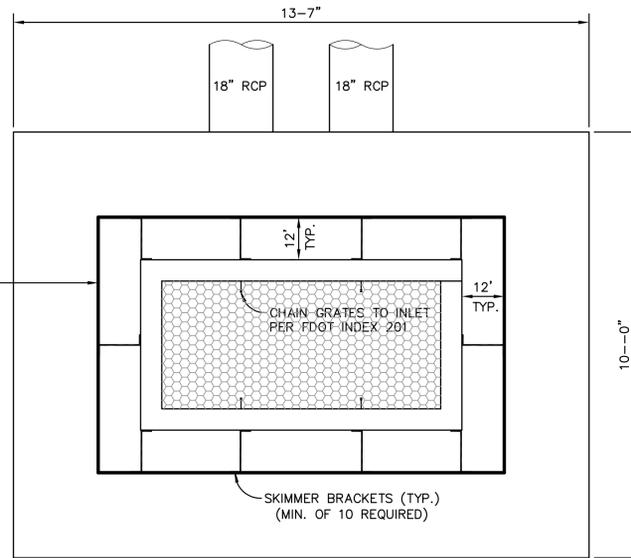
PARCEL INFORMATION BASED ON MONTOSH SURVEY DATED 10-2-12



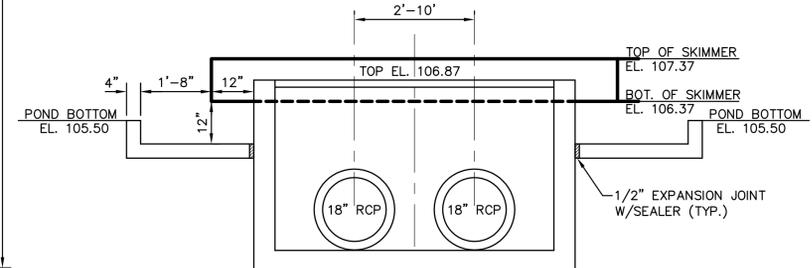
<p><b>HANOVER BLACK LAKE, LLC - BLACK LAKE PRESERVE</b></p> <p><b>GRADING PLAN</b></p> <p>WINTER GARDEN, FLORIDA</p>	<p>PRELIMINARY PLAT PLANS</p>
<p><b>B&amp;S</b> ENGINEERING CONSULTANTS, LLC</p> <p>2265 Lee Road, Ste. 103 Winter Park, FL 32789 (407) 960-5868 b@sbandeng.com</p> <p>Board of Professional Engineers Certificate No. 28973</p>	<p>APP'D BY: _____</p> <p>DESCRIPTION: _____</p> <p>DATE: _____</p> <p>REV. _____</p>
<p>JOB No.: HCP-001 DESIGNED BY: p.i.b. DRAWN BY: ACAD APPROVED BY: MLS DATE: 01-17-14 SHEET: <b>C4.0</b></p>	



1/4" FIBERGLASS SKIMMER



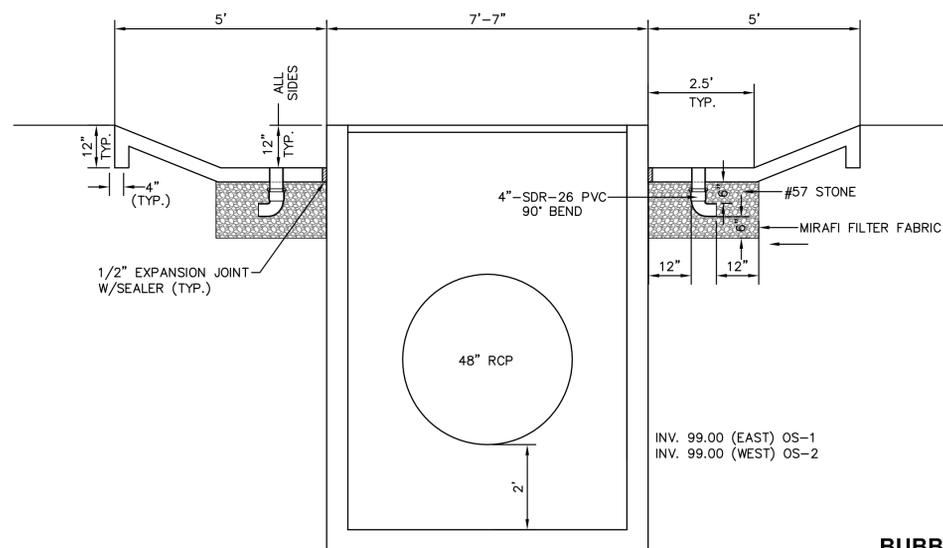
PLAN VIEW



SECTION VIEW

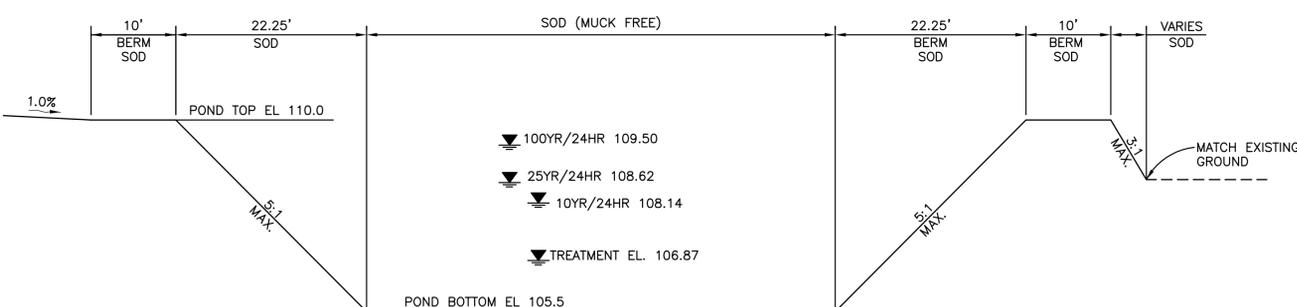
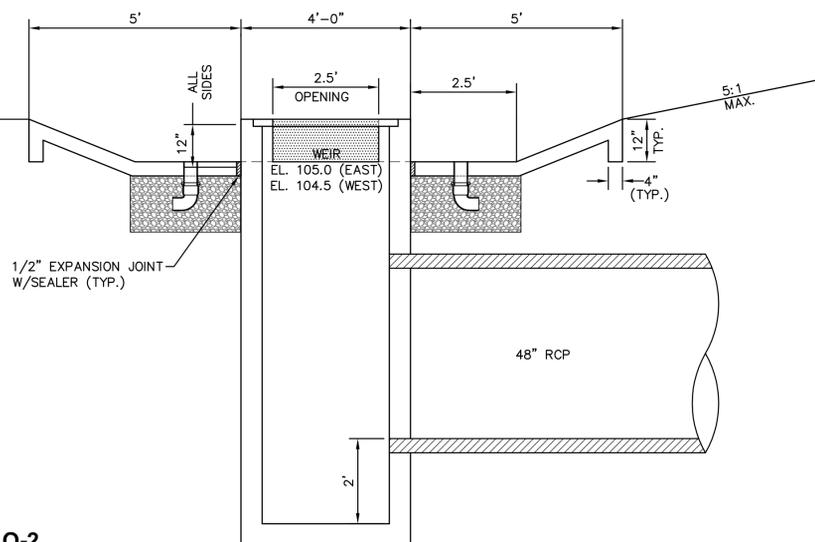
**OUTFALL STRUCTURE**

FDOT MODIFIED 'H' INLET (INDEX 232)



**BUBBLE UP STRUCTURES O-1 & O-2**

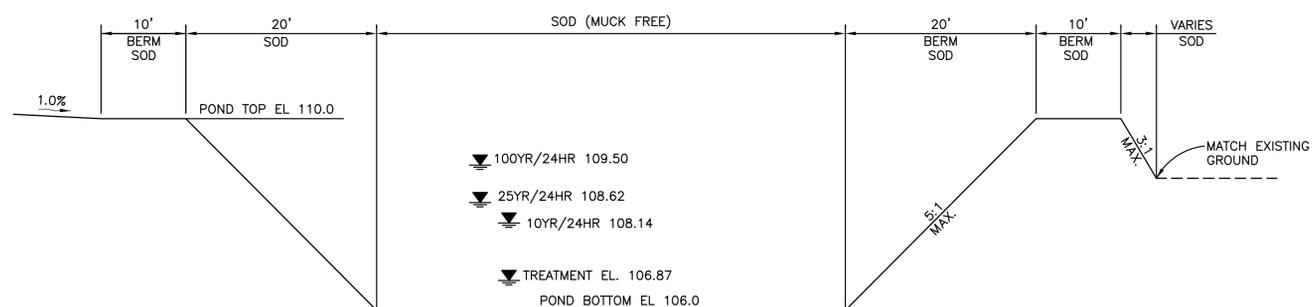
FDOT MODIFIED 'H' INLET (INDEX 232)



WEST POND - ESHWL 102.60

**TYPICAL WEST POND SECTION**  
N.T.S.

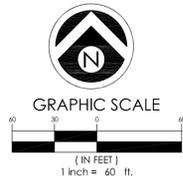
POND NOTES:  
1. ALL POND SOD WILL BE BAHIA.



EAST POND - ESHWL 103.90

**TYPICAL EAST POND SECTION**  
N.T.S.

POND NOTES:  
1. ALL POND SOD WILL BE BAHIA.

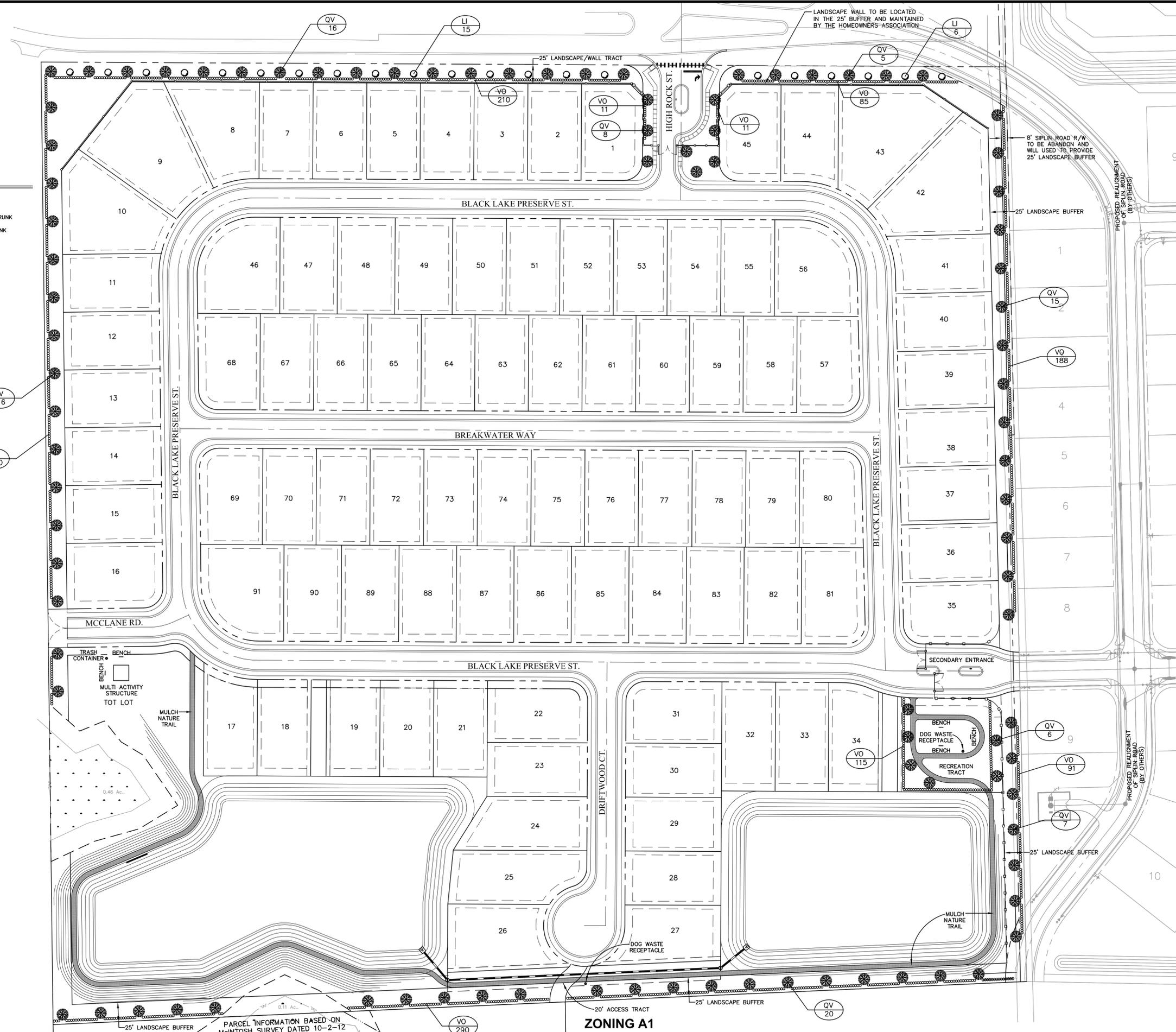


**PLANT LIST**

KEY BOTANICAL NAME	COMMON NAME	SIZE
<b>TREES</b>		
QV QUERCUS VIRGINANA	LIVE OAK	10'-12' HT., 8'-10' SPREAD 2.5" CALIPER DBH, 6" CLR. TRUNK
LI LAGERSTROEMIA INDICA (VARYING COLORS)	GRAPE MYRTLE	8'-10' HT., 8'-10' MULTI TRUNK
<b>SHRUBS</b>		
VO VIBURNUM ODORATISSIMUM	SWEET VIBURNUM	MIN 24"-30"x24", 30" O.C.

**LANDSCAPE NOTES:**

1. ALL PLANT MATERIAL SHALL BE FLORIDA FANCY GRADE OR BETTER.
2. ALL PLANTING BEDS SHALL BE COVERED WITH 3" MINIMUM OF CYPRESS MULCH.
3. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE SODED/ REPLANTED APPROPRIATELY WHEN OUTSIDE THE SITE.
4. ALL PLANT QUANTITIES INDICATED ABOVE ARE APPROXIMATE. IN CASE OF DISCREPANCIES THE PLAN SHALL GOVERN.
5. ALL PLANTING SHALL BE DONE BY QUALIFIED INDIVIDUALS AND IN ACCORDANCE WITH ACCEPTED COMMERCIAL PROCEDURES.



P:\PROJECT DRAWINGS\HCP-001 Ben Snyder-Winter Garden\Preliminary Plat\LS-1 LANDSCAPE PLAN.dwg PLOTTED: 1/17/2014 3:51 PM BY: phil bishop

REV.	DATE	DESCRIPTION

**HANOVER BLACK LAKE, LLC - BLACK LAKE PRESERVE**

**LANDSCAPE PLAN**

WINTER GARDEN, FLORIDA

**B&S**  
ENGINEERING CONSULTANTS, LLC

2265 Lee Road, Ste. 103  
Winter Park, FL 32789  
(407) 960-5868  
b@sbandson.com

Board of Professional Engineers  
Certificate No. 28973

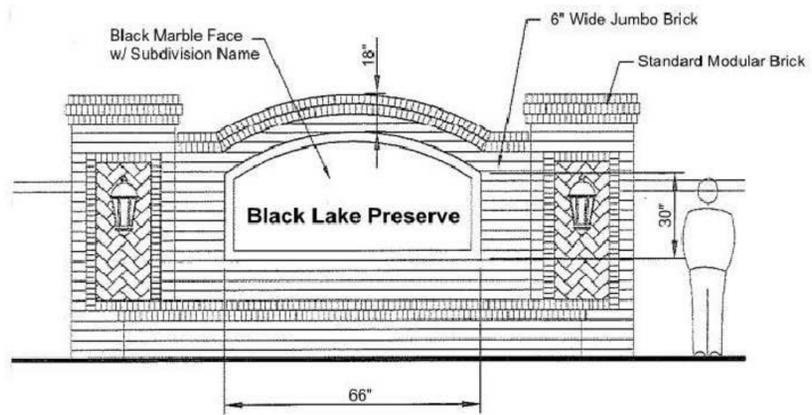
JOB No.: HCP-001  
DESIGNED BY: p.i.b.  
DRAWN BY: ACAD  
APPROVED BY: MLS  
DATE: 01-17-14  
SHEET: **LS-1**

PRELIMINARY PLAT PLANS

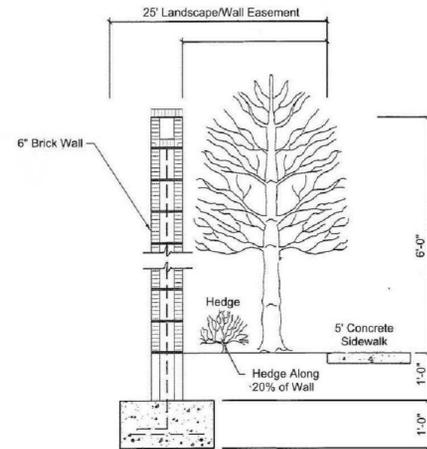
APP'D BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

DESCRIPTION: \_\_\_\_\_

ZONING A1



**ENTRANCE SIGN DETAIL**



**BRICK WALL DETAIL**



**PLAY GROUND  
MULTI ACTIVITY STRUCTURE**

REV.	DATE	DESCRIPTION	APPD BY

HANOVER BLACK LAKE, LLC - BLACK LAKE PRESERVE  
**LANDSCAPE DETAILS**  
 WINTER GARDEN, FLORIDA

**B&S**  
 ENGINEERING CONSULTANTS, LLC  
 2265 Lee Road, Ste. 103  
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 bms@bdseng.com  
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JOB No.: HCP-001  
 DESIGNED BY: p.i.b.  
 DRAWN BY: ACAD  
 APPROVED BY: MLS  
 DATE: 01-17-14  
 SHEET: **LS-2**

**THE CITY OF WINTER GARDEN**  
**PLANNING AND ZONING BOARD AGENDA ITEM**

**ITEM # 7 (Public Hearing)**

---

**DATE:** January 31, 2014 **MEETING DATE:** February 3, 2014

**SUBJECT:** 12403 W Colonial Drive (SPECIAL EXCEPTION PERMIT)  
**PROJECT NAME** Main Street Mower  
**PARCEL ID#** 24-22-27-0000-00-034

**ISSUE:** The applicant is requesting a special exception permit to allow for the property located at 12403 W Colonial Drive to perform small engine servicing & repair, outdoor merchandise display, and install two fuel tanks.

**SUPPLEMENTAL MATERIAL/ANALYSIS:**

**OWNER/APPLICANT:** Sherri & Stan Hawthorne

**CURRENT ZONING:** C-2 Arterial Commercial District

**PROPOSED ZONING:** N/A

**CURRENT FLU:** Commercial

**PROPOSED FLU:** N/A

**SUMMARY:**

The applicant is requesting a Special Exception Permit to allow outdoor display of mower merchandise, to permit tank installation and commercial sales of propane and non-ethanol fuel, and to allow a portion of the existing building to be used for small engine repair & maintenance of mower equipment. The C-2 Zoning district allows these uses through special exception if the applicant meets the special exception requirements.

**STAFF RECOMMENDATION(S):**

Staff recommends approval of the special exception permit with the conditions contained in the staff report.

**NEXT STEP(S):**

N/A

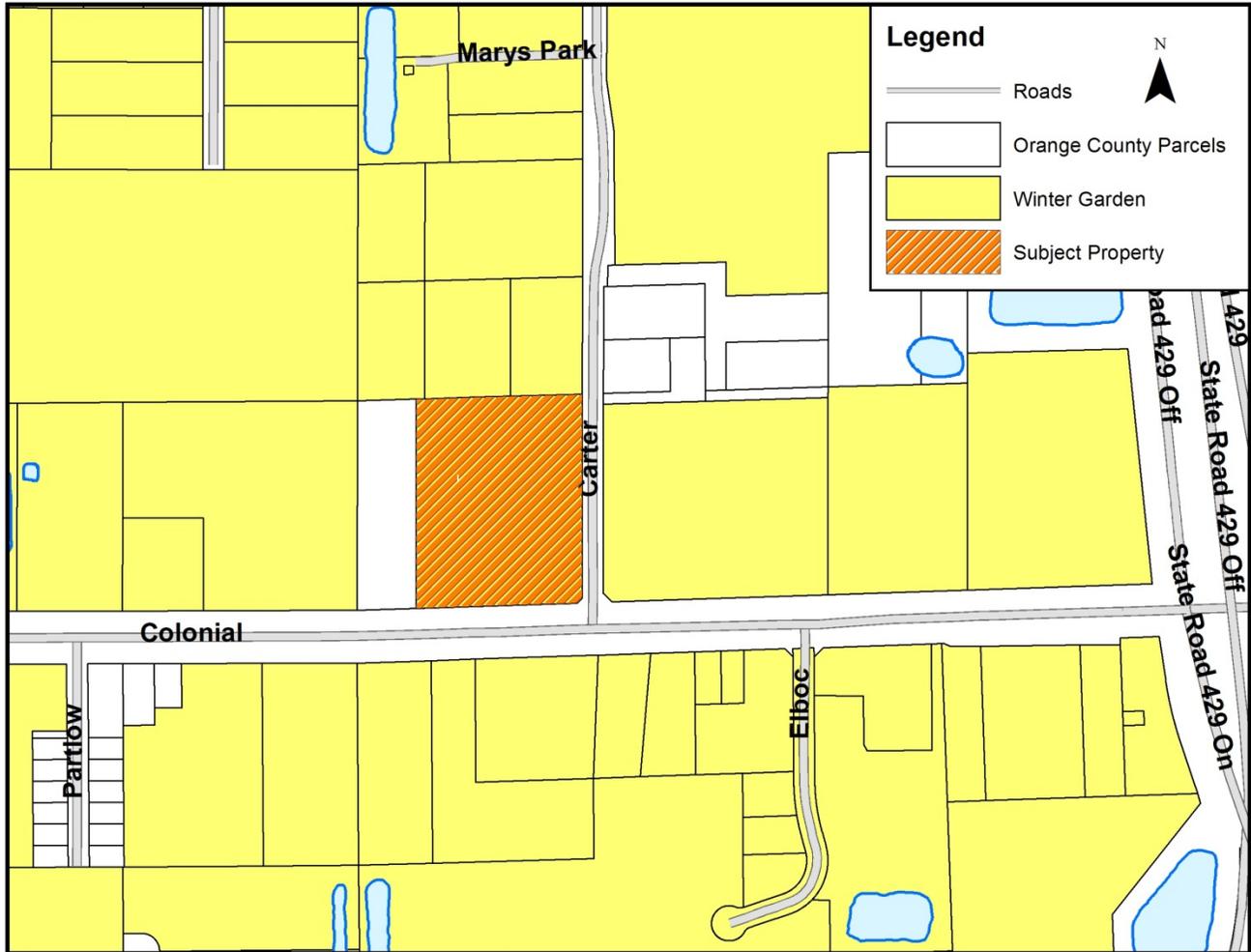
**ATTACHMENT(S):**

Location Map  
Staff Report

# LOCATION MAP

12403 W Colonial Drive

## SPECIAL EXCEPTION PERMIT



# CITY OF WINTER GARDEN

## PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

# STAFF REPORT

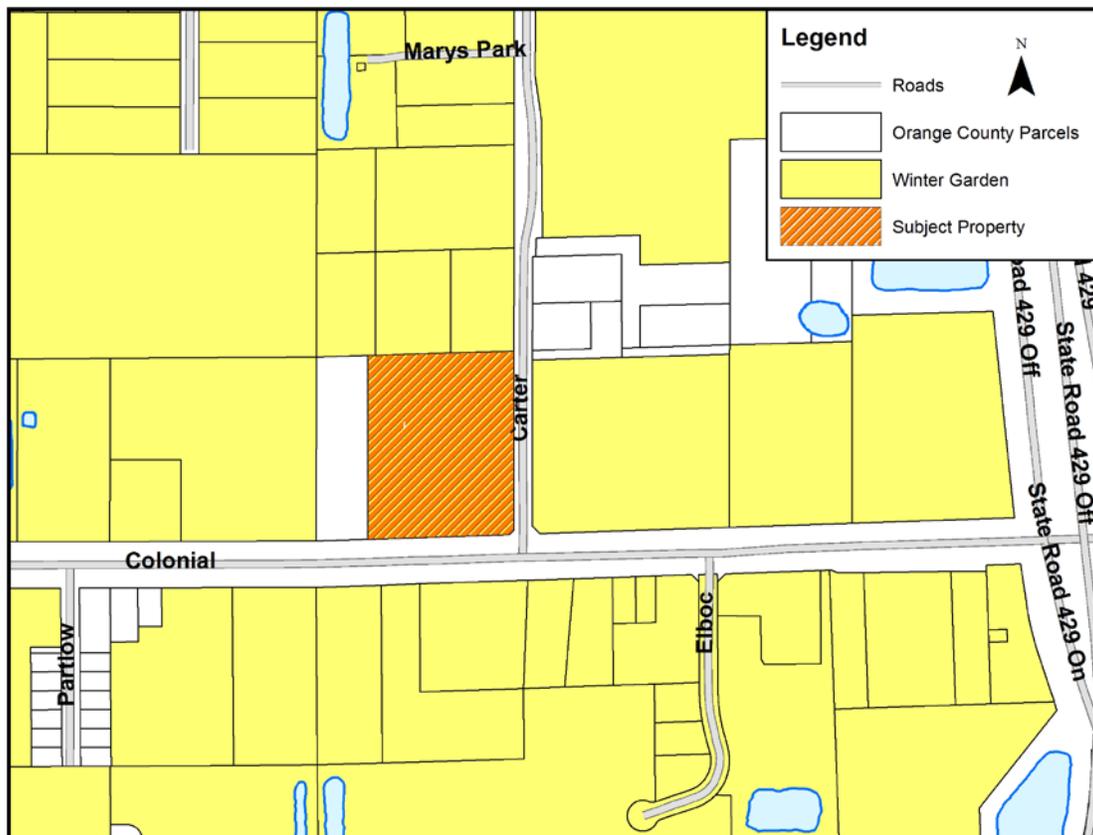
**TO:** PLANNING AND ZONING BOARD  
**PREPARED BY:** KELLY CARSON, PLANNER II  
**DATE:** JANUARY 24, 2014  
**SUBJECT:** SPECIAL EXCEPTION PERMIT  
**12403 W Colonial Drive (Small engine servicing & repair, outdoor merchandise display, fuel tank installation)**  
**PARCEL ID # 24-22-27-0000-00-034**

**APPLICANT:** Main Street Mower, Inc // Sherri & Stan Hawthorne

### INTRODUCTION

The purpose of this report is to evaluate the proposed special exception permit for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located at 12403 W Colonial Drive. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The request is for a Special Exception Permit to allow outdoor display of mower merchandise, to permit tank installation and commercial sales of propane and non-ethanol fuel, and to allow a portion of the existing building to be used for small engine repair & maintenance of mower equipment. The subject property is located within the City of Winter Garden municipal limits, carries the zoning designation C-2, and is designated Commercial on the Future Land Use Map of the Comprehensive Plan. The property is also located within the West State Road 50 Commercial Corridor.

### **EXISTING/PROPOSED USE**

On the southern end of the property adjacent to W Colonial Drive, there is an approximately 21,000 square foot, single-story concrete block retail/warehouse building. There is also an approximately 4,825 square foot, single-story concrete block warehouse building within the northern half of the property fronting Carter Road. Both buildings were constructed in 1966 and are currently vacant. The buildings have been used in the past by an electrical contracting company and for auto sales. The south end of the site consists mostly of paved parking areas, while the north has been utilized as a storage yard. Additionally, there is an existing billboard sign located adjacent to W Colonial Drive on the west side of the property.

The applicants have purchased the buildings with the intention of opening a retail store to sell mowers and outdoor maintenance equipment within the larger facility. The shop will also provide maintenance and repair services for small engine equipment and will sell propane and non-ethanol fuel from pumps located adjacent to the building.

The applicant also plans to split the existing lot in the future. The lot split application has yet to be finalized by the applicant and approved by the City.

### **ADJACENT LAND USE AND ZONING**

There are two properties located to the north of the subject property- one vacant industrial parcel and one parcel containing an industrial warehouse building. Both of these parcels are zoned I-2 and are within the City of Winter Garden municipal limits. Also located in Winter Garden, the property to the east is the PCD-zoned People's Plaza, which is currently developed with multiple buildings and commercial/industrial uses including food service, office/clerical services, graphic design, fabrication, and automobile sales and service. The C-3-zoned property to the west is located within Unincorporated Orange County and contains a commercial/warehouse building, which houses a retail tire sales and service facility. There are two parcels to the south of the subject property across W Colonial Drive; both are zoned C-2 and located within the City of Winter Garden. One of these properties is an automobile sales & service facility and the other contains several warehouse buildings that have been utilized for mini-storage and truck rentals.

### **SUMMARY**

City Staff recommends approval of the proposed special exception permit to allow outdoor merchandise display; tank installation and retail fuel sales; and small engine repair and maintenance at 12403 W Colonial Drive with the following conditions:

1. All mowers and mower equipment associated with the Service Facility shall be stored inside the building.

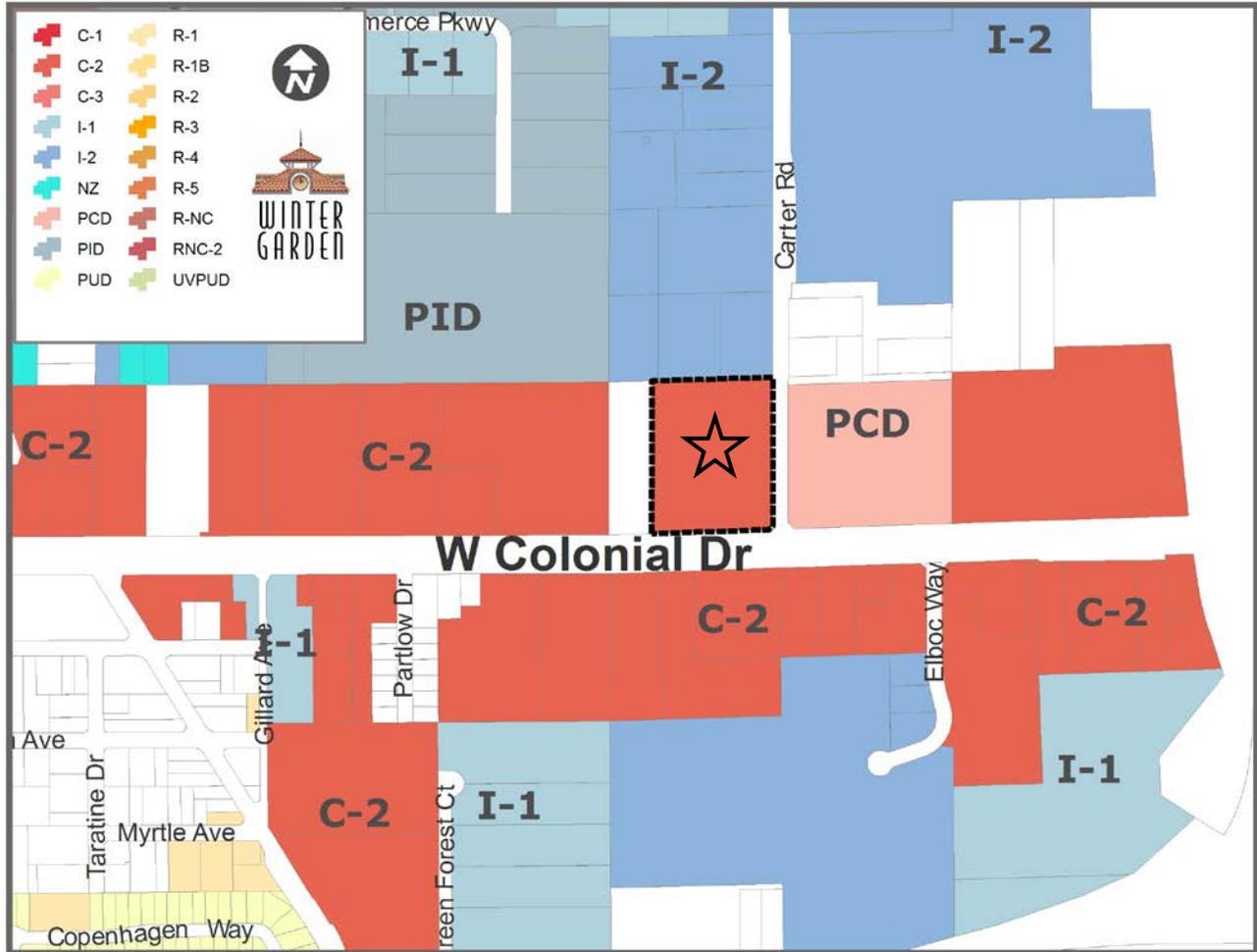
2. All work on mowers and mower equipment shall be done inside the facility.
3. All merchandise will only be displayed outdoors within the approved covered display area during normal business operating hours.
4. The existing drainage patterns are to be maintained, and the addition of the curbing adjacent to SR 50 and Carter Road will not trap stormwater. Stormwater runoff will be directed to the existing spillway/flume according to the Design Engineer.
5. Chain link fencing is not permitted within the West State Road 50 Overlay district for commercially-zoned properties. If existing chain link fencing is removed, it cannot be relocated anywhere else on site, and new chain link gates may not be added. Another fence type, such as an aluminum or iron picket fence, may be used instead of chain link.
6. If the Special Exception Permit is issued, a full site plan review will be required for site plan issues not directly related to the SEP items including grading & drainage, utilities, site lighting, ingress/egress, circulation, and other design requirements of the West State Road 50 Overlay District.
7. Adjacent to the proposed fuel tanks, the applicant shall provide "No Smoking" signs, fire extinguishers, and each tank shall be placard with contents inside.
8. Both the propane tank and non-ethanol gasoline tank must be screened completely from the adjacent rights-of-way at all times from all viewing angles. If any segments of existing fencing or walls that currently provide screening for the tanks are removed in the future, there must be another visual barrier installed that will continue to provide 100% screening as required by the City of Winter Garden Code of Ordinances.
9. The site must comply with the City's landscape buffer requirements along public roads, including the State Road 50 frontage buffer requirements for the property boundary abutting West Colonial Drive.
10. Any new signage must comply with the requirements of the Winter Garden Code of Ordinances Chapter 102 - SIGNS. The following signs are prohibited:
  - a. Any sign placed on public property.
  - b. Billboard signs, erected after June 11, 1987.
  - c. Animated or flashing signs.
  - d. Portable signs.
  - e. A-frame, T-framed signs.
  - f. Signs on trailer frames with or without mounted wheels.
  - g. Vehicle signs or signs on or attached to vehicles which have a total copy area in excess of ten square feet, when the vehicle is not regularly used in the conduct of the business and (a) is visible from a street right-of-way within one hundred feet of the vehicle, and (b) is parked for more than two consecutive hours within one hundred feet of any street right-of-way. Signs projecting over a street or road.
  - h. Any sign that interferes with a clear sight triangle distance per Florida Department of Transportation (FDOT) design standards.
  - i. Flashing, moving, animated coursing, blinker, racer-type, intermittent, rotating, moving or revolving signs, whirligig devices, inflatable signs and tethered balloons, pennants, banners, ribbons, streamers, spinners, and other similar types of attention-getting devices except for changeable copy signs when in compliance with the applicable regulations of this chapter.
  - j. Signage used on bus transit shelters within the right-of-way.
  - k. Bench signs.
  - l. Roof signs.
  - m. Traffic sign replicas.

- n. Snipe signs.
- o. Banner signs used as permanent signage.
- p. Commercial off-premises signs.
- q. Neon signs, luminous tube lights, light-emitting tubes and/or neon type signs.
- r. Any other sign not listed here or otherwise prohibited by the Winter Garden Code of Ordinances Chapter 102, Article III, Sec. 102-92.

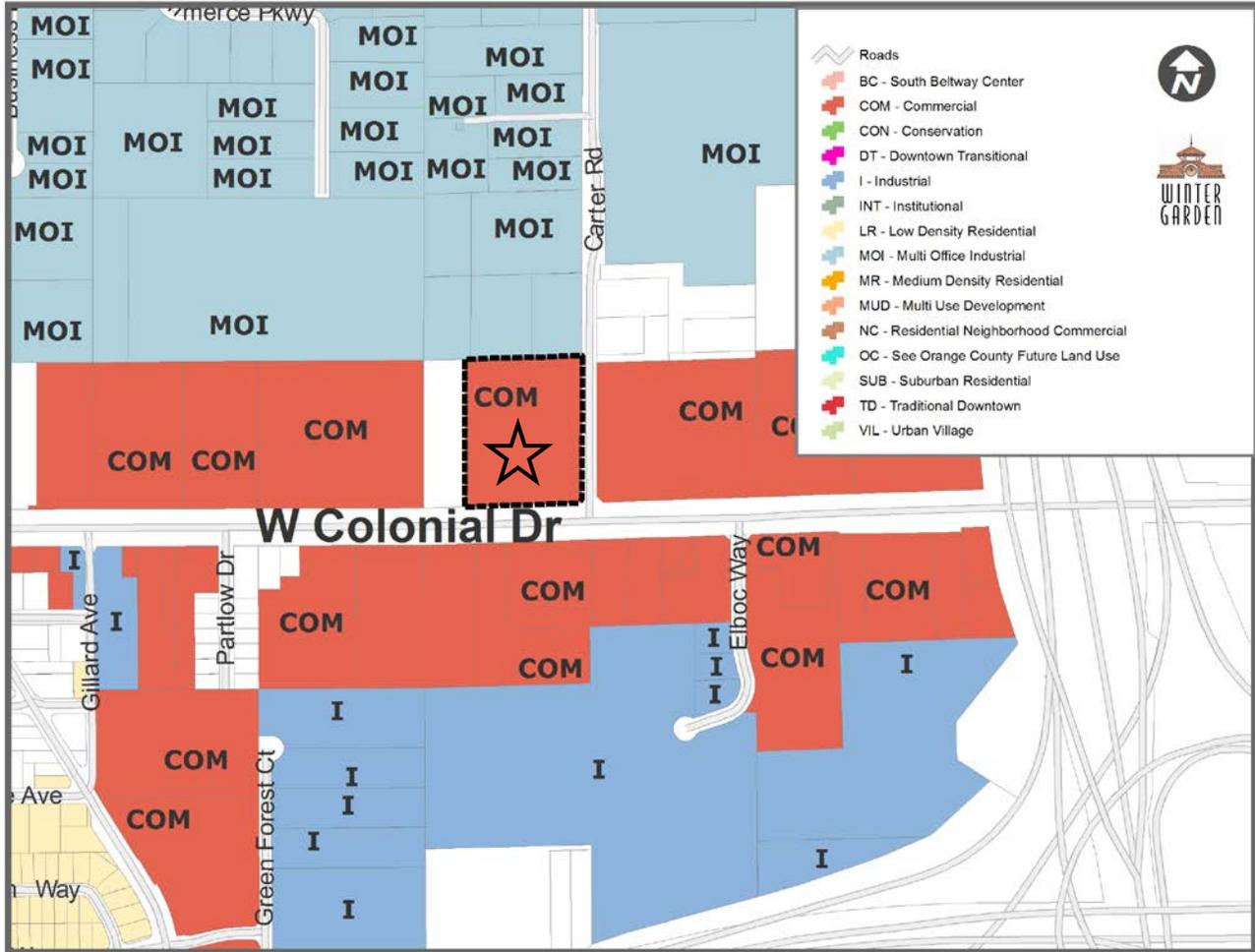
**AERIAL PHOTO**  
**12403 W Colonial Drive**



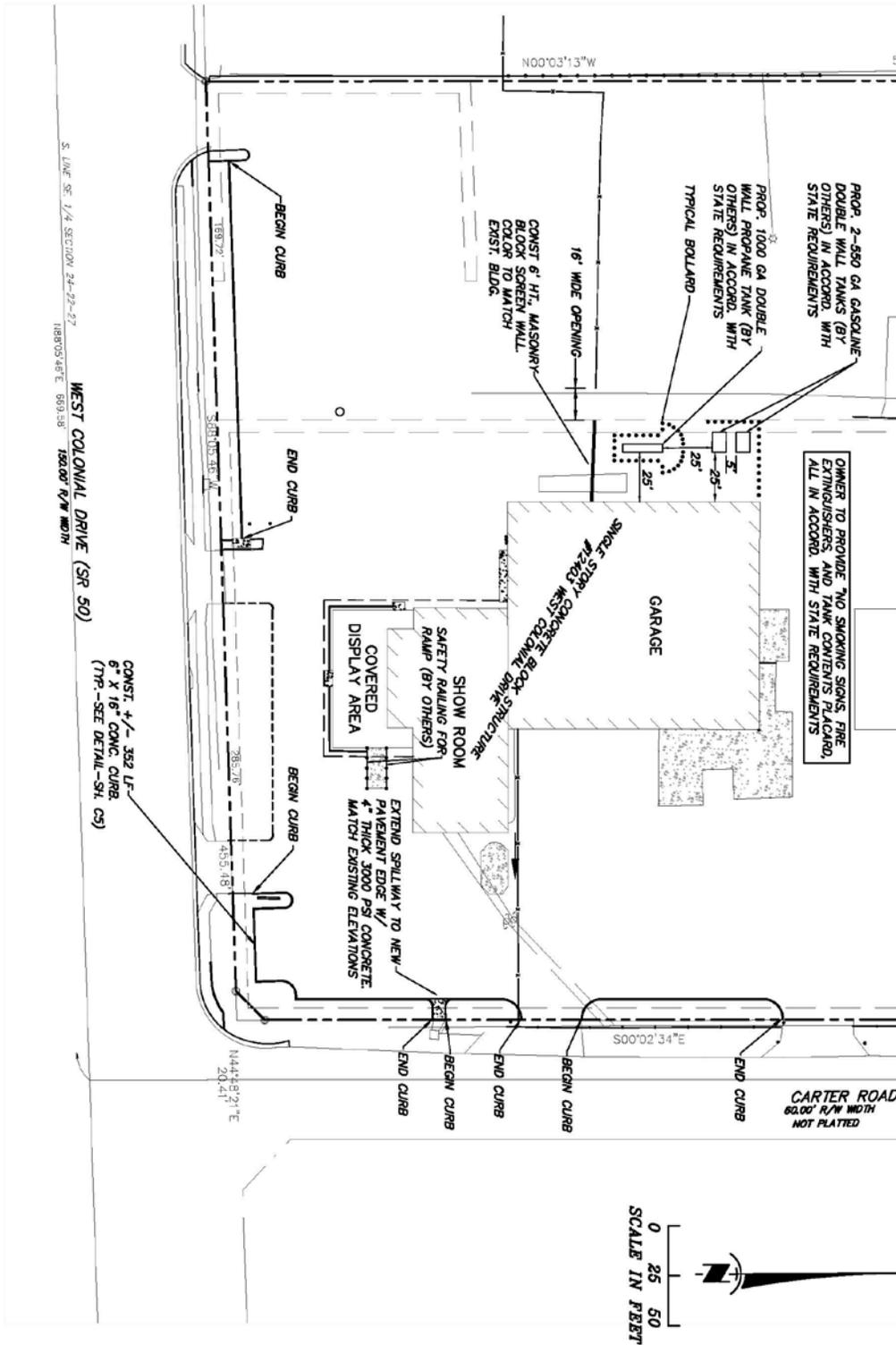
**Zoning Map**  
**12403 W Colonial Drive**



**Future Land Use Map**  
**12403 W Colonial Drive**



**Proposed Site Plan**  
**12403 W Colonial Drive**



**THE CITY OF WINTER GARDEN**  
**PLANNING AND ZONING BOARD AGENDA ITEM**

**ITEM # 8 (Public Hearing)**

---

**DATE:** January 30, 2014 **MEETING DATE:** February 3, 2014

**SUBJECT:** 210 E. Lafayette Street (VARIANCE)  
**PROJECT NAME** Chokelal Residence  
**PARCEL ID#** 23-22-27-0908-00-270

**ISSUE:** The applicant is requesting a 20 foot rear yard setback variance and an 8 foot and 5 foot separation from principal structure variance to allow the construction of a 14 foot x 28 foot shed 5 feet from the rear property line, 2 and 5 feet from the from the principal structure.

**SUPPLEMENTAL MATERIAL/ANALYSIS:**

**OWNER/APPLICANT:** Eric & Lena Chokelal

**CURRENT ZONING:** R-2 Residential District

**PROPOSED ZONING:** N/A

**CURRENT FLU:** LR- Low Density Residential

**PROPOSED FLU:** N/A

**SUMMARY:**

Applicant constructed a 28' X 14' shed on their property without permits. To remedy the code enforcement violation for construction of a shed without a permit, the applicant is requesting a variance to Section 118-1310(c)(2)a and 118-1310(c)(2)b to allow an accessory structure that is greater than 160 square feet to be built at a 5 foot rear yard setback in lieu of the minimum required 25 foot rear yard and to be located within 2 feet and 5 feet of the principal structure in lieu of the minimum required 10 feet.

**STAFF RECOMMENDATION(S):**

City Staff recommends denial of the variance to Section 118-1310 (c)(2)a & Section 118-1310(c)(2)b to allow an accessory structure that is greater than 160 square feet to be built at a 5 foot rear yard setback in lieu of the minimum required 25 foot rear yard and 2 feet and 5 feet from the principal structure.

**NEXT STEP(S):**

Remove shed from property

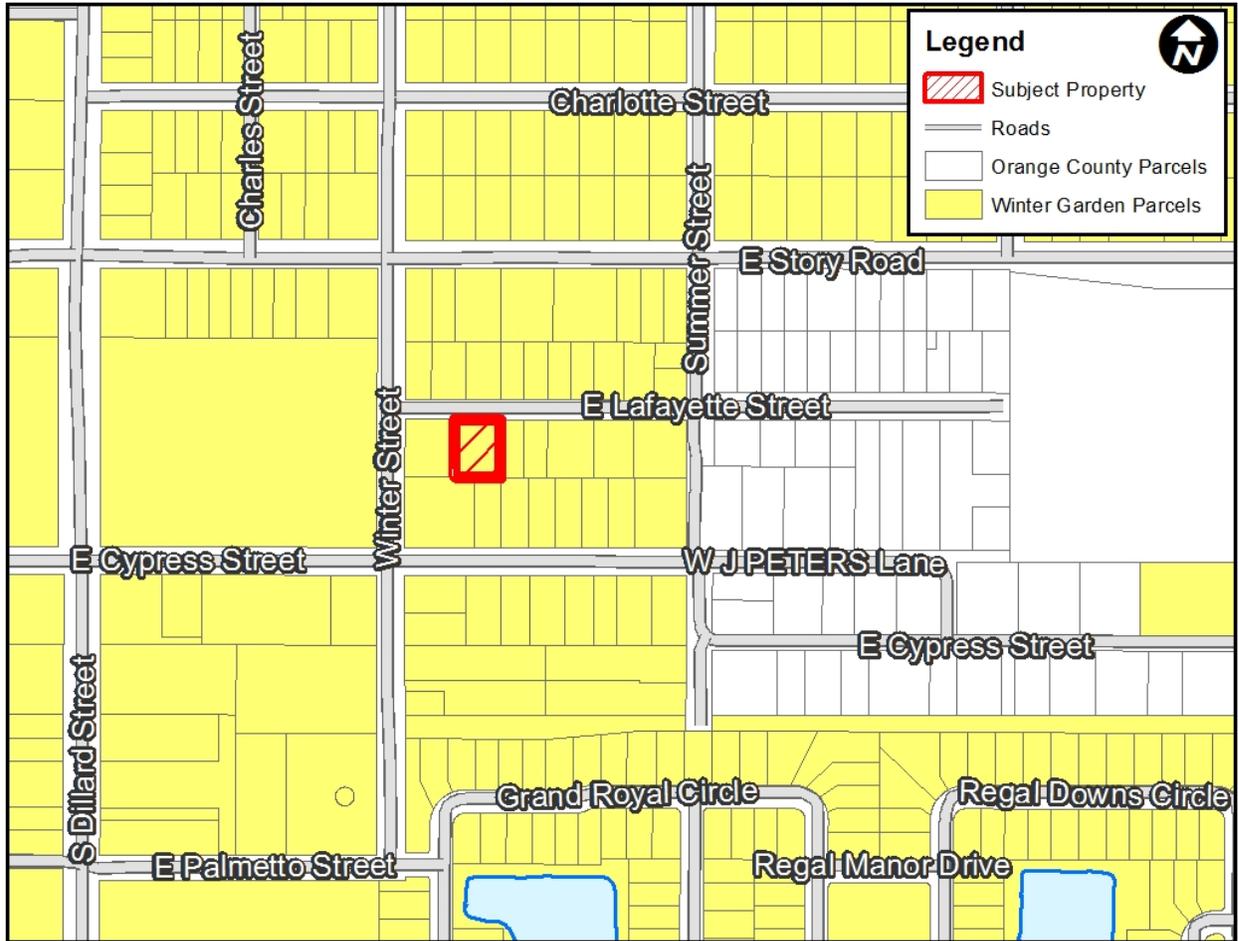
**ATTACHMENT(S):**

Location Map  
Staff Report

# LOCATION MAP

210 E. LAFAYETTE STREET

VARIANCE



# CITY OF WINTER GARDEN

## PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

# STAFF REPORT

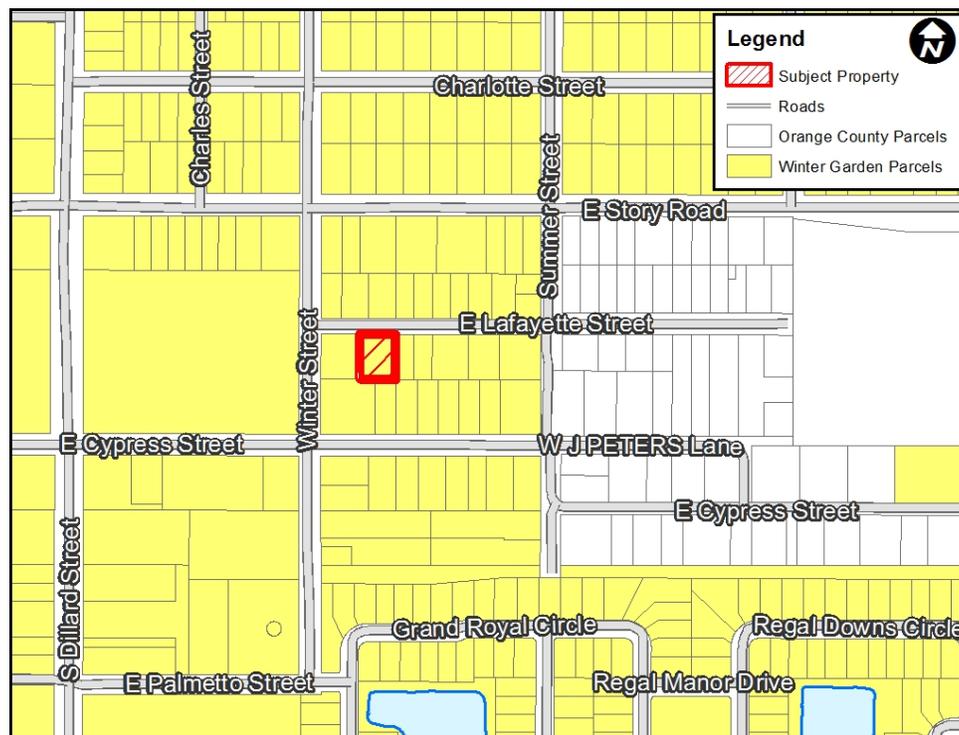
**TO:** PLANNING AND ZONING BOARD  
**PREPARED BY:** LAURA SMITH, SENIOR PLANNER  
**DATE:** JANUARY 29, 2014  
**SUBJECT:** VARIANCE  
**210 E. LAFAYETTE STREET (0.29+/- ACRES)**  
**PARCEL ID # 23-22-27-0908-00-270**

**APPLICANT:** Eric & Lena Chokelal

### INTRODUCTION

The purpose of this report is to evaluate the request of a 20 foot rear yard setback variance and an 8 foot and 5 foot separation from principal structure variance to allow the construction of a 14 foot x 28 foot shed 5 feet from the rear property line, 2 and 5 feet from the from the principal structure.

The subject property, located at 210 E Lafayette Street is approximately a 0.29± acre lot. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



To remedy a code enforcement violation for construction of a shed without a permit, the applicant is requesting a variance to Section 118-1310(c)(2)a and 118-1310(c)b to allow an accessory structure that is greater than 160 square feet to be built at a 5 foot rear yard setback in lieu of the minimum required 25 foot rear yard and to be located within 2 feet and 5 feet of the principal structure in lieu of the minimum required 10 feet. The subject property carries the zoning designation R-2 (Residential District) and is designated LR (Low Density Residential) on the Future Land Use Map of the City's Comprehensive Plan.

### **EXISTING USE**

The subject property presently contains a 3,920 square foot single family home and 100 square foot shed.

### **ADJACENT LAND USE AND ZONING**

The adjacent properties contain single family residential homes zoned R-2 in the Low-Density Residential Future Land Use Category.

### **PROPOSED USE**

The applicant is requesting a variance to the rear yard setback and minimum separation from principal structure to allow construction of a 14 foot x 28 shed.

### **CODE REFERENCE**

**Sec. 118-310(c)(2)a** of the City Code of Ordinances addresses accessory structures and states that an accessory building greater than 160 square feet must comply with all the setback requirements of the principal structure. The R-2 zoning district requires that structures meet a side yard setback of 10 feet and a rear yard setback of 20% of the lot depth (25 feet).

The applicant is seeking a variance to the minimum required rear yard setback of 25 feet to allow an accessory structure that is greater than 160 square feet to be located 5 feet from the rear property.

**Sec. 118-310(c)(2)b** of the City Code of Ordinances addresses accessory structures and states that an accessory building greater than 160 square feet must be separated from the principal structure by a minimum of ten feet.

The applicant is seeking a variance to the minimum separation from principal structure requirement to allow an accessory structure greater than 10 square feet to be located 2 feet and 5 feet from the principal structure.

### **CODE REQUIREMENTS /CRITERIA**

#### **Code Requirements/Criteria:**

Section 118-131 of the City Code that relates to the review criteria states that, "A variance may be granted from land development regulations by the planning and zoning board if the planning and zoning board concludes that literal enforcement of the provisions of land development regulations would result in either practical difficulties (for setback and parking provisions) or unnecessary hardships (for all other land development regulations) for the property at issue." The code also lists the following criteria that are to be addressed before a variance can be approved. Underlined text is Staff's comments concerning this particular petition.

- (a) *Granting the variance will not cause or allow interference with the reasonable enjoyment of adjacent or nearby property owners or negatively impact the standard of living of the citizens of the city;*

Construction of the proposed accessory structure 5 feet from the rear property line should not negatively impact or interfere with the reasonable enjoyment of adjacent or nearby property owners as the property located to the east of the subject property is also owned by the applicant and the property located on the south east is vacant land and the property located to the southwest has a shed and detached garage in their rear yard.

- (b) *The variance will allow a reasonable use of the property, which use is not out of character with other properties in the same zoning category;*

The requested variance allowing a 5 foot rear yard setback in lieu of the required 25 foot setback and separation from the principal structure of 2 feet and 5 feet is not reasonable use of the property. The 10 foot minimum separation from the principal structure is a standard imposed for building and fire safety.

- (c) *In the context presented, strict compliance with the land development regulation will not further any legitimate city objective or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under this criteria if the variance were denied;*

Strict compliance with the City's land development regulations furthers City objectives regarding the public health, safety and welfare.

- (d) *The granting of the variance is consistent with the city's comprehensive plan; and*

The variance is not consistent with the provisions of the City's Comprehensive Plan relating to single family residential neighborhood character as it will allow for an oversized shed to be located in proximity to a single family residential structure that is unsafe for the property owner and surrounding property owners.

- (e) *The variance requested is the minimum variance that will make reasonable use of the land, building, or structure or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under these criteria if the variance were denied.*

The variance requested is not the minimum variance that will make reasonable use of the land. The property already contains a shed, the property owner has the ability to increase the size of the existing shed by 60 square feet and build a second shed of 160 square feet and comply with the City's Code of Ordinances.

## **SUMMARY**

City Staff recommends denial of the variance to Section 118-1310 (c)(2)a & Section 118-1310(c)(2)b to allow an accessory structure that is greater than 160 square feet to be built at a 5 foot rear yard setback in lieu of the minimum required 25 foot rear yard and 2 feet and 5 feet from the principal structure.

## **ATTACHMENTS**

- Aerial Photo
- Site Plan

**AERIAL PHOTO**  
**210 E Lafayette Street**







# LOCATION MAP

116 East Story Road

VARIANCE



**CITY OF WINTER GARDEN**  
**PLANNING & ZONING DIVISION**

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

**STAFF REPORT**

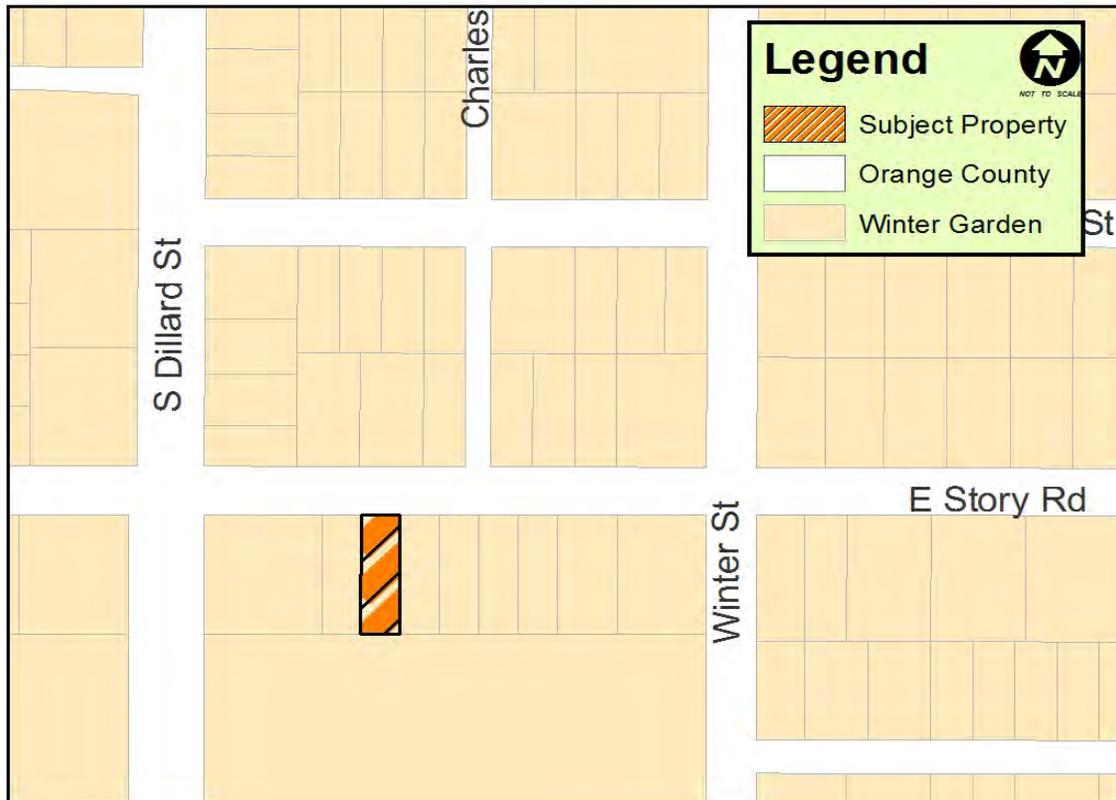
**TO:** PLANNING AND ZONING BOARD  
**PREPARED BY:** STEVE PASH, SENIOR PLANNER  
**DATE:** FEBRUARY 3, 2014  
**SUBJECT:** VARIANCE  
**116 East Story Road (0.16+/- ACRES)**  
**PARCEL ID # 23-22-27-6504-02-021**

**APPLICANT:** Jorge Lopez

**INTRODUCTION**

The purpose of this report is to evaluate the request of a 25 foot rear yard setback variance to allow the construction of a 20 foot x 30 foot accessory structure (carport) 5 feet from the rear property line.

The subject property, located at 116 East Story Road is approximately a 0.16± acre lot located just east of the intersection of South Dillard Street and East Story Road. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting a variance to Section 118-1310 (c)(2)a. to allow an accessory structure that is greater than 160 square feet to be built at a 5 foot rear yard setback in lieu of the minimum required 30 foot rear yard setback. The subject property carries the zoning designation R-2 (Residential District) and is designated LR (Low Density Residential) on the Future Land Use Map of the City's Comprehensive Plan.

### **EXISTING USE**

The subject property presently consists of a 776 square foot single family home.

### **ADJACENT LAND USE AND ZONING**

The adjacent properties to the north of the subject site are developed with single-family homes with R-2 zoning designation. The property to the west is a vacant lot which is part of the transfer station owned by Duke Energy with C-2 zoning designation. The property to the east is a single family home with R-2 zoning designation (also owned by the applicant). The properties to the south are developed with the Calvary Baptist Church with R-2 zoning designation.

### **PROPOSED USE**

The applicant is requesting a variance to the rear yard setback to allow construction of a 20 foot x 30 foot detached accessory structure (carport).

### **CODE REFERENCE**

**Sec. 118-310 (c)(2)a.** of the City Code of Ordinances addresses accessory structures and states that

An accessory building greater than 160 square feet must comply with all the setback requirements of the principal structure. The R-2 zoning district requires that structures meet a side yard setback of 10 feet and a rear yard setback of 20% of the lot depth (30 feet).

The applicant is seeking a variance to the minimum required rear yard setback of 30 feet to allow an accessory structure that is greater than 160 square feet to be located 5 feet from the rear property.

### **CODE REQUIREMENTS /CRITERIA**

#### **Code Requirements/Criteria:**

Section 118-131 of the City Code relates to the review criteria states that, "A variance may be granted from land development regulations by the planning and zoning board if the planning and zoning board concludes that literal enforcement of the provisions of land development regulations would result in either practical difficulties (for setback and parking provisions) or unnecessary hardships (for all other land development regulations) for the property at issue." The code also lists the following criteria that are to be addressed before a variance can be approved. Underlined text is Staff's comments concerning this particular petition.

*(a) Granting the variance will not cause or allow interference with the reasonable enjoyment of adjacent or nearby property owners or negatively impact the standard of living of the citizens*

*of the city;*

Construction of the proposed accessory structure 5 feet from the rear property line should not negatively impact or interfere with the reasonable enjoyment of adjacent or nearby property owners as the property behind them is develop with a church and the existing church building is located 10 feet from the subject property. The property to the east is owned by the applicant, and the property to the west is part of a transfer station owned by Duke Energy. Additionally, there were no comments received from any of the surrounding property owners regarding the requested variance.

*(b) The variance will allow a reasonable use of the property, which use is not out of character with other properties in the same zoning category;*

The requested variance allowing a 5 foot rear yard setback in lieu of the required 30 foot setback is reasonable use of the property. While there are no variance requests similar to this, the proposed structure is not out of character with other structures located in the surrounding area. In addition, the principal structure is located close to Story Road which does not allow sufficient space for parking and the City does not want parked cars along the road.

*(c) In the context presented, strict compliance with the land development regulation will not further any legitimate city objective or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under this criteria if the variance were denied;*

Strict compliance with the City's land development regulations will not further any legitimate City objective. This request does not encroach into any recorded easement and does not exceed the maximum impervious surface ratio for R-2 residential zoning.

*(d) The granting of the variance is consistent with the city's comprehensive plan; and*

The variance is consistent with the provisions of the City's Comprehensive Plan relating to single family residential neighborhood character.

*(e) The variance requested is the minimum variance that will make reasonable use of the land, building, or structure or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under these criteria if the variance were denied.*

The variance requested is the minimum variance that will make reasonable use of the land. Denying this variance does not benefit the property owner or the City.

## **SUMMARY**

City Staff recommends approval of the variance to Section 118-1310 (c)(2)a. to allow an accessory structure (carport) that is greater than 160 square feet to be built at a 5 foot rear yard setback in lieu of the minimum required 30 foot rear yard.

## **ATTACHMENTS**

- Aerial Photos
- Site Photos

**AERIAL PHOTO**  
**116 East Story Road**





**SITE PHOTOS**  
**116 East Story Road**

**View of Proposed Location of Carport**



**View of Church Structure Located on Property to South**



**Site Photos**  
**116 East Story Road**

**View of Church Property looking Southeast**

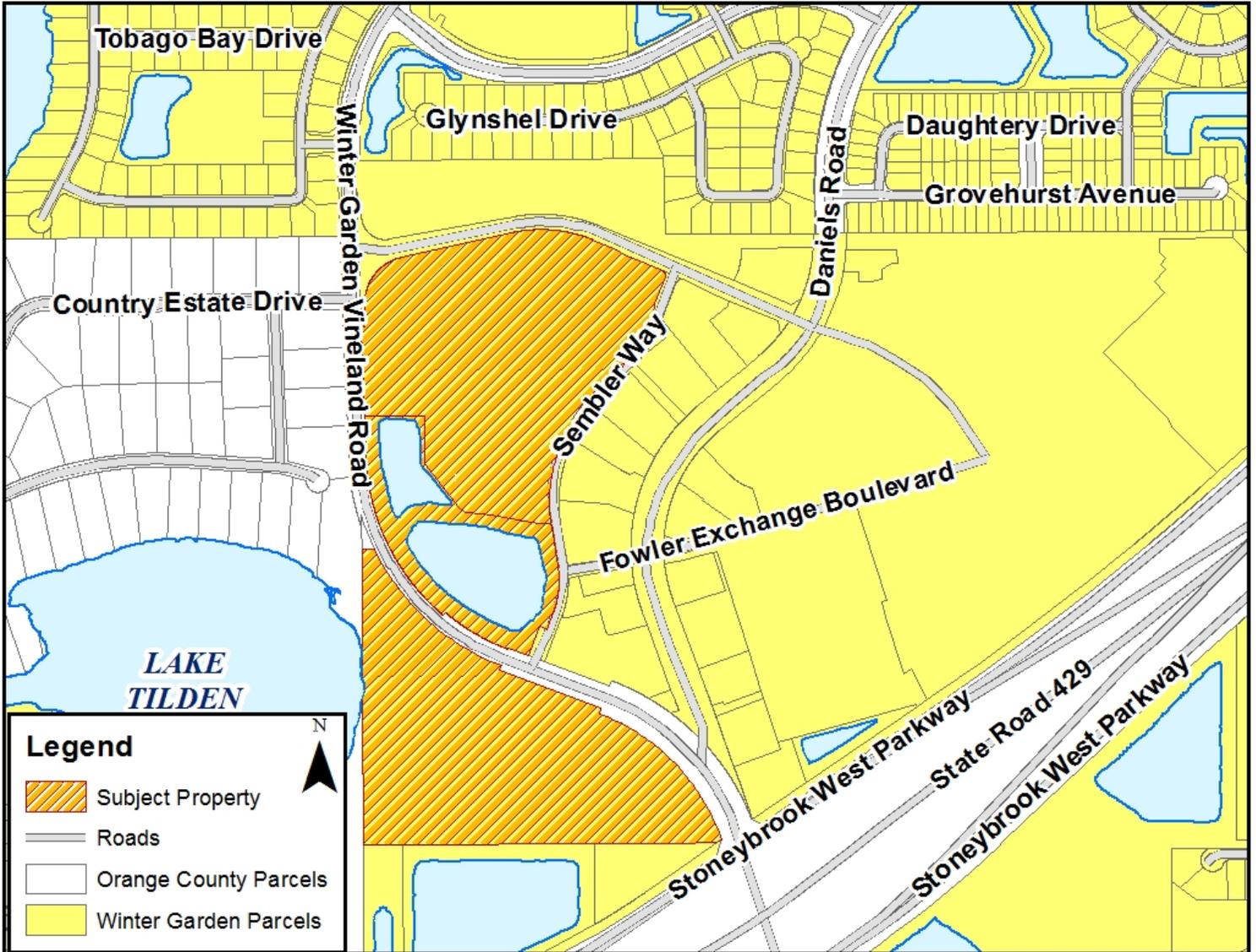


**END OF STAFF REPORT**



# LOCATION MAP

Florida Hospital of Winter Garden



# CITY OF WINTER GARDEN

## PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

# STAFF REPORT

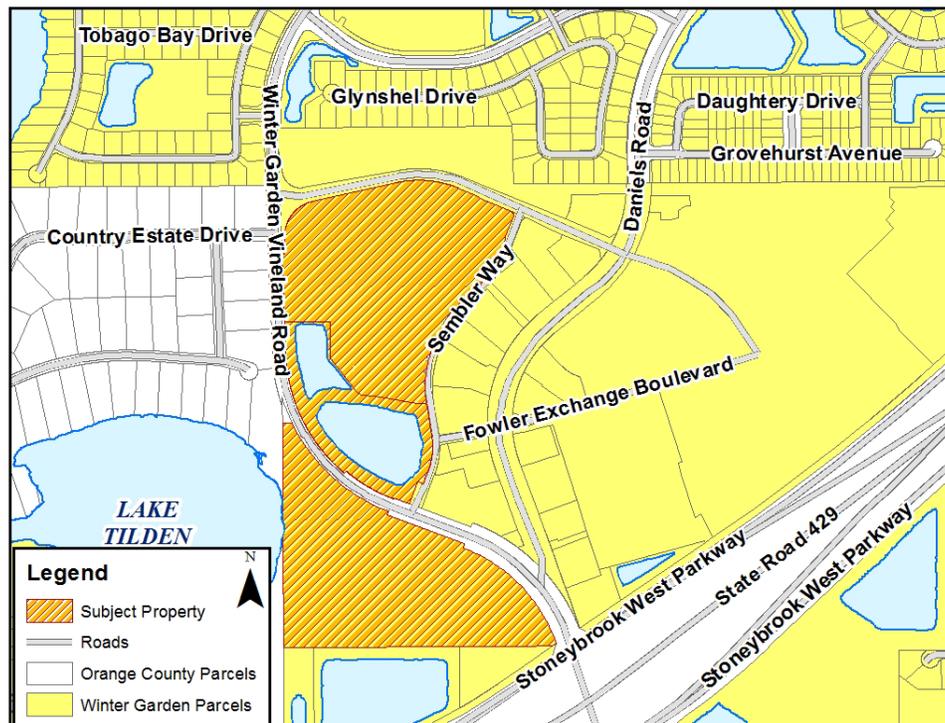
**TO:** PLANNING AND ZONING BOARD  
**PREPARED BY:** EDWARD WILLIAMS, COMMUNITY DEVELOPMENT DIRECTOR  
**DATE:** JANUARY 29, 2014  
**SUBJECT:** SITE PLAN  
**Florida Hospital of Winter Garden (34.36 +/- ACRES)**  
**PARCEL ID #** 35-22-27-9398-01-110 & 35-22-27-9398-00-002

**APPLICANT:** George Huddleston, PE – Littlejohn Engineering Associates

### INTRODUCTION

The purpose of this report is to evaluate the proposed Site Plan for Florida Hospital of Winter Garden for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is generally located north of the Western Beltway and east of County Road 535, commonly known as Winter Garden Village at Fowler Groves within the City of Winter Garden. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



Last year, the second phase of the Winter Garden Village at Fowler Groves Development of Regional Impact and Planned Development was amended to allow for the Florida Hospital Development.

Florida Hospital was approved, subject to conditions of approval, for a 200 bed hospital, up to 200,000 square feet of Medical Office and 30,000 square feet of Emergency Room on a 34.36 acre site.

The applicant is seeking Site Plan approval to construct Phase A of the Florida Hospital of Winter Garden project which will include a 40,235 square foot Emergency Department, 75,443 square feet of Medical Office and 7,178 square feet for support services. The Site Plan includes construction of parking facilities, access points, walls and landscaping, and helipad.

### **EXISTING USE**

The 34.36 +/- acre portion of the Winter Garden Village at Fowler Groves property that is the subject property is currently vacant unimproved land with the exception of approximately 10 +/- acres which contains a stormwater retention pond.

### **ADJACENT LAND USE AND ZONING**

The subject property is bordered on the north by the Stonecrest residential subdivision zoned PUD in the City of Winter Garden, the east by the Winter Garden Village at Fowler Groves commercial site zoned PCD in the City of Winter Garden and the Western Beltway (SR 429), the west by the Country Lake Estates residential subdivision zoned R-CE in Orange County, and the south by an agricultural use property zoned R-1 in the City of Winter Garden.

### **PROPOSED USE**

The applicant is seeking approval of the Phase A Site Plan for the Florida Hospital of Winter Garden project. Phase A of the project includes an Emergency Department, Medical Office, portions of off-site road improvements, walls and landscaping, on-site parking and helipad.

The site plan contains several changes, modifications and revisions to the conceptual PD plan that was approved. These modifications include:

The proposed main entrance to the hospital was a T-intersection on Fowler Grove Boulevard 600 feet east of Winter Garden Vineland Road. The proposed site plan relocates the access point to the east 1,100 feet from Winter Garden Vineland Road and proposes a roundabout rather than a T-intersection. Staff and City consultants have studied this change and recommend it as it is operationally better than the T-intersection and its location further east will discourage traffic from heading west to residential areas. The use of the roundabout will require a condition that the Mall Property Owners Association, which owns Sembler Way, agrees and allows Sembler Way to be modified to allow the roundabout. The original access point included a 170 foot buffer wall along the north side of Fowler Grove Boulevard. The roundabout will require a 350 – 380 foot buffer wall.

With the conditions that the roundabout is allowed by the POA and the buffer wall is expanded, Staff would support the change from the T-intersection to the roundabout for the entrance. The modification to allow the roundabout in place of the T-intersection also deletes the need for two roadway improvements that were anticipated in Phase II.

- 1) Provide a traffic signal at the main hospital entrance and Fowler Grove Boulevard (**Sheet “PCD-19”** attached to **Exhibit “D”**) and remove striping so that there are two lanes entering the Hospital Project.

- 2) Extend west to south turn lane at Fowler Grove Boulevard to Sembler Way and prepare warrant study for potential traffic signal at the Fowler Grove Boulevard/Sembler Way intersection.

Staff would support deleting those conditions as no longer being necessary or possible under the revised entrance plan.

One minor change as a result of the use of the roundabout is that the hospital building will be oriented more toward the east and toward the restaurants and away from the residential area to the west.

The second issue is that the hospital is proposing to construct:

- 1) 40,235 square foot Emergency Department
- 2) 75,443 square feet of Medical Office, and
- 3) 7,178 square feet of support services space

In order to develop 40,235 square feet of Emergency Room, a small percentage of the available 200,000 square feet of Medical Office will have to be converted to Emergency Room space. The additional 10,235 square feet of Emergency Department space will reduce the overall Medical Office space by 3,378 square feet. The total allowable Medical Office space for the project is now 196,622 square feet.

The total square footage of all uses in this site plan places the project into Phase II of the traffic improvements. The following traffic improvements shall be conditions of approval on the site plan (Phase I improvements and revised Phase II improvements):

- a) Extend the northbound left turn lane on Daniels Road at Fowler Exchange Boulevard (Hess Station).
- b) Extend the northbound left turn lane on Daniels Road at Fowler Grove Boulevard.
- c) Provide a second northbound left turn lane at Daniels Road and Fowler Grove Boulevard.

It is estimated that the transportation impact fees for the development associated with this site plan is approximately \$1,191,564 (final figure determined at permit stage). Consistent with the approved development plans the above improvements qualify for transportation impact fee credits. These improvements may not be constructed during November and December of any year.

## **SUMMARY**

City Staff recommends approval of the proposed Site Plan for Phase A of the Florida Hospital of Winter Garden project subject to the following conditions and the submitted plans, in addition to the conditions above:

1. Provide documentation which indicates that Florida Hospital has received authorization from the owners of Sembler Way to close Sembler Way at Fowler Grove Blvd and modify the intersection of Sembler Way and Fowler Grove Blvd.

The proposed roundabout at the intersection of Fowler Grove Blvd and Sembler Way will require coordination with the City of Winter Garden's roundabout consultant to provide documentation that operational characteristics of the roundabout will work and are approved by City consultants and Staff.

2. Construct 10 foot wide bike path/sidewalk on the north side of Stoneybrook West Parkway from CR 545 to Daniels Road. This project is not eligible for impact fee credits.
3. Obtain City Commission approval for architecture of building elevations. Elevations included with Phase A Site Plan submittal are conceptual only; approval of Phase A Site Plan does not constitute or imply approval of building architecture. Tower height as shown on the plans shall be reduced. No on-site construction will occur until Commission approval is obtained.
4. City has sufficient capacity to serve the development with water, wastewater and re-use water. Hospital will connect and pay all required impact fees. Utilities shall be private with easements for water and re-use.
  - a) Add blow off assemblies or fire hydrants to both ends of the on-site water main.
  - b) Grease traps shall be required on all sanitary sewers where they leave the building footprint. Please review the city code and utility specifications for size requirements.
  - c) Thrust Blocks are not permitted in the water or reuse distribution systems. Please use mechanical restraint devices.
  - d) Revise the connection to the lift station. Connect to the lift station by core boring the wet well and making the connection directly to the wet well or connect to a manhole further upstream from the wet well on Sembler Way.
  - e) Submit lift station calculations for review. Show all future phases and their contributing flow to the system.
  - f) Submit water distribution calculations for review. Given the height of the building a jockey/booster pump will most likely be necessary to serve the higher floors.
  - g) Show a 10 foot utility easement adjacent to all public rights of way.
  - h) Water, sewer, and reuse impact fees shall be calculated based on meter size. The water meter shown on the plans is six inch. The water impact fee for a six inch meter is \$54,300.00 and the sewer impact fee for a six inch meter is \$88,350.00. These fees are due to be paid at the time of FDEP Permit Application.
  - i) All irrigation on the site shall be designed to be supplied by reclaimed water. Reclaimed water is stubbed out to the project site.
  - j) Indicate the size and location of all reuse water meters. Impact fees shall be paid on all reuse meters installed and fees shall be based on the size of the meter.
  - k) Include details for all water and reuse meter vaults and meters.
  - l) After the double detector check valve assembly, the fire line is still shown symbolically as a water main. Please revise.
  - m) Leachate from the compactor and dumpsters shall not be permitted to discharge into the sanitary sewer. Please relocate the sanitary manhole that is shown under the trash compactor.
  - n) Use the existing stub outs for your connection to the existing sanitary sewer system. The as-builts indicate that the stub out are 8" PVC.

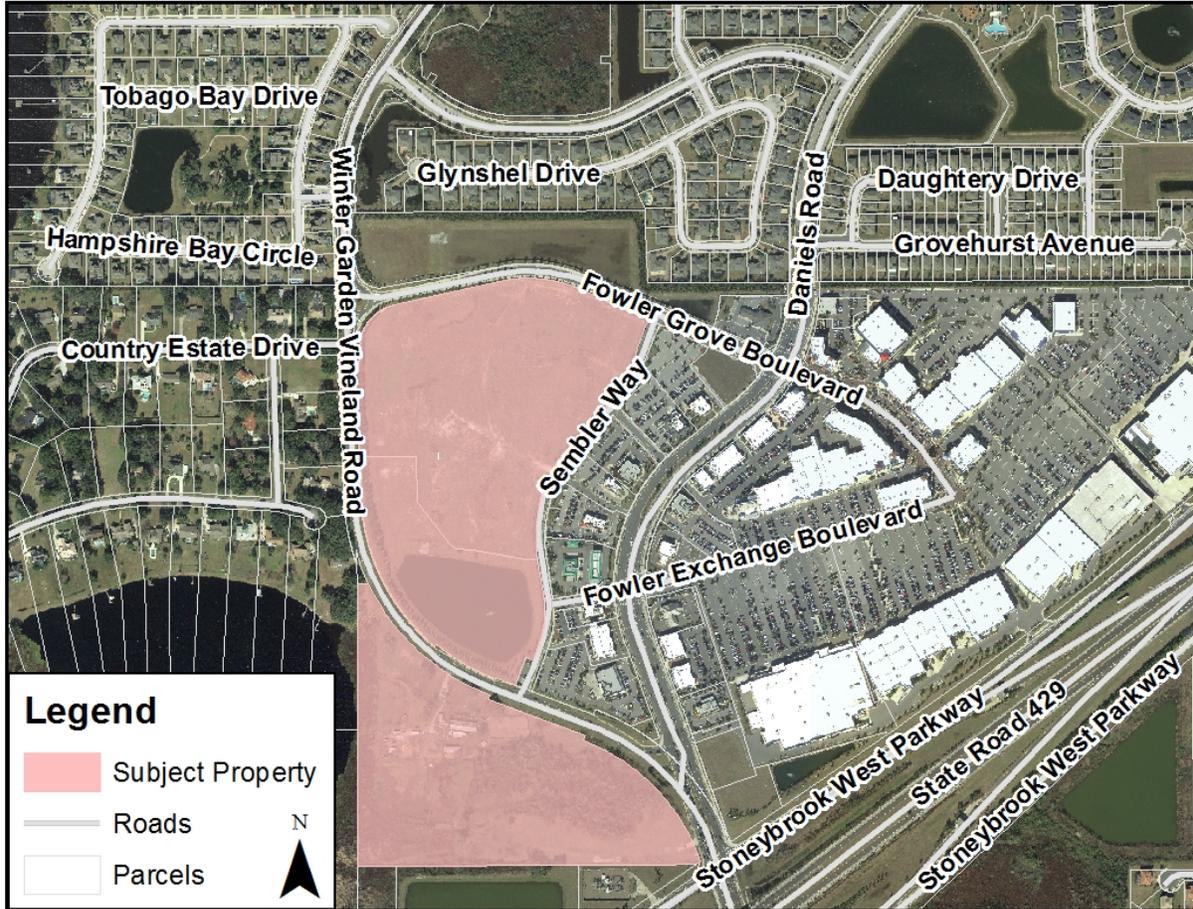
- o) Show all top of structure and invert elevations, pipe material and pipe slope on all sanitary sewer structures and pipe runs.
  - p) Indicate any future connections to the sanitary sewer by showing stub-outs.
  - q) The discharge of medical waste into the city's sewer system is prohibited. Please review Chapter 78, Section 132 for more detail. Please describe the disposal method for all medical waste generated by the facility. Please indicate all onsite containers that will be required for disposal of all medical waste.
5. Stormwater
- a) Submit signed and sealed primary and secondary drainage calculations.
  - b) Label all drainage pipes with material, diameter, length, and slope.
  - c) Show the location of and provide details for all proposed drainage structures, sanitary sewer structures, water mains, force mains, fire lines, reclaimed mains, curbs, wheel stops, sidewalks, backflow prevention devices, fire hydrants, double detector check assemblies, water services and meters, valves, erosion control devices, etc.
  - d) Include the City's detail sheets for water, sewer, and roadways. These sheets can be found at <http://www.cwgdn.com/business/forms/> and then scrolling down to the Public Services section of the page.
  - e) Providing positive drainage within the site is the responsibility of the Design Engineer. The City will not maintain any portion of the on-site or off-site drainage systems or commercial parking lots.
  - f) The applicant should note that if approval is granted, the City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner.
6. Internal Roadways
- a) Sheets C5.1 – C5.8 (inclusive): Show existing utilities, drainage systems, street lights, etc. Provide lane widths, etc. for the roundabout on Sheet C5.2. The submitted plans do not include complete paving, grading & drainage, and proposed utilities that are required. Also include all details for pavement, curb, utilities, drainage, etc. and include the City Standard Detail Sheets that are available on the City's website.
  - b) Include a signing and pavement marking plan.
  - c) Include typical sections of all streets, parking areas, stormwater retention areas, etc.
7. Coordinate with Duke Energy on all power requirements, possible pole relocations, etc. A site lighting plan (internal and on adjacent streets), meeting dark skies requirements, is required. Based on the meeting with the Design Team, Duke Energy, and the City on 1/27/14 and subsequent e-mail from Duke, the non-binding estimate for undergrounding the power lines on CR 535 is \$187,000. There may be additional costs that are not included (i.e. easements and other utilities co-located on the Duke poles). Florida Hospital will need to initiate any requests or associated payment(s) for Duke to prepare a formal "Engineering Estimate" for the power relocation pursuant to the ordinance.

8. Landscaping
  - a) Provide landscape plans for supplemental planting at Bay Isle.
  - b) Provide landscape plans and noise attenuation for Stone Crest berm.
  - c) Provide complete landscape/hardscape plans including type and size of all materials to be used within landscape areas.
9. Landscape and irrigation plans will be required for the median modifications on Daniels Road and Fowler Groves Boulevard, as well as adjacent and internal to the site. Provide sight triangles for all intersections. Landscaping shall not encroach on required sight lines at intersections or driveways. Design Engineer shall provide certification that FDOT sight distance requirements are being met.
10. Solid Waste
  - a) Solid waste collection, recycled waste collection, and medical waste collection shall not be permitted prior to 7 am nor after 10 pm.
  - b) All deliveries are restricted to the hours between 7 am and 10 pm.
  - c) Show the details for the solid waste enclosures.
11. The Owner and Contractor are responsible for meeting all provisions of ADA and Florida Accessibility Code.
12. Provide screening/buffering detail for helipad and delivery area.
13. General
  - a) All work shall conform to City of Winter Garden standards, specifications, and ordinances.
  - b) Fencing, if proposed, shall meet all City requirements for height, type, etc. Chain link fencing is not permitted.
  - c) 5' wide concrete sidewalks shall be constructed along all street frontages pursuant to Code. Existing sidewalks will be checked at completion and any damaged sections shall be replaced.
  - d) Permits or exemptions shall be provided from SJRWMD and FDEP prior to issuance of site or building permits.
  - e) The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
  - f) The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
  - g) After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review

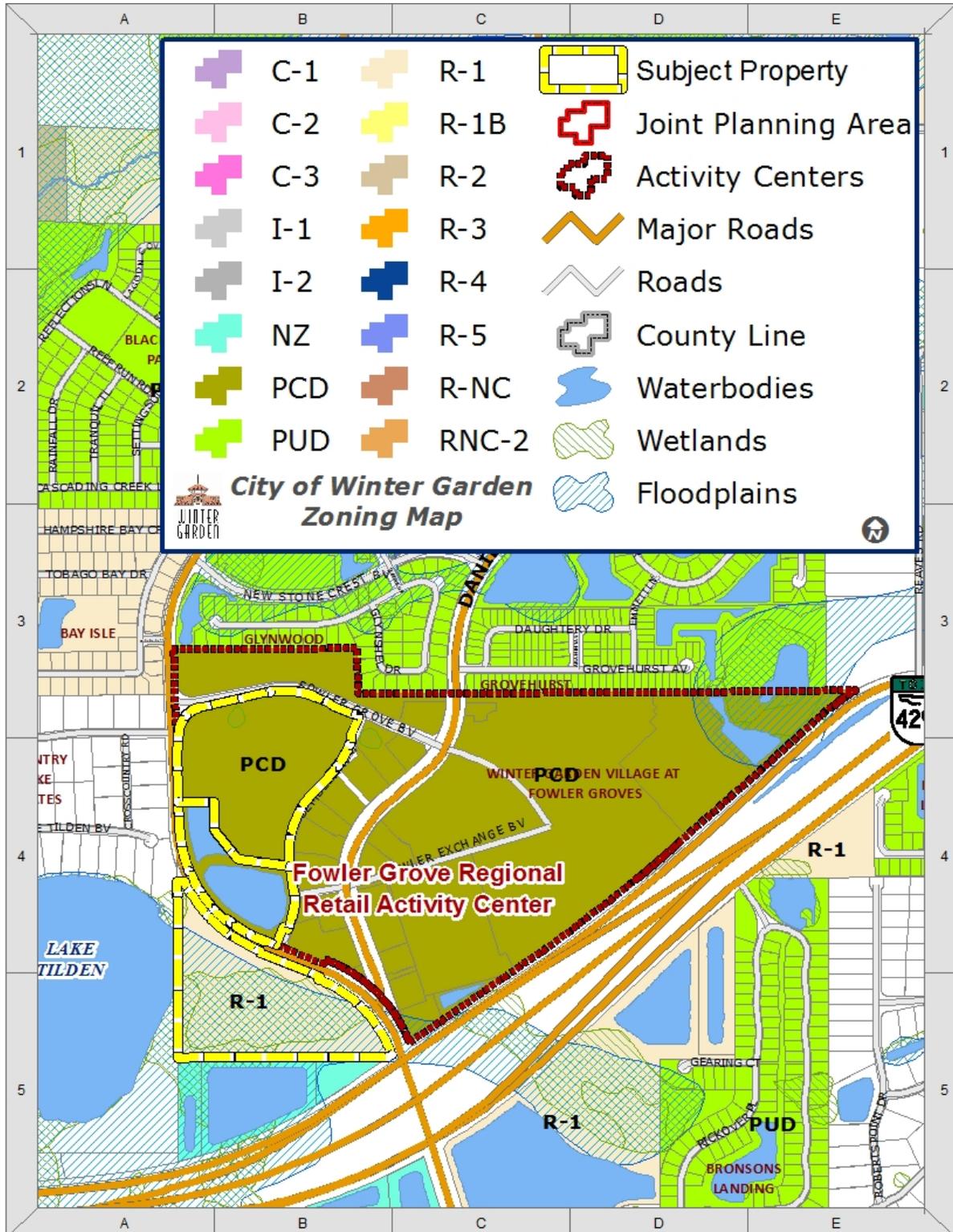
- and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of site or building permits.
- h) No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The applicant should note that if approval is granted, the City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.

a) MAPS

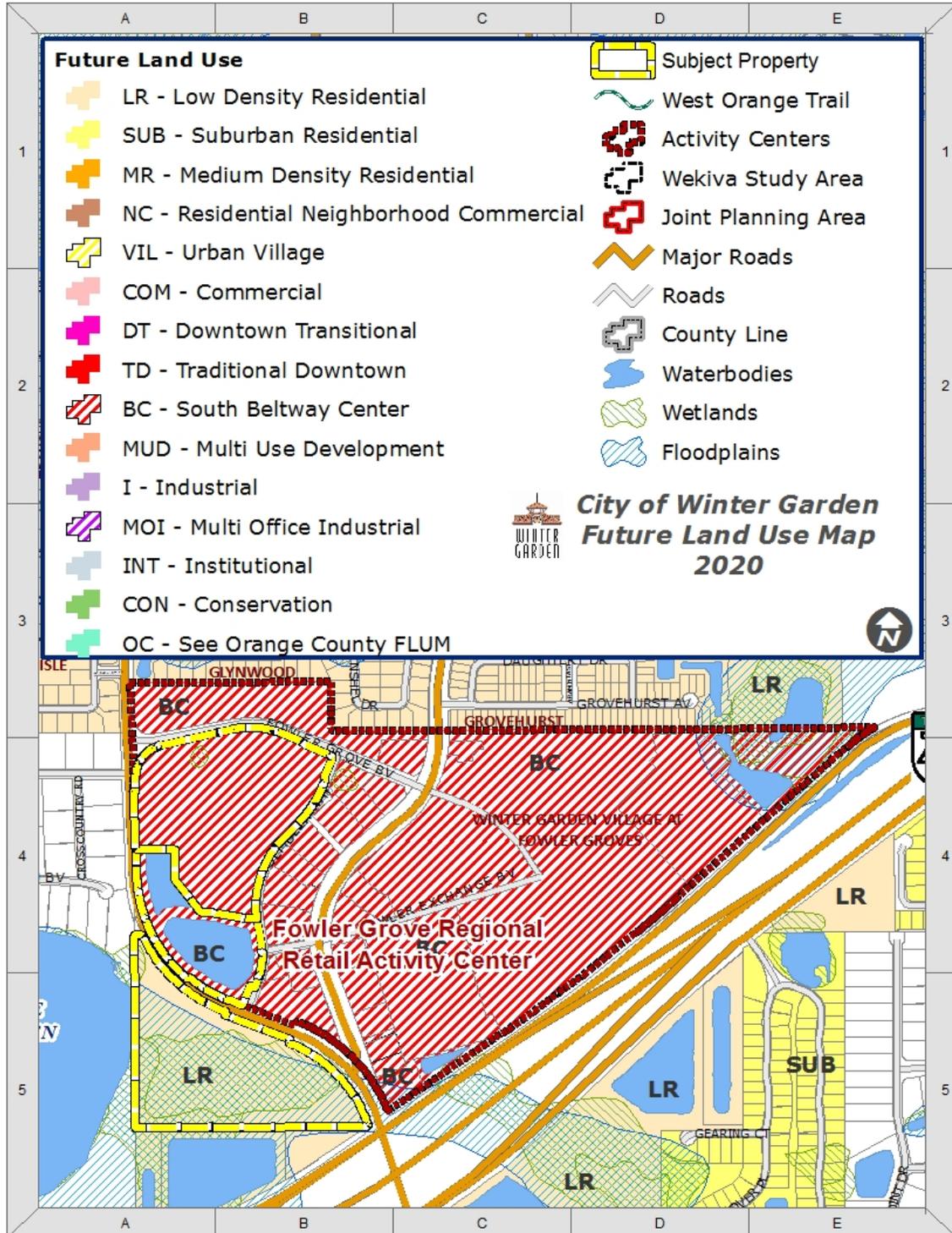
**AERIAL PHOTO**  
**Subject Property**



**ZONING MAP**  
**Florida Hospital of Winter Garden Property**



**FUTURE LAND USE MAP**  
**Florida Hospital of Winter Garden Property**



**END OF STAFF REPORT**



# FLORIDA HOSPITAL WINTER GARDEN PHASE A

## CONSULTANTS

### CIVIL ENGINEER

LITTLEJOHN ENGINEERING ASSOCIATES, INC.  
1615 EDGEWATER DRIVE, SUITE 180  
ORLANDO, FLORIDA 32804  
P: (407) 975-1273; F: (407) 975-1279

### ARCHITECT

ESa  
2100 WEST END AVENUE, SUITE 1200  
NASHVILLE, TN 37203  
P: (615) 329-0046

### LANDSCAPE ARCHITECT

EDSA  
135 WEST CENTRAL BOULEVARD, SUITE 400  
ORLANDO, FL 32801  
P: (407) 425-3330; F: (407) 425-8058

### SURVEYOR

DONALD W. MCINTOSH ASSOCIATES, INC  
2200 PARK AVENUE NORTH  
WINTER PARK, FL 32789  
P: (407) 644-4068

## UTILITY PROVIDERS

### WATER & RE-USE WATER

CITY OF WINTER GARDEN  
JEFFREY COTTON, DISTRIBUTION SUPERINTENDENT  
(407) 656-411 EXT. 5448  
JCOTTON@WINTERGARDEN-FL.GOV

### WASTE WATER

CITY OF WINTER GARDEN  
GARY SAPP, COLLECTION & STORMWATER SUPERINTENDENT  
(407) 656-411 EXT. 2500  
GSAPP@WINTERGARDEN-FL.GOV

### FIRE RESCUE

CITY OF WINTER GARDEN  
JOHN WILLIAMSON, FIRE CHIEF  
(407) 877-5175 EXT. 2293

### ELECTRIC

PROGRESS / DUKE ENERGY  
CONTACT: RYAN SPEAKS  
E-MAIL: RYAN.SPEAKS@DUKE-ENERGY.COM

### GAS

LAKE APOPKA NATURAL GAS DISTRICT  
EVERETT HOLMES  
(407) 656-2734 EXT. 104  
EHOMES@LANGD.ORG

### DATA/TELECOMMUNICATIONS

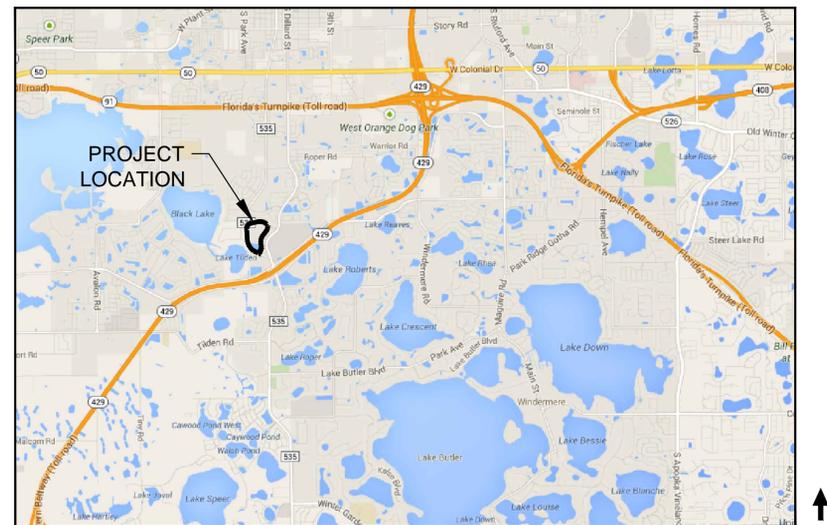
BRIGHTHOUSE  
DOUGLAS MCGOVERN  
(407) 215-5505  
DOUG.MCGOVERN@MYBRIGHTHOUSE.COM

LOCATED AT:

2000 FOWLER GROVES BLVD  
WINTER GARDEN, FLORIDA

PARCEL ID# 35-22-27-9398-01-110, 35-22-27-9398-00-002  
WINTER GARDEN VILLAGE AT FOWLER GROVES PCD  
(HOSPITAL PROPERTY)

DRC RESUBMITTAL  
JANUARY 31, 2014



VICINITY MAP  
N.T.S.

## INDEX OF SHEETS

SHEET NO.	SHEET NAME
C1.0 - C1.1	EXISTING CONDITIONS
C2.0	SITE DATA NOTES
C3.0	PRELIMINARY EROSION CONTROL PLAN
C4.0 - C4.5	DEMOLITION PLAN
C5.0 - C5.5	SITE LAYOUT PLAN
C6.0 - C6.6	DRAINAGE PLAN
C7.0 - C7.6	UTILITY PLAN
C8.0	OFFSITE IMPROVEMENTS
L40.00 - L40.01	LANDSCAPE NOTES & PLANT SCHEDULE
L41.01 - L41.06	LANDSCAPE PLAN
L43.01 - L43.02	TREE DETAILS
L53.01	SHRUB & GROUND COVER DETAILS
A2.10 - A2.11	PRELIMINARY EXTERIOR ELEVATIONS
E1.00	SITE LIGHTING PLAN
G.50	EXTERIOR SIGN LOCATION PLAN

## OWNER / DEVELOPER

ADVENTIST HEALTH SYSTEM/SUNBELT, INC  
FLORIDA HOSPITAL ACCOUNTING DEPARTMENT  
601 E. ROLLINS ST  
ORLANDO, FL 32803  
P: (407) 303-1166

## APPLICANT

LITTLEJOHN ENGINEERING ASSOCIATES, INC.  
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ORLANDO, FLORIDA 32804  
P: (407) 975-1273  
F: (407) 975-1279  
CONTACT: GEORGE HUDDLESTON, P.E.  
E-MAIL: GHUDDLESTON@LEAINC.COM

## PROJECT INFORMATION

LEGAL DESCRIPTION: LOT 11, BLOCK 1 AND TRACT B, WINTER GARDEN VILLAGE AT FOWLER GROVES, AS RECORDED IN PLAT BOOK 69, PAGES 82 THROUGH 86 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

CONTAINING 34.354 ACRES MORE OR LESS AND BEING SUBJECT TO ANY RIGHTS-OF-WAY, RESTRICTIONS AND EASEMENT OF RECORD.

EXISTING ZONING: PCD  
FUTURE ZONING: PCD  
FUTURE LAND USE: SOUTH BELTWAY CENTER

SITE ACREAGE: +/- 34.4 ACRES



FLORIDA FIRM CERTIFICATION #28650

LITTLEJOHN ENGINEERING ASSOCIATES

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Nashville | Chattanooga | Decatur | Huntsville | Knoxville | Phoenix | Tri-Cities

Florida Hospital Winter Garden  
Phase A

2000 Fowler Groves Blvd.  
Winter Garden, Florida



PRELIMINARY  
NOT FOR  
CONSTRUCTION

DATE	REVISIONS
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

C0.0  
COVER





**SITE ADDRESS**

2000 FOWLER GROVE BOULEVARD  
WINTER GARDEN, FLORIDA 34787

**SITE DATA (PHASE A)**

PERVIOUS ACREAGE: 27.163 ACRES (1,183,222 SF)  
IMPERVIOUS ACREAGE: 7.191 ACRES (313,238 SF)

INTENSITY (FLOOR AREA RATIO)  
MAX. ALLOWED: 1.00  
PROPOSED: 0.11

OPEN SPACE RATIO  
MIN. ALLOWED: 15.00%  
PROPOSED: 79.07%

**DEVELOPMENT INFORMATION**

MAXIMUM DEVELOPMENT PROGRAM  
200 BED HOSPITAL WITH ANCILLARY USES (460,000 SF)  
EMERGENCY DEPARTMENT (30,000 SF)  
MEDICAL OFFICE (200,000 SF)

PHASE A  
127,067 SF TOTAL:  
31,112 SF EMERGENCY DEPARTMENT  
56,444 SF MEDICAL OFFICE BUILDING  
39,510 SF BUILDING SUPPORT & BUILDING CORE

PERMITS REQUIRED FROM OTHER JURISDICTIONS:  
SJRWD - ERP MODIFICATION

**BUILDING DATA**

ZONE	MAXIMUM	PROPOSED (PHASE A)
1	0 FT	0 FT
2A	N/A	0 FT
2B	51 FT (3 STORIES)	0 FT
2C	81 FT (5 STORIES)	0 FT
2D	111 FT (7 STORIES)	61'-4" (4 STORIES)

**PARKING CALCULATIONS**

REQUIRED PARKING: 2.5 SPACES/BED (HOSPITAL)  
4 SPACES/1,000 SF GFA MINIMUM (EMERGENCY DEPARTMENT/MEDICAL OFFICE BUILDING)  
5 SPACES/1,000 SF GFA MAXIMUM (EMERGENCY DEPARTMENT/MEDICAL OFFICE BUILDING)

REQUIRED BICYCLE PARKING: 1 RACK (MINIMUM 5 SPACES) PER MAIN ENTRANCE

PHASE A  
REQUIRED PARKING: 127,067 SF \* 4 SPACES/1,000 SF = 509 SPACES  
PROPOSED PARKING: 403 SPACES (16 ACCESSIBLE)  
PROPOSED BICYCLE PARKING: 3 RACKS

**LANDSCAPE REQUIREMENTS**

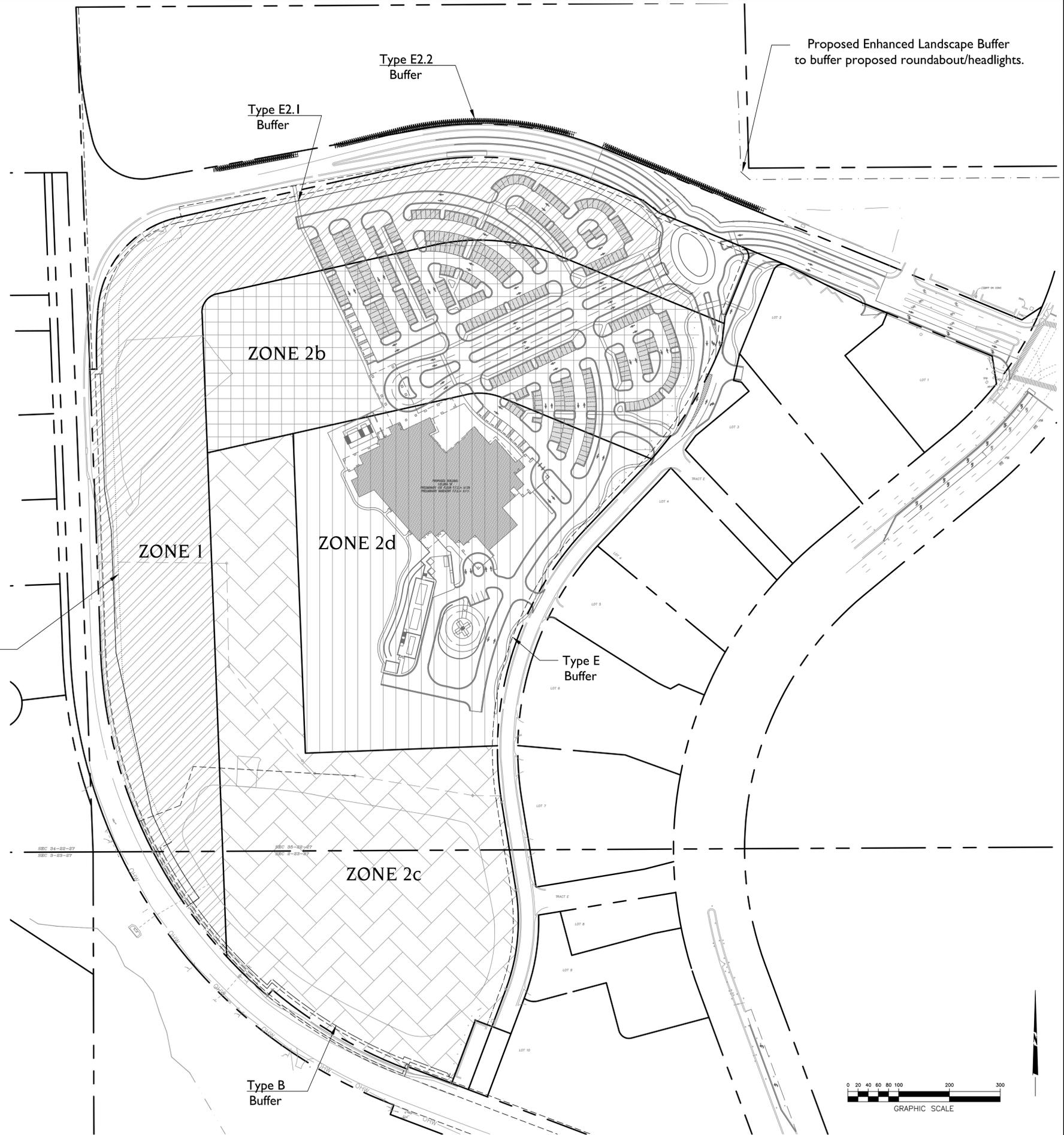
BUFFERS (SEE FIGURE)  
TYPE A 40 FT (EXISTING)  
TYPE B 15 FT (EXISTING)  
TYPE E: 10 FT (EXISTING)  
TYPE E2.1: 20 FT  
TYPE E2.2: 15 FT

**NON-SUBSTANTIAL DEVIATIONS (ORDINANCE 12-54)**

SECTION 4(16)(g)2.a. 4 LANES ALONG FOWLER GROVES BOULEVARD WILL NOT BE DEVELOPED UNTIL THE MEDIAN OPENING FOR THE TWO DRIVEWAY CONNECTIONS DUE TO THE PROPOSED SINGLE-LANE ROUNDABOUT. TURN LANES WILL BE PROVIDED AS SHOWN IN PCD-19.  
SECTION 4(16)(g)2.b. "T" INTERSECTION ALONG FOWLER GROVES BOULEVARD NO LONGER PROPOSED. GREEN SPINE ENTRANCE TO HOSPITAL WILL NOW CONNECT TO PROPOSED SINGLE-LANE ROUNDABOUT.

**ORDINANCE 12-54 OFF-SITE IMPROVEMENTS (TO BE PERMITTED SEPARATELY)**

- RELOCATE EXISTING POND TO ADJACENT PROPERTY.
- THE 10' WIDE BIKE PATH/SIDEWALK (ON THE NORTH SIDE OF STONEYBROOK WEST PARKWAY FROM CR 545 TO DANIELS ROAD) WILL BE DESIGNED AND PERMITTED SEPARATELY IN ORDER TO FOCUS ON THE BUILDING AND SITE WORK FIRST. ONCE PERMITTING FOR THE CURRENT PACKAGE IS COMPLETE, DESIGN AND PERMITTING WILL COMMENCE FOR THE BIKE PATH.



FLORIDA FIRM CERTIFICATION #28650

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**Florida Hospital Winter Garden**

**Phase A**

2000 Fowler Grove Blvd.  
Winter Garden, Florida

**FLORIDA HOSPITAL**

PRELIMINARY  
NOT FOR  
CONSTRUCTION

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1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

**C2.0**

SITE DATA  
NOTES

G:\Projects\2013\20130603\dwg\Construction\20130603\_C2-0\_NOT.dwg-C2.0-Site Data Notes-Jan\_30\_2014 - 4:14pm.gpage

G:\Projects\2013\20130603.dwg Construction\20130603\_C3-0\_ER0.dwg-C3-0 Preliminary Erosion Control Plan Jan 30, 2014 -- 4:02pm ggeorge



**EROSION CONTROL NOTES:**  
1. SEE SHEET C2.0 FOR EROSION CONTROL NOTES.

- PROPOSED FEATURES LEGEND:**
- PROPOSED SILT FENCE
  - PROPOSED FILTER SOCK
  - TEMPORARY CONSTRUCTION ENTRANCE
  - LIMITS OF DISTURBANCE
  - ROCK CHECK DAM
  - INLET PROTECTION
  - TREE PROTECTION

**811**  
Know what's below.  
Call before you dig.

GRAPHIC SCALE

**LITTLEJOHN ENGINEERING ASSOCIATES**  
1615 Edgewater Drive, Suite 180, ORLANDO, FLORIDA 32804  
T 407.975.1273 F 407.975.1278 www.littlejohn.com  
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FLORIDA FIRM CERTIFICATION #28550

**Florida Hospital Winter Garden  
Phase A**  
2000 Fowler Grove Blvd.  
Winter Garden, Florida



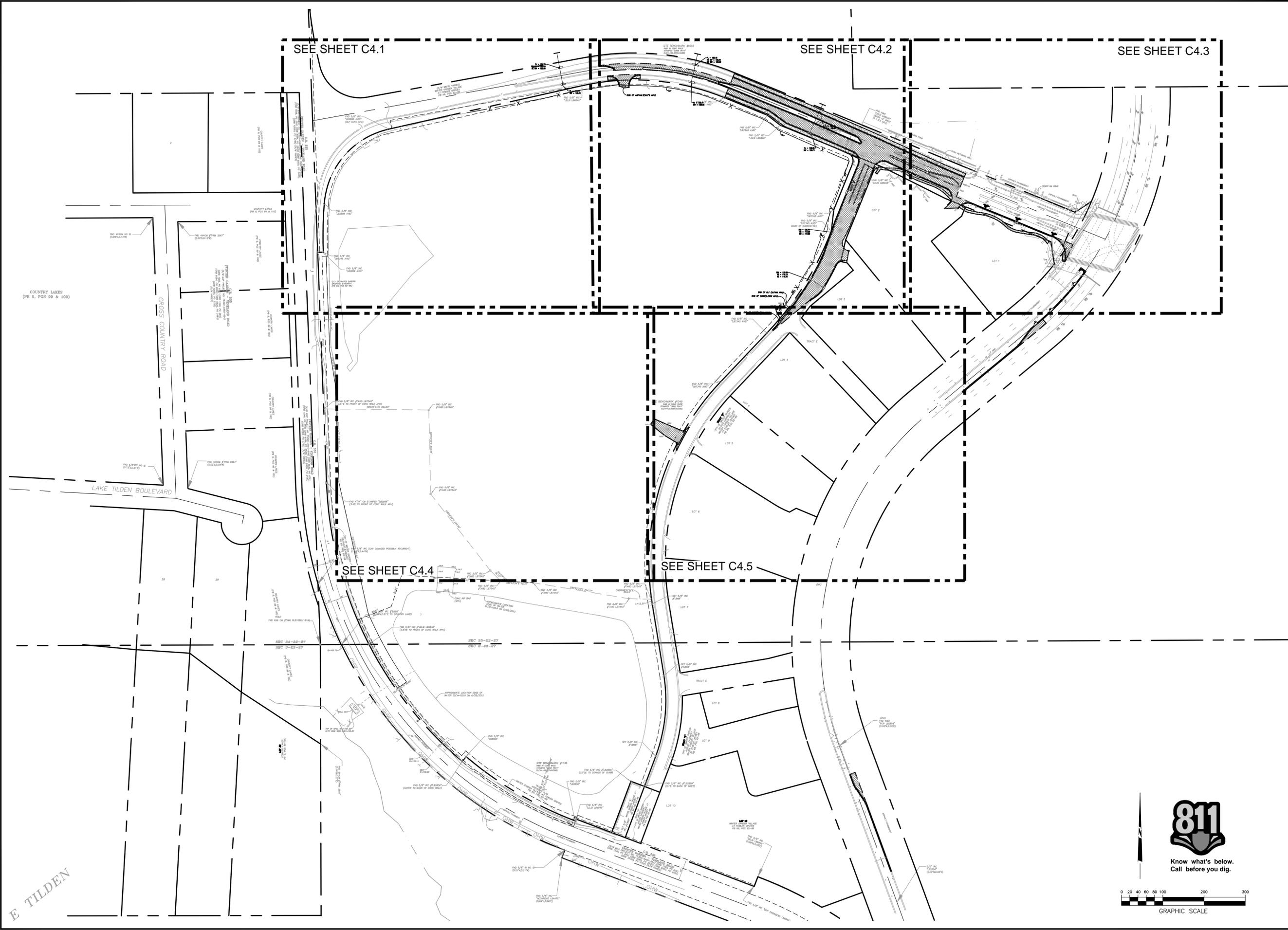
**PRELIMINARY  
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1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

**C3.0**  
PRELIMINARY  
EROSION  
CONTROL PLAN

E TILDEN

G:\Projects\2013\20130603 (dwg)\Construction\20130603\_C4-0\_DEM.dwg-C4-0 Overall Demo Plan Jan 30, 2014 - 4:00pm wcrunk



SEE SHEET C4.1

SEE SHEET C4.2

SEE SHEET C4.3

SEE SHEET C4.4

SEE SHEET C4.5

E TILDEN

**811**  
Know what's below.  
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GRAPHIC SCALE

FLORIDA FIRM CERTIFICATION #28650

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**Florida Hospital Winter Garden**  
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Winter Garden, Florida

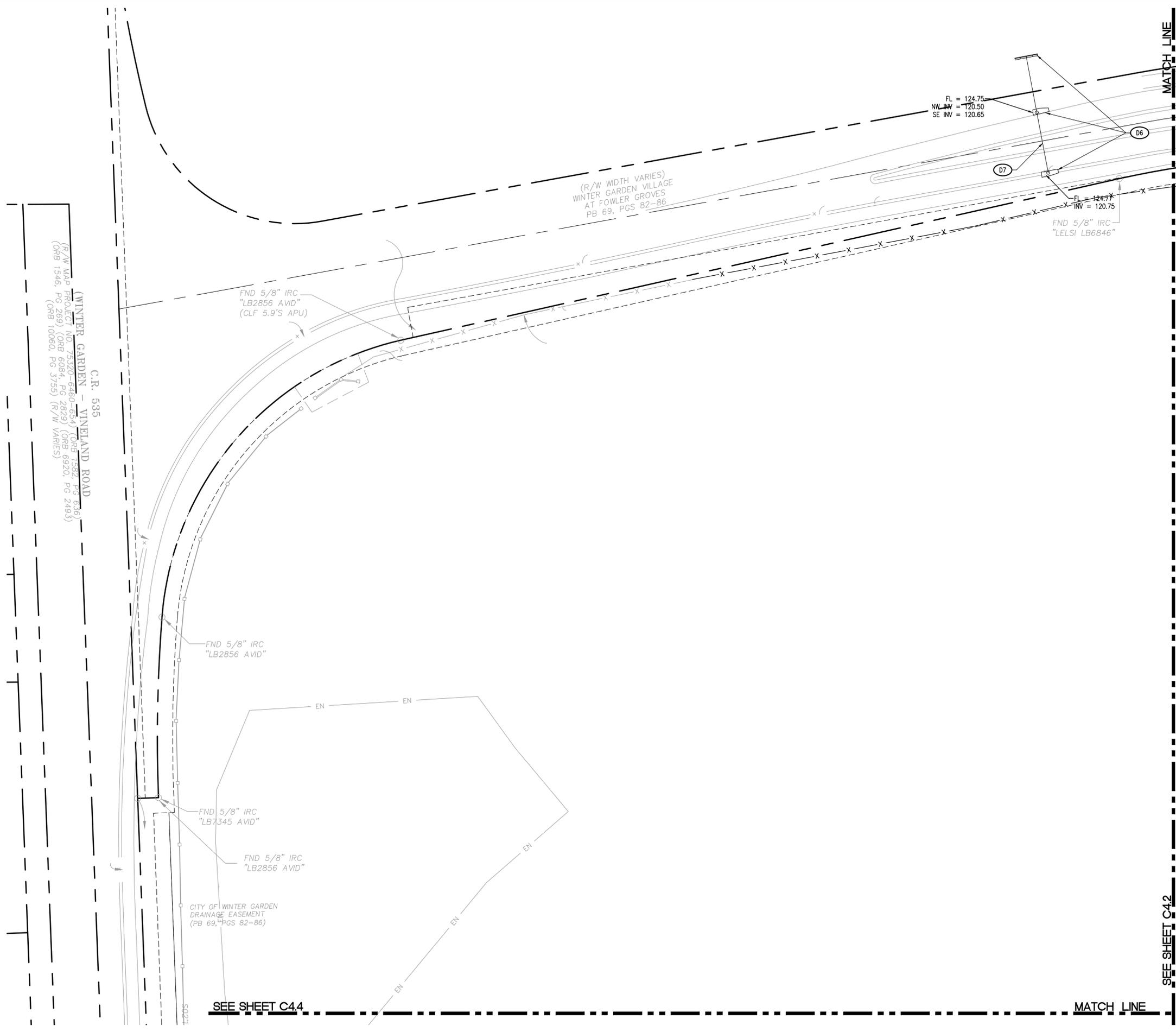
**FLORIDA HOSPITAL**

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1/17/14	DRC RESUBMITTAL
1/10/14	20130603

**C4.0**  
OVERALL  
DEMOLITION  
PLAN

G:\Projects\2013\20130603.dwg Construction\20130603\_C4-0\_DEM.dwg-C4-1 Demo Plan Jan 30, 2014 - 4:00pm wcrunk



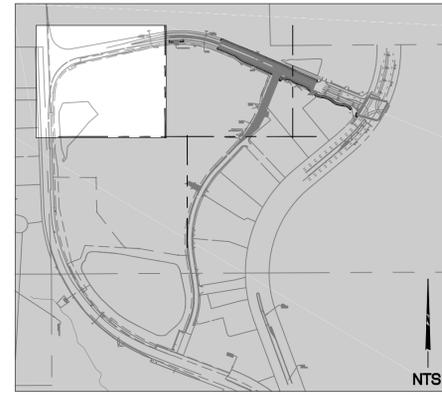
SEE SHEET C4.2

MATCH LINE

MATCH LINE

SEE SHEET C4.4

DEMOLITION KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
D1	REMOVE EXISTING ASPHALT PAVEMENT	
D2a	REMOVE EXISTING CONCRETE PAVEMENT	
D2b	REMOVE EXISTING CONCRETE SIDEWALK	
D3	REMOVE EXISTING CURB	
D4	EVENLY SAWCUT	
D5	REMOVE EXISTING BUILDING/STRUCTURE	
D6	REMOVE EXISTING DRAINAGE STRUCTURE	
D7	REMOVE EXISTING STORM LINE	
D8	REMOVE EXISTING WATER LINE & APPURTENANCES	
D9	REMOVE EXISTING SANITARY SEWER LINE	
D10	REMOVE EXISTING UTILITY LINE & APPURTENANCES	
D11	EXISTING UTILITY LINE TO BE ABANDONED IN PLACE	
D12	EXISTING FIRE HYDRANT TO BE RELOCATED	
D13	REMOVE EXISTING TREE	
D14	REMOVE EXISTING FENCE	
D15	REMOVE EXISTING GRAVEL DRIVE	



  
**811**  
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 GRAPHIC SCALE

  
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1/17/14	DRC RESUBMITTAL
1/10/14	20130603

**C4.1**  
 DEMOLITION  
 PLAN

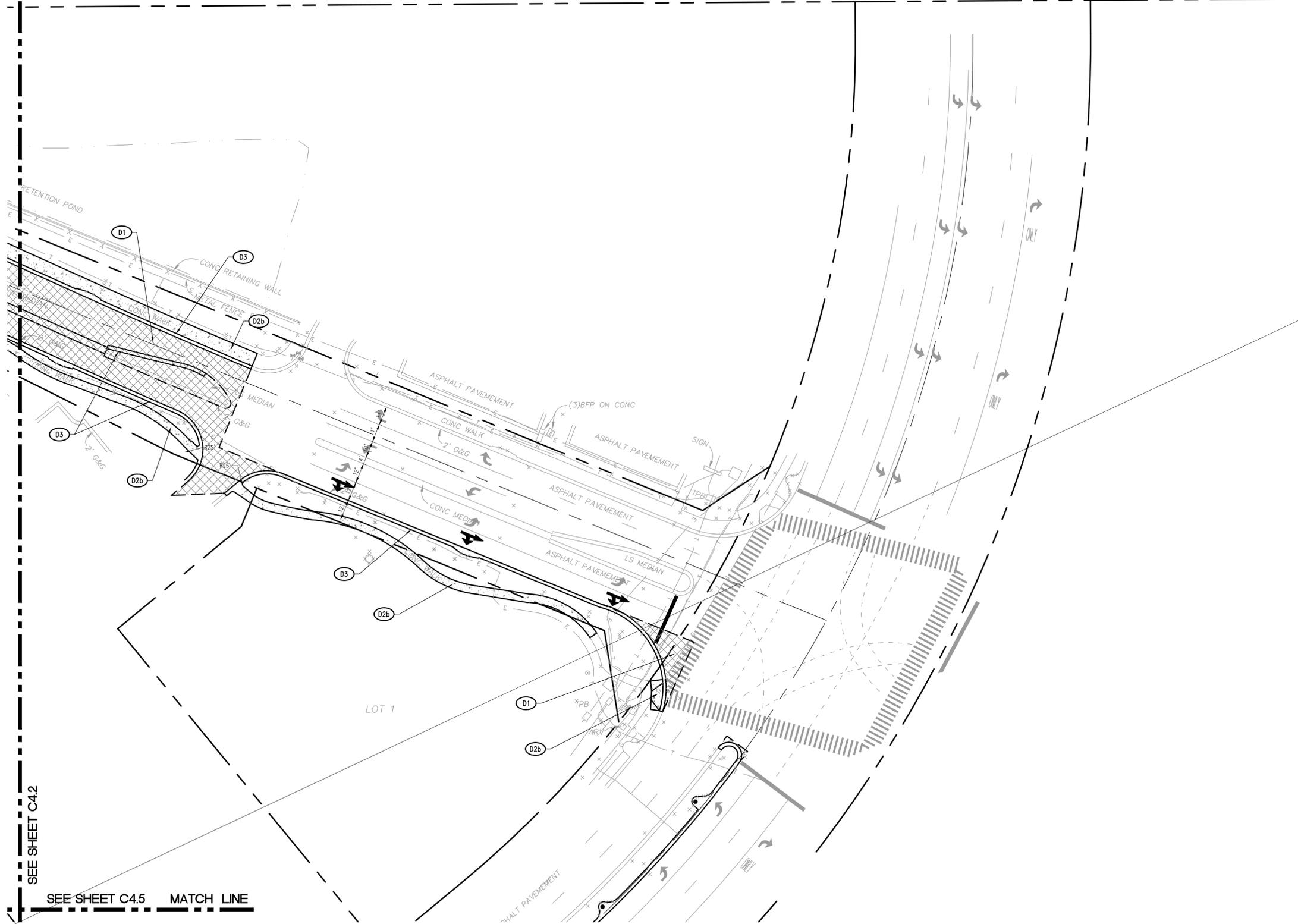


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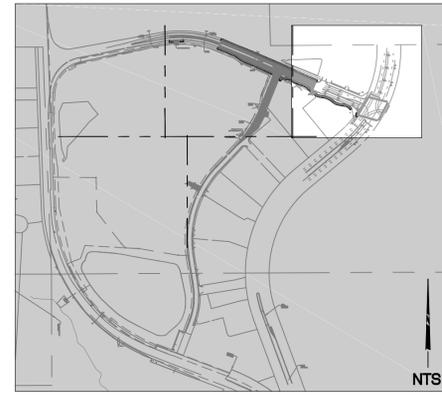
MATCH LINE

SEE SHEET C4.2

SEE SHEET C4.5 MATCH LINE



DEMOLITION KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
D1	REMOVE EXISTING ASPHALT PAVEMENT	
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D10	REMOVE EXISTING UTILITY LINE & APPURTENANCES	
D11	EXISTING UTILITY LINE TO BE ABANDONED IN PLACE	
D12	EXISTING FIRE HYDRANT TO BE RELOCATED	
D13	REMOVE EXISTING TREE	
D14	REMOVE EXISTING FENCE	
D15	REMOVE EXISTING GRAVEL DRIVE	



  
**811**  
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 GRAPHIC SCALE

  
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1/17/14	DRC RESUBMITTAL
1/10/14	20130603

**C4.3**  
 DEMOLITION  
 PLAN

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MATCH LINE

SEE SHEET C4.1 SEE SHEET C4.2

MATCH LINE

SEE SHEET C4.5

DEMOLITION KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
D1	REMOVE EXISTING ASPHALT PAVEMENT	
D2a	REMOVE EXISTING CONCRETE PAVEMENT	
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D12	EXISTING FIRE HYDRANT TO BE RELOCATED	
D13	REMOVE EXISTING TREE	
D14	REMOVE EXISTING FENCE	
D15	REMOVE EXISTING GRAVEL DRIVE	



**811**  
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GRAPHIC SCALE

**LITTLEJOHN ENGINEERING ASSOCIATES**  
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Nashville | Chattanooga | Decatur | Huntsville | Knoxville | Orlando | Phoenix | Tri-Cities

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Winter Garden, Florida

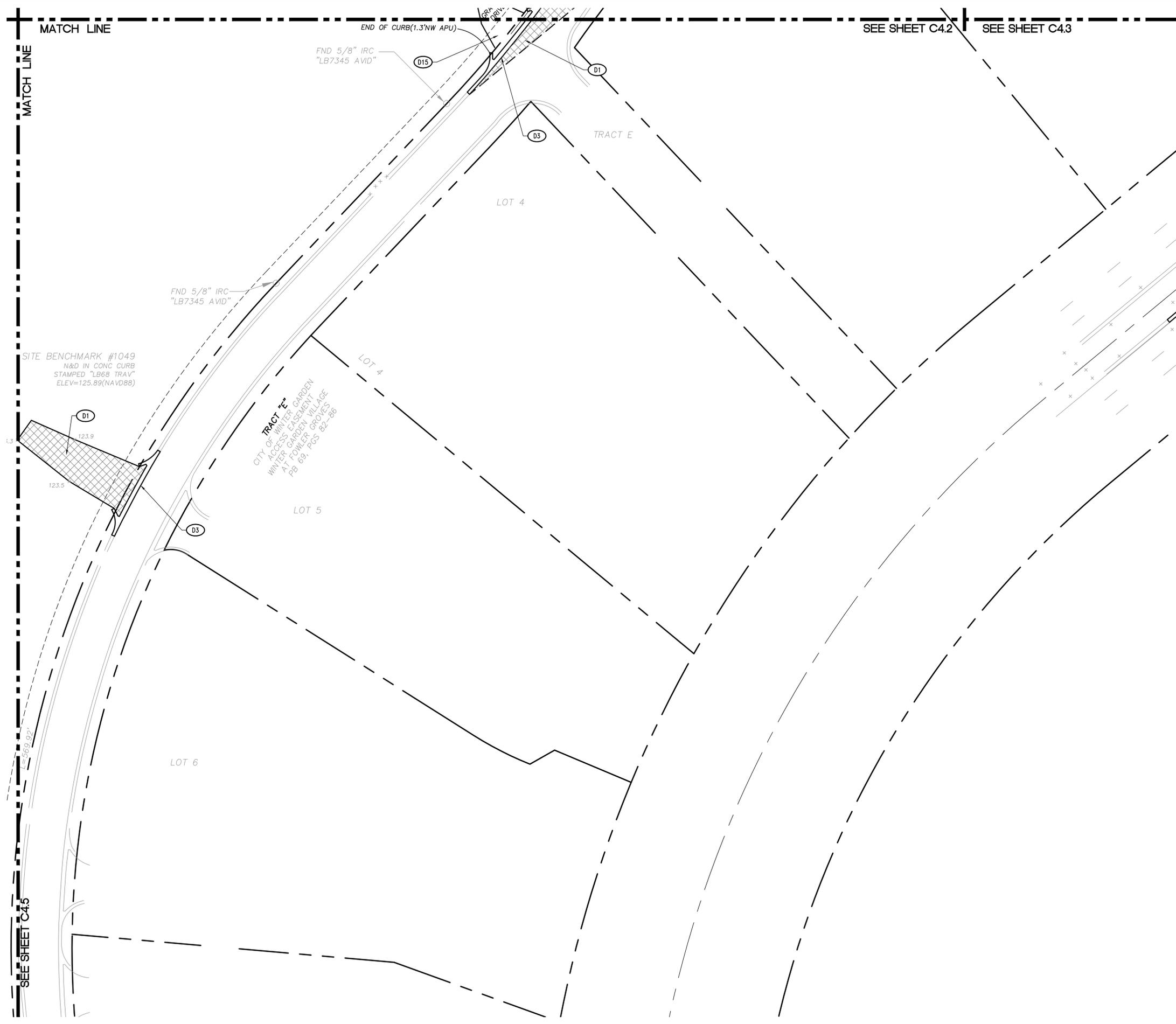


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**C4.4**  
DEMOLITION  
PLAN

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MATCH LINE

MATCH LINE

SEE SHEET C4.2

SEE SHEET C4.3

DEMOLITION KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
D1	REMOVE EXISTING ASPHALT PAVEMENT	
D2a	REMOVE EXISTING CONCRETE PAVEMENT	
D2b	REMOVE EXISTING CONCRETE SIDEWALK	
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D14	REMOVE EXISTING FENCE	
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FLORIDA FIRM CERTIFICATION #28860

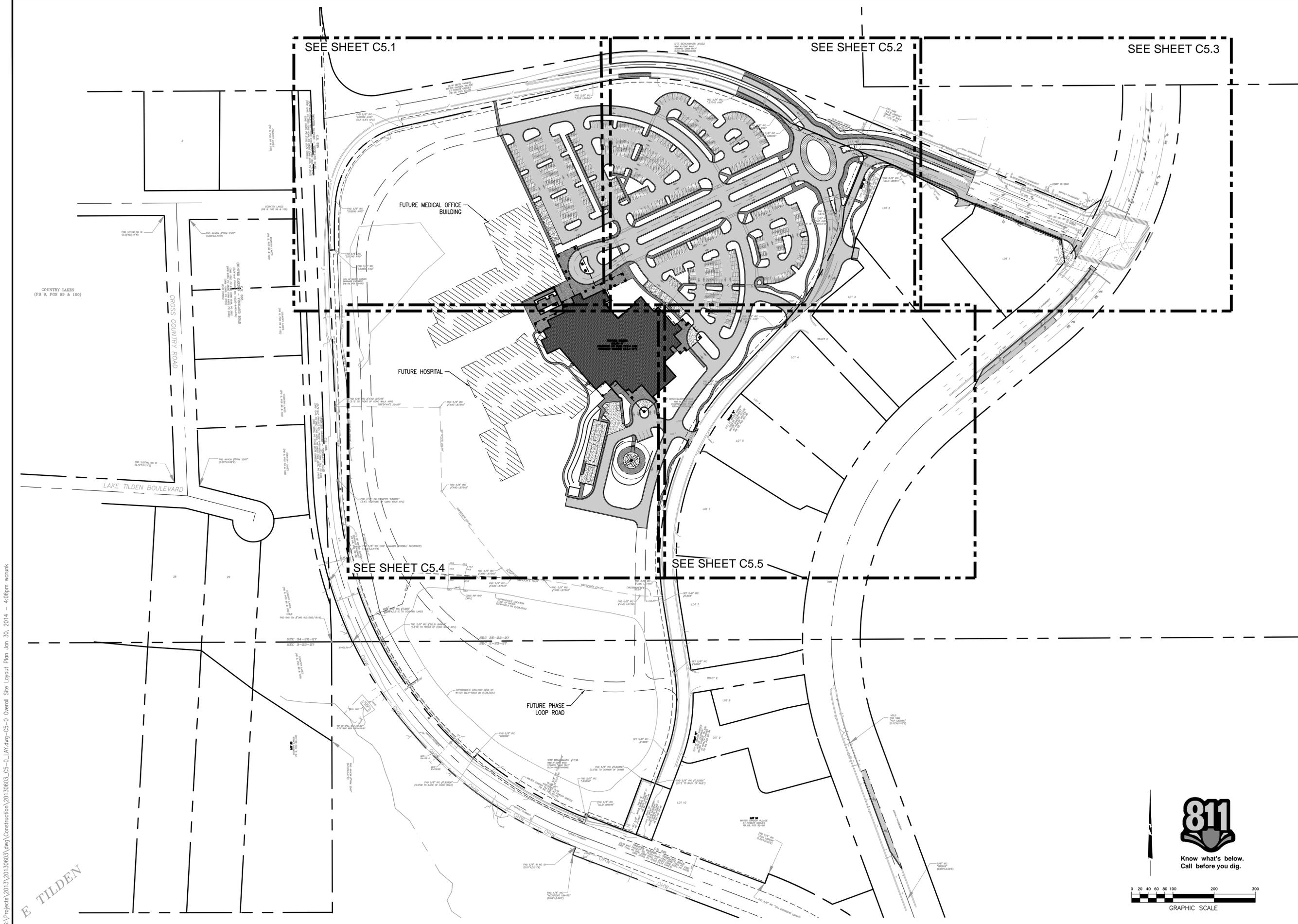
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**C4.5**  
 DEMOLITION  
 PLAN



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FLORIDA FIRM CERTIFICATION #28650



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1/10/14	20130603

**C5.0**  
 OVERALL SITE  
 LAYOUT PLAN



**811**  
 Know what's below.  
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GRAPHIC SCALE

G:\Projects\2013\20130603.dwg Construction\20130603\_C5-0\_LAY.dwg-C5-1 Site Layout Plan Jan 30, 2014 - 4:03pm wcrank

WINTER GARDEN - VINELAND ROAD  
 C.R. 535  
 (R/W MAP PROJECT NO. 75320-6460-634) (ORR 1546, PG. 259)  
 (ORR 6084, PG. 2829) (ORR 10060, PG. 3755) (R/W VARIES)

(R/W WIDTH VARIES)  
 WINTER GARDEN VILLAGE  
 AT FOWLER GROVES  
 PB 69, PGS 82-86

FND 5/8" IRC "LB2856 AVID"  
 (CLF 5.9'S APU)

FND 5/8" IRC "LB2856 AVID"

FND 5/8" IRC "LB7345 AVID"

FND 5/8" IRC "LB2856 AVID"

CITY OF WINTER GARDEN  
 DRAINAGE EASEMENT  
 (PB 69, PGS 82-86)

SEE SHEET C5.4

FUTURE MEDICAL OFFICE BUILDING

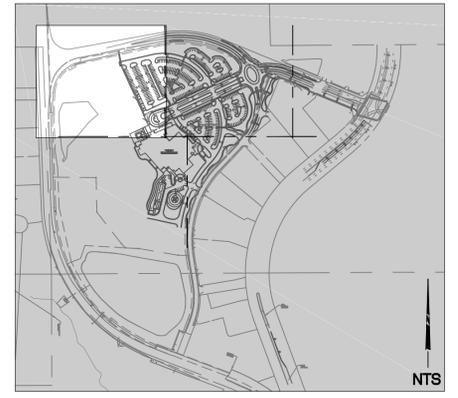
ADA ACCESSIBLE ROUTE (TYP)

MAIN HOSPITAL ENTRANCE/MOB. ENTRANCE

SEE SHEET C5.2

SITE LAYOUT KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
S1a	ASPHALT PAVEMENT LIGHT DUTY	.
S1b	ASPHALT PAVEMENT HEAVY DUTY	.
S2	CONCRETE PAVEMENT	.
S3a	CONCRETE CURB AND GUTTER	.
S3b	CONCRETE POST CURB	.
S4a	CONCRETE SIDEWALK	.
S4b	CONCRETE SIDEWALK W/TURN DOWN CURB	.
S4c	CONCRETE WALK AT CURB AND GUTTER	.
S5	SIDEWALK JOINTS	.
S6	ACCESSIBLE SYMBOL	.
S7	ACCESSIBLE PARKING AREA	.
S8a	ACCESSIBLE RAMP	.
S10	CONCRETE WHEEL STOP	.
S11b	CONCRETE STAIRS WITH HANDRAIL/GUARDRAIL	.
S12	ELEVATED SIDEWALK	.
S13b	RAMP WITH HANDRAIL/GUARDRAIL	.
S14	CONCRETE BOLLARD	.
S15	UTILITY PAD	.
S18	DIRECTIONAL ARROW	.
S19	PEDESTRIAN CROSSWALK	.
S21a	GUARDRAIL	.
S21b	GUARDRAIL W/HANDRAIL	.
S22a	CONCRETE RETAINING WALL	.
S22b	SEGMENTAL RETAINING WALL	.
S23	24" PAINTED STOP BAR	.

PROPOSED FEATURES LEGEND	
BUILDING	
CONCRETE PAVEMENT	
CONCRETE SIDEWALK	
HEAVY DUTY PAVEMENT	
LIGHT DUTY PAVEMENT	
TACTILE WARNING	
PAINTED STRIPE	
CONCRETE CURB	
CENTERLINE	
ACCESSIBLE ROUTE	



**811**  
 Know what's below.  
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0 10 20 30 60 90  
 GRAPHIC SCALE

FLORIDA FIRM CERTIFICATION #28650  
**LITTLEJOHN ENGINEERING ASSOCIATES**  
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**Florida Hospital Winter Garden**  
**Phase A**  
 2000 Fowler Grove Blvd.  
 Winter Garden, Florida

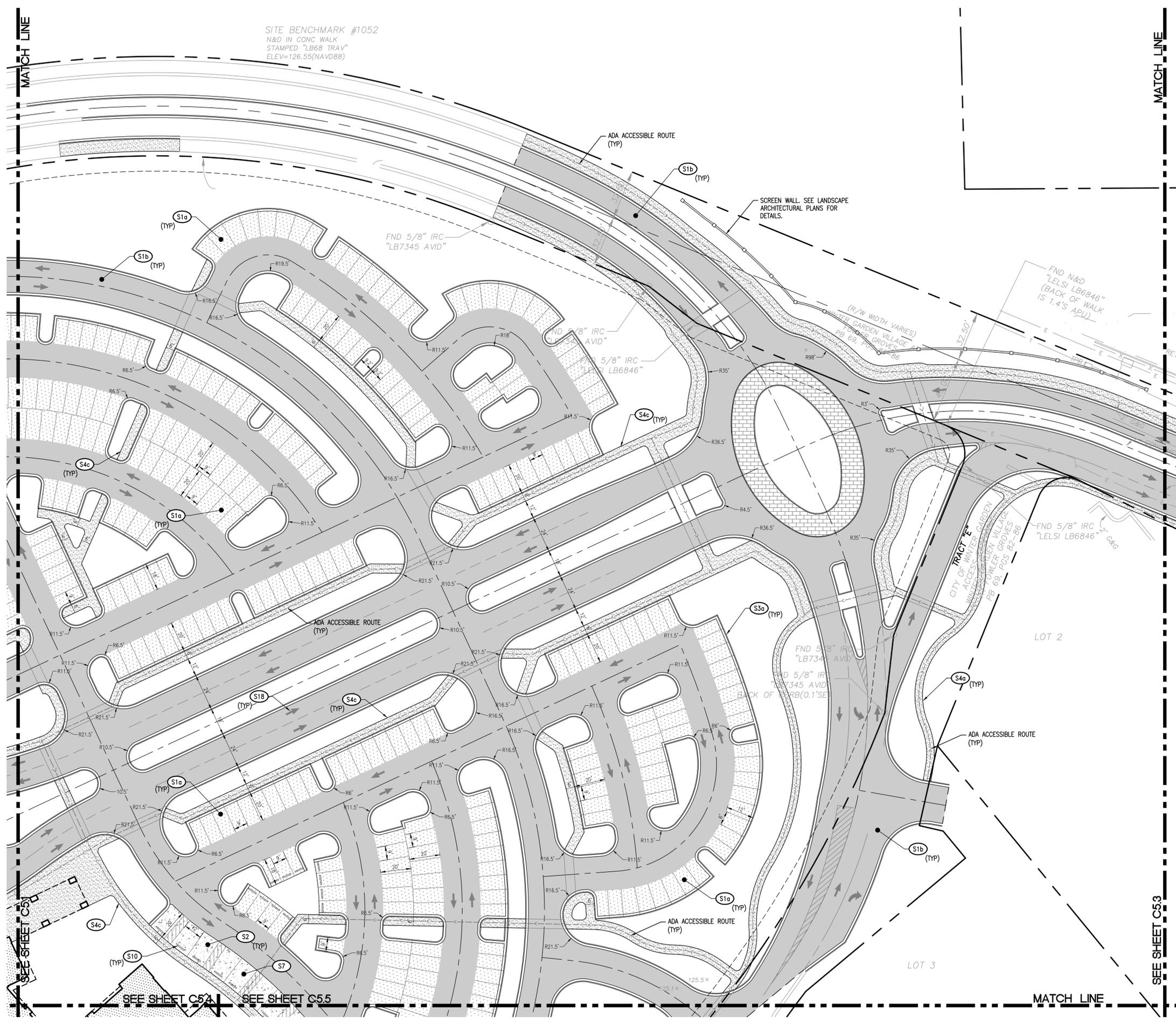


PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

DATE	REVISIONS
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

**C5.1**  
 SITE LAYOUT  
 PLAN

G:\Projects\2013\20130603.dwg Construction\20130603\_C5-0\_LAY.dwg-C5-2 Site Layout Plan Jan 30, 2014 - 4:03pm wcrunk



SITE BENCHMARK #1052  
N&D IN CONC WALK  
STAMPED "LB68 TRAV"  
ELEV=126.55(NAVD88)

SITE LAYOUT KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
S1a	ASPHALT PAVEMENT LIGHT DUTY	.
S1b	ASPHALT PAVEMENT HEAVY DUTY	.
S2	CONCRETE PAVEMENT	.
S3a	CONCRETE CURB AND GUTTER	.
S3b	CONCRETE POST CURB	.
S4a	CONCRETE SIDEWALK	.
S4b	CONCRETE SIDEWALK W/TURN DOWN CURB	.
S4c	CONCRETE WALK AT CURB AND GUTTER	.
S5	SIDEWALK JOINTS	.
S6	ACCESSIBLE SYMBOL	.
S7	ACCESSIBLE PARKING AREA	.
S8a	ACCESSIBLE RAMP	.
S10	CONCRETE WHEEL STOP	.
S11b	CONCRETE STAIRS WITH HANDRAIL/GUARDRAIL	.
S12	ELEVATED SIDEWALK	.
S13b	RAMP WITH HANDRAIL/GUARDRAIL	.
S14	CONCRETE BOLLARD	.
S15	UTILITY PAD	.
S18	DIRECTIONAL ARROW	.
S19	PEDESTRIAN CROSSWALK	.
S21a	GUARDRAIL	.
S21b	GUARDRAIL W/HANDRAIL	.
S22a	CONCRETE RETAINING WALL	.
S22b	SEGMENTAL RETAINING WALL	.
S23	24" PAINTED STOP BAR	.

PROPOSED FEATURES LEGEND	
BUILDING	[Pattern]
CONCRETE PAVEMENT	[Pattern]
CONCRETE SIDEWALK	[Pattern]
HEAVY DUTY PAVEMENT	[Pattern]
LIGHT DUTY PAVEMENT	[Pattern]
TACTILE WARNING	[Pattern]
PAINTED STRIPE	[Pattern]
CONCRETE CURB	[Pattern]
CENTERLINE	[Pattern]
ACCESSIBLE ROUTE	[Pattern]



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GRAPHIC SCALE  
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FLORIDA FIRM CERTIFICATION #28850

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**Florida Hospital Winter Garden  
Phase A**

2000 Fowler Grove Blvd.  
Winter Garden, Florida



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DATE	REVISIONS
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

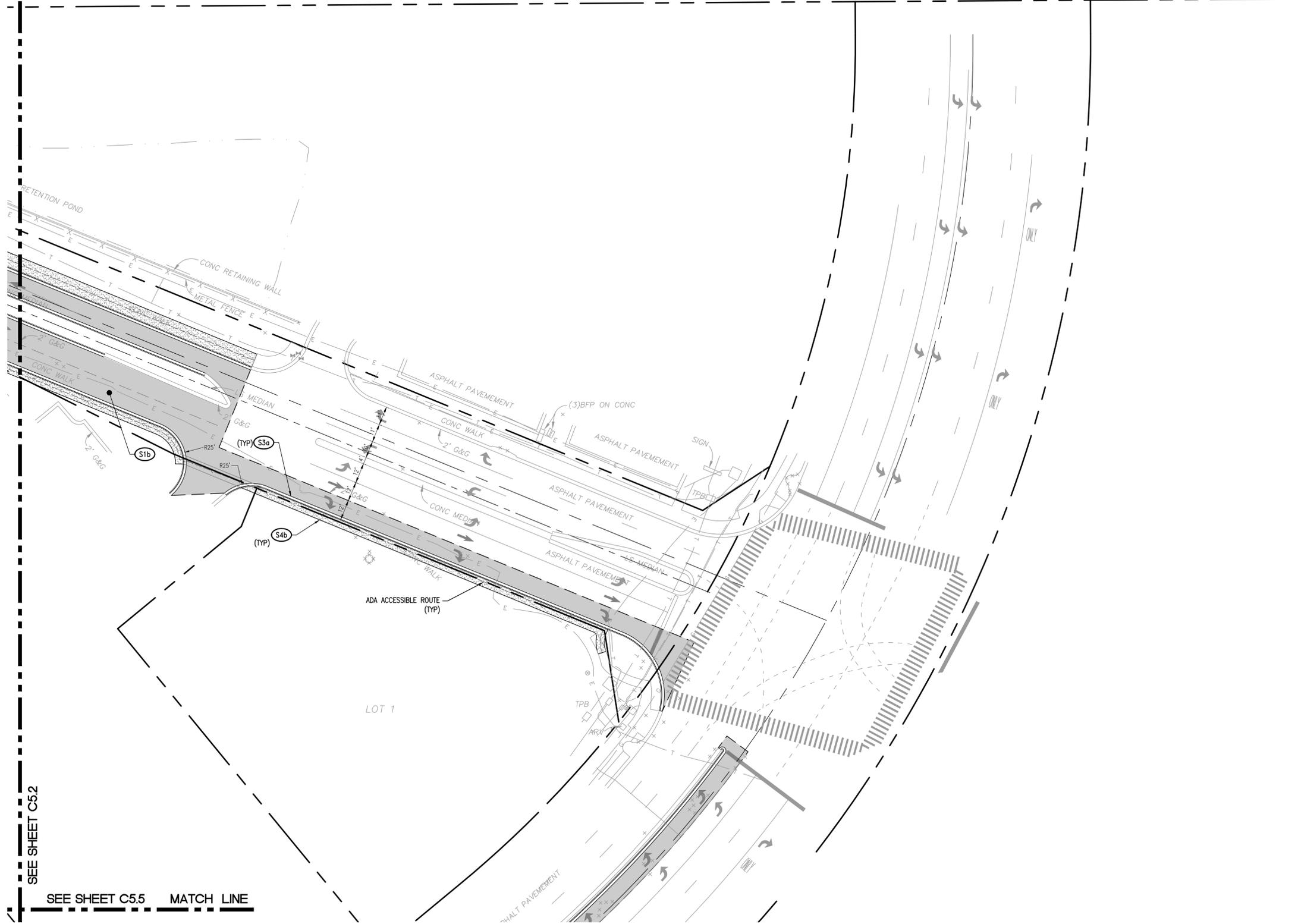
**C5.2**  
SITE LAYOUT  
PLAN

G:\Projects\2013\20130603\dwg\Construction\20130603\_C5-0\_LAY.dwg-C5-3 Site Layout Plan Jan 30, 2014 - 4:04pm wcrank

MATCH LINE

SEE SHEET C5.2

SEE SHEET C5.5 MATCH LINE



SITE LAYOUT KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
S1a	ASPHALT PAVEMENT LIGHT DUTY	.
S1b	ASPHALT PAVEMENT HEAVY DUTY	.
S2	CONCRETE PAVEMENT	.
S3a	CONCRETE CURB AND GUTTER	.
S3b	CONCRETE POST CURB	.
S4a	CONCRETE SIDEWALK	.
S4b	CONCRETE SIDEWALK W/TURN DOWN CURB	.
S4c	CONCRETE WALK AT CURB AND GUTTER	.
S5	SIDEWALK JOINTS	.
S6	ACCESSIBLE SYMBOL	.
S7	ACCESSIBLE PARKING AREA	.
S8a	ACCESSIBLE RAMP	.
S10	CONCRETE WHEEL STOP	.
S11b	CONCRETE STAIRS WITH HANDRAIL/GUARDRAIL	.
S12	ELEVATED SIDEWALK	.
S13b	RAMP WITH HANDRAIL/GUARDRAIL	.
S14	CONCRETE BOLLARD	.
S15	UTILITY PAD	.
S18	DIRECTIONAL ARROW	.
S19	PEDESTRIAN CROSSWALK	.
S21a	GUARDRAIL	.
S21b	GUARDRAIL W/HANDRAIL	.
S22a	CONCRETE RETAINING WALL	.
S22b	SEGMENTAL RETAINING WALL	.
S23	24" PAINTED STOP BAR	.

PROPOSED FEATURES LEGEND

- BUILDING
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- HEAVY DUTY PAVEMENT
- LIGHT DUTY PAVEMENT
- TACTILE WARNING
- PAINTED STRIPE
- CONCRETE CURB
- CENTERLINE
- ACCESSIBLE ROUTE



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GRAPHIC SCALE

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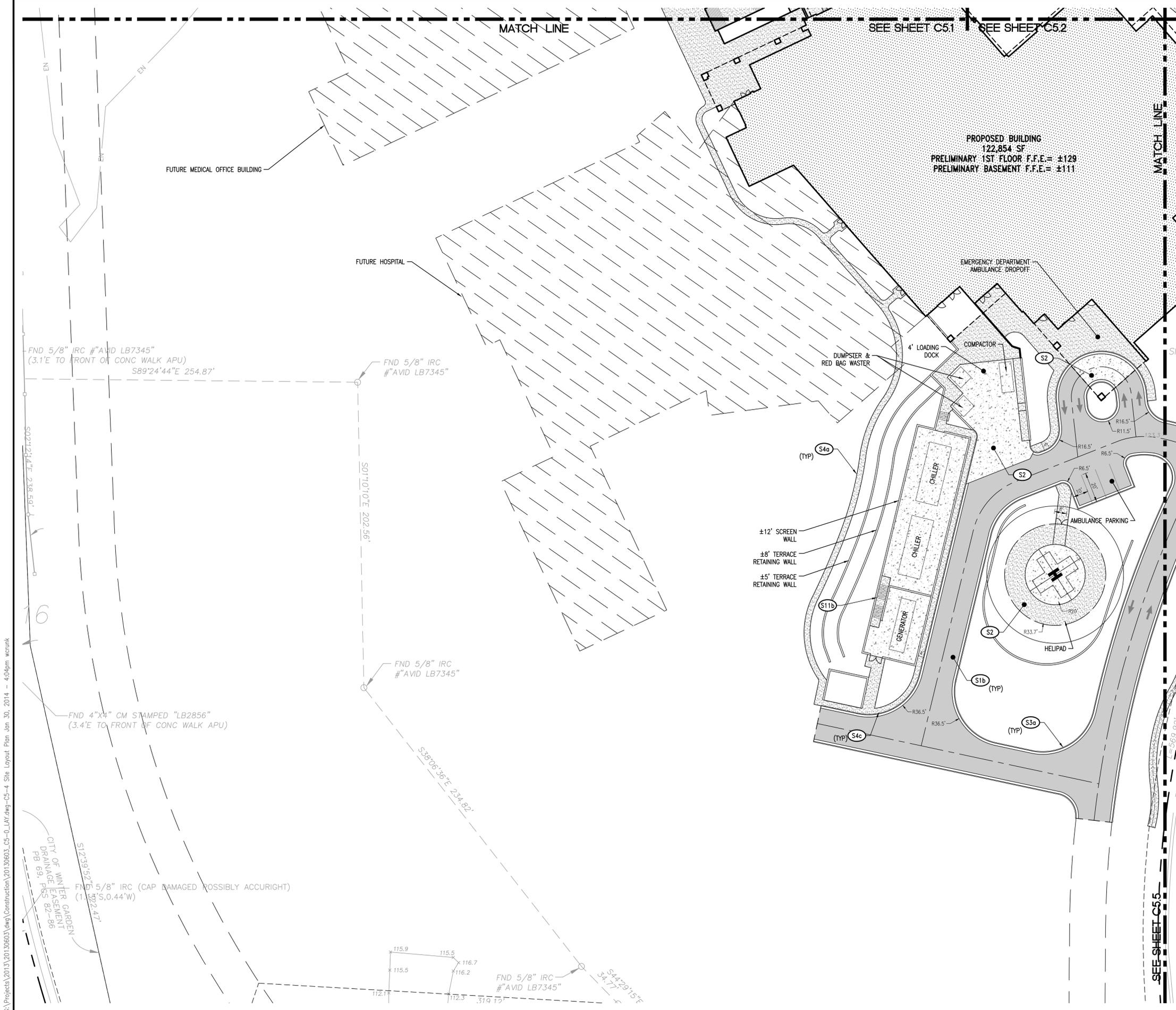
**Florida Hospital Winter Garden**  
**Phase A**  
 2000 Fowler Grove Blvd.  
 Winter Garden, Florida



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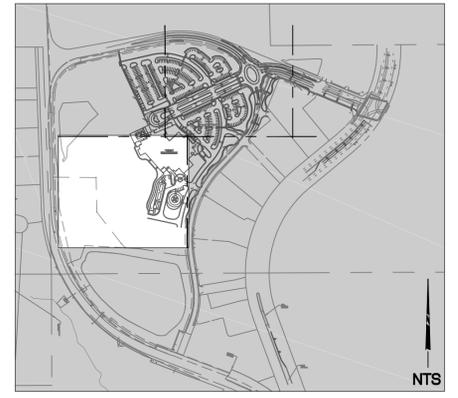
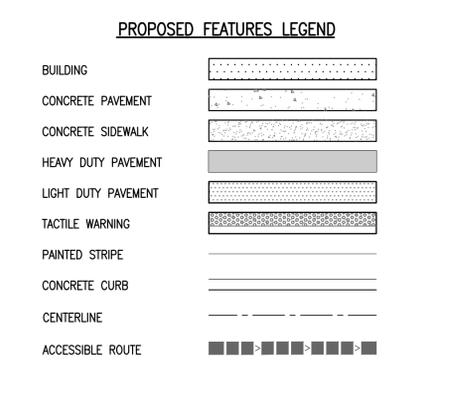
DATE	REVISIONS
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

**C5.3**  
 SITE LAYOUT  
 PLAN



**SITE LAYOUT KEY NOTE**

CODE	DESCRIPTION	DTL #/SHT #
(S1a)	ASPHALT PAVEMENT LIGHT DUTY	.
(S1b)	ASPHALT PAVEMENT HEAVY DUTY	.
(S2)	CONCRETE PAVEMENT	.
(S3a)	CONCRETE CURB AND GUTTER	.
(S3b)	CONCRETE POST CURB	.
(S4a)	CONCRETE SIDEWALK	.
(S4b)	CONCRETE SIDEWALK W/TURN DOWN CURB	.
(S4c)	CONCRETE WALK AT CURB AND GUTTER	.
(S5)	SIDEWALK JOINTS	.
(S6)	ACCESSIBLE SYMBOL	.
(S7)	ACCESSIBLE PARKING AREA	.
(S8a)	ACCESSIBLE RAMP	.
(S10)	CONCRETE WHEEL STOP	.
(S11b)	CONCRETE STAIRS WITH HANDRAIL/GUARDRAIL	.
(S12)	ELEVATED SIDEWALK	.
(S13b)	RAMP WITH HANDRAIL/GUARDRAIL	.
(S14)	CONCRETE BOLLARD	.
(S15)	UTILITY PAD	.
(S18)	DIRECTIONAL ARROW	.
(S19)	PEDESTRIAN CROSSWALK	.
(S21a)	GUARDRAIL	.
(S21b)	GUARDRAIL W/HANDRAIL	.
(S22a)	CONCRETE RETAINING WALL	.
(S22b)	SEGMENTAL RETAINING WALL	.
(S23)	24" PAINTED STOP BAR	.



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FLORIDA FIRM CERTIFICATION #28650

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**Florida Hospital Winter Garden  
 Phase A**

2000 Fowler Grove Blvd.  
 Winter Garden, Florida



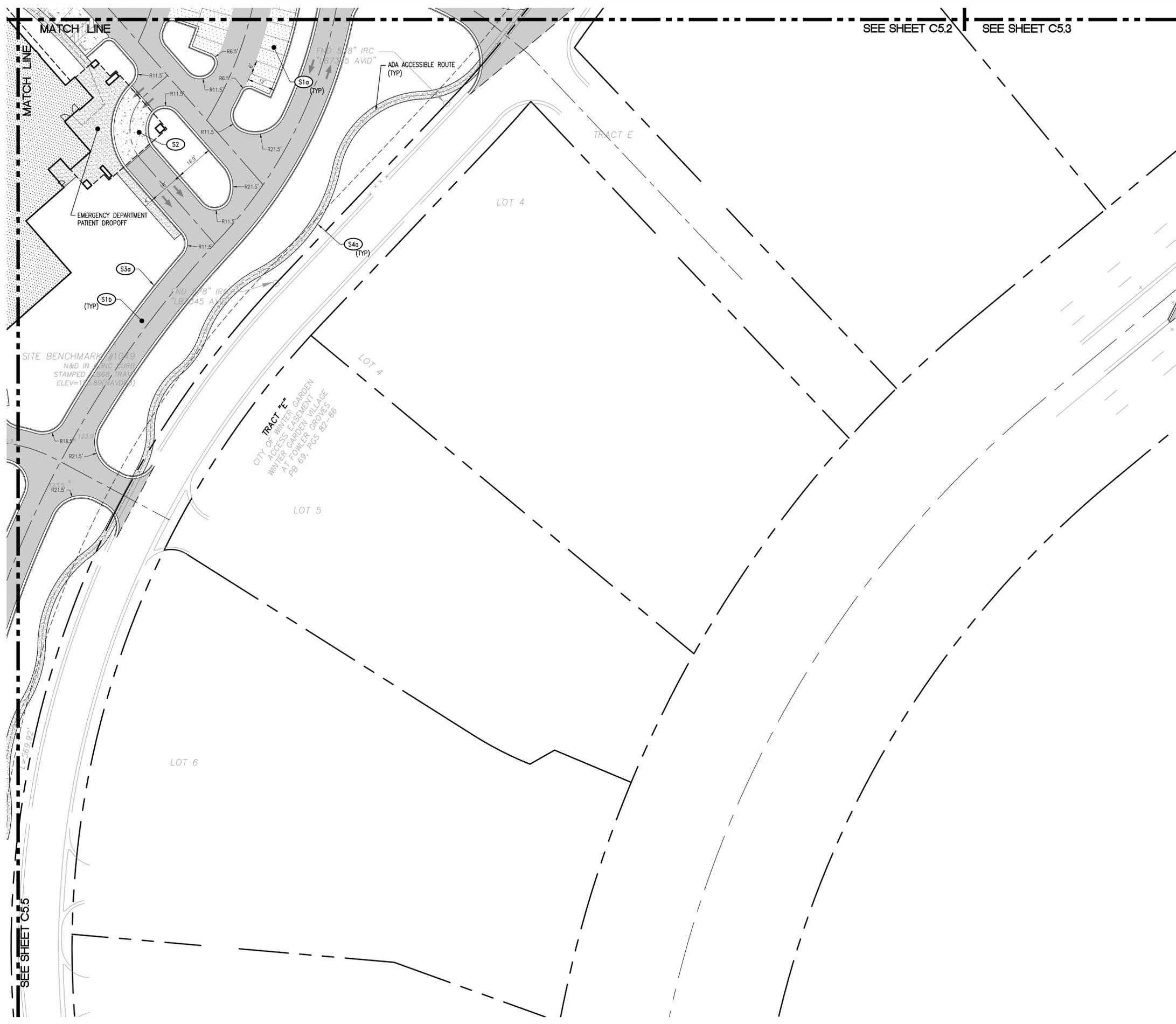
PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

DATE	REVISIONS
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

**C5.4**  
 SITE LAYOUT  
 PLAN

G:\Projects\2013\20130603.dwg Construction\20130603\_C5-0\_LAY.dwg-C5-4\_Site Layout\_Plan Jan 30, 2014 - 4:04pm wcrank

G:\Projects\2013\20130603.dwg Construction\20130603\_C5-0\_LAY.dwg-C5-5 Site Layout Plan Jan 30, 2014 - 4:04pm wcrunk



SEE SHEET C5.2 SEE SHEET C5.3

SITE LAYOUT KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
S1a	ASPHALT PAVEMENT LIGHT DUTY	.
S1b	ASPHALT PAVEMENT HEAVY DUTY	.
S2	CONCRETE PAVEMENT	.
S3a	CONCRETE CURB AND GUTTER	.
S3b	CONCRETE POST CURB	.
S4a	CONCRETE SIDEWALK	.
S4b	CONCRETE SIDEWALK W/TURN DOWN CURB	.
S4c	CONCRETE WALK AT CURB AND GUTTER	.
S5	SIDEWALK JOINTS	.
S6	ACCESSIBLE SYMBOL	.
S7	ACCESSIBLE PARKING AREA	.
S8a	ACCESSIBLE RAMP	.
S10	CONCRETE WHEEL STOP	.
S11b	CONCRETE STAIRS WITH HANDRAIL/GUARDRAIL	.
S12	ELEVATED SIDEWALK	.
S13b	RAMP WITH HANDRAIL/GUARDRAIL	.
S14	CONCRETE BOLLARD	.
S15	UTILITY PAD	.
S18	DIRECTIONAL ARROW	.
S19	PEDESTRIAN CROSSWALK	.
S21a	GUARDRAIL	.
S21b	GUARDRAIL W/HANDRAIL	.
S22a	CONCRETE RETAINING WALL	.
S22b	SEGMENTAL RETAINING WALL	.
S23	24" PAINTED STOP BAR	.

PROPOSED FEATURES LEGEND	
BUILDING	[Pattern]
CONCRETE PAVEMENT	[Pattern]
CONCRETE SIDEWALK	[Pattern]
HEAVY DUTY PAVEMENT	[Pattern]
LIGHT DUTY PAVEMENT	[Pattern]
TACTILE WARNING	[Pattern]
PAINTED STRIPE	[Pattern]
CONCRETE CURB	[Pattern]
CENTERLINE	[Pattern]
ACCESSIBLE ROUTE	[Pattern]



  
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**Florida Hospital Winter Garden**  
**Phase A**  
 2000 Fowler Grove Blvd.  
 Winter Garden, Florida

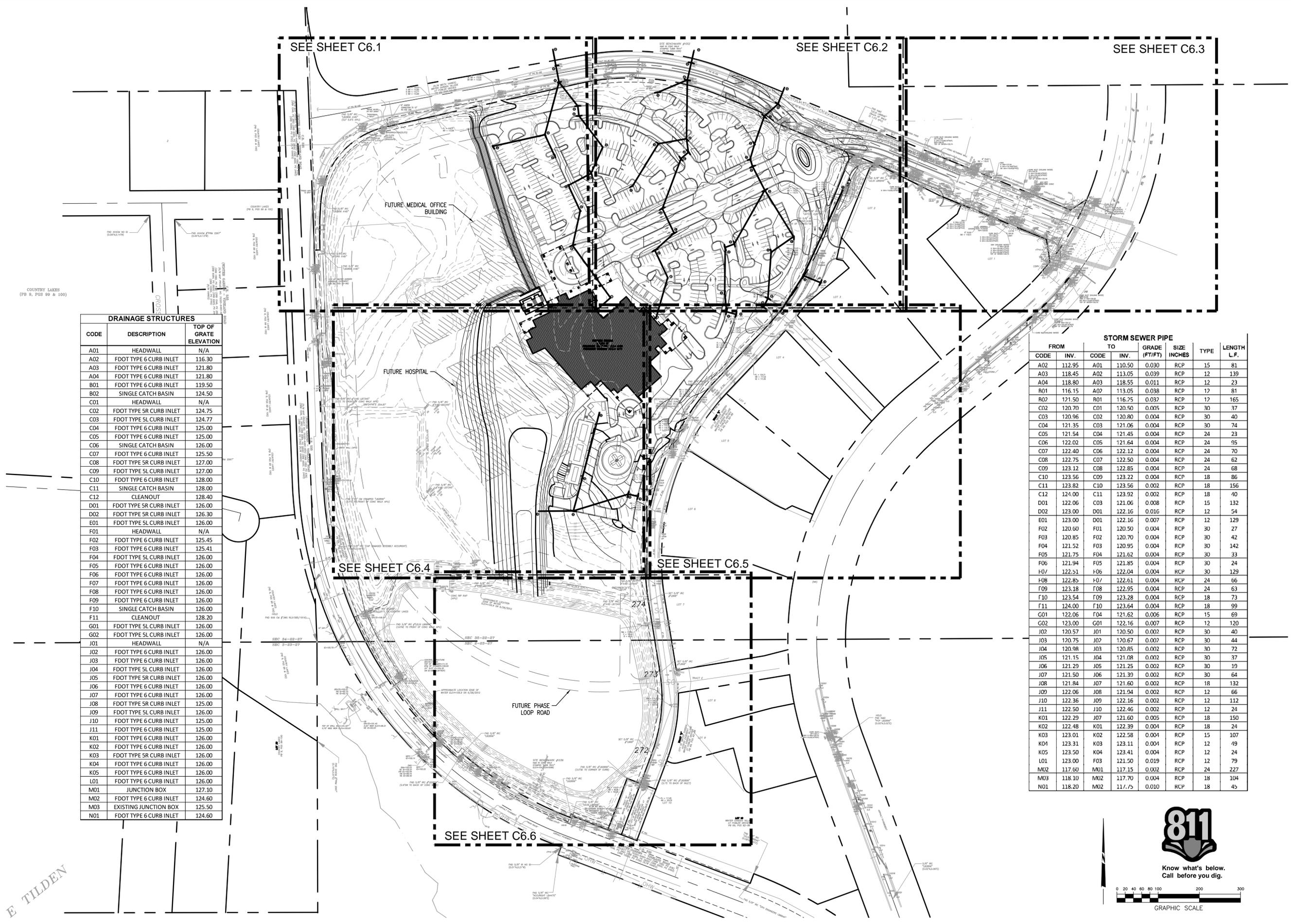


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 CONSTRUCTION

DATE	REVISIONS
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

**C5.5**  
 SITE LAYOUT  
 PLAN

G:\Projects\2013\20130603.dwg Construction\20130603\_C6-0\_GFA.dwg-C6-0 Overall Drainage Plan Jan 30, 2014 - 4:02pm anderson



DRAINAGE STRUCTURES		
CODE	DESCRIPTION	TOP OF GRATE ELEVATION
A01	HEADWALL	N/A
A02	FDOT TYPE 6 CURB INLET	116.30
A03	FDOT TYPE 6 CURB INLET	121.80
A04	FDOT TYPE 6 CURB INLET	121.80
B01	FDOT TYPE 6 CURB INLET	119.50
B02	SINGLE CATCH BASIN	124.50
C01	HEADWALL	N/A
C02	FDOT TYPE SR CURB INLET	124.75
C03	FDOT TYPE SL CURB INLET	124.77
C04	FDOT TYPE 6 CURB INLET	125.00
C05	FDOT TYPE 6 CURB INLET	125.00
C06	SINGLE CATCH BASIN	126.00
C07	FDOT TYPE 6 CURB INLET	125.50
C08	FDOT TYPE SR CURB INLET	127.00
C09	FDOT TYPE SL CURB INLET	127.00
C10	FDOT TYPE 6 CURB INLET	128.00
C11	SINGLE CATCH BASIN	128.00
C12	CLEANOUT	128.40
D01	FDOT TYPE SR CURB INLET	126.00
D02	FDOT TYPE SR CURB INLET	126.30
E01	FDOT TYPE SL CURB INLET	126.00
F01	HEADWALL	N/A
F02	FDOT TYPE 6 CURB INLET	125.45
F03	FDOT TYPE 6 CURB INLET	125.41
F04	FDOT TYPE SL CURB INLET	126.00
F05	FDOT TYPE 6 CURB INLET	126.00
F06	FDOT TYPE 6 CURB INLET	126.00
F07	FDOT TYPE 6 CURB INLET	126.00
F08	FDOT TYPE 6 CURB INLET	126.00
F09	FDOT TYPE 6 CURB INLET	126.00
F10	SINGLE CATCH BASIN	126.00
F11	CLEANOUT	128.20
G01	FDOT TYPE SL CURB INLET	126.00
G02	FDOT TYPE SL CURB INLET	126.00
J01	HEADWALL	N/A
J02	FDOT TYPE 6 CURB INLET	126.00
J03	FDOT TYPE 6 CURB INLET	126.00
J04	FDOT TYPE SL CURB INLET	126.00
J05	FDOT TYPE SR CURB INLET	126.00
J06	FDOT TYPE 6 CURB INLET	126.00
J07	FDOT TYPE 6 CURB INLET	126.00
J08	FDOT TYPE SR CURB INLET	125.00
J09	FDOT TYPE SL CURB INLET	126.00
J10	FDOT TYPE 6 CURB INLET	125.00
J11	FDOT TYPE 6 CURB INLET	125.00
K01	FDOT TYPE 6 CURB INLET	126.00
K02	FDOT TYPE 6 CURB INLET	126.00
K03	FDOT TYPE SR CURB INLET	126.00
K04	FDOT TYPE 6 CURB INLET	126.00
K05	FDOT TYPE 6 CURB INLET	126.00
L01	FDOT TYPE 6 CURB INLET	126.00
M01	JUNCTION BOX	127.10
M02	FDOT TYPE 6 CURB INLET	124.60
M03	EXISTING JUNCTION BOX	125.50
N01	FDOT TYPE 6 CURB INLET	124.60

STORM SEWER PIPE							
FROM		TO		GRADE (FT/FT)	SIZE INCHES	TYPE	LENGTH L.F.
CODE	INV.	CODE	INV.				
A02	112.95	A01	110.50	0.030	RCP	15	81
A03	118.45	A02	113.05	0.039	RCP	12	139
A04	118.80	A03	118.55	0.011	RCP	12	23
B01	116.15	A02	113.05	0.038	RCP	12	81
B02	121.50	R01	116.25	0.037	RCP	12	165
C02	120.70	C01	120.50	0.005	RCP	30	37
C03	120.96	C02	120.80	0.004	RCP	30	40
C04	121.35	C03	121.06	0.004	RCP	30	74
C05	121.54	C04	121.45	0.004	RCP	24	23
C06	122.02	C05	121.64	0.004	RCP	24	95
C07	122.40	C06	122.12	0.004	RCP	24	70
C08	122.75	C07	122.50	0.004	RCP	24	62
C09	123.12	C08	122.85	0.004	RCP	24	68
C10	123.56	C09	123.22	0.004	RCP	18	86
C11	123.82	C10	123.56	0.002	RCP	18	156
C12	124.00	C11	123.92	0.002	RCP	18	40
D01	122.06	C03	121.06	0.008	RCP	15	132
D02	123.00	D01	122.16	0.016	RCP	12	54
E01	123.00	D01	122.16	0.007	RCP	12	129
F02	120.60	F01	120.50	0.004	RCP	30	27
F03	120.85	F02	120.70	0.004	RCP	30	42
F04	121.52	F03	120.95	0.004	RCP	30	142
F05	121.75	F04	121.62	0.004	RCP	30	33
F06	121.94	F05	121.85	0.004	RCP	30	24
F07	122.51	F06	122.04	0.004	RCP	30	129
F08	122.85	F07	122.61	0.004	RCP	24	66
F09	123.18	F08	122.95	0.004	RCP	24	63
F10	123.54	F09	123.28	0.004	RCP	18	73
F11	124.00	F10	123.64	0.004	RCP	18	99
G01	122.06	F04	121.62	0.006	RCP	15	69
G02	123.00	G01	122.16	0.007	RCP	12	120
J02	120.57	J01	120.50	0.002	RCP	30	40
J03	120.75	J02	120.67	0.002	RCP	30	44
J04	120.98	J03	120.85	0.002	RCP	30	72
J05	121.15	J04	121.08	0.002	RCP	30	37
J06	121.29	J05	121.25	0.002	RCP	30	19
J07	121.50	J06	121.39	0.002	RCP	30	64
J08	121.84	J07	121.60	0.002	RCP	18	132
J09	122.06	J08	121.94	0.002	RCP	12	66
J10	122.36	J09	122.16	0.002	RCP	12	112
J11	122.50	J10	122.46	0.002	RCP	12	24
K01	122.29	J07	121.60	0.005	RCP	18	150
K02	122.48	K01	122.39	0.004	RCP	18	24
K03	123.01	K02	122.58	0.004	RCP	15	107
K04	123.31	K03	123.11	0.004	RCP	12	49
K05	123.50	K04	123.41	0.004	RCP	12	24
L01	123.00	F03	121.50	0.019	RCP	12	79
M02	117.60	M01	117.15	0.002	RCP	24	227
M03	118.10	M02	117.70	0.004	RCP	18	104
N01	118.20	M02	117.75	0.010	RCP	18	45

**811**  
Know what's below.  
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GRAPHIC SCALE

FLORIDA FIRM CERTIFICATION #28550

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**Florida Hospital Winter Garden Phase A**  
2000 Fowler Grove Blvd.  
Winter Garden, Florida

**FLORIDA HOSPITAL**

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CONSTRUCTION

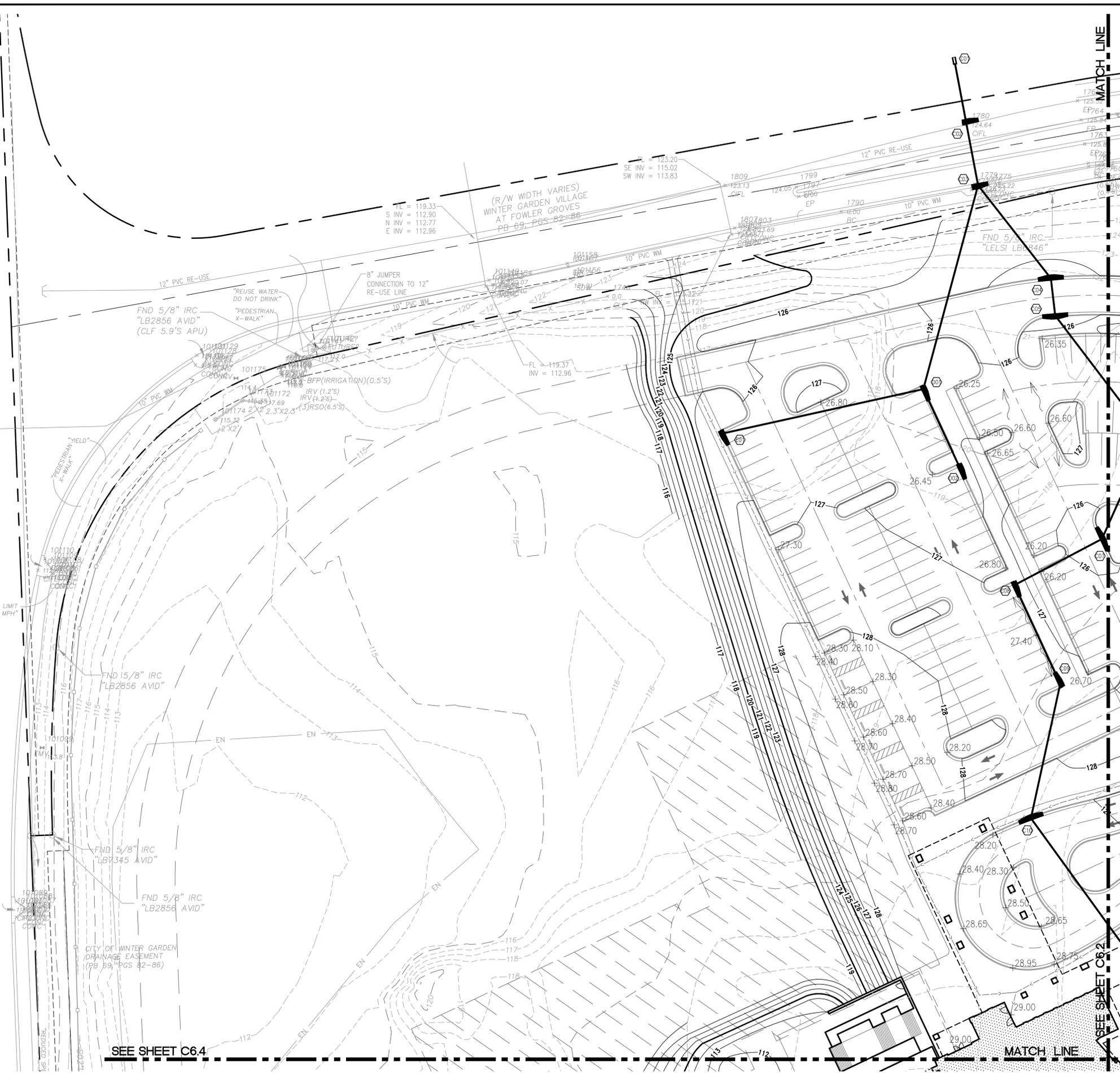
DATE	REVISIONS
1/31/14	DRG RESUBMITTAL
1/24/14	DRG RESUBMITTAL
1/17/14	DRG RESUBMITTAL
1/10/14	20130603

**C6.0**  
OVERALL  
DRAINAGE PLAN

E TILDEN

C:\Projects\2013\20130603.dwg Construction\20130603\_C6-0\_GFA.dwg-C6-1 Drainage Plan Jan 30, 2014 - 4:03pm iamderson

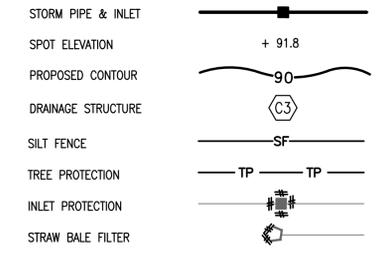
WINTER GARDEN - VINELAND ROAD  
C.R. 535  
(R/W MAP PROJECT NO. 75320-6460-654) (ORF 1582, PG 636)  
(ORB 1546, PG 259) (ORB 6084, PG 2829) (ORB 6920, PG 2493)  
(ORB 10060, PG 3755) (R/W VARIES)



NOTES:

- 1. SEE SHEET C6.0 FOR STORM PIPE AND STRUCTURE INFORMATION.

PROPOSED FEATURES LEGEND



811  
Know what's below.  
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GRAPHIC SCALE  
0 10 20 30 60 90

FLORIDA FIRM CERTIFICATION #28650  
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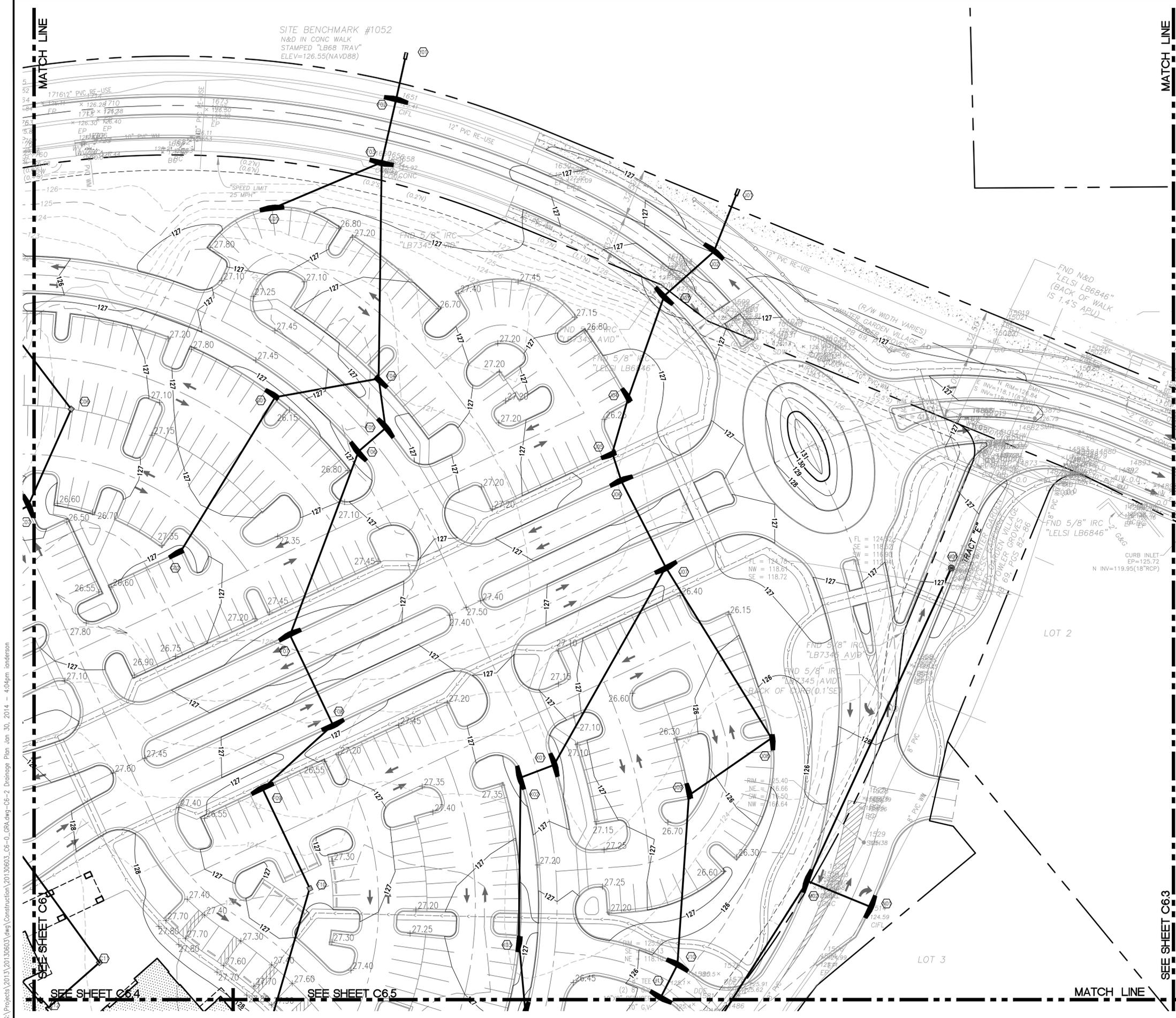
**Florida Hospital Winter Garden  
Phase A**  
2000 Fowler Grove Blvd.  
Winter Garden, Florida



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CONSTRUCTION

DATE	REVISIONS
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

**C6.1**  
DRAINAGE  
PLAN



SITE BENCHMARK #1052  
 N&D IN CONC WALK  
 STAMPED "LB68 TRAV"  
 ELEV=126.55(NAVD88)

**NOTES:**

- SEE SHEET C6.0 FOR STORM PIPE AND STRUCTURE INFORMATION.

**PROPOSED FEATURES LEGEND**

- STORM PIPE & INLET
- SPOT ELEVATION
- PROPOSED CONTOUR
- DRAINAGE STRUCTURE
- SILT FENCE
- TREE PROTECTION
- INLET PROTECTION
- STRAW BALE FILTER



**811**  
 Know what's below.  
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GRAPHIC SCALE  
 0 10 20 30 40 50 60 70 80

FLORIDA FIRM CERTIFICATION #28850

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**Florida Hospital Winter Garden  
 Phase A**

2000 Fowler Grove Blvd.  
 Winter Garden, Florida



**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

DATE	REVISIONS
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

**C6.2**  
 DRAINAGE  
 PLAN

G:\Projects\2013\20130603 (dwg) Construction\20130603\_C6-0\_GFA.dwg-C6-2 Drainage Plan Jan 30, 2014 - 4:04pm iamderson

MATCH LINE

MATCH LINE

SEE SHEET C6.4

SEE SHEET C6.5

SEE SHEET C6.3

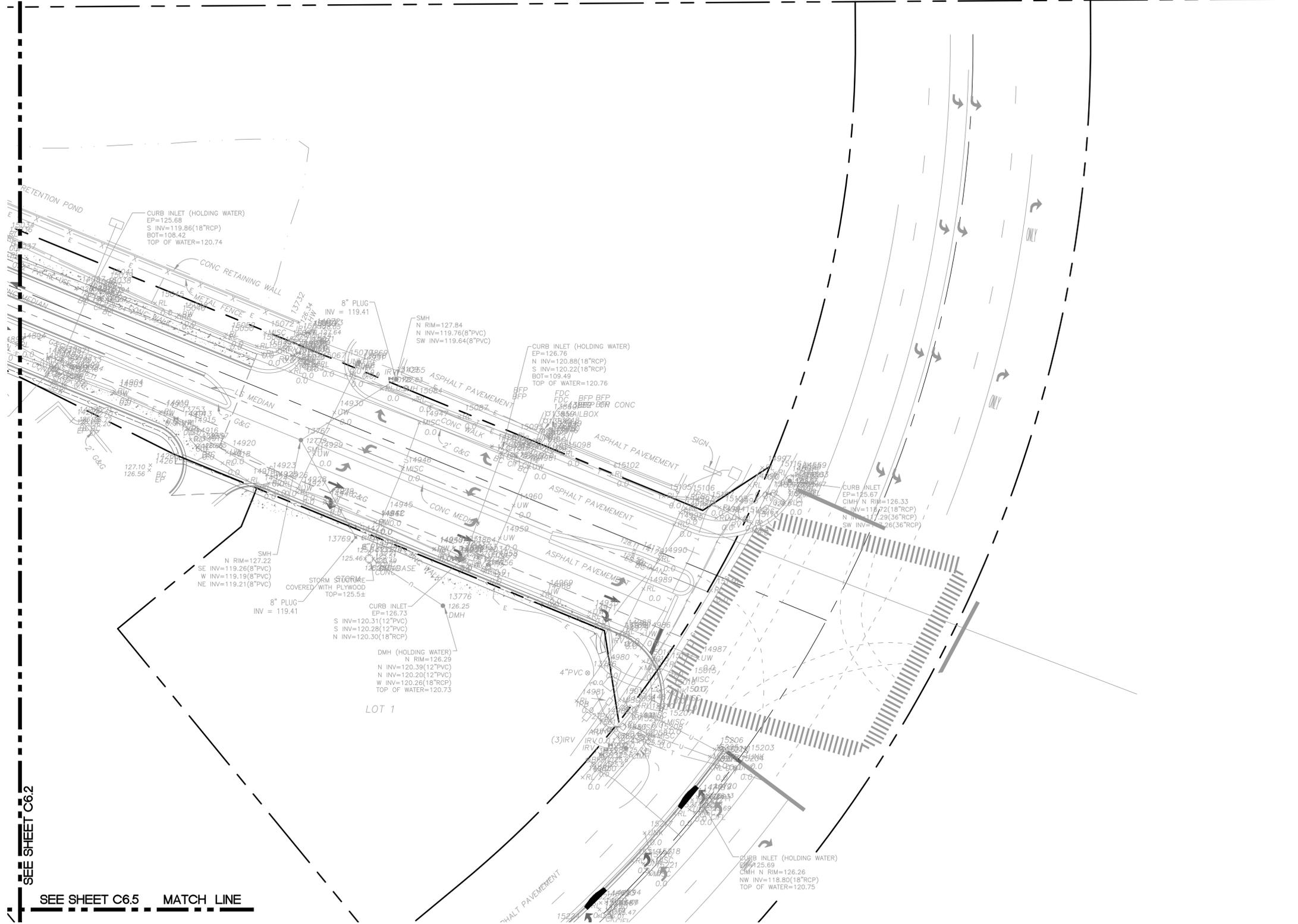
MATCH LINE

G:\Projects\2013\20130603\dwg\Construction\20130603\_06-0\_GFA.dwg-C6-3 Drainage Plan Jan 30, 2014 - 4:04pm iamderson

MATCH LINE

SEE SHEET C6.2

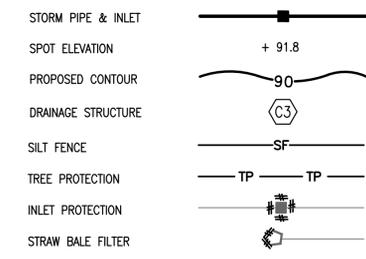
SEE SHEET C6.5 MATCH LINE



NOTES:

- SEE SHEET C6.0 FOR STORM PIPE AND STRUCTURE INFORMATION.

PROPOSED FEATURES LEGEND



**811**  
Know what's below.  
Call before you dig.

GRAPHIC SCALE  
0 10 20 30 60 90



FLORIDA FIRM CERTIFICATION #28850

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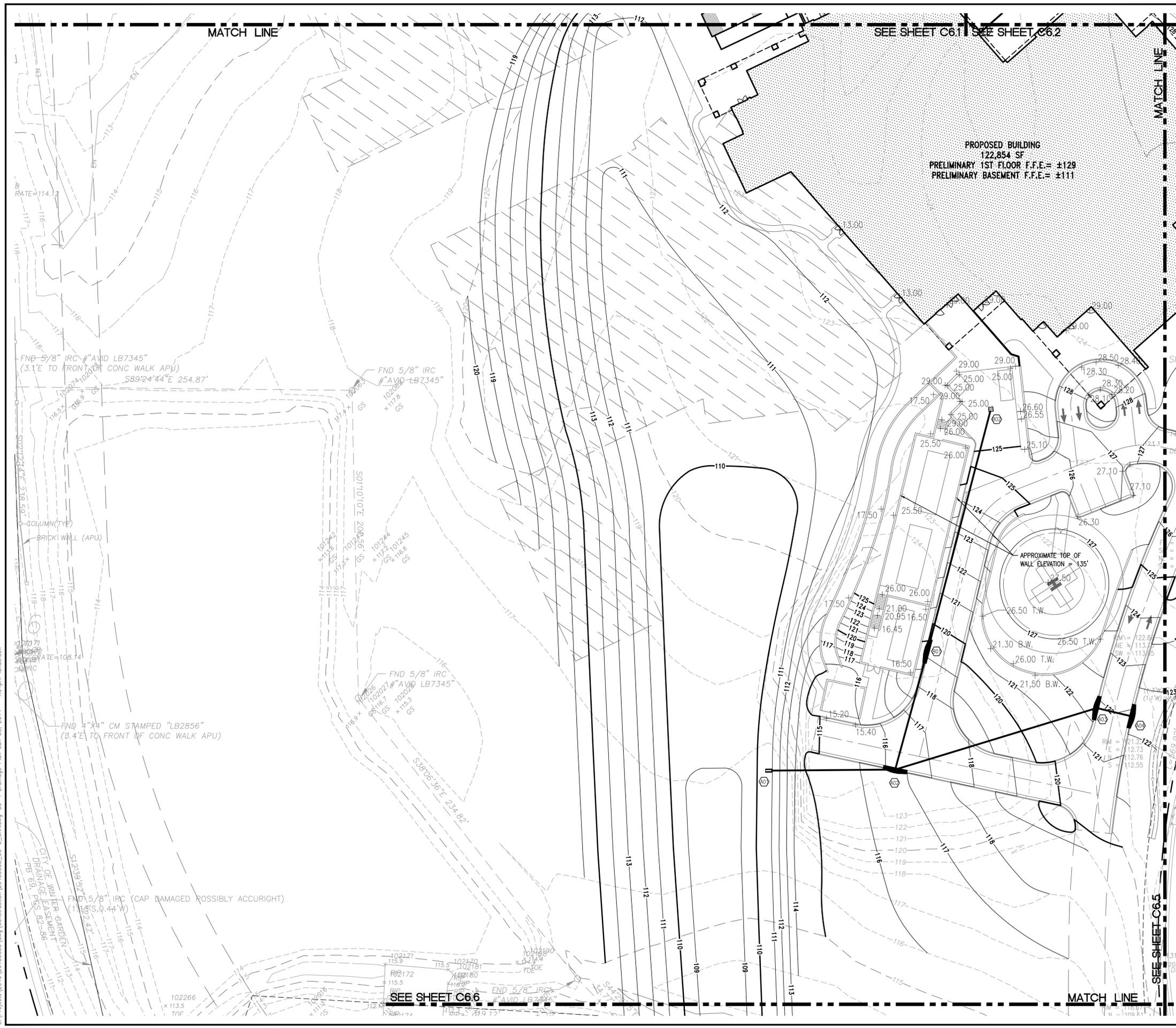
Florida Hospital Winter Garden  
Phase A  
2000 Fowler Grove Blvd.  
Winter Garden, Florida



PRELIMINARY  
NOT FOR  
CONSTRUCTION

DATE	REVISIONS
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

**C6.3**  
DRAINAGE  
PLAN



SEE SHEET C6.1 SEE SHEET C6.2

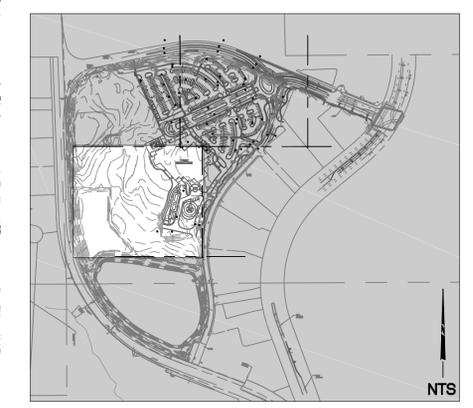
PROPOSED BUILDING  
 122,854 SF  
 PRELIMINARY 1ST FLOOR F.F.E. = ±129  
 PRELIMINARY BASEMENT F.F.E. = ±111

NOTES:

- SEE SHEET C6.0 FOR STORM PIPE AND STRUCTURE INFORMATION.

PROPOSED FEATURES LEGEND

- STORM PIPE & INLET
- SPOT ELEVATION
- PROPOSED CONTOUR
- DRAINAGE STRUCTURE
- SILT FENCE
- TREE PROTECTION
- INLET PROTECTION
- STRAW BALE FILTER



**811**  
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GRAPHIC SCALE

FLORIDA FIRM CERTIFICATION #28650

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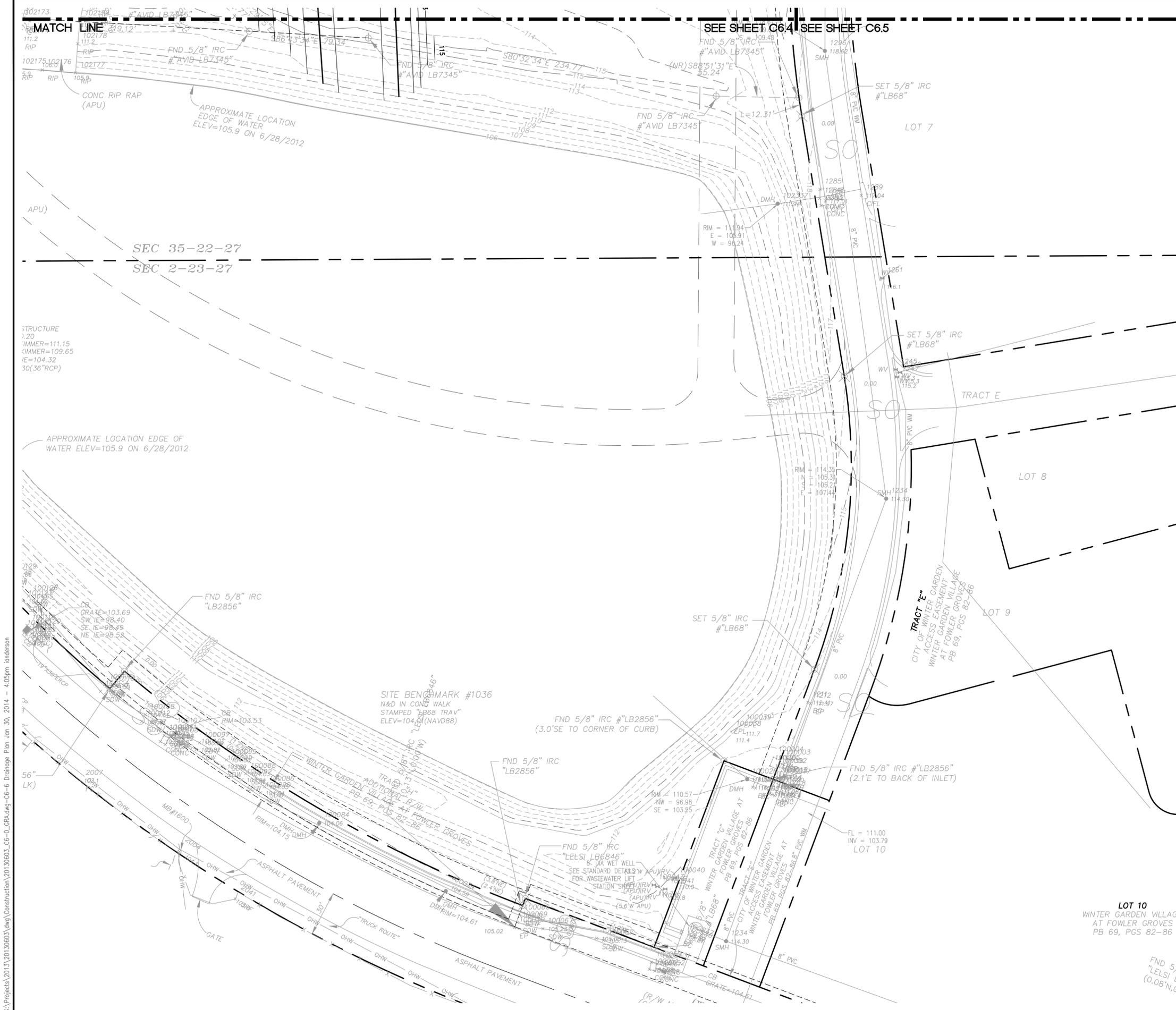
PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

DATE	REVISIONS
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

**C6.4**  
 DRAINAGE  
 PLAN

G:\Projects\2013\20130603 (dwg) Construction\20130603\_C6-0\_GFA.dwg-C6-4 Drainage Plan Jan 30, 2014 - 4:04pm ianderson

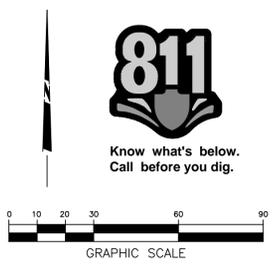
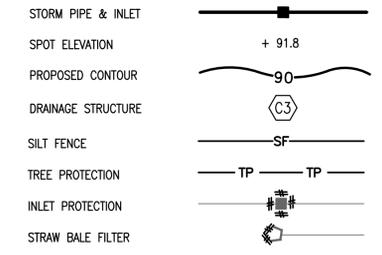




**NOTES:**

- SEE SHEET C6.0 FOR STORM PIPE AND STRUCTURE INFORMATION.

**PROPOSED FEATURES LEGEND**



FLORIDA FIRM CERTIFICATION #28560

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**Florida Hospital Winter Garden Phase A**

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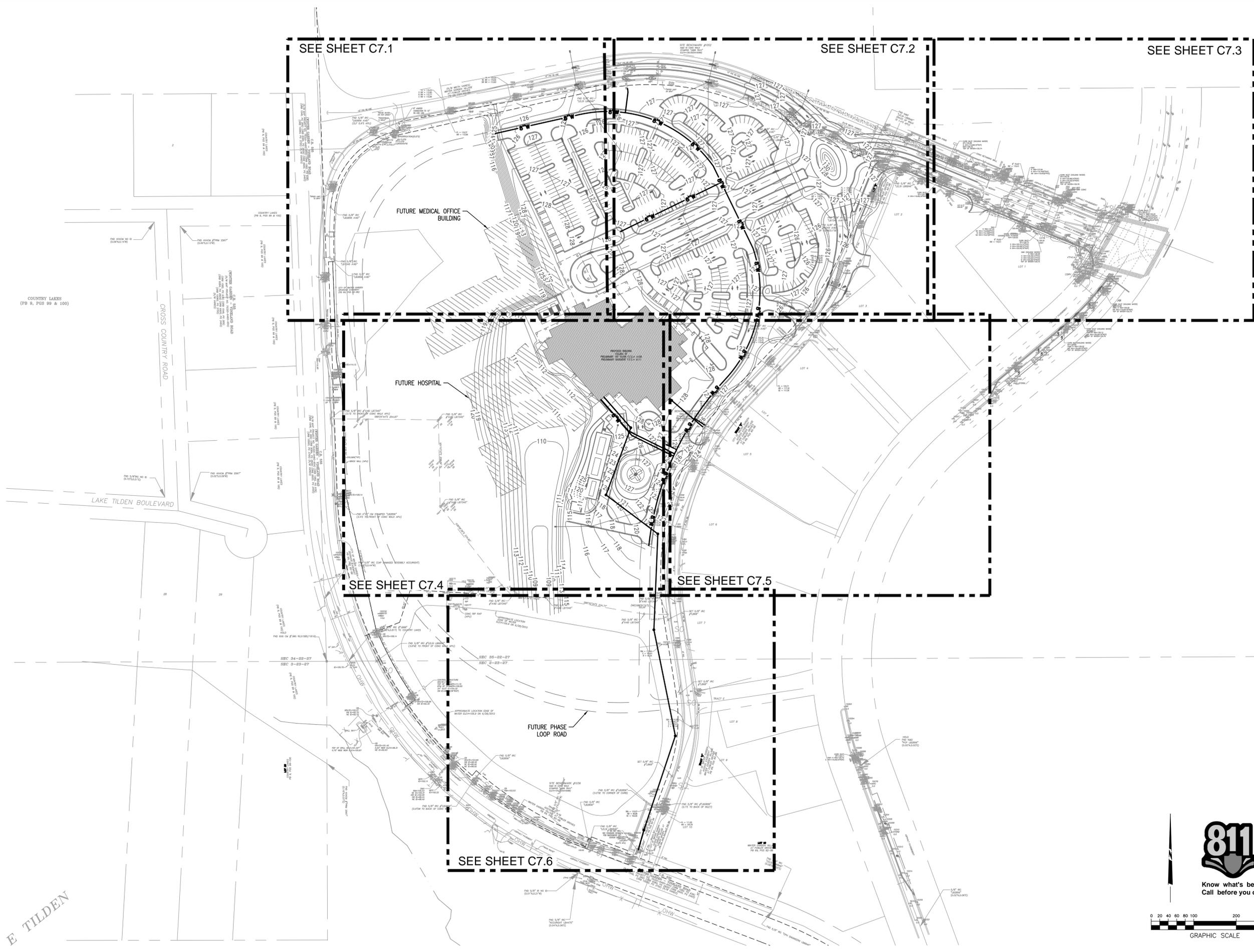
**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

DATE	REVISIONS
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

**C6.6  
 DRAINAGE  
 PLAN**

G:\Projects\2013\20130603.dwg Construction\20130603\_C6-0\_GFA.dwg-C6-6 Drainage Plan Jan 30, 2014 - 4:05pm iamderson

G:\Projects\2013\20130603.dwg Construction\20130603\_C7-0\_UTL.dwg-C7-0 Overall Utility Plan Jan 30, 2014 - 4:07pm anderson



FLORIDA FIRM CERTIFICATION #28550



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**Florida Hospital Winter Garden  
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PRELIMINARY  
NOT FOR  
CONSTRUCTION

DATE	REVISIONS
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1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

**C7.0**  
OVERALL  
UTILITY PLAN



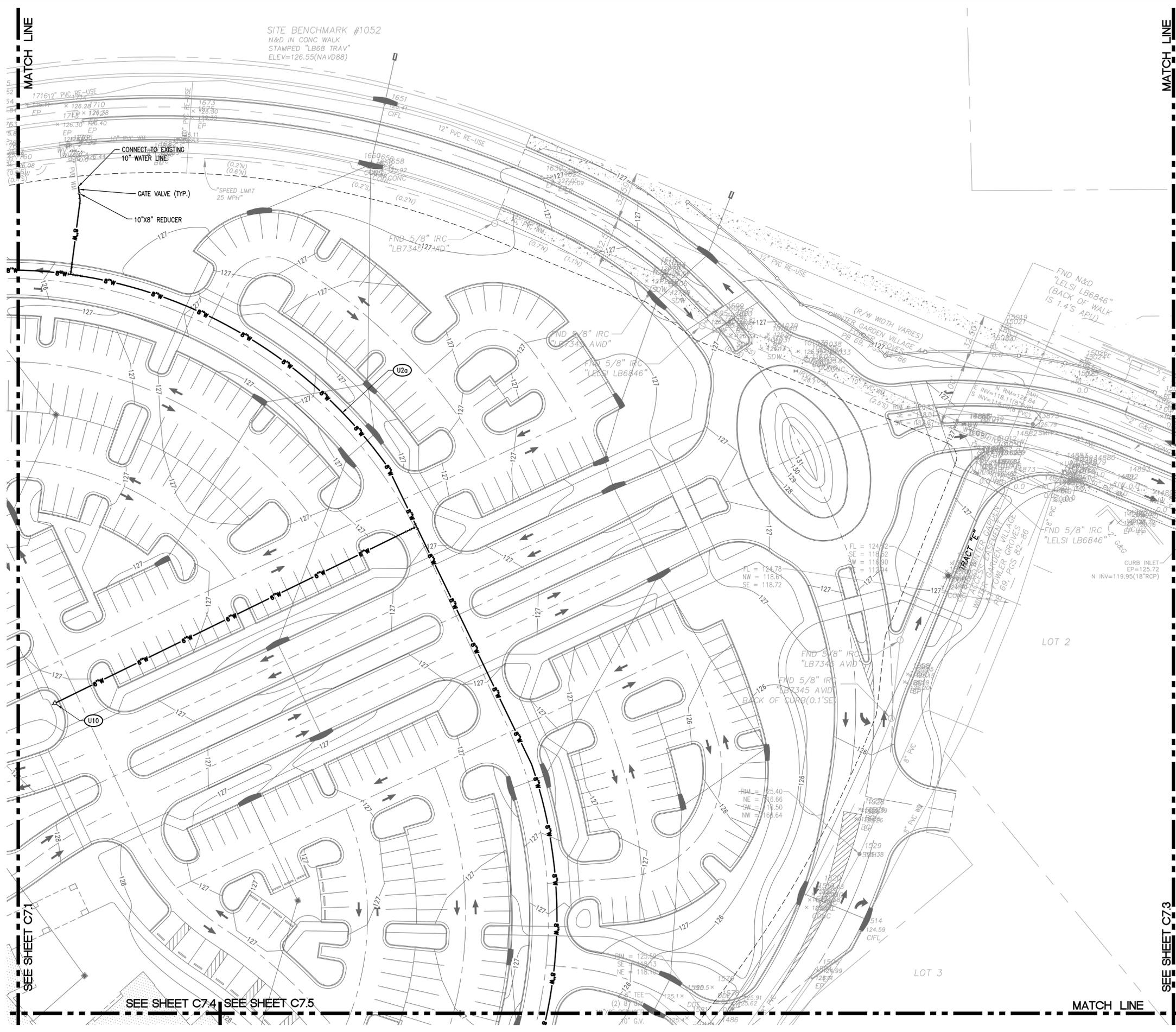
Know what's below.  
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GRAPHIC SCALE



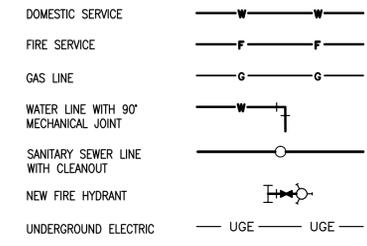
G:\Projects\2013\20130603.dwg Construction\20130603\_C7-0\_UJT.dwg-C7-2 Utility Plan Jan 30, 2014 - 4:08pm landerson



SITE BENCHMARK #1052  
N&D IN CONC WALK  
STAMPED "LB68 TRAV"  
ELEV=126.55(NAVD88)

SITE UTILITY KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
U1a	WATER LINE (SPECIFY SIZE(S))	.
U2a	FIRE LINE (SPECIFY SIZE(S))	.
U3a	IRRIGATION LINE (SPECIFY SIZE(S))	.
U4a	6" WATER METER	.
U5a	6" REDUCED PRESSURE BACKFLOW PREVENTER	.
U6a	8" DOUBLE DETECTOR CHECK VALVE ASSEMBLY	.
U7	MECHANICAL JOINTS	.
U8	POST INDICATOR VALVE	.
U9	FIRE DEPARTMENT CONNECTION	.
U10	FIRE HYDRANT ASSEMBLY	.
U11a	WATER VALVE (SPECIFY SIZE(S))	.
U12a	TEE (SPECIFY SIZE(S))	.
U20a	SANITARY SEWER SERVICE (SPECIFY SIZE(S))	.
U22	SANITARY SEWER MANHOLE	.
U30	GAS SERVICE	.
U31	GAS METER	.
U40	ELECTRIC TRANSFORMER	.
U41	UNDERGROUND ELECTRIC LINE	.
U42	OVERHEAD ELECTRIC LINE	.
U43	UNDERGROUND COMMUNICATION LINE	.
U44	OVERHEAD COMMUNICATION LINE	.
U45	SITE LIGHTING	.
U46	CONDUIT SLEEVES (SPECIFY NUMBER & SIZE)	.

PROPOSED FEATURES LEGEND



**811**  
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**Florida Hospital Winter Garden  
Phase A**  
2000 Fowler Grove Blvd.  
Winter Garden, Florida



PRELIMINARY  
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CONSTRUCTION

DATE	REVISIONS
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

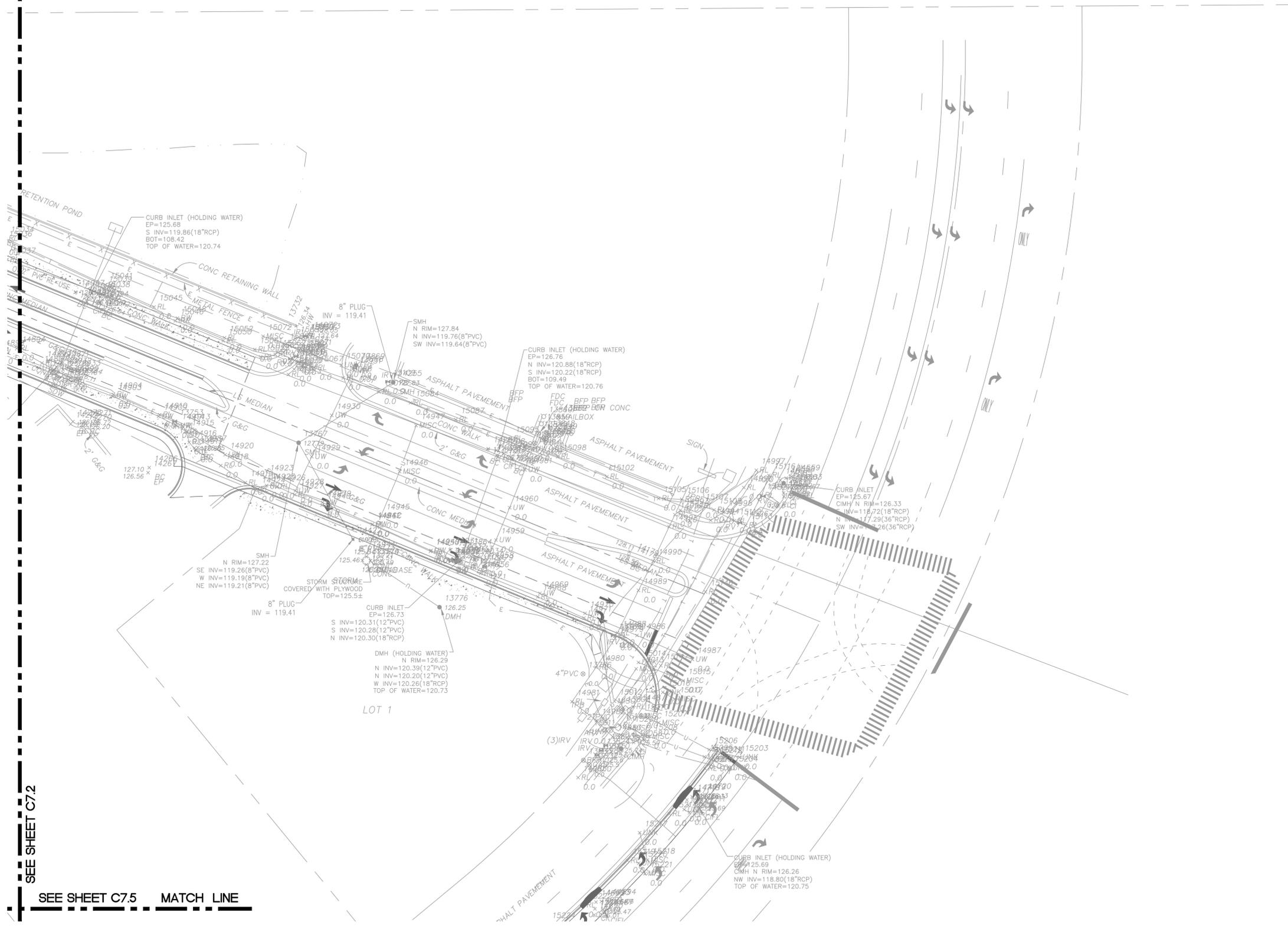
**C7.2**  
UTILITY PLAN

G:\Projects\2013\20130603.dwg Construction\20130603\_C7-0\_UJT.dwg-C7-3 Utility Plan Jan 30, 2014 - 4:08pm landerson

MATCH LINE

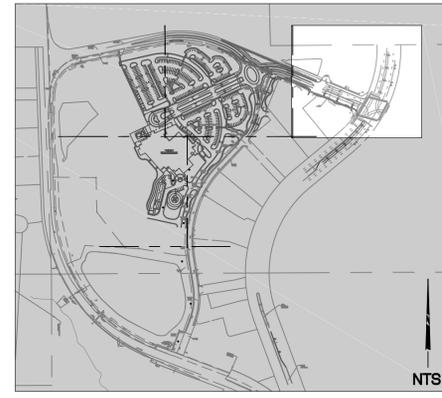
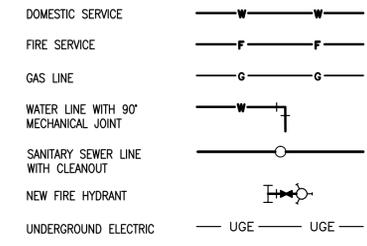
SEE SHEET C72

SEE SHEET C7.5 MATCH LINE



SITE UTILITY KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
U1a	WATER LINE (SPECIFY SIZE(S))	.
U2a	FIRE LINE (SPECIFY SIZE(S))	.
U3a	IRRIGATION LINE (SPECIFY SIZE(S))	.
U4a	6" WATER METER	.
U5a	6" REDUCED PRESSURE BACKFLOW PREVENTER	.
U6a	8" DOUBLE DETECTOR CHECK VALVE ASSEMBLY	.
U7	MECHANICAL JOINTS	.
U8	POST INDICATOR VALVE	.
U9	FIRE DEPARTMENT CONNECTION	.
U10	FIRE HYDRANT ASSEMBLY	.
U11a	WATER VALVE (SPECIFY SIZE(S))	.
U12a	TEE (SPECIFY SIZE(S))	.
U20a	SANITARY SEWER SERVICE (SPECIFY SIZE(S))	.
U22	SANITARY SEWER MANHOLE	.
U30	GAS SERVICE	.
U31	GAS METER	.
U40	ELECTRIC TRANSFORMER	.
U41	UNDERGROUND ELECTRIC LINE	.
U42	OVERHEAD ELECTRIC LINE	.
U43	UNDERGROUND COMMUNICATION LINE	.
U44	OVERHEAD COMMUNICATION LINE	.
U45	SITE LIGHTING	.
U46	CONDUIT SLEEVES (SPECIFY NUMBER & SIZE)	.

PROPOSED FEATURES LEGEND



811 Know what's below. Call before you dig.

GRAPHIC SCALE: 0 10 20 30 60 90

FLORIDA FIRM CERTIFICATION #28590

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**Florida Hospital Winter Garden Phase A**

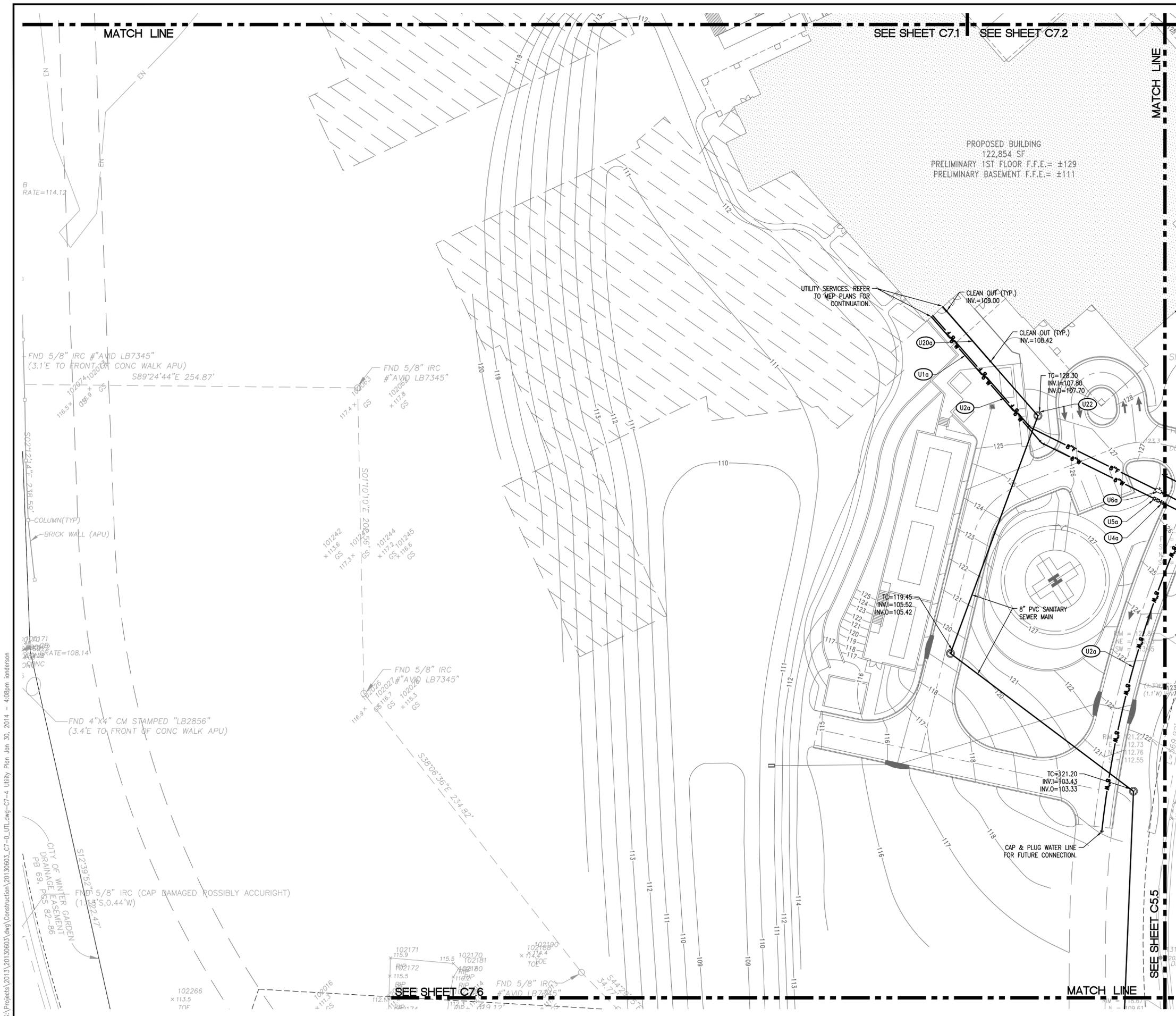
2000 Fowler Grove Blvd.  
 Winter Garden, Florida

FLORIDA HOSPITAL

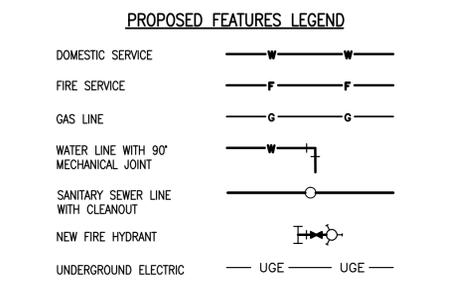
PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

DATE	REVISIONS
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

**C7.3**  
 UTILITY PLAN



SITE UTILITY KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
U1a	WATER LINE (SPECIFY SIZE(S))	.
U2a	FIRE LINE (SPECIFY SIZE(S))	.
U3a	IRRIGATION LINE (SPECIFY SIZE(S))	.
U4a	6" WATER METER	.
U5a	6" REDUCED PRESSURE BACKFLOW PREVENTER	.
U6a	8" DOUBLE DETECTOR CHECK VALVE ASSEMBLY	.
U7	MECHANICAL JOINTS	.
U8	POST INDICATOR VALVE	.
U9	FIRE DEPARTMENT CONNECTION	.
U10	FIRE HYDRANT ASSEMBLY	.
U11a	WATER VALVE (SPECIFY SIZE(S))	.
U12a	TEE (SPECIFY SIZE(S))	.
U20a	SANITARY SEWER SERVICE (SPECIFY SIZE(S))	.
U22	SANITARY SEWER MANHOLE	.
U30	GAS SERVICE	.
U31	GAS METER	.
U40	ELECTRIC TRANSFORMER	.
U41	UNDERGROUND ELECTRIC LINE	.
U42	OVERHEAD ELECTRIC LINE	.
U43	UNDERGROUND COMMUNICATION LINE	.
U44	OVERHEAD COMMUNICATION LINE	.
U45	SITE LIGHTING	.
U46	CONDUIT SLEEVES (SPECIFY NUMBER & SIZE)	.



**811**  
Know what's below.  
Call before you dig.

GRAPHIC SCALE  
0 10 20 30 40 50 60 70 80 90

FLORIDA FIRM CERTIFICATION #28850

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**Florida Hospital Winter Garden  
Phase A**

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Winter Garden, Florida



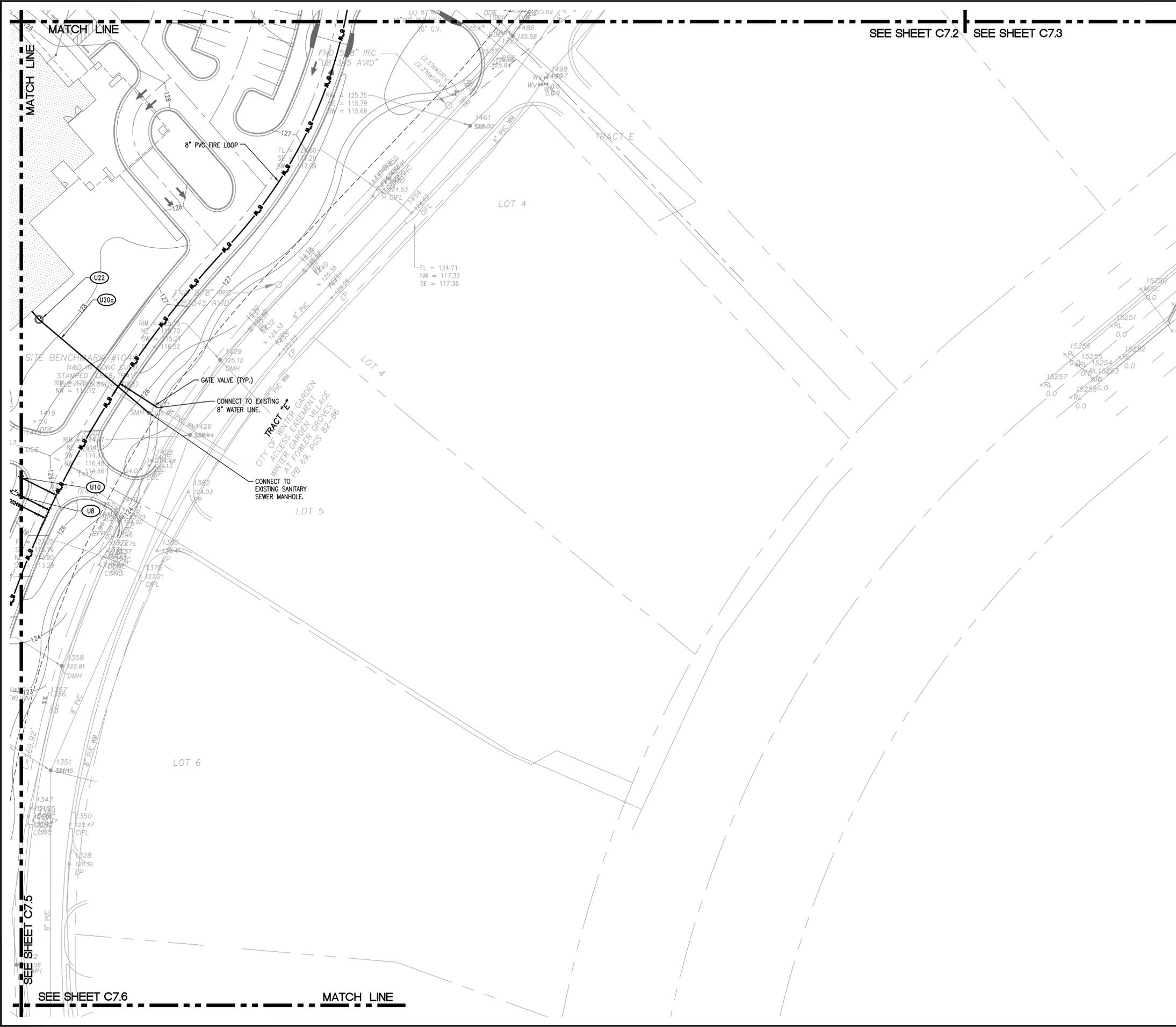
PRELIMINARY  
NOT FOR  
CONSTRUCTION

DATE	REVISIONS
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

**C7.4**  
UTILITY PLAN

G:\Projects\2013\20130603.dwg (Construction) 20130603\_C7-0\_LTL.dwg-C7-4 Utility Plan Jan 30, 2014 - 4:08pm landerson

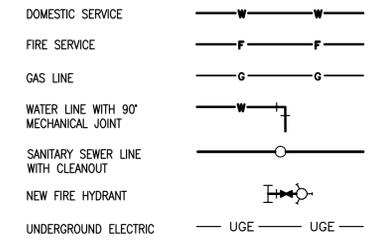
G:\Projects\2013\20130603 (dwg)\Construction\20130603\_C7-0\_UJT.dwg-C7-5 Utility Plan Jan 30, 2014 - 4:08pm landerson



SEE SHEET C7.2 SEE SHEET C7.3

SITE UTILITY KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
U1a	WATER LINE (SPECIFY SIZE(S))	.
U2a	FIRE LINE (SPECIFY SIZE(S))	.
U3a	IRRIGATION LINE (SPECIFY SIZE(S))	.
U4a	6" WATER METER	.
U5a	6" REDUCED PRESSURE BACKFLOW PREVENTER	.
U6a	8" DOUBLE DETECTOR CHECK VALVE ASSEMBLY	.
U7	MECHANICAL JOINTS	.
U8	POST INDICATOR VALVE	.
U9	FIRE DEPARTMENT CONNECTION	.
U10	FIRE HYDRANT ASSEMBLY	.
U11a	WATER VALVE (SPECIFY SIZE(S))	.
U12a	TEE (SPECIFY SIZE(S))	.
U20a	SANITARY SEWER SERVICE (SPECIFY SIZE(S))	.
U22	SANITARY SEWER MANHOLE	.
U30	GAS SERVICE	.
U31	GAS METER	.
U40	ELECTRIC TRANSFORMER	.
U41	UNDERGROUND ELECTRIC LINE	.
U42	OVERHEAD ELECTRIC LINE	.
U43	UNDERGROUND COMMUNICATION LINE	.
U44	OVERHEAD COMMUNICATION LINE	.
U45	SITE LIGHTING	.
U46	CONDUIT SLEEVES (SPECIFY NUMBER & SIZE)	.

PROPOSED FEATURES LEGEND



**811**  
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GRAPHIC SCALE

FLORIDA FIRM CERTIFICATION #28850

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**Florida Hospital Winter Garden Phase A**

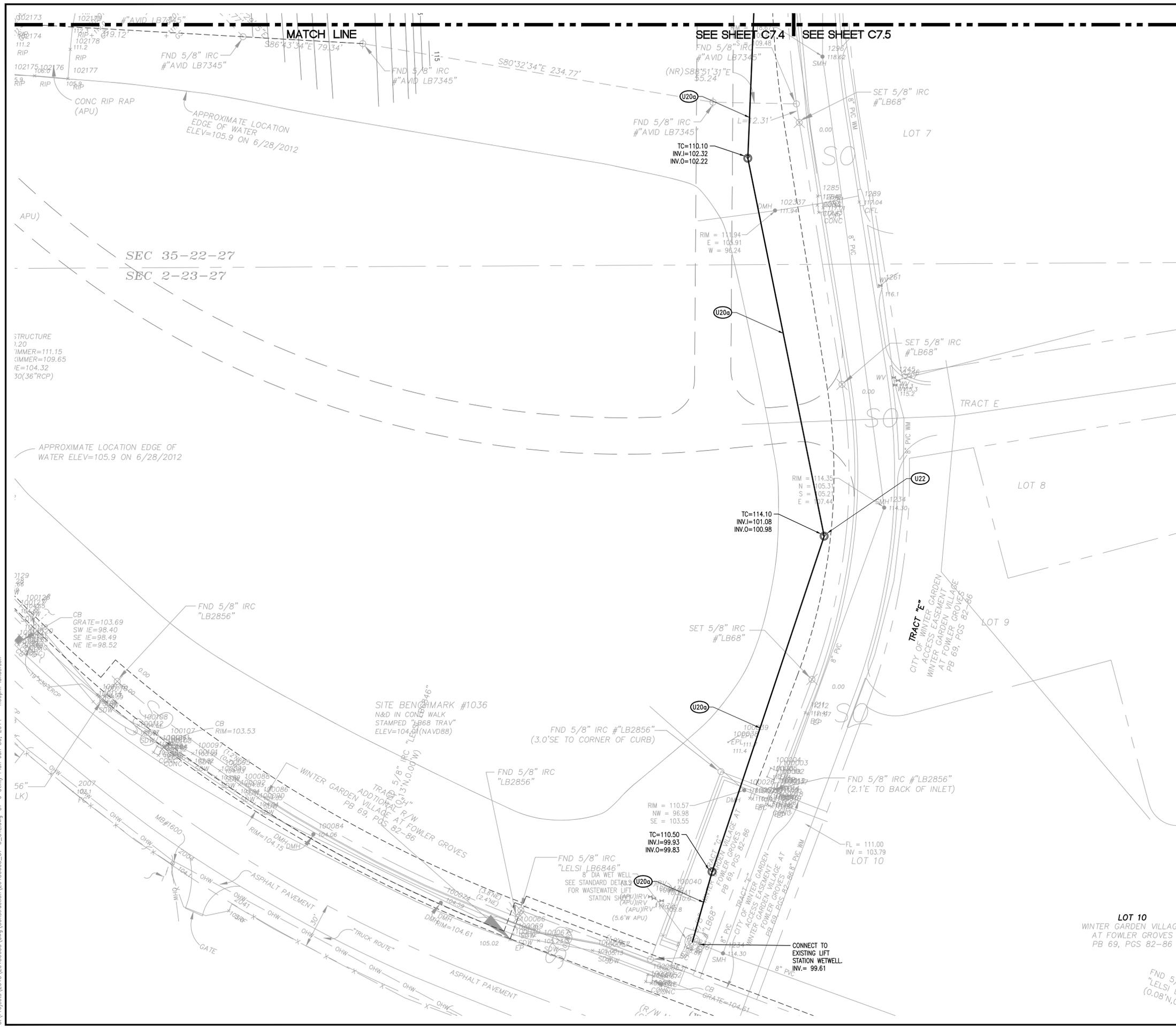
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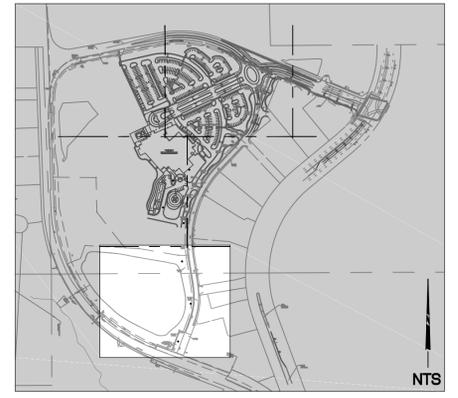
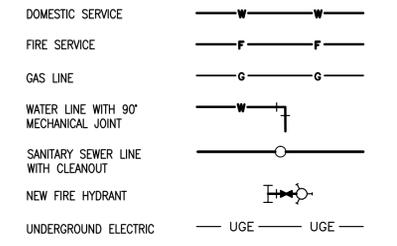
DATE	REVISIONS
1/31/14	DRC RESUBMITTAL
1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

**C7.5**  
UTILITY PLAN



SITE UTILITY KEY NOTE		
CODE	DESCRIPTION	DTL #/SHT #
U1a	WATER LINE (SPECIFY SIZE(S))	.
U2a	FIRE LINE (SPECIFY SIZE(S))	.
U3a	IRRIGATION LINE (SPECIFY SIZE(S))	.
U4a	6" WATER METER	.
U5a	6" REDUCED PRESSURE BACKFLOW PREVENTER	.
U6a	8" DOUBLE DETECTOR CHECK VALVE ASSEMBLY	.
U7	MECHANICAL JOINTS	.
U8	POST INDICATOR VALVE	.
U9	FIRE DEPARTMENT CONNECTION	.
U10	FIRE HYDRANT ASSEMBLY	.
U11a	WATER VALVE (SPECIFY SIZE(S))	.
U12a	TEE (SPECIFY SIZE(S))	.
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U42	OVERHEAD ELECTRIC LINE	.
U43	UNDERGROUND COMMUNICATION LINE	.
U44	OVERHEAD COMMUNICATION LINE	.
U45	SITE LIGHTING	.
U46	CONDUIT SLEEVES (SPECIFY NUMBER & SIZE)	.

**PROPOSED FEATURES LEGEND**



**811**  
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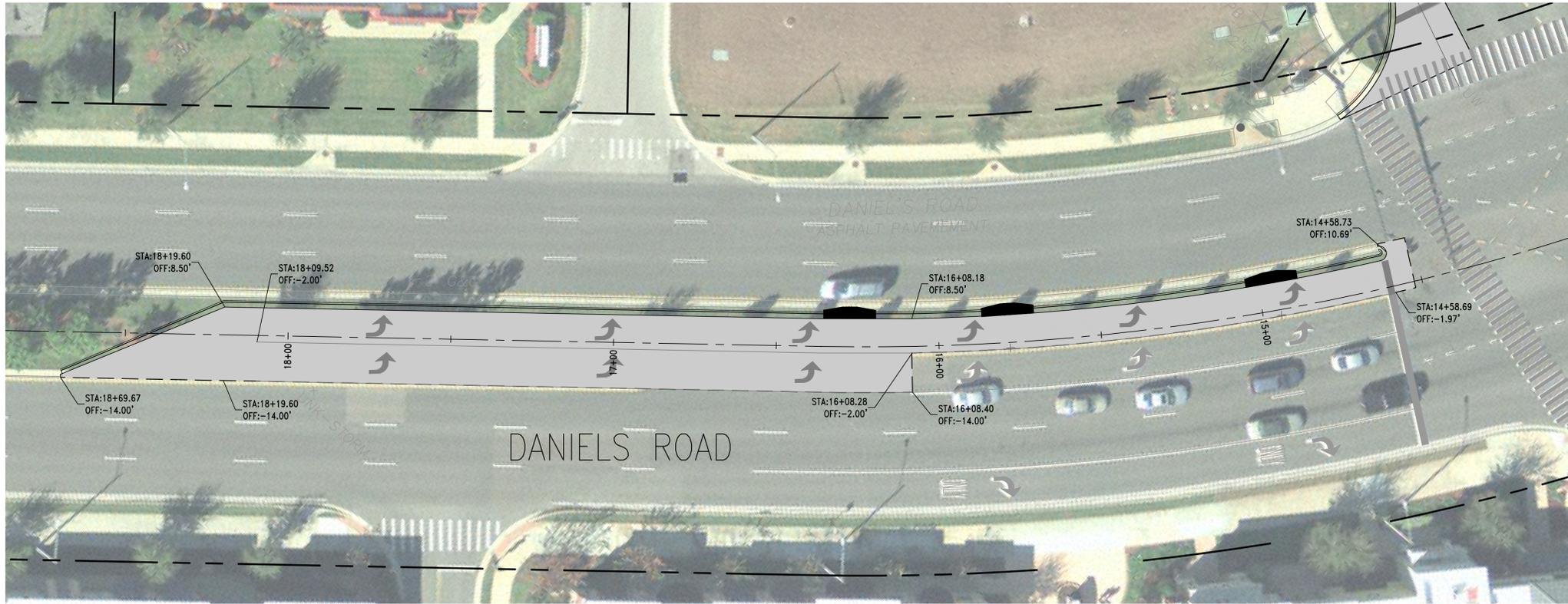


**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

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1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

**C7.6**  
UTILITY PLAN

G:\Projects\2013\20130603.dwg Construction\20130603\_C7-0\_LTL.dwg-C7-6 Utility Plan Jan 30, 2014 - 4:09pm landerson



LEFT TURN LANES ONTO FOWLER GROVE BLVD

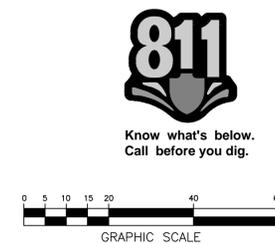


PROPOSED FEATURES LEGEND

- HEAVY DUTY PAVEMENT
- PAINTED STRIPE
- CONCRETE CURB



LEFT TURN LANE ONTO FOWLER EXCHANGE BLVD



G:\Projects\2013\20130603 (dwg) Construction\20130603\_C8-0\_OFF-SITE.dwg-C8-0\_OFF-SITE.dwg-c8-0 - 4:04pm gaeorge

FLORIDA FIRM CERTIFICATION #28650

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**Florida Hospital Winter Garden**  
**Phase A**  
 2000 Fowler Grove Blvd.  
 Winter Garden, Florida

**FLORIDA HOSPITAL**

PRELIMINARY  
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1/24/14	DRC RESUBMITTAL
1/17/14	DRC RESUBMITTAL
1/10/14	20130603

**C8.0**  
 OFF-SITE  
 IMPROVEMENTS  
 PLAN

PLANT SCHEDULE: TREES & PALMS

TREES							
KEY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	SPACING	REMARKS
AR	Acer rubrum	Red Maple	30 Gal. Cont.	2"	10' Hgt. x 5' Spd.	AS SHOWN	Single / straight trunk / Full / 5' C.T.
BV	Bauhinia variegata 'Candida'	White Orchid Tree	30 Gal. Cont.	2"	8' Hgt. x 5' Spd.	AS SHOWN	Single / straight trunk / Full
BN	Betula nigra	River Birch	15 Gal. Cont.	2"	8' Hgt. x 4' Spd.	AS SHOWN	Multi- trunk / Full
CC	Cercis canadensis	Eastern Red Bud	30 Gal. Cont.		8' Hgt. x 5' Spd.	AS SHOWN	Single trunk / Full
CH	Calliandra haematocephala	Pink Powder Puff Tree	15 Gal. Cont.		6' Hgt. x 4' Spd.	AS SHOWN	Multi- trunk / Full
CM	Camellia japonica	Tree Camellia	15 Gal. Cont.		6' Hgt. x 3' Spd.	AS SHOWN	Single / straight trunk / Full
CR	Callistemon rigidus	Rigid Bottlebrush	Cont./Based on hgt	NA	Indicated on plans	AS SHOWN	Multi- trunk / Full / Florida fancy
CSI	Cupressus sempervirens	Italian Cypress	45 Gal. Cont.		See Plans for Height x 3' Spd.	AS SHOWN	Single / Straight trunk / Full
CV	Callistemon viminalis	Weeping Bottlebrush	15 Gal. Cont.		8' Hgt. x 4' Spd.	AS SHOWN	Multi- trunk / Full
CU	Coccoloba uvifera	Sea Grape Tree	30 Gal. Cont.		10' Hgt. x 6' Spd.	AS SHOWN	Multi-trunk / Full
EJ	Eriobotrya japonica	Loquat	30 Gal. Cont.	3"	10' Hgt. x 6' Spd.	AS SHOWN	Single / straight trunk / Full
IS	Ilex attenuata "Savannah"	Savannah Holly	30 Gal. Cont.	3"	12' Hgt. x 6' Spd.	AS SHOWN	Single / straight trunk / Full / 6' C.T.
IC	Ilex cassine	Dahoon Holly	15 Gal. Cont.	2"	8' Hgt. x 4' Spd.	AS SHOWN	Multi- trunk / Full / 5' C.T.
IV	Ilex vomitoria	Yaupon Holly	15 Gal. Cont.	2"	8' Hgt. x 4' Spd.	AS SHOWN	Single / straight trunk / Full
JS	Juniperus silicicola	Southern Red Cedar	30 Gal. Cont.	3"	10' Hgt. x 6' Spd.	AS SHOWN	Single trunk / Full
LIM (S)	Lagerstroemia indica 'Muskegee'	Muskegee Crape Myrtle	65 Gal. Cont.	4"	14' Hgt. x 8' Spd.	AS SHOWN	Multi- trunk / Full / 5' C.T.
LIN (S)	Lagerstroemia indica 'Natchez'	Natchez Crape Myrtle	65 Gal. Cont.	4"	14' Hgt. x 8' Spd.	AS SHOWN	Multi- trunk / Full / 5' C.T.
LIT (S)	Lagerstroemia indica 'Tuscarora'	Tuscarora Crape Myrtle	65 Gal. Cont.	4"	14' Hgt. x 8' Spd.	AS SHOWN	Multi- trunk / Full / 5' C.T.
LJ	Ligustrum japonicum	Japanese Privet	65 Gal. Cont.	2"	8' Hgt. x 6' Spd.	AS SHOWN	Multi- trunk / Full / 4' C.T.
LL-1	Ligustrum japonicum	Japanese Privet	100 Gal. Cont.	3"	10' Hgt. x 8' Spd.	AS SHOWN	Multi- trunk / Full / 5' C.T.
LL-2	Ligustrum japonicum	Japanese Privet	200 Gal. Cont.	4"	12' Hgt. x 12' Spd.	AS SHOWN	Multi- trunk / Full / 5' C.T.
LS	Liquidambar styraciflua	Sweetgum Tree	30 Gal. Cont.	2"	12' Hgt. x 10' Spd.	AS SHOWN	Single / Straight trunk / Full / 5' C.T.
MDD	Magnolia grandiflora 'D.D. Blanchard'	DD Blanchard Magnolia	200 Gal. Cont.	4"	16' Hgt. x 5' Spd.	AS SHOWN	Single / Straight trunk / Full to the ground
MGLG	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	200 Gal. Cont.	4"	16' Hgt. x 5' Spd.	AS SHOWN	Single / Straight trunk / Full to the ground
MG-1	Magnolia grandiflora	Southern Magnolia	65 Gal. Cont.	3"	10' Hgt. x 5' Spd.	AS SHOWN	Single / Straight trunk / Full to the ground
MG-2	Magnolia grandiflora	Southern Magnolia	100 Gal. Cont.	3"	14' Hgt. x 7' Spd.	AS SHOWN	Single / Straight trunk / Full to the ground
MC	Myrica cerifera	Wax Myrtle	B & B		8' Hgt. x 6' Spd.	AS SHOWN	Multi- trunk / Full
PA	Parkinsonia aculeata	Jerusalem Thorn	30 Gal. Cont.	2"	10' Hgt. x 6' Spd.	AS SHOWN	Single trunk / Full / Symmetrical head and branching / 4' C.T.
PE-1	Pinus elliptica	Slash Pine	65 Gal. Cont.	3"	12' Hgt. x6' Spd.	AS SHOWN	Single / Straight trunk / Full / 5' C.T.
PE-2	Pinus elliptica	Slash Pine	15 Gal. Cont.	3"	16' Hgt. x8' Spd.	AS SHOWN	Single / Straight trunk / Full / 6' C.T.
PN	Podocarpus nagi	Nagi Podocarpus	30 Gal. Cont.	3"	10' Hgt. x 5' Spd.	AS SHOWN	Single / Straight trunk / Full / 4' C.T.
PA	Prunus angustifolia	Chickasaw Plum	30 Gal. Cont.	2"	8' Hgt. x 6' Spd.	AS SHOWN	Single / Straight trunk / Full / 4' C.T.
PC	Prunus caroliniana	Cherry Laurel	30 Gal. Cont.	2"	10' Hgt. x 6' Spd.	AS SHOWN	Single / Straight trunk / Full / 4' C.T.
PB	Pyrus calleryana 'Bradford'	Bradford Pear	30 Gal. Cont.	2"	8' Hgt. x 3' Spd.	AS SHOWN	Single / Straight trunk / Full / 4' C.T.
QL	Quercus laurifolia	Laurel Oak	30 Gal. Cont.	3"	12' Hgt. x 5' Spd.	AS SHOWN	Single / Straight trunk / Full / 6' C.T.
QL-1	Quercus laurifolia	Laurel Oak	65 Gal. Cont.	4"	14' Hgt. x 7' Spd.	AS SHOWN	Single / Straight trunk / Full / 6' C.T.
QL-2	Quercus laurifolia	Laurel Oak	100 Gal. Cont.	5"	16' Hgt. x 10' Spd.	AS SHOWN	Single / Straight trunk / Full / 6' C.T.
QS-1	Quercus shumardii	Shumard Oak	65 Gal. Cont.	4"	14' Hgt. x 7' Spd.	AS SHOWN	Single / Straight trunk / Full / 6' C.T.
QS-2	Quercus shumardii	Shumard Oak	100 Gal. Cont.	5"	16' Hgt. x 9' Spd.	AS SHOWN	Single / Straight trunk / Full / 6' C.T.
QV	Quercus virginiana	Live Oak	15 Gal. Cont.	2"	10' Hgt. x 5' Spd.	AS SHOWN	Single / Straight trunk / Full / 6' C.T.
QV-1	Quercus virginiana	Live Oak	30 Gal. Cont.	3"	12' Hgt. x 6' Spd.	AS SHOWN	Single / Straight trunk / Full / 6' C.T.
QV-2	Quercus virginiana	Live Oak	65 Gal. Cont.	4"	14' Hgt. x 8' Spd.	AS SHOWN	Single / Straight trunk / Full / 6' C.T.
QV-3	Quercus virginiana	Live Oak	100 Gal. Cont.	5"	16' Hgt. x 10' Spd.	AS SHOWN	Single / Straight trunk / Full / 6' C.T.
QV-4	Quercus virginiana	Live Oak	200 Gal. Cont.	6"	18' Hgt. x 12' Spd.	AS SHOWN	Single / Straight trunk / Full / 6' C.T.
QV-5	Quercus virginiana	Live Oak	B & B	12"	24' Hgt. x 16' Spd.	AS SHOWN	Single / Straight trunk / Full / 6' C.T.
QV-G	Quercus virginiana var. geminata	Sand Live Oak	15 Gal. Cont.	2"	6' Hgt. x 5' Spd.	AS SHOWN	Multi-branched / Full / 3' C.T.
RA	Raphiolepis majestic beauty	Majestic Beauty Tree	65 Gal. Cont.	3"	8' Hgt. x 6' Spd.	AS SHOWN	Tree Standardd / Full specimen
SB	Salix babylonica	Weeping Willow	15 Gal. Cont.	2"	8' Hgt. x 6' Spd.	AS SHOWN	Single / Straight trunk / Full / 4' C.T.
TI	Tabebuia impetiginosa	Purple Trumpet Tree	30 Gal. Cont.	2"	10' Hgt. x 6' Spd.	AS SHOWN	Single / Straight trunk / Full / 5' C.T.
TU	Tabebuia umbellata	Yellow Trumpet Tree	30 Gal. Cont.	2"	10' Hgt. x 6' Spd.	AS SHOWN	Single / Straight trunk / Full / 5' C.T.
TA	Taxodium ascendens	Pond Cypress	15 Gal. Cont.	2"	8' Hgt. x 3' Spd.	AS SHOWN	Single / Straight trunk / Full
TDC	Taxodium distichum	Bald Cypress	30 Gal. Cont.	2"	8' Hgt. x4' Spd.	AS SHOWN	Single / Straight trunk / Full / 4' C.T.
TDC-1	Taxodium distichum	Bald Cypress	65 Gal. Cont.	3"	12' Hgt. x 6' Spd.	AS SHOWN	Single / Straight trunk / Full / 6' C.T.
TDC-2	Taxodium distichum	Bald Cypress	100 Gal. Cont.	4"	14' Hgt. x8' Spd.	AS SHOWN	Single / Straight trunk / Full / 6' C.T.
TG	Tibouchina granulosa	Purple Glory Tree	30 Gal. Cont.		8' Hgt. x 5' Spd.	AS SHOWN	Multi-truck / Full
UA	Ulmus atata	Winged Elm	30 Gal. Cont.	2"	10' Hgt. x 5' Spd.	AS SHOWN	Single / Straight trunk / Full / 5' C.T.
UP	Ulmus parvifolia 'Drake'	Drake Elm	65 Gal. Cont.	3"	12' Hgt. x 10' Spd.	AS SHOWN	Single / Straight trunk / Full / 6' C.T.

LANDSCAPE NOTES

- The contractor shall bear all costs of testing of soils, amendments, etc. associated with the work and included in the specifications. Prior to commencement of the landscape planting work the Contractor shall provide complete soil tests for at least two on-site areas.
- All plant material shall be in full and strict accordance with the "Florida Grades and Standards" and the project manual and specifications. Plant materials shall exceed in some instances some specifications if necessary to meet the minimum requirements of others.
- All trees shall have six feet (6') clear trunk unless otherwise specified.
- All container sizes noted on plant list are minimum. Increase size if necessary to conform to plant size and specifications.
- All tree caliper sizes noted on plant list are minimum. Increase size if necessary to conform to plant size and specifications.
- Erosion control fabric shall be installed in all shrub and groundcover planting areas as per specifications for all slopes that exceed 3:1. See grading plans for location of slopes greater than 3:1.
- Landscape Contractor shall test each plant pit to assure percolation and if found not to percolate or shows evidence of slow percolation, shall provide at his/her sole cost an approved method to drain plant pit or bed. (Refer to plant details & specifications)
- The contractor shall install a root barrier on all shade trees planted within 7' of a water or sewer line or in accordance w/ city & county regulations.
- See specs for additional planting requirements

PALMS							
KEY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	SPACING	REMARKS
BCX-1	Butia capitata	Pindo Palm	B & B	24"	4' C.T.	AS SHOWN	Heavy, straight, undamaged truck / With boots / Full heads
BCX-2	Butia capitata	Pindo Palm	B & B	24"	8' C.T.	AS SHOWN	Heavy, straight, undamaged truck / With boots / Full heads
BCX-3	Butia capitata	Pindo Palm	B & B	24"	12' C.T.	AS SHOWN	Heavy, straight, undamaged truck / With boots / Full heads
BCX-4	Butia capitata	Pindo Palm	B & B	24"	16' C.T.	AS SHOWN	Heavy, straight, undamaged truck / With boots / Full heads
CHX-1	Chamaerops humilis	European Fan Palm	7 Gal. Cont.		3' O.A.	AS SHOWN	Full clump / 3 trucks min. / 5 fronds per truck
CHX-2	Chamaerops humilis	European Fan Palm	30 Gal. Cont.		3' O.A.	AS SHOWN	Full clump / 3 trucks min. / 5 fronds per truck
CHSX-1	Chamaerops humilis	European Fan Palm Specimen	B & B	Multi-truck	6'-8' Spd.	AS SHOWN	Full clump / 3 trucks min. / Staggered hgt.'s 3'C.T.- 5' C.T.
CHSX-2	Chamaerops humilis	European Fan Palm Specimen	B & B	Multi-truck	10'-12' Spd.	AS SHOWN	Full clump / 3 trucks min. / Staggered hgt.'s 3'C.T.- 6' C.T.
CHSX-3	Chamaerops humilis	European Fan Palm Specimen	B & B	Multi-truck	12'-15' Spd.	AS SHOWN	Full clump / 3 trucks min. / Staggered hgt.'s 3'C.T.- 7' C.T.
CCX	Cycas circinalis	Queen Sago	7 Gal. Cont.		3' O.A.	AS SHOWN	Full / 10 fronds min.
CRX-1	Cycas revoluta	King Sago	15 Gal. Cont.		3' O.A.	AS SHOWN	Full / 12 fronds min.
CRX-2	Cycas revoluta	King Sago	30 Gal. Cont.		4' O.A.	AS SHOWN	Full / 12 fronds min./1' C.T.
CRX-3	Cycas revoluta	King Sago	65 Gal. Cont.		5' O.A.	AS SHOWN	Full / 12 fronds min./3' C.T.
CRSX	Cycas revoluta	King Sago Specimen	100 Gal. Cont.		6'-8' O.A./ 3 Trunks	AS SHOWN	Full heads / Staggered trunks 1';2';3' C.T.
LCX	Livistona chinensis	Chinese Fan Palm	B & B	Varies	Indicated on plans	AS SHOWN	Single, straight undamaged clean trunk/ Full
LCX-1	Livistona chinensis	Chinese Fan Palm	7 Gal. Cont.	Shrub Form	3' O.A.	AS SHOWN	Full/ 3 plants per pot/ 5 fronds min. per plant
LCX-2	Livistona chinensis	Chinese Fan Palm	10 Gal. Cont.	Shrub Form	4' O.A.	AS SHOWN	Full/ 3 plants per pot/ 5 fronds min. per plant
LCX-6	Livistona chinensis	Chinese Fan Palm	B & B	18" min.	18' C.T.	AS SHOWN	Single, straight undamaged clean trunk/ Full
PCX-1	Phoenix canariensis	Canary Island Date Palm	B & B	36" min.	4' C.T.	AS SHOWN	Sgl., straight, hvy., undamaged trunk/ Full, 140deg. hd./45deg. boot cut
PCX-2	Phoenix canariensis	Canary Island Date Palm	B & B	36" min.	6' C.T.	AS SHOWN	Sgl., straight, hvy., undamaged trunk/ Full, 140deg. hd./45deg. boot cut
PCX-3	Phoenix canariensis	Canary Island Date Palm	B & B	36" min.	8' C.T.	AS SHOWN	Sgl., straight, hvy., undamaged trunk/ Full, 140deg. hd./45deg. boot cut
PCX-4	Phoenix canariensis	Canary Island Date Palm	B & B	36" min.	10' C.T.	AS SHOWN	Sgl., straight, hvy., undamaged trunk/ Full, 140deg. hd./45deg. boot cut
PCX-5	Phoenix canariensis	Canary Island Date Palm	B & B	36" min.	12' C.T.	AS SHOWN	Sgl., straight, hvy., undamaged trunk/ Full, 140deg. hd./45deg. boot cut
PCX-6	Phoenix canariensis	Canary Island Date Palm	B & B	36" min.	14' C.T.	AS SHOWN	Sgl., straight, hvy., undamaged trunk/ Full, 140deg. hd./45deg. boot cut
PDX	Phoenix dactylifera 'Madjool'	Madjool Date Palm	B & B	20" min.	Indicated on plans	AS SHOWN	Sgl., straight, hvy., undamaged trunk/ Full, 140deg. hd./45deg. boot cut
PRX-1	Phoenix reclinata	Senegal Date Palm Specimen	B & B		12' Spd./ Multi Trunk	AS SHOWN	Full clump/ 7 trunks min./ Staggered heights/ Recurved trunks/ 4'-8' C.T.
PRX-2	Phoenix reclinata	Senegal Date Palm Specimen	B & B		18' Spd./ Multi Trunk	AS SHOWN	Full clump/11trunks min./ Staggered heights/ Recurved trunks/4'-12' C.T.
PRX-3	Phoenix reclinata	Senegal Date Palm Specimen	B & B		24' Spd./ Multi Trunk	AS SHOWN	Full clump/15trunks min./ Staggered heights/ Recurved trunks/4'-16' C.T.
PRX-1	Phoenix roebelenii	Pygmy Date Palm	65 Gal. Cont.		Single Trunk	AS SHOWN	Full Clean, straight trunks/ 3'-5' C.T.
PRX-2	Phoenix roebelenii	Pygmy Date Palm	65 Gal. Cont.		Double Trunk	AS SHOWN	Full/ Recurved trunks/ 3'-6' C.T.
PRX-3	Phoenix roebelenii	Pygmy Date Palm	100 Gal. Cont.		Triple Trunk	AS SHOWN	Full/ Staggered heights/ Recurved trunks/ 3'-7' C.T.
PSX-1	Phoenix sylvestris	Wild Indian Date Palm	B & B	18" min.	6' C.T.	AS SHOWN	Sgl., straight, hvy., undamaged trunk/ Full, 45deg. boot cut
PSX-2	Phoenix sylvestris	Wild Indian Date Palm	B & B	18" min.	10' C.T.	AS SHOWN	Sgl., straight, hvy., undamaged trunk/ Full, 45deg. boot cut
PSX-3	Phoenix sylvestris	Wild Indian Date Palm	B & B	18" min.	14' C.T.	AS SHOWN	Sgl., straight, hvy., undamaged trunk/ Full, 45deg. boot cut
PSX-4	Phoenix sylvestris	Wild Indian Date Palm	B & B	18" min.	18' C.T.	AS SHOWN	Sgl., straight, hvy., undamaged trunk/ Full, 45deg. boot cut
PSX-5	Phoenix sylvestris	Wild Indian Date Palm	B & B	18" min.	22' C.T.	AS SHOWN	Sgl., straight, hvy., undamaged trunk/ Full, 45deg. boot cut
PPX-1	Phoenix x roebelenii x reclinata cross	Canary/Roebelenii/Reclinata Palm	B & B		10'-12' O.A.	AS SHOWN	Double curved trunks/ Boots intact
PPX-2	Phoenix x roebelenii x reclinata cross	Canary/Roebelenii/Reclinata Palm	B & B		10'-12' O.A.	AS SHOWN	Triple curved trunks/ Boots intact
RHX-1	Rhapidophyllum hystrix	Needle Palm	7 Gal. Cont.		30' O.A.	AS SHOWN	Full head
RHX-2	Rhapidophyllum hystrix	Needle Palm	10 Gal. Cont.		4' O.A.	AS SHOWN	Full head
REX-1	Rhapis excelsa	Lady Palm	7 Gal. Cont.		36" Hgt. * 30" Spd.	AS SHOWN	Full/ 5 canes min./ Staggered heights
REX-2	Rhapis excelsa	Lady Palm	10 Gal. Cont.		48" Hgt. * 36" Spd.	AS SHOWN	Full/ 5 canes min./ Staggered heights
SMX	Sabal minor	Dwarf Palmetto	10 Gal. Cont.		3' O.A.	AS SHOWN	Full head/ 5 fronds min. per trunk
SPX	Sabal palmetto	Booted Cabbage Palm	B & B	14"	6'-32' C.T.	AS SHOWN	Clean,Trunks void of chain or burn marks or other damage/ 5 fronds min
SRX-G	Serenoa repens - Green	Green Saw Palmetto	B & B	14"	6'-32' C.T.	AS SHOWN	Clean,Trunks void of chain or burn marks or other damage/ 5 fronds min
SRX-S	Serenoa repens - Silver	Silver Saw Palmetto	B & B	14"	6'-32' C.T.	AS SHOWN	Clean,Trunks void of chain or burn marks or other damage/ 5 fronds min
WFX-1	Washington filifera	California Washington Palm	B & B	36" min.	6' C.T.	AS SHOWN	Heavy, straight trunk void of damage/ Clean trunks
WFX-2	Washington filifera	California Washington Palm	B & B	36" min.	10' C.T.	AS SHOWN	Heavy, straight trunk void of damage/ Clean trunks
WFX-3	Washington filifera	California Washington Palm	B & B	36" min.	14' C.T.	AS SHOWN	Heavy, straight trunk void of damage/ Clean trunks
WFX-4	Washington filifera	California Washington Palm	B & B	36" min.	18' C.T.	AS SHOWN	Heavy, straight trunk void of damage/ Clean trunks
WRX-1	Washington robusta	Washington Palm	B & B	18" min.	4' C.T.	AS SHOWN	Heavy, straight trunk void of damage/ Boots intact
WRX-2	Washington robusta	Washington Palm	B & B	18" min.	8' C.T.	AS SHOWN	Heavy, straight trunk void of damage/ Boots intact
WRX-3	Washington robusta	Washington Palm	B & B	22" min.	12' C.T.	AS SHOWN	Heavy, straight trunk void of damage/ Boots intact
WRX-4	Washington robusta	Washington Palm	B & B	22" min.	16' C.T.	AS SHOWN	Heavy, straight trunk void of damage/ Boots intact
WRX-5	Washington robusta	Washington Palm	B & B	22" min.	20' C.T.	AS SHOWN	Heavy, straight trunk void of damage/ Boots intact
WRX-6	Washington robusta	Washington Palm	B & B	22" min.	24' C.T.	AS SHOWN	Heavy, straight trunk void of damage/ Boots intact
WRX-7	Washington robusta	Washington Palm	B & B	22" min.	28' C.T.	AS SHOWN	Heavy, straight trunk void of damage/ Boots intact
WRX-8	Washington robusta	Washington Palm	B & B	22" min.	32' C.T.	AS SHOWN	Heavy, straight trunk void of damage/ Boots intact
WRX-9	Washington robusta	Washington Palm	B & B	22" min.	36' C.T.	AS SHOWN	Heavy, straight trunk void of damage/ Boots intact



**FLORIDA HOSPITAL - WINTER GARDEN**  
**~ PHASE A ~**  
**WINTER GARDEN, FLORIDA**

Rev:	Date:	Description:	By:

PLANT SCHEDULE: SHRUBS & GROUNDCOVERS

KEY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING	REMARKS
AZ	Alphitonia zerumbet 'variegata'	Variegated Shell Ginger	3 Gal. Cont.	30" Hgt.	36" O.C.	Full/ 3plants per pot
BMW	Buxus microphylla 'Wintergreen'	Wintergreen Boxwood	3 Gal. Cont.	30" Hgt.	36" O.C.	Full/ 3plants per pot
CSQ	Camellia sasanqua	Sasanqua Camellia	3 Gal. Cont.	30" O.A.	36" O.C.	Full
CF	Cassia bicapsularis	Golden Shower	3 Gal. Cont.	30" O.A.	48" O.C.	Full
CN	Cestrum nocturnum	Night Blooming Jasmine	3 Gal. Cont.	24" Hgt. x 18" Spd.	30" O.C.	Full
CJ	Cleyera japonica	Cleyera	3 Gal. Cont.	20" O.A.	36" O.C.	Full
CB	Cordia bodioides	Texas Olive	7 Gal. Cont.	3' Hgt x 24" Spd.	48" O.C.	Full
CA	Cinnum asiaticum	Cinnum Lily	7 Gal. Cont.	36" O.A.	48" O.C.	Full / 10 leaves min. with no scars/ Plant as shown
CY	Cyperus alternifolius	Umbrella Sedge	3 Gal. Cont.	30" O.A.	30" O.C.	Full / 7 stems per pot min.
DR	Duranta repens	Golden Dewdrop	3 Gal. Cont.	24" O.A.	30" O.C.	Full
FS	Feijoa sellowiana (ACCA)	Pineapple Gvava	3 Gal. Cont.	24" O.A.	36" O.C.	Full
GG	Galphimia glauca	Thyallis	3 Gal. Cont.	20" O.A.	30" O.C.	Full
GJ	Gardenia jasminoides	Gardenia Aimee- Yashloka	3 Gal. Cont.	24" O.A.	36" O.C.	Full/ Grafted root stock
HP	Hamelia patens	Firebush	3 Gal. Cont.	24" O.A.	36" O.C.	Full
HD	Hedychium coronarium	Butterfly Ginger	3 Gal. Cont.	30" O.A.	36" O.C.	Full/ 3 plants per pot
HRR	Hibiscus rosa-sinensis 'Brilliant Red'	Single Red Hibiscus	3 Gal. Cont.	30" O.A.	36" O.C.	Full
HRF	Hibiscus rosa-sinensis 'La France'	'La France' Hibiscus (White)	3 Gal. Cont.	30" O.A.	36" O.C.	Full
HLR	Hibiscus rosa-sinensis 'Painted Lady'	Painted Lady Hibiscus (Pink)	3 Gal. Cont.	30" O.A.	36" O.C.	Full
HRP	Hibiscus rosa-sinensis 'President'	'President' Hibiscus (Red)	3 Gal. Cont.	30" O.A.	36" O.C.	Full
HRS	Hibiscus rosa-sinensis 'Seminole Pink'	'Seminole' Hibiscus (Pink)	3 Gal. Cont.	30" O.A.	36" O.C.	Full
ICB	Ilex cornuta 'Burfordii'	Burfordii Holly	3 Gal. Cont.	20" O.A.	36" O.C.	Full
ICR	Ilex cornuta 'Rotunda'	Rotunda Holly	3 Gal. Cont.	20" O.A.	36" O.C.	Full
IG	Ilex glabra	Gallberry or Inkberry	3 Gal. Cont.	20" O.A.	30" O.C.	Full
IV	Ilex vomitoria	Yaupon Holly	3 Gal. Cont.	24" O.A.	36" O.C.	Full
IVS	Ilex vomitoria 'Schellings Dwarf'	Dwarf Yaupon Holly	3 Gal. Cont.	16" O.A.	30" O.C.	Full/ Do not trim into a round ball
IF	Illicium floridanum	Anise	3 Gal. Cont.	24" O.A.	36" O.C.	Full
IP	Illicium parviflorum	Yellow Anise	3 Gal. Cont.	24" O.A.	36" O.C.	Full
JY	Jasminum mesnyi	Primrose Jasmine	3 Gal. Cont.	20" O.A.	36" O.C.	Full
JM	Jasminum multiflorum	Downy Jasmine	3 Gal. Cont.	20" O.A.	36" O.C.	Full
JN	Jasminum nitidum	Shining or Star Jasmine	3 Gal. Cont.	20" O.A.	36" O.C.	Full
JCP	Juniperus Chinese 'Parsonii'	Parsonii Juniper	3 Gal. Cont.	24" O.A.	36" O.C.	Full
JS	Juniperus silicicola	Southern Red Cedar	3 Gal. Cont.	36" O.A.	48" O.C.	Full
LJJ	Ligustrum japonicum	Japanese Privet	3 Gal. Cont.	30" O.A.	36" O.C.	Full
MB	Mahonia bealei	Leatherleaf Mahonia	3 Gal. Cont.	30" O.A.	36" O.C.	Full
PM	Podocarpus macrophyllus	Podocarpus Shrub	7 Gal. Cont.	48" Hgt. * 24" Spd.	30" O.C.	Full / Prune as directed by la.
MU	Musa acuminata 'Dwarf Cavendish'	Dwarf Cavendish Banana	10 Gal. Cont.	4' O.A.	48" O.C.	Full / 3 plants per pot
MC	Myrica cerifera	Wax Myrtle	3 Gal. Cont.	3' O.A.	60" O.C.	Full to ground
ND	Nandina domestica	Nandina	3 Gal. Cont.	24" O.A.	30" O.C.	Full / 3 plants per pot
NOD	Nerium oleander 'Dwarf'	Dwarf Oleander	3 Gal. Cont.	24" O.A.	30" O.C.	Full
NOP	Nerium oleander 'Hardy Pink'	Pink Oleander	3 Gal. Cont.	30" O.A.	48" O.C.	Full
NOR	Nerium oleander 'Hardy Red'	Red Oleander	3 Gal. Cont.	30" O.A.	48" O.C.	Full
NOC	Nerium oleander 'Calypso'	Calypso Oleander (Red)	B & B	8' Hgt. x 6' Spd.	AS SHOWN	Multi- trunk / Full
NOW	Nerium oleander 'White'	White Oleander	3 Gal. Cont.	30" O.A.	48" O.C.	Full
OF	Osmanthus fragrans	Tea Olive	3 Gal. Cont.	36" O.A.	48" O.C.	Full
PS	Philodendron selloum	Split Leaf Philodendron	3 Gal. Cont.	30" O.A.	48" O.C.	Full / 3 plants per pot
PT	Pittosporum tobira	Green Pittosporum	3 Gal. Cont.	24" O.A.	36" O.C.	Full
PTC	Pittosporum tobira 'Compacta'	Compact Pittosporum	3 Gal. Cont.	16" O.A.	30" O.C.	Full
PA	Plumbago articulata	Plumbago	3 Gal. Cont.	24" O.A.	36" O.C.	Full
PYC	Pyracantha coccinea	Scarlet Firethorn	3 Gal. Cont.	24" O.A.	36" O.C.	Full
RIA	Raphiolepis indica 'Alba'	White Indian Hawthorn	3 Gal. Cont.	12" Hgt. * 16" Spd.	30" O.C.	Full
RM	Ravenala madagascariensis	Travelers Tree	30 Gal. Cont.	12" O.A.	60" O.C.	Full/ Spacing as shown
RC	Rhododendron 'Coral Bells'	Coral Bells Azalea	3 Gal. Cont.	18" O.A.	30" O.C.	Full
RD	Rhododendron 'Duc de Rohan'	Duc De Rohan Azalea	3 Gal. Cont.	18" O.A.	30" O.C.	Full
RF	Rhododendron 'Fashion'	Fashion Azalea	3 Gal. Cont.	18" O.A.	30" O.C.	Full
RLF	Rhododendron 'Lavender Formosa'	Lavender Formosa Azalea	3 Gal. Cont.	20" O.A.	36" O.C.	Full
RW	Rhododendron 'Madonna'	Madonna Azalea	3 Gal. Cont.	18" O.A.	30" O.C.	Full
RP	Rhododendron 'Purple Ruffie'	Purple Ruffie Azalea	3 Gal. Cont.	18" O.A.	30" O.C.	Full
RR	Rhododendron 'Red Ruffie'	Red Ruffie Azalea	3 Gal. Cont.	18" O.A.	30" O.C.	Full
RS	Rhododendron 'Sothern Charm'	Souther Charm Azalea	3 Gal. Cont.	20" O.A.	36" O.C.	Full
RE	Russelia equisetiformis	Firecracker Plant	3 Gal. Cont.	18" O.A.	30" O.C.	Full
RB	Ruellia brittoniana 'Purple Showers'	Mexican Bluebell	3 Gal. Cont.	24" O.A.	30" O.C.	Full
SAT	Schefflera arboricola 'Trinette'	Dwarf Gold Schefflera	10 Gal. Cont.	6' O.A.	60" O.C.	Full/ Heavy/ 3 plants per pot
SN	Streptocarpus	White Bird of Paradise	10 Gal. Cont.	6' O.A.	60" O.C.	Full/ Heavy/ 3 plants per pot
SR	Streptocarpus reginae	Bird of Paradise	3 Gal. Cont.	18" O.A.	36" O.C.	Full / 3 plants per pot
SM	Suriana maritima	Bay Cedar	3 Gal. Cont.	18" O.A.	30" O.C.	Full
TB	Tabernaemontana 'Pinwheel Jasmine'	'Pinwheel' Jasmine	3 Gal. Cont.	24" O.A.	30" O.C.	Full
TCA	Teucrium capensis	Cape Honeysuckle	3 Gal. Cont.	24" O.A.	36" O.C.	Full
TU	Tibouchina urvilleana	Glorybush	3 Gal. Cont.	36" O.A.	36" O.C.	Full
VO	Viburnum odoratissimum	Sweet Viburnum	3 Gal. Cont.	28" O.A.	36" O.C.	Full
VA	Viburnum odoratissimum 'Awabuki'	Mirror Leaf Viburnum	3 Gal. Cont.	30" O.A.	30" O.C.	Full
VOW	Viburnum obovatum 'Walters'	Walters' Viburnum	3 Gal. Cont.	24" O.A.	36" O.C.	Full
VT	Viburnum tinus 'Spring Bouquet'	Spring Bouquet Viburnum	3 Gal. Cont.	18" O.A.	30" O.C.	Full

KEY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING	REMARKS
AA	Agave americana	Century Plant	7 Gal. Cont.	24" O.A.	48" O.C.	Full / Leaves without scars
AS	Agave attenuata	Spineless Century Plant	7 Gal. Cont.	24" O.A.	48" O.C.	Full / Leaves without scars
AD	Agave desertiana	Dwarf Century Plant	3 Gal. Cont.	18" O.A.	30" O.C.	Full / Leaves without scars
AB	Aloe barbadensis (Vera)	Barbados Aloe (Yellow)	1 Gal. Cont.	10" O.A.	18" O.C.	Full / 3 plants per pot
BD	Bryonia disticha	Snowbush	3 Gal. Cont.	18" O.A.	30" O.C.	Full
CP	Cereus peruvianus	Hedge Cactus	3 Gal. Cont.	30" Hgt. and branched	24" O.C.	Full/ No scars/ 3 branched trunks min.
EM	Euphorbia milii	Crown of Thorns	3 Gal. Cont.	14" O.A.	24" O.C.	Full
HU	Hylcoereus undatus	Night Blooming Cereus	7 Gal. Cont.	24" O.A.	48" O.C.	Full
KT	Kalanchoe tomentosa	Kalanchoe	3 Gal. Cont.	12" O.A.	24" O.C.	Full
OS	Ompuntia stricta	Prickly Pear Cactus	3 Gal. Cont.	12" -18" Hgt.	36" O.C.	Full/ No scars/ 5 leaves min.
PKA	Pereskia aculeata	Rose Cactus	3 Gal. Cont.	24" O.A.	24" O.C.	Full
YA	Yucca aloifolia	Spanish Bayonette	3 Gal. Cont.	30" Hgt. * 18" Spd.	36" O.C.	Full/ 3 plants per pot
YE	Yucca elephantipes	Soft Tip Yucca	7 Gal. Cont.	4'-5' Hgt * 24" Spd.	48" O.C.	Full / 3 trunks min.
YS	Yucca smalliana	Adams Needles				

KEY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING	REMARKS
AD	Acrostichum danaeaeifolium	Leather Fern	1 Gal. Cont.	12" O.A.	18" O.C.	Full/ 3 plants per pot
AG	Agapanthus africanus	Lily of the Nile	1 Gal. Cont.	12" O.A.	18" O.C.	Full / 3 plants per pot
AGD	Agapanthus africanus 'Dwarf'	Peter Pan Agapanthus	1 Gal. Cont.	6" O.A.	12" O.C.	Full / 5 plants per pot
AE	Aspidistra elatior	Cast Iron Plant	1 Gal. Cont.	14" O.A.	18" O.C.	Full/ 5-7 leaves min. free of scars
BD	Bougainvillea 'Helen Johnson'	Dwarf Bougainvillea 'Helen Johnson'	3 Gal. Cont.	18" O.A.	30" O.C.	Full/ 3 trailing runners min.
BRM	Bromelia	Bromeliad	3 Gal. Cont.	18" O.A.	30" O.C.	Full
CEB	Carissa macrocarpa 'Emerald Blanket'	Emerald Blanket Carissa	3 Gal. Cont.	8" Hgt. x 16" Spd.	24" O.C.	Full / 3 trailing runners min.
CF	Cyrtornium falcatum	Holly Fern	1 Gal. Cont.	12" O.A.	18" O.C.	Full/ 5-7 leaves min.
DB	Dietes bicolor	Yellow African Iris	1 Gal. Cont.	14" O.A.	18" O.C.	Full / 3 plants per pot
DT	Dianella tasmanica	Blue Flax Lily	1 Gal. Cont.	12" O.A.	18" O.C.	Full / 3 plants per pot
DV	Dietes vegeta	White African Iris	1 Gal. Cont.	14" O.A.	18" O.C.	Full / 3 plants per pot
GP	Gillardia pulchella	Blanket Flower	1 Gal. Cont.	12" O.A.	18" O.C.	Full / 5 plants per pot
HC	Hedera canariensis	Algerian Ivy	4" Pot	12" runners	12" O.C.	Full / 5 runners min.
HS-O	Hemerocallis spp. 'Aztec Gold'	Aztec Gold Day Lily	1 Gal. Cont.	12" O.A.	18" O.C.	Full / 5 plants per pot
HS-Y	Hemerocallis spp. 'Bitsy'	Bitsy Day Lily	1 Gal. Cont.	12" O.A.	18" O.C.	Full / 5 plants per pot
HSB	Hemerocallis spp. 'Crystal Tide'	Crystal Tide Day Lily	1 Gal. Cont.	12" O.A.	18" O.C.	Full / 5 plants per pot
HLA	Hemerocallis latifolia	Spider Lily	1 Gal. Cont.	18" O.A.	24" O.C.	Full / 5 plants per pot
JC	Juniperus conferta 'Dwarf Shore'	Dwarf Shore Juniper	3 Gal. Cont.	8" Hgt. x 16" Spd.	30" O.C.	Full / 3 trailing runners min.
LM	Lantana montevidensis	Trailing Lantana	1 Gal. Cont.	8" Hgt. x 12" Spd.	18" O.C.	Full / 3 trailing runners min.
LMV	Liriope muscari. 'Variegata'	Lily Turf	1 Gal. Cont.	8" Hgt. x 12" Spd.	18" O.C.	Full / 3 trailing runners min.
LEG	Liriope muscari 'Evergreen Giant'	Evergreen Giant Lily Turf	1 Gal. Cont.	12" O.A.	20" O.C.	Full / 7 plants per pot
LBB	Liriope muscari 'Irwells Big Blue'	Big Blue Lily Turf	1 Gal. Cont.	8" O.A.	12" O.C.	Full / 10 plants per pot
NH	Nandina domestica 'Harbor Dwarf'	Harbor Dwarf Nandina	1 Gal. Cont.	12" O.A.	18" O.C.	Full
NG	Neomarica gracilis	Apostle's Iris	1 Gal. Cont.	18" Hgt.	18" O.C.	Full / 3 plants per pot
NE	Nephrolepis exaltata	Boston Fern	1 Gal. Cont.	18" O.A.	24" O.C.	Full / 5 plants per pot
OJ	Ophiopogon japonica	Mondo Grass	1 Gal. Cont.	8" O.A.	12" O.C.	Full / 10 plants per pot
PX	Philodendron 'xanadu'	Xanadu Philodendron	3 Gal. Cont.	18" O.A.	24" O.C.	Full
RSD	Rhoeo spathacea discolor	Oyster Plant	1 Gal. Cont.	18" Hgt. x 12" Spd.	18" O.C.	Full / 3 plants per pot
ST	Sansevieria trifasciata	Snake Plant	3 Gal. Cont.	18" Hgt. x 12" Spd.	24" O.C.	Full / 7 plants per pot
SS	Sisyrinchium sp.	Blue Eyed Grass	1 Gal. Cont.	8" O.A.	12" O.C.	Full / 7 plants per pot
TAM	Trachelospermum asiaticum 'minima'	Asian Jasmine (Dwarf)	1 Gal. Cont.	12" runners	12" O.C.	Full / 5 runners min.
TJ	Trachelospermum jasminoides	Confederate Jasmine	3 Gal. Cont.	18" runners	30" O.C.	Full / 5 runners min.
TV	Tulbaghia violacea	Society Garlic	1 Gal. Cont.	8" O.A.	12" O.C.	Full / 7 plants per pot

KEY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING	REMARKS
ACH	Allamanda cathartica 'Hendersonii'	Hendersonii Brown Bud Allamanda	3 Gal. Cont.	24" O.A.	36" O.C.	Full / 5-7 stems
BSG	Bougainvillea glabra	Purple Bougainvillea	3 Gal. Cont.	30" O.A.	36" O.C.	Full / 5-7 stems
BSR	Bougainvillea spectabilis	Red Bougainvillea	3 Gal. Cont.	30" O.A.	36" O.C.	Full / 5-7 stems
CRA	Campsis radicans	Trumpet Vine	3 Gal. Cont.	18" runners	24" O.C.	Full / 5 runners min.
FP	Ficus pumila	Creeping Fig	1 Gal. Cont.	12" runners	12" O.C.	Full / 3 runners min.
GS	Gelsemium sempervirens	Carolina Jasmine	1 Gal. Cont.	14" runners	18" O.C.	Full / 5 runners min.
LP	Lonicera sempervirens	Coral Honeysuckle	1 Gal. Cont.	14" runners	24" O.C.	Full / 5 runners min.
MAD	Mandevilla 'Alice Dupont'	'Alice Dupont'	3 Gal. Cont.	16" runners	36" O.C.	Full
MS	Mandevilla splendens	Pink Allamanda	3 Gal. Cont.	24" runners	36" O.C.	Full / 3-5 runners min.
TC	Teucrium capensis	Cape Honeysuckle	3 Gal. Cont.	24" O.A.	36" O.C.	Full

KEY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING	REMARKS
BGA	Bambusa glaucescens	Alphonse Karr Bamboo	15 Gal. Cont.	10" O.A.	AS SHOWN	Full clump/ 10-15 canes min.
BSF	Bambusa glaucescens 'Fernleaf'	Fernleaf Bamboo	15 Gal. Cont.	8" O.A.	AS SHOWN	Full clump/ 10-15 canes min.
PNB	Phyllostachys nigra	Black Bamboo	30 Gal. Cont.	12" O.A.	AS SHOWN	Full clump/ 5-7 canes min.
PNH	Phyllostachys nigra 'Henonis'	Hwron Bamboo	45 Gal. Cont.	18" O.A.	AS SHOWN	Full clump/ 5-7 canes min.

KEY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING	REMARKS
CC	Cycas circinalis	Queen Sago	7 Gal. Cont.	3' O.A.	48" O.C.	Full / 10 fronds min.
DE	Dioon edule	Virgins Palm(Chamal)	7 Gal. Cont.	30" O.A.	36" O.C.	Full / 18 fronds min.
ZF	Zamia furfuracea	Cardboard Plant	3 Gal. Cont.	24" O.A.	36" O.C.	Full / 9 leaves min.
ZP	Zamia pumila	Coontie	3 Gal. Cont.	18" O.A.	30" O.C.	11 leaves min.

KEY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING	REMARKS
ANN	Annuals (in season)	To be selected by Owner	4" Pot	6"-8" O.A.	8" O.C.	Full / Blooming / Min 6" soil prep all beds-see specifications
ASP	Asparagus Fern	Asparagus densiflorus 'Sprenger'	1 Gal. Cont.	8" O.A.	8" O.C.	Full
CRR	Catharanthus rosea 'Rosa Carpet'	Madagascar Periwinkle	4" Pot	6" O.A.	12" O.C.	Full / Blooming
CV	Codiaeum variegatum	Croton	3 Gal. Cont.	20" O.A.	24" O.C.	Full / Blooming
CHY	Cuphea hyssopifolia	Mexican Heather	1 Gal. Cont.	12" O.A.	18" O.C.	Full / Blooming
EPV	Euryops pectinatus 'Virdis'	Golden Bush Daisy	1 Gal. Cont.	12" O.A.	18" O.C.	Full / Blooming
EG	Evolvulus glomerata	Blue Daze	1 Gal. Cont.	14" O.A.	18" O.C.	Full / Blooming



**PLANT LEGEND**

- ORNAMENTAL TREES**
-  SHADE TREE (MIN. 4" CALIPER)
  -  FLOWERING / ORNAMENTAL TREE (MIN. 12' HEIGHT)
  -  EVERGREEN TREE (MIN. 12' HEIGHT)
  -  EXISTING TREE TO REMAIN
  -  SABLE PALM (HEIGHT VARY)

- PALM TREES**
-  DATE PALM (MEDJOO) (C.T. HEIGHT VARY)
  -  DATE PALM (SYLVESTRIS) (C.T. HEIGHT VARY)
  -  SABLE PALM (HEIGHT VARY)

- SHRUB AND GROUNDCOVER SYMBOLS**
-  SHRUB & GROUNDCOVER
  -  TURF

**SHRUB & GROUNDCOVER SYMBOLS**

-  SHRUB & GROUNDCOVER
-  TURF

**Scale:** 1"=20'-0"

**North Arrow:** NORTH

**Scale Bar:** 0 10' 20' 40' 60'



**FLORIDA HOSPITAL - WINTER GARDEN  
~ PHASE A ~  
WINTER GARDEN, FLORIDA**

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Sheet Title:  
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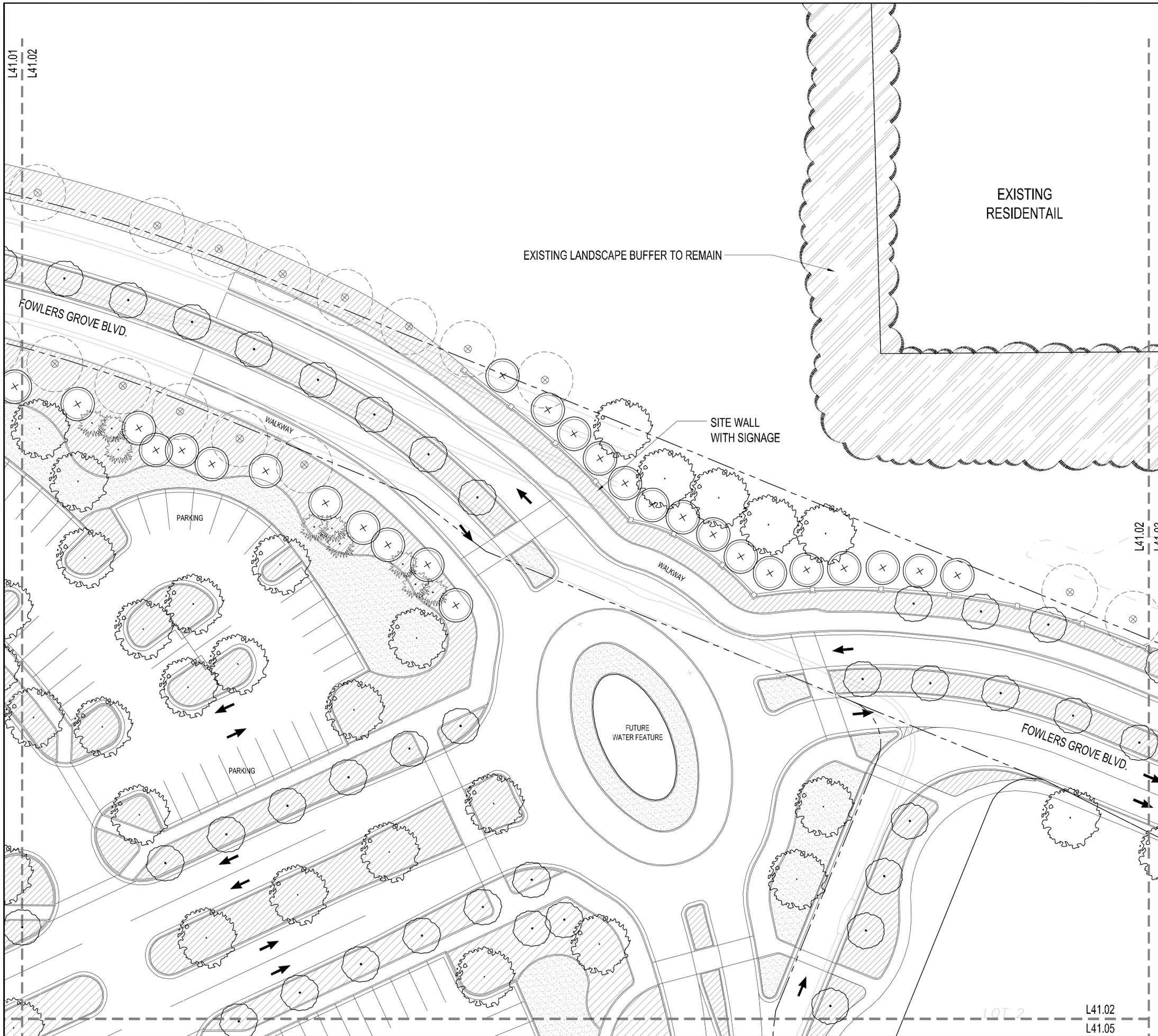
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Approved By:	EML	Project No:	2.13115

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L41.01  
L41.04

L41.01  
L41.02

L41.01  
L41.02



**PLANT LEGEND**

**ORNAMENTAL TREES**

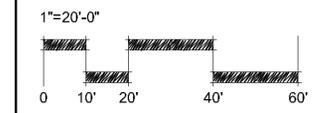
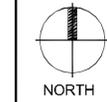
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-  FLOWERING / ORNAMENTAL TREE (MIN. 12' HEIGHT)
-  EVERGREEN TREE (MIN. 12' HEIGHT)
-  EXISTING TREE TO REMAIN
-  SABLE PALM (HEIGHT VARY)

**PALM TREES**

-  DATE PALM (MEDJOO) (C.T. HEIGHT VARY)
-  DATE PALM (SYLVESTRIS) (C.T. HEIGHT VARY)
-  SABLE PALM (HEIGHT VARY)

**SHRUB AND GROUNDCOVER SYMBOLS**

-  SHRUB & GROUNDCOVER
-  TURF



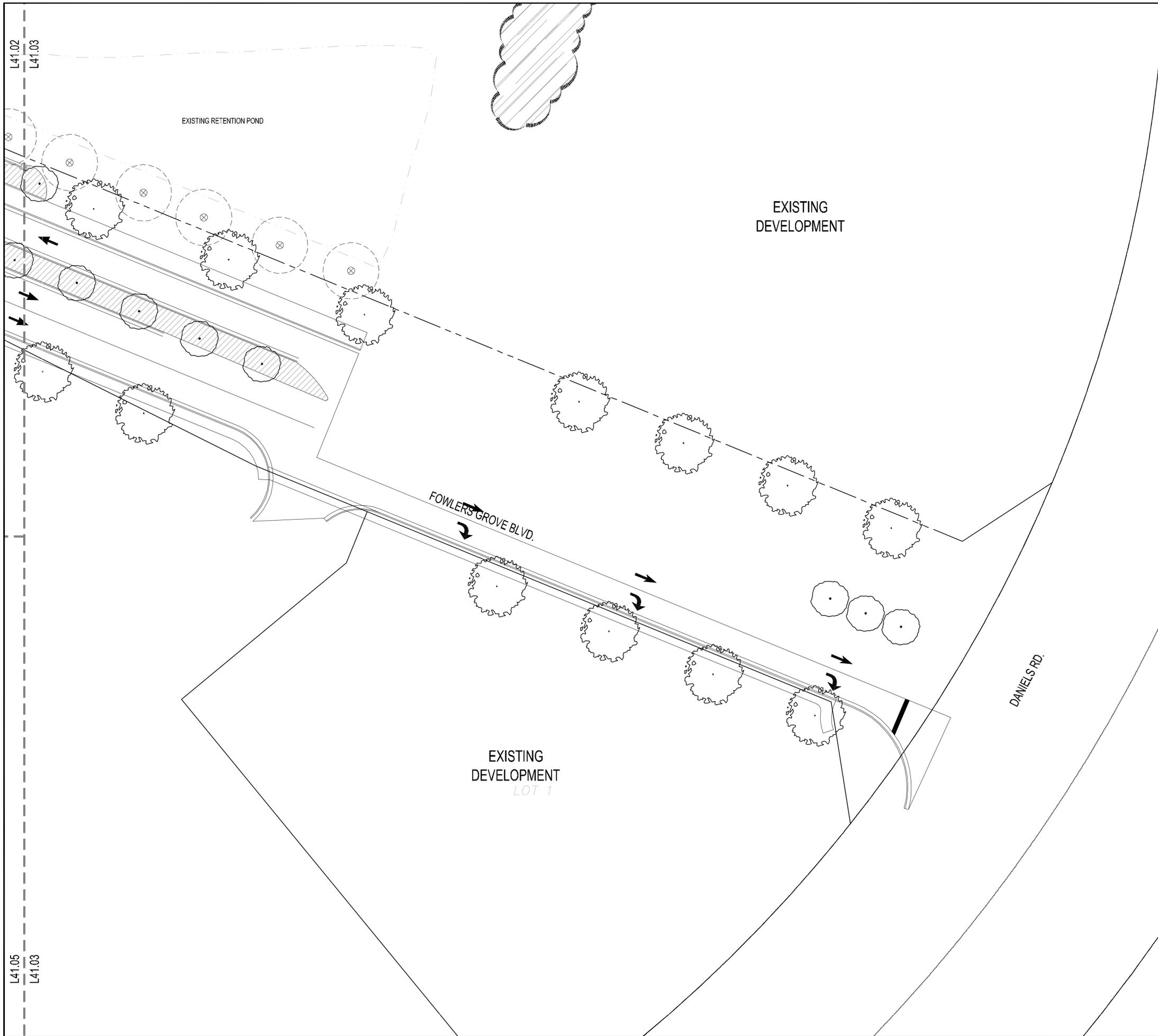
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**~ PHASE A ~**  
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Approved By:	EML	Project No:	2.13115

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**PLANT LEGEND**

**ORNAMENTAL TREES**

-  SHADE TREE (MIN. 4" CALIPER)
-  FLOWERING / ORNAMENTAL TREE (MIN. 12' HEIGHT)
-  EVERGREEN TREE (MIN. 12' HEIGHT)
-  EXISTING TREE TO REMAIN
-  SABLE PALM (HEIGHT VARY)

**PALM TREES**

-  DATE PALM (MEDJOO) (C.T. HEIGHT VARY)
-  DATE PALM (SYLVESTRIS) (C.T. HEIGHT VARY)
-  SABLE PALM (HEIGHT VARY)

**SHRUB AND GROUNDCOVER SYMBOLS**

-  SHRUB & GROUNDCOVER
-  TURF



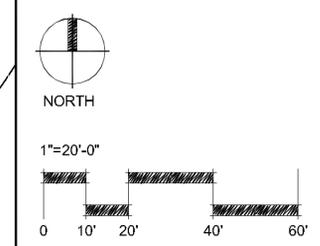
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WINTER GARDEN, FLORIDA**

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L41.01  
L41.04

**PLANT LEGEND**

**ORNAMENTAL TREES**

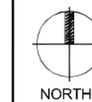
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-  FLOWERING / ORNAMENTAL TREE (MIN. 12' HEIGHT)
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-  EXISTING TREE TO REMAIN
-  SABLE PALM (HEIGHT VARY)

**PALM TREES**

-  DATE PALM (MEDJOO) (C.T. HEIGHT VARY)
-  DATE PALM (SYLVESTRIS) (C.T. HEIGHT VARY)
-  SABLE PALM (HEIGHT VARY)

**SHRUB AND GROUNDCOVER SYMBOLS**

-  SHRUB & GROUNDCOVER
-  TURF



1"=20'-0"



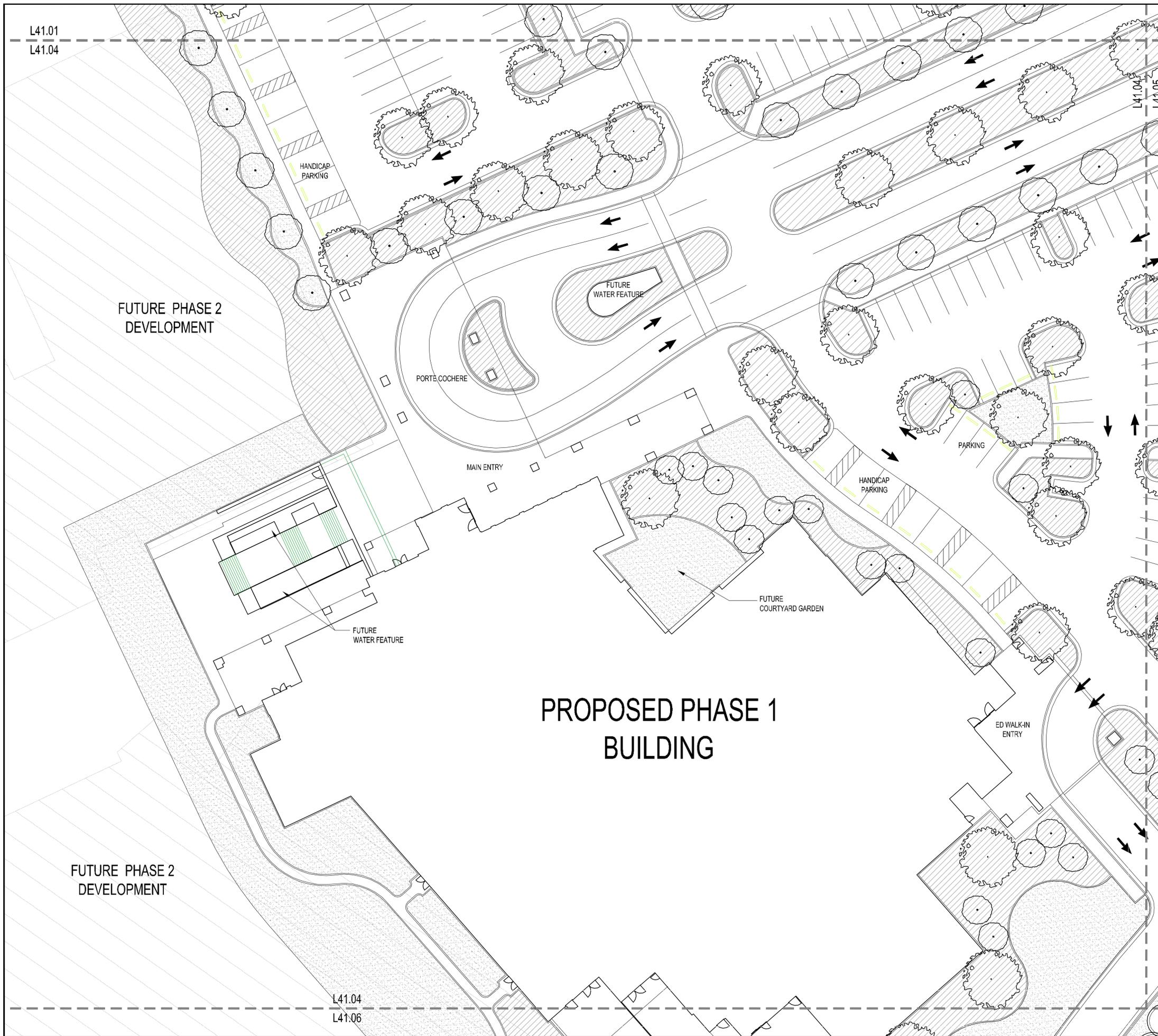
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**PROPOSED PHASE 1  
BUILDING**



**PLANT LEGEND**

**ORNAMENTAL TREES**

- SHADE TREE (MIN. 4" CALIPER)
- FLOWERING / ORNAMENTAL TREE (MIN. 12' HEIGHT)
- EVERGREEN TREE (MIN. 12' HEIGHT)
- EXISTING TREE TO REMAIN
- SABLE PALM (HEIGHT VARY)

**PALM TREES**

- DATE PALM (MEDJOO) (C.T. HEIGHT VARY)
- DATE PALM (SYLVESTRIS) (C.T. HEIGHT VARY)
- SABLE PALM (HEIGHT VARY)

**SHRUB AND GROUNDCOVER SYMBOLS**

- SHRUB & GROUNDCOVER
- TURF

1"=20'-0"

0 10' 20' 40' 60'

NORTH



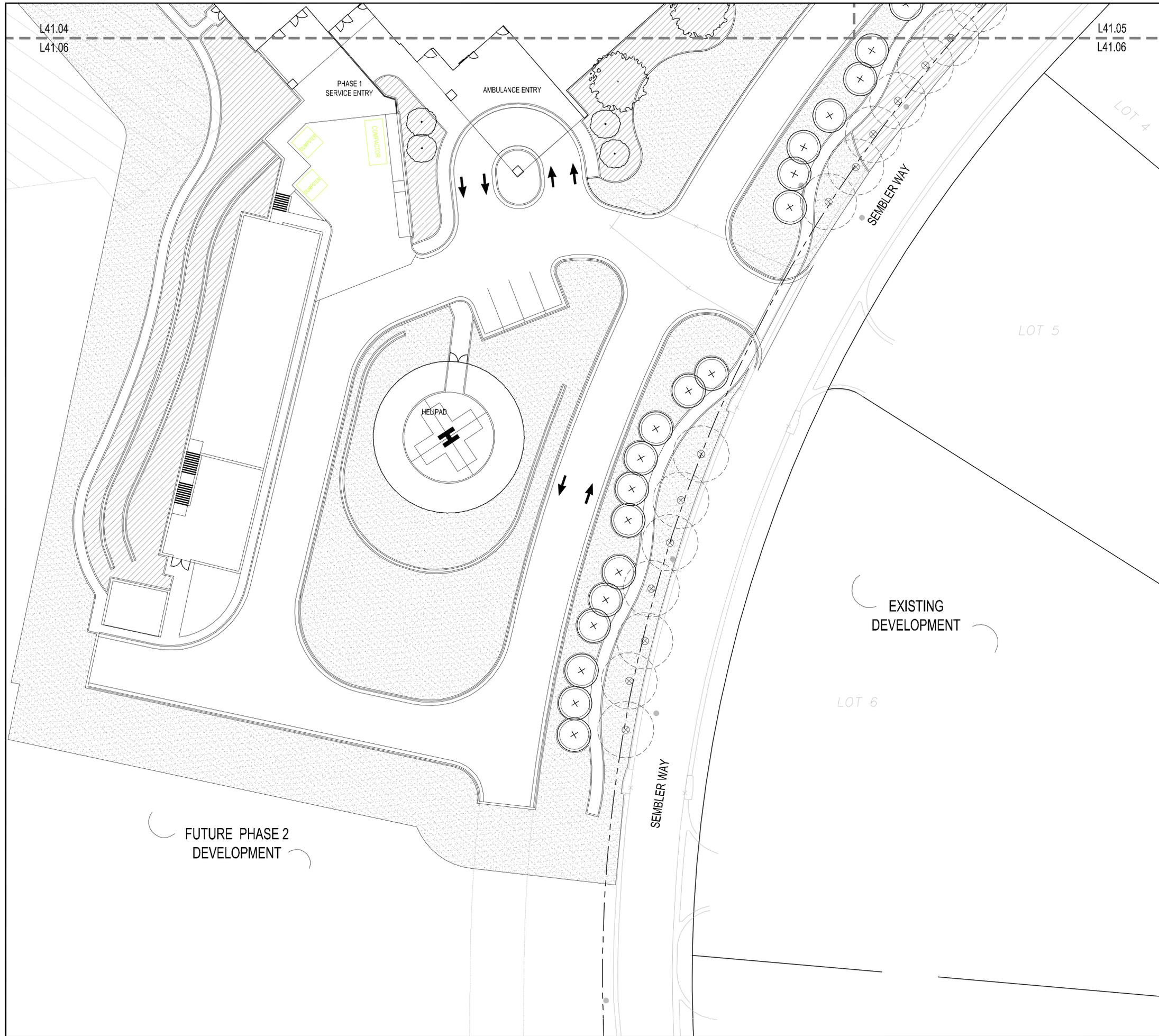
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WINTER GARDEN, FLORIDA**

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Approved By:	EML	Project No:	2.13115

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**L41.05**



**PLANT LEGEND**

**ORNAMENTAL TREES**

-  SHADE TREE (MIN. 4" CALIPER)
-  FLOWERING / ORNAMENTAL TREE (MIN. 12' HEIGHT)
-  EVERGREEN TREE (MIN. 12' HEIGHT)
-  EXISTING TREE TO REMAIN
-  SABLE PALM (HEIGHT VARY)

**PALM TREES**

-  DATE PALM (MEDJOO) (C.T. HEIGHT VARY)
-  DATE PALM (SYLVESTRIS) (C.T. HEIGHT VARY)
-  SABLE PALM (HEIGHT VARY)

**SHRUB AND GROUNDCOVER SYMBOLS**

-  SHRUB & GROUNDCOVER
-  TURF



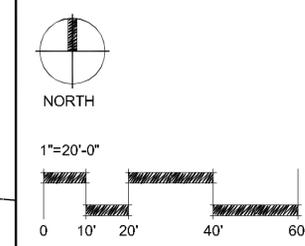
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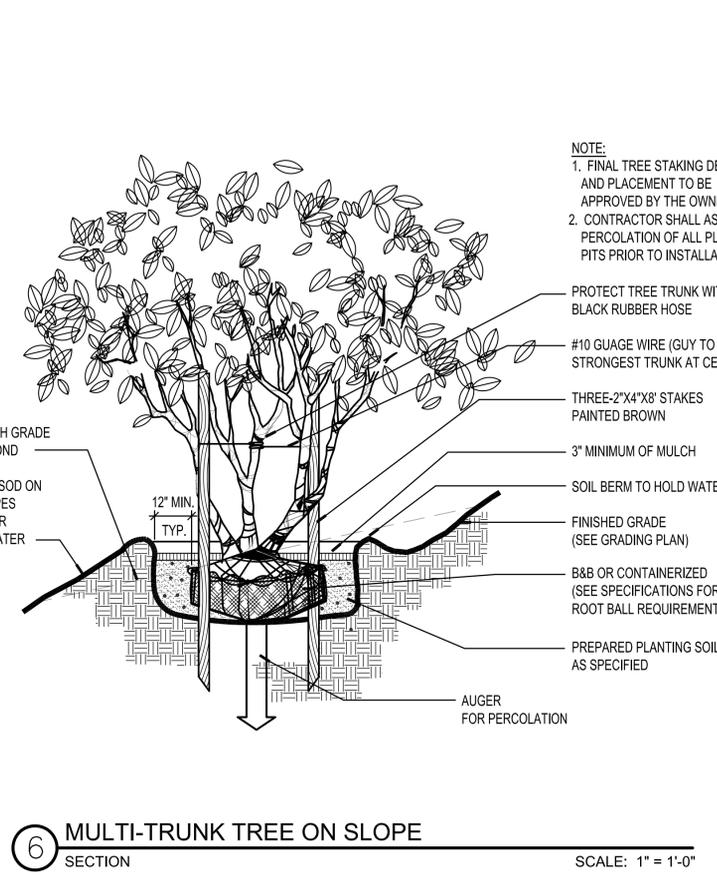
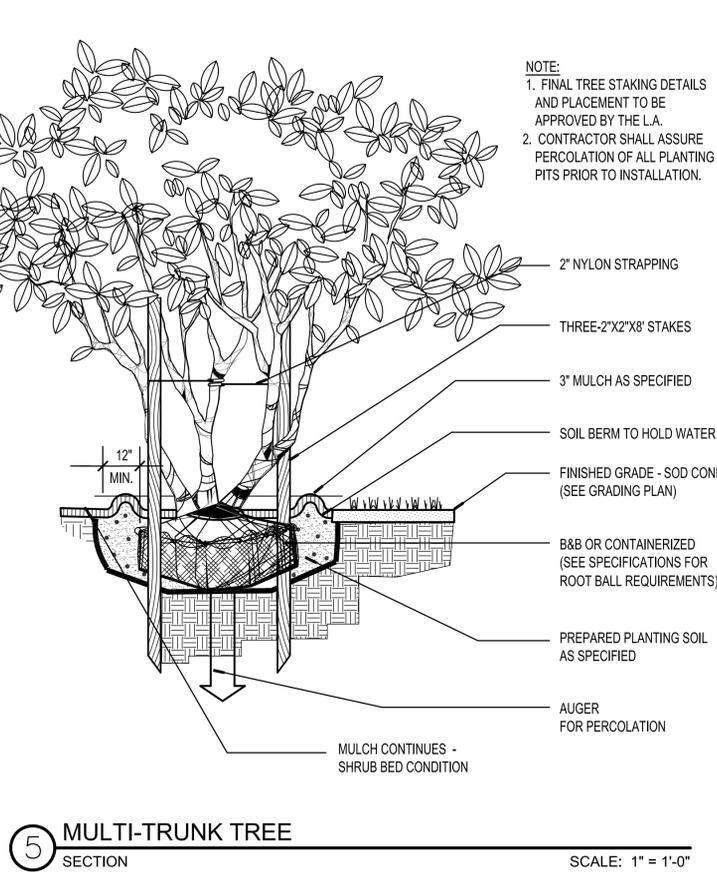
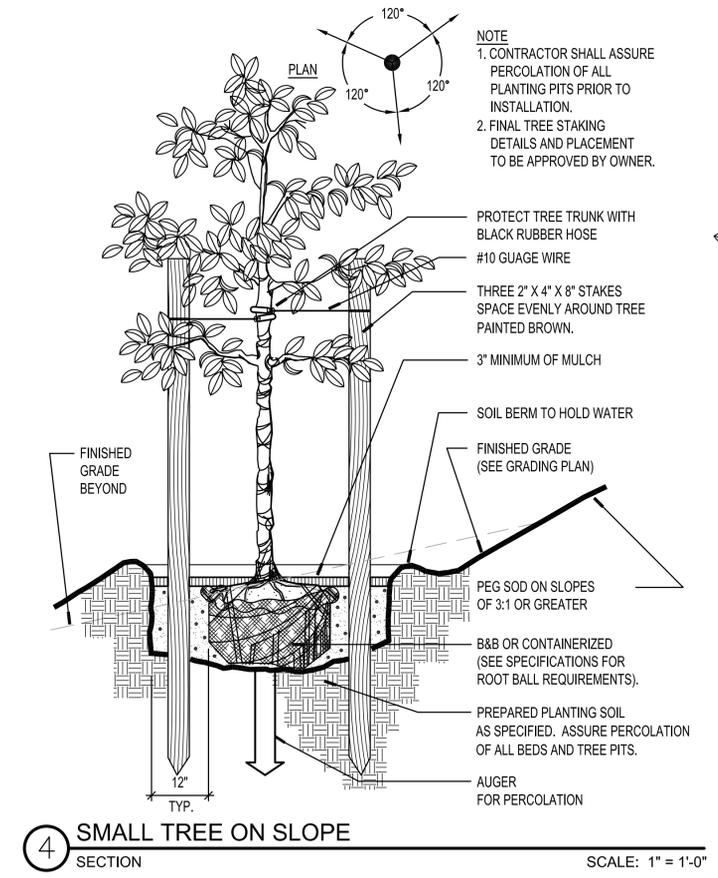
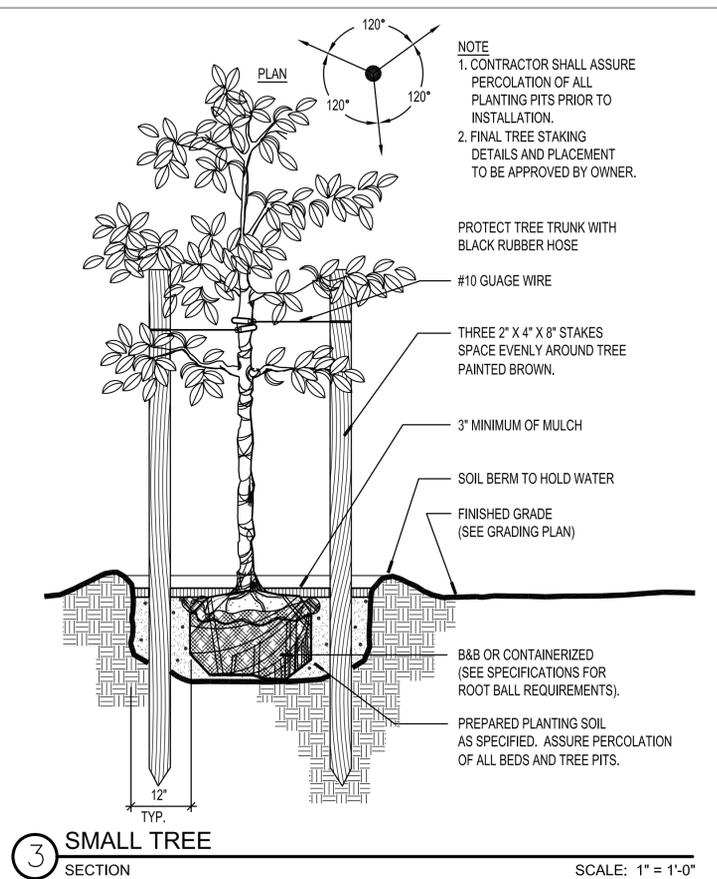
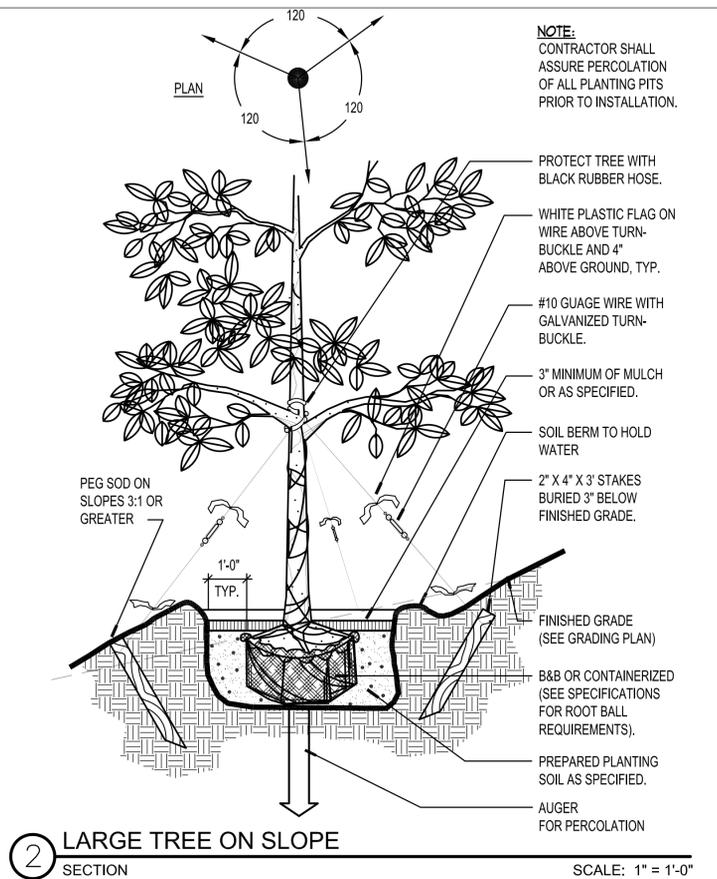
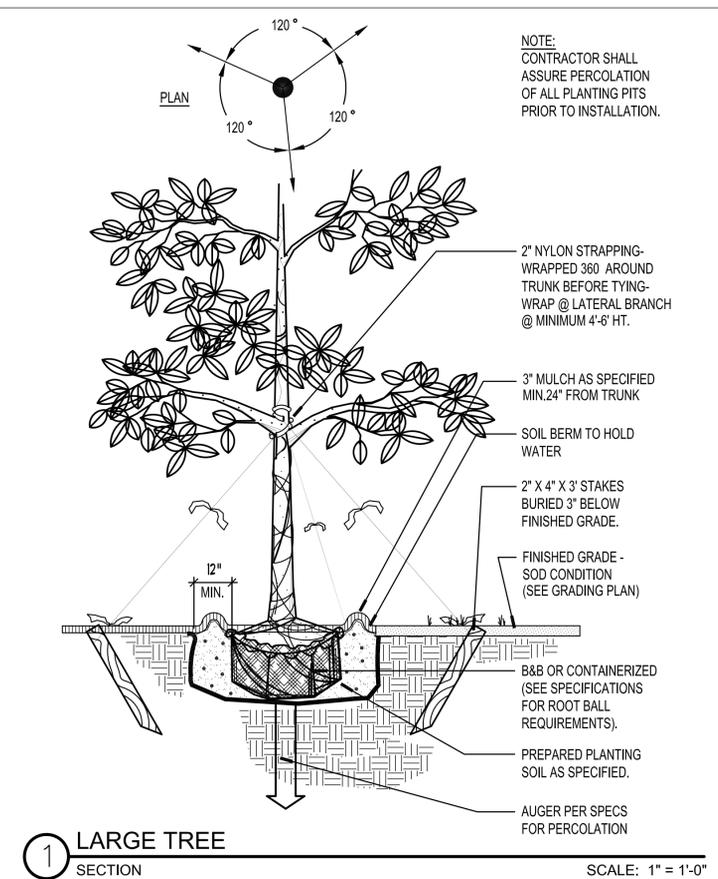
**FLORIDA HOSPITAL - WINTER GARDEN  
 ~ PHASE A ~  
 WINTER GARDEN, FLORIDA**

Rev:	Date:	Description:	By:

Sheet Title:  
**TREE DETAILS**  
 NOT FOR CONSTRUCTION

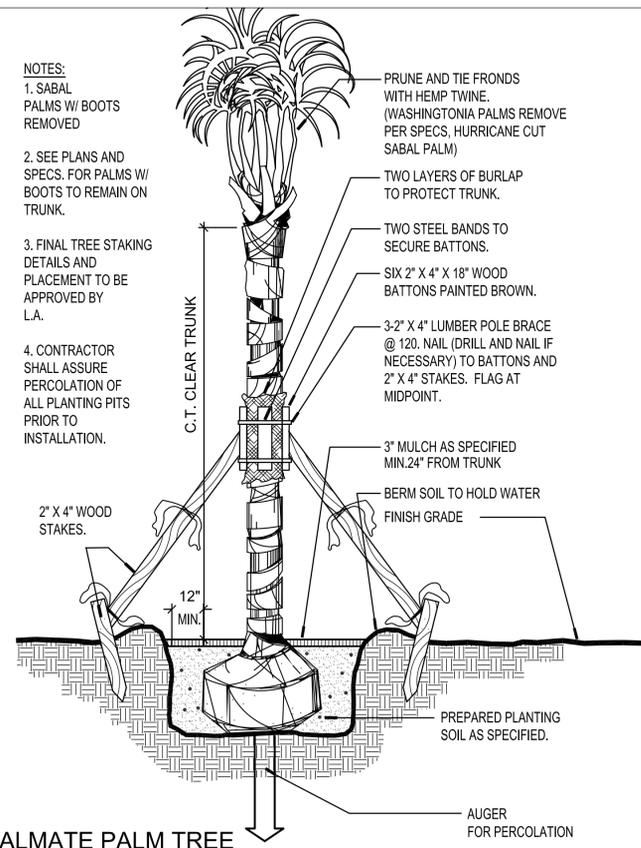
Date:	01/30/14	Scale:	
Drawn By:	JYP	Designed By:	EML, JYP
Approved By:	EML	Project No.:	2.13115

Seal:  
 Sheet Number:  
**L43.01**



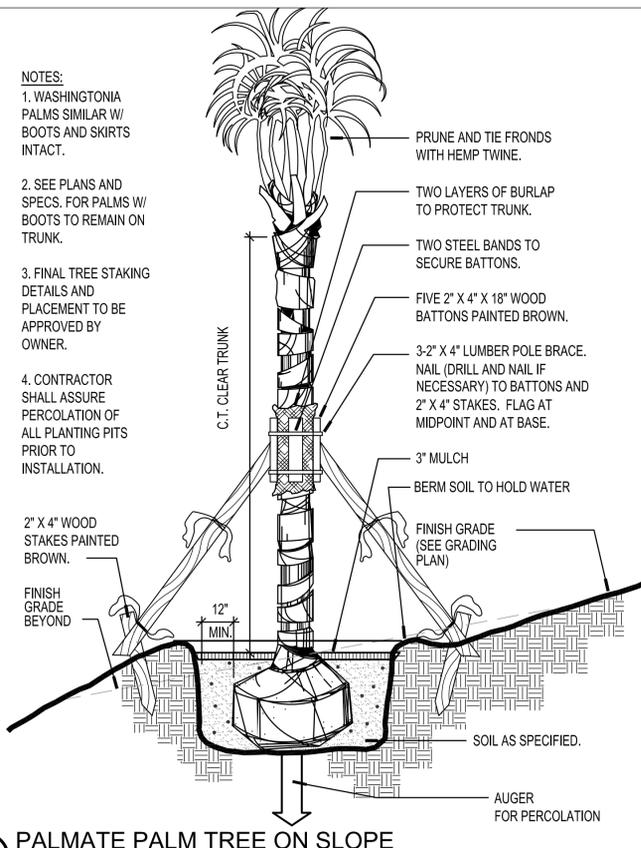
FLORIDA HOSPITAL - WINTER GARDEN  
 ~ PHASE A ~  
 WINTER GARDEN, FLORIDA

- NOTES:  
 1. SABAL PALMS W/ BOOTS REMOVED  
 2. SEE PLANS AND SPECS. FOR PALMS W/ BOOTS TO REMAIN ON TRUNK.  
 3. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY L.A.  
 4. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.



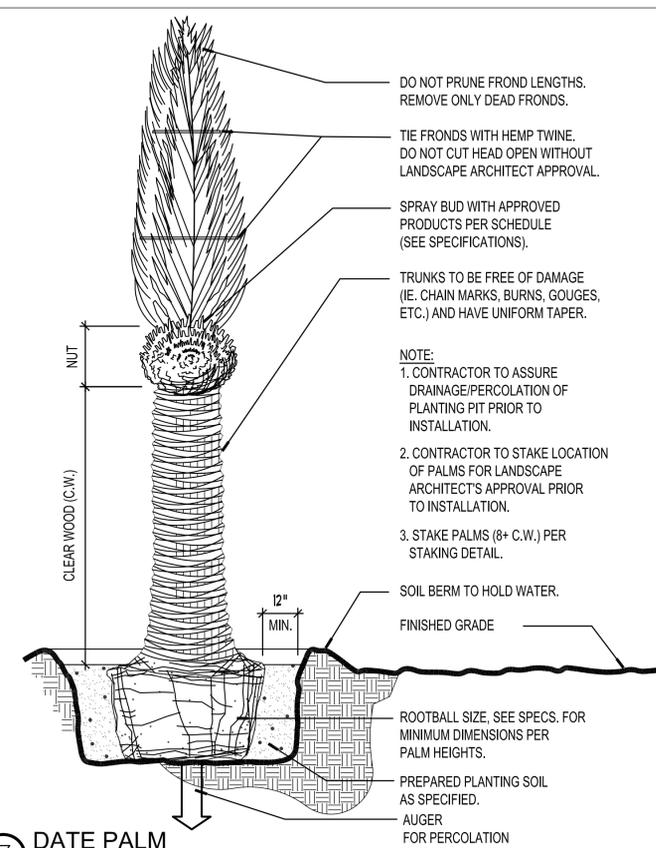
1 PALMATE PALM TREE SECTION SCALE: 1" = 1'-0"

- NOTES:  
 1. WASHINGTONIA PALMS SIMILAR W/ BOOTS AND SKIRTS INTACT.  
 2. SEE PLANS AND SPECS. FOR PALMS W/ BOOTS TO REMAIN ON TRUNK.  
 3. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.  
 4. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.



2 PALMATE PALM TREE ON SLOPE SECTION SCALE: 1" = 1'-0"

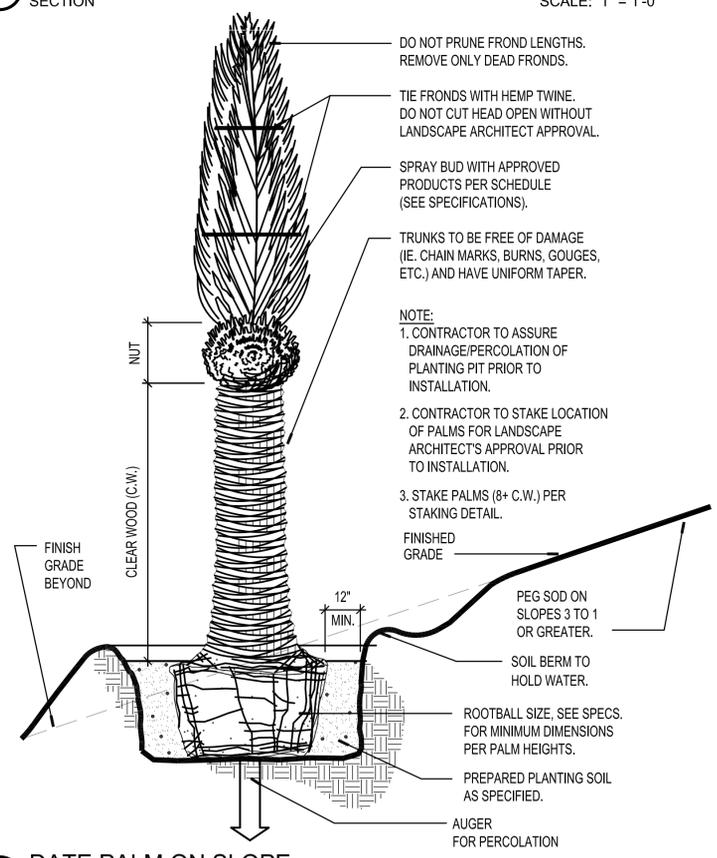
- DO NOT PRUNE FROND LENGTHS. REMOVE ONLY DEAD FRONDS.  
 TIE FRONDS WITH HEMP TWINE. DO NOT CUT HEAD OPEN WITHOUT LANDSCAPE ARCHITECT APPROVAL.  
 SPRAY BUD WITH APPROVED PRODUCTS PER SCHEDULE (SEE SPECIFICATIONS).  
 TRUNKS TO BE FREE OF DAMAGE (IE. CHAIN MARKS, BURNS, GOUGES, ETC.) AND HAVE UNIFORM TAPER.



3 DATE PALM SECTION SCALE: 1" = 1'-0"

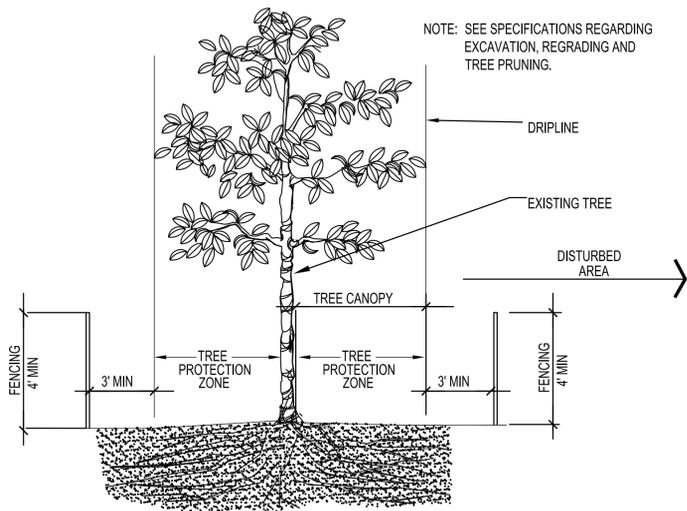
- DO NOT PRUNE FROND LENGTHS. REMOVE ONLY DEAD FRONDS.  
 TIE FRONDS WITH HEMP TWINE. DO NOT CUT HEAD OPEN WITHOUT LANDSCAPE ARCHITECT APPROVAL.  
 SPRAY BUD WITH APPROVED PRODUCTS PER SCHEDULE (SEE SPECIFICATIONS).  
 TRUNKS TO BE FREE OF DAMAGE (IE. CHAIN MARKS, BURNS, GOUGES, ETC.) AND HAVE UNIFORM TAPER.

NOTE:  
 1. CONTRACTOR TO ASSURE DRAINAGE/PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.  
 2. CONTRACTOR TO STAKE LOCATION OF PALMS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.  
 3. STAKE PALMS (8+ C.W.) PER STAKING DETAIL.



4 DATE PALM ON SLOPE SECTION SCALE: 1" = 1'-0"

NOTE: SEE SPECIFICATIONS REGARDING EXCAVATION, REGRADING AND TREE PRUNING.



5 EXISTING TREE PROTECTION SECTION SCALE: 1/4" = 1'-0"

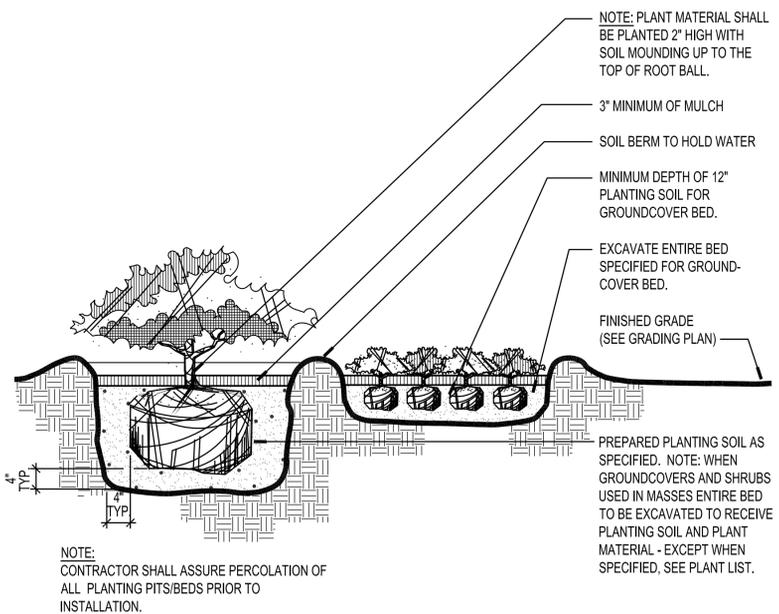
Rev.	Date:	Description:	By:

Sheet Title:  
**TREE DETAILS**  
 NOT FOR CONSTRUCTION

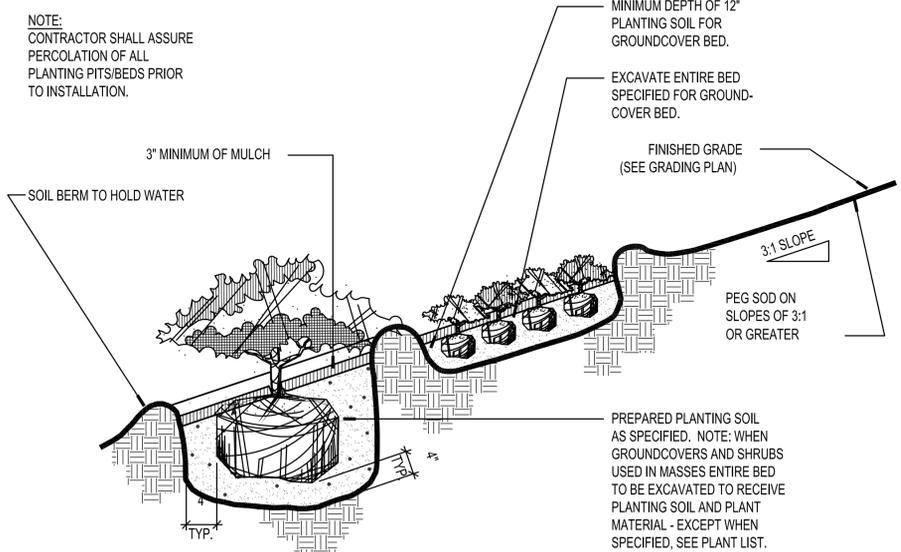
Date:	01/30/14	Scale:	
Drawn By:	JYP	Designed By:	EML, JYP
Approved By:	EML	Project No.:	2.13115

Seal:  
 Sheet Number:  
**L43.02**

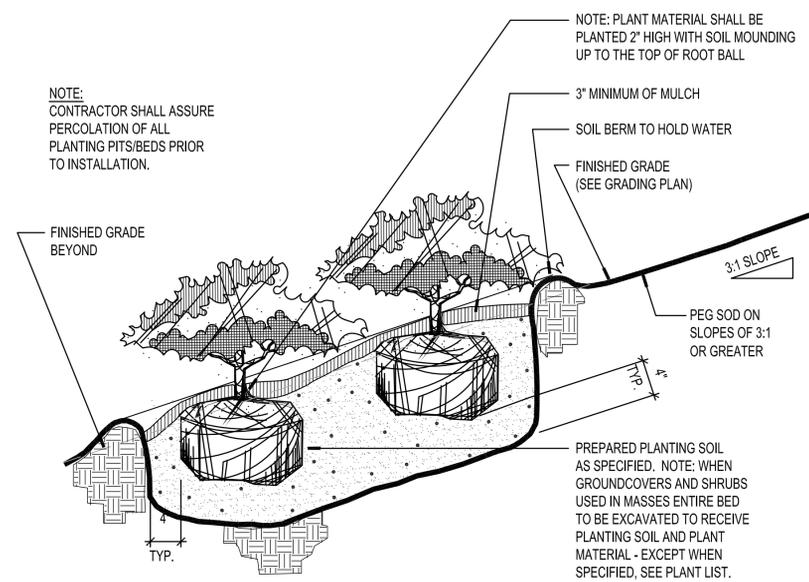
**FLORIDA HOSPITAL - WINTER GARDEN  
 ~ PHASE A ~  
 WINTER GARDEN, FLORIDA**



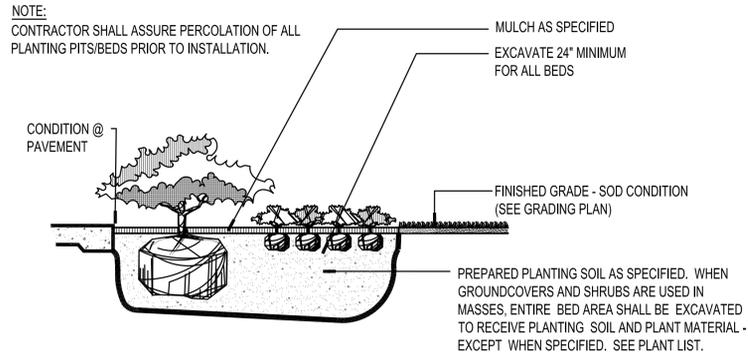
**1** SHRUB AND GROUNDCOVER  
 SECTION SCALE: 1" = 1'-0"



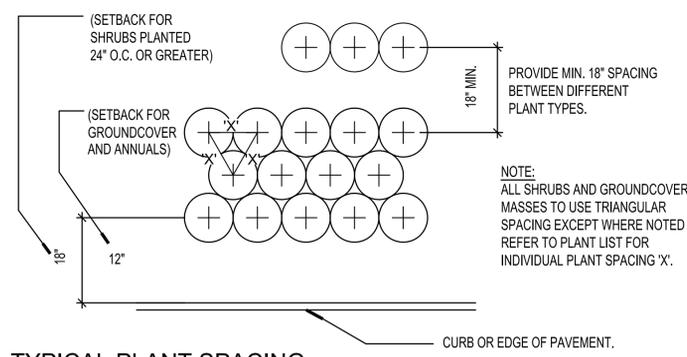
**2** SHRUB AND GROUNDCOVER ON SLOPE  
 SECTION SCALE: 1" = 1'-0"



**3** SHRUBS ON SLOPE  
 SECTION SCALE: 1" = 1'-0"



**4** SHRUB AND GROUNDCOVER  
 SECTION SCALE: 1" = 1'-0"



**4** TYPICAL PLANT SPACING  
 SECTION SCALE: 1" = 1'-0"

Rev.	Date:	Description:	By:

Sheet Title:  
**SHRUB AND GROUNDCOVER DETAILS**  
 NOT FOR CONSTRUCTION

Date:	01/30/14	Scale:	
Drawn By:	JYP	Designed By:	EML, JYP
Approved By:	EML	Project No.:	2.13115

Seal:   
 Sheet Number:  
**L53.01**



**ENGINEERING  
FOR ARCHITECTURE**  
255 S. Orange Avenue  
Suite 1600  
Orlando, Florida 32801  
PH: 407.841.9050  
www.tlc-engineers.com  
COA #15  
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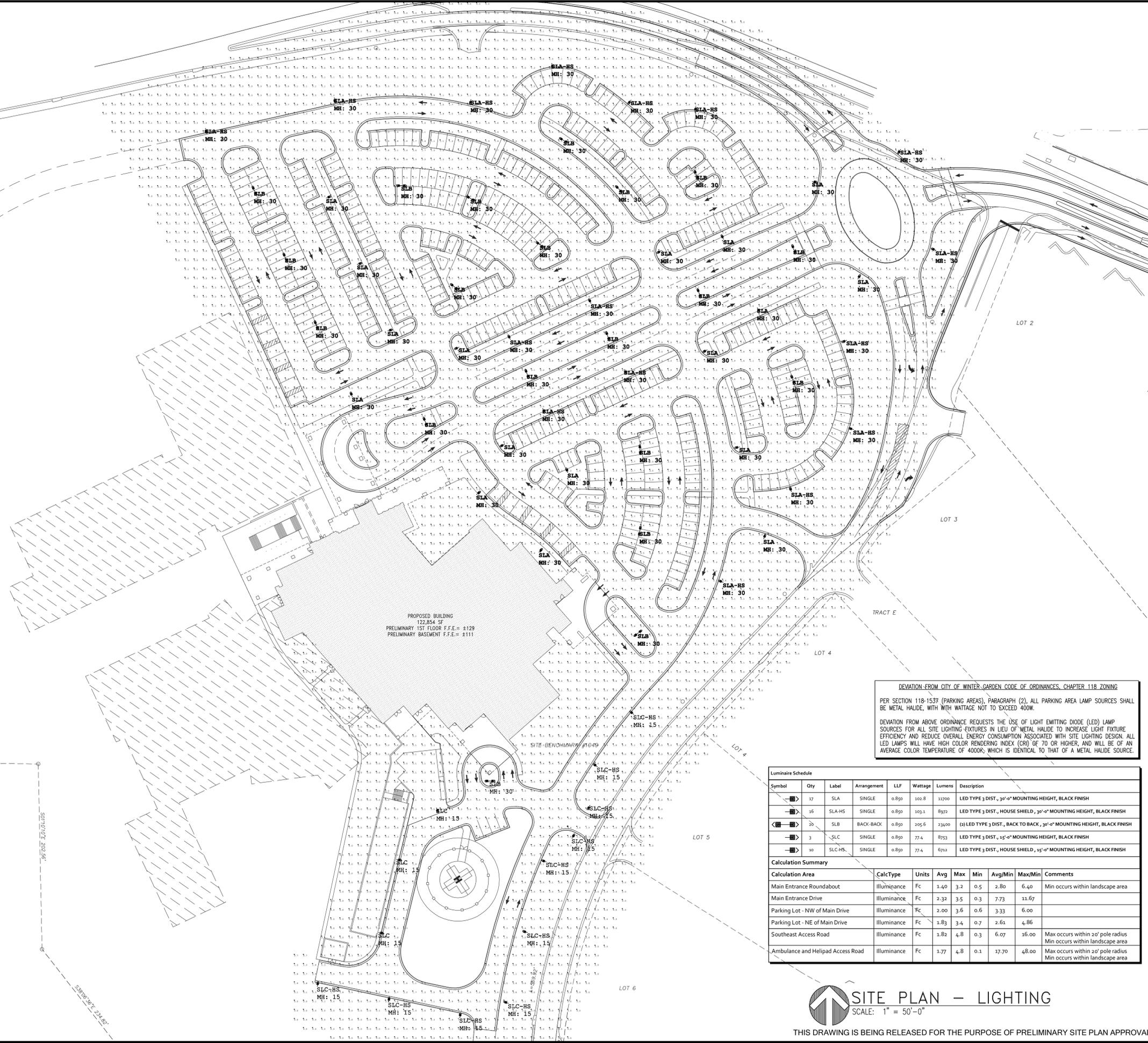


Florida Hospital Winter Garden  
DRC Site Plan Submission  
Winter Garden, Florida

C.R. 595  
WINTER GARDEN - VINELAND ROAD

L:\2013-Jobs\113530-FHWG ED - Phase I\CAD-DRC-MEP\Sheets E1.00.dwg 1/24/2014 7:19:51 AM chris.mouer

C.R. 595  
WINTER GARDEN - VINELAND ROAD



DEVIATION FROM CITY OF WINTER GARDEN CODE OF ORDINANCES, CHAPTER 118 ZONING  
PER SECTION 118-15.37 (PARKING AREAS), PARAGRAPH (2), ALL PARKING AREA LAMP SOURCES SHALL BE METAL HALIDE, WITH WATTAGE NOT TO EXCEED 400W.  
DEVIATION FROM ABOVE ORDINANCE REQUESTS THE USE OF LIGHT EMITTING DIODE (LED) LAMP SOURCES FOR ALL SITE LIGHTING FIXTURES IN LIEU OF METAL HALIDE TO INCREASE LIGHT FIXTURE EFFICIENCY AND REDUCE OVERALL ENERGY CONSUMPTION ASSOCIATED WITH SITE LIGHTING DESIGN. ALL LED LAMPS WILL HAVE HIGH COLOR RENDERING INDEX (CRI) OF 70 OR HIGHER, AND WILL BE OF AN AVERAGE COLOR TEMPERATURE OF 4000K, WHICH IS IDENTICAL TO THAT OF A METAL HALIDE SOURCE.

Symbol	Qty	Label	Arrangement	LLF	Wattage	Lumens	Description
▶	17	SLA	SINGLE	0.850	102.8	11700	LED TYPE 3 DIST., 30'-0" MOUNTING HEIGHT, BLACK FINISH
▶	16	SLA-HS	SINGLE	0.850	103.1	8972	LED TYPE 3 DIST., HOUSE SHIELD, 30'-0" MOUNTING HEIGHT, BLACK FINISH
◀▶	20	SLB	BACK-BACK	0.850	205.6	23400	(2) LED TYPE 3 DIST., BACK TO BACK, 30'-0" MOUNTING HEIGHT, BLACK FINISH
▶	3	SLC	SINGLE	0.850	77.4	8753	LED TYPE 3 DIST., 15'-0" MOUNTING HEIGHT, BLACK FINISH
▶	10	SLC-HS	SINGLE	0.850	77.4	6712	LED TYPE 3 DIST., HOUSE SHIELD, 15'-0" MOUNTING HEIGHT, BLACK FINISH

Calculation Summary								
Calculation Area	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Comments
Main Entrance Roundabout	Illuminance	Fc	1.40	3.2	0.5	2.80	6.40	Min occurs within landscape area
Main Entrance Drive	Illuminance	Fc	2.32	3.5	0.3	7.73	11.67	
Parking Lot - NW of Main Drive	Illuminance	Fc	2.00	3.6	0.6	3.33	6.00	
Parking Lot - NE of Main Drive	Illuminance	Fc	1.83	3.4	0.7	2.61	4.86	
Southeast Access Road	Illuminance	Fc	1.82	4.8	0.3	6.07	16.00	Max occurs within 20' pole radius Min occurs within landscape area
Ambulance and Helipad Access Road	Illuminance	Fc	1.77	4.8	0.1	17.70	48.00	Max occurs within 20' pole radius Min occurs within landscape area

Revisions:		
No.	Date	Description

Seal Christopher L. Mouer, P.E.  
Florida License #68438

Project No.: 113530  
Issue Date: 1/24/2014

Drawn By: CLM  
Approved By: CLM  
Scale: AS NOTED

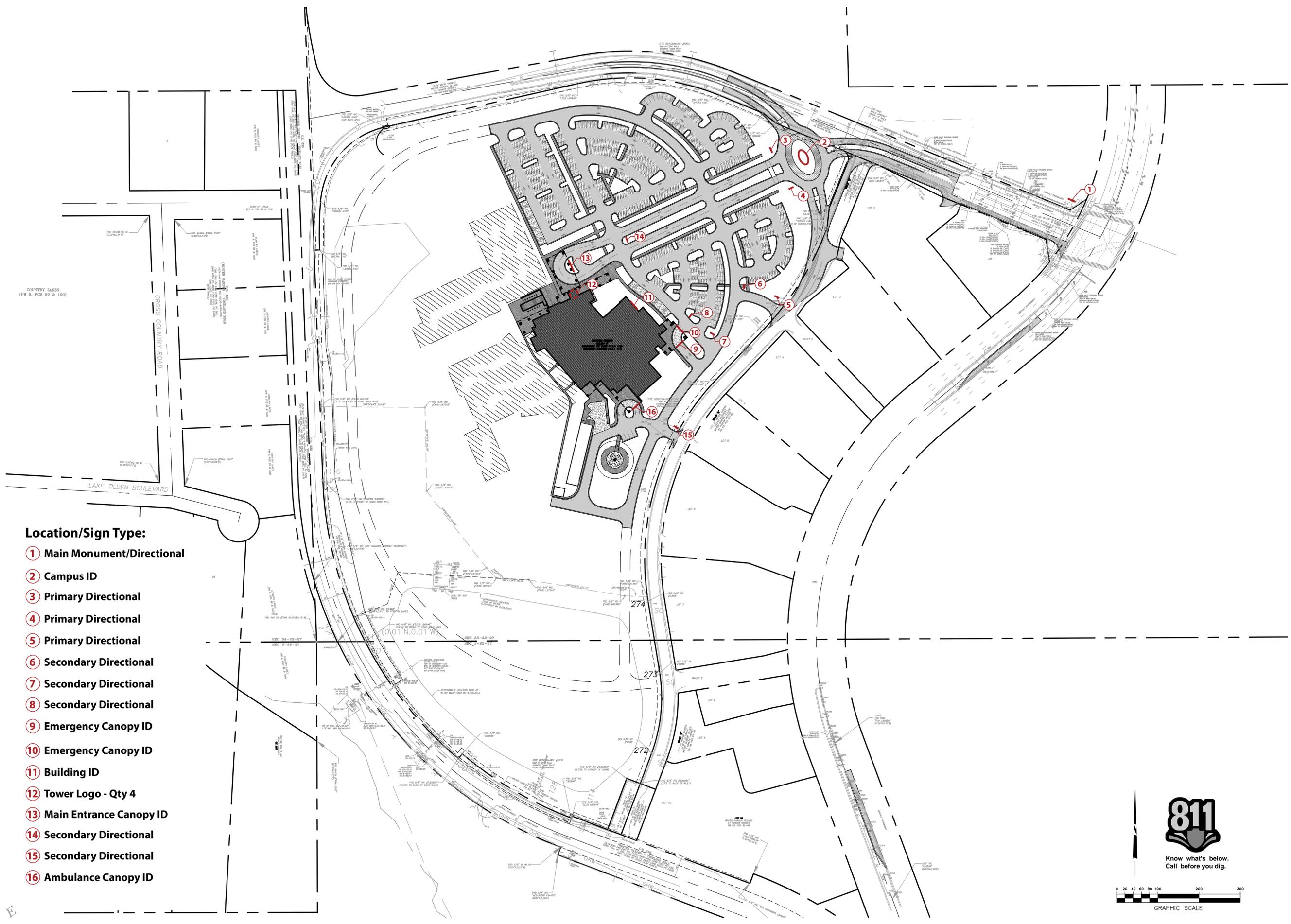
Drawing Title: SITE PLAN - LIGHTING

Drawing No.: E1.00

**SITE PLAN - LIGHTING**  
SCALE: 1" = 50'-0"

THIS DRAWING IS BEING RELEASED FOR THE PURPOSE OF PRELIMINARY SITE PLAN APPROVAL

G:\Projects\2013\20130603.dwg (Construction) 20130603\_C5-0\_LAY.dwg -CS-X Duke Drawing Jan 22, 2014 - 8:28pm ghuddleston



**Location/Sign Type:**

- ① Main Monument/Directional
- ② Campus ID
- ③ Primary Directional
- ④ Primary Directional
- ⑤ Primary Directional
- ⑥ Secondary Directional
- ⑦ Secondary Directional
- ⑧ Secondary Directional
- ⑨ Emergency Canopy ID
- ⑩ Emergency Canopy ID
- ⑪ Building ID
- ⑫ Tower Logo - Qty 4
- ⑬ Main Entrance Canopy ID
- ⑭ Secondary Directional
- ⑮ Secondary Directional
- ⑯ Ambulance Canopy ID

**811**  
Know what's below.  
Call before you dig.

GRAPHIC SCALE



DATE	REVISIONS
1/17/14	DRC RESUBMITTAL
1/10/14	20130603



**PRELIMINARY  
 NOT FOR CONSTRUCTION**

**FLORIDA HOSPITAL  
 WINTER GARDEN PHASE 1**

FOWLER GROVES BOULEVARD, WINTER GARDEN, FL

**Revisions**

No.	Date	Description

Issue Description	
Issue Date	01.17.14
Project No	13045.00
Drawn By	CLM
Checked By	Checker

Drawing Title

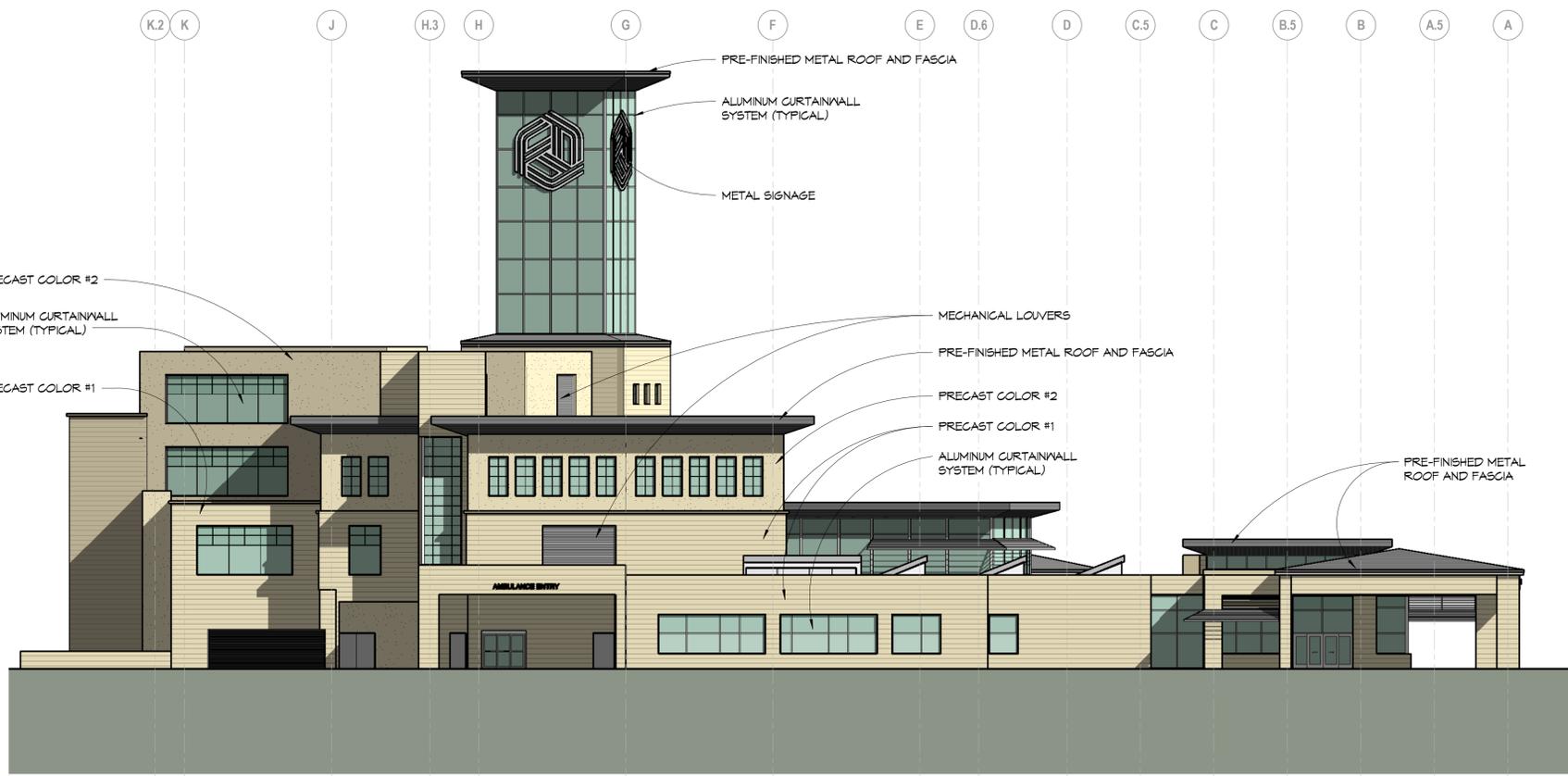
**PRELIMINARY  
 EXTERIOR  
 ELEVATIONS**

Sheet Number

**A2.10**



**1 NORTH ELEVATION**  
 SCALE: 1/16" = 1'-0"



**2 EAST ELEVATION**  
 SCALE: 1/16" = 1'-0"



**PRELIMINARY  
 NOT FOR CONSTRUCTION**

**FLORIDA HOSPITAL  
 WINTER GARDEN PHASE 1**

FOWLER GROVES BOULEVARD, WINTER GARDEN, FL

Revisions  $\Delta$

No.	Date	Description

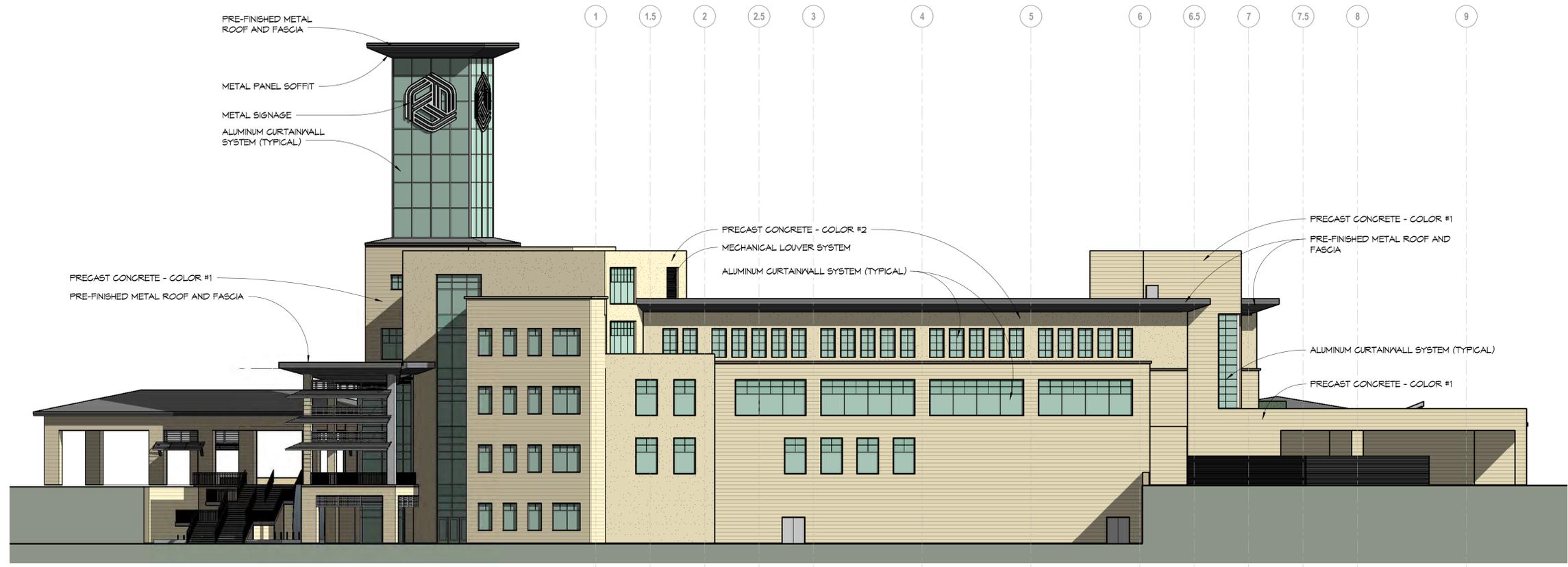
Issue Description	
Issue Date	01.17.14
Project No	13045.00
Drawn By	CLM
Checked By	
Checker	

Drawing Title

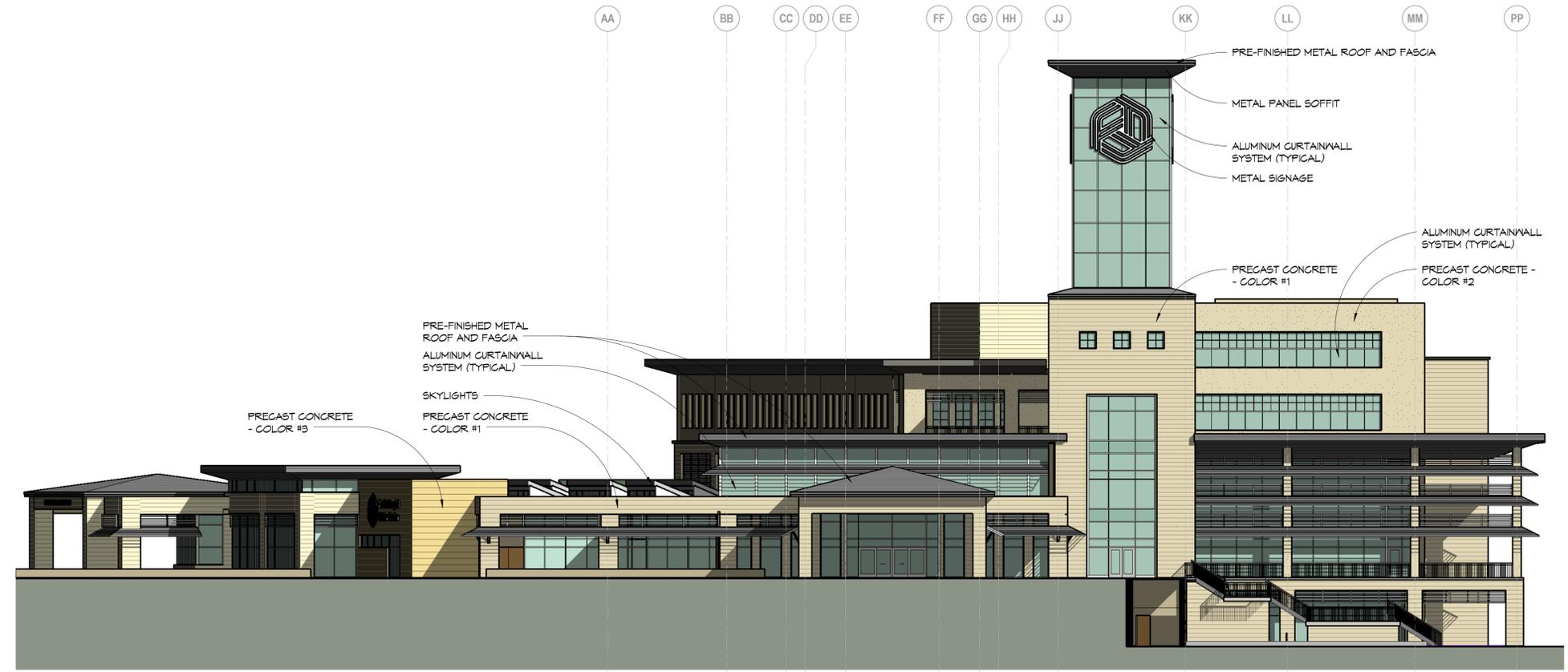
**PRELIMINARY  
 EXTERIOR  
 ELEVATIONS**

Sheet Number

**A2.11**



**1 SOUTH ELEVATION**  
 SCALE: 1/16" = 1'-0"



**2 WEST ELEVATION**  
 SCALE: 1/16" = 1'-0"

**THE CITY OF WINTER GARDEN**  
**PLANNING AND ZONING BOARD AGENDA ITEM**

**ITEM # 11 (Public Hearing)**

**DATE:** January 29, 2014 **MEETING DATE:** February 3, 2014

**SUBJECT:** 4020 Winter Garden Vineland Road  
(APPEAL OF ADMINISTRATIVE INTERPRETATION)  
**PROJECT NAME** Shoppes at Lake Butler  
**PARCEL ID#** 11-23-27-0000-00-026

**ISSUE:** The applicant is appealing the Administrative Interpretation that the property located at 4020 Winter Garden Vineland Road, commonly known as the Shoppes at Lake Butler, is approved for development of a single use outparcel.

**SUPPLEMENTAL MATERIAL/ANALYSIS:**

**OWNER/APPLICANT:** Shoppes at Lake Butler, LLC

**CURRENT ZONING:** C-2

**PROPOSED ZONING:** N/A

**CURRENT FLU:** Commercial

**PROPOSED FLU:** N/A

**SUMMARY:**

Applicant is requesting the Planning and Zoning Board overturn the Administrative Interpretation made by the Community Development Director and allow the property to be developed in any manner that the property owner sees fit so long as such development is consistent with the City's Code. Based on the Administrative Interpretation, the site plan proposed is not compliant with the prior site approvals because it contains multiple outparcels with single tenant and multi-tenant buildings.

**STAFF RECOMMENDATION(S):**

Staff recommends the Community Development Director's administrative interpretation be upheld and that the proposed site plan be resubmitted as a single use outparcel for DRC Review.

**NEXT STEP(S):**

N/A

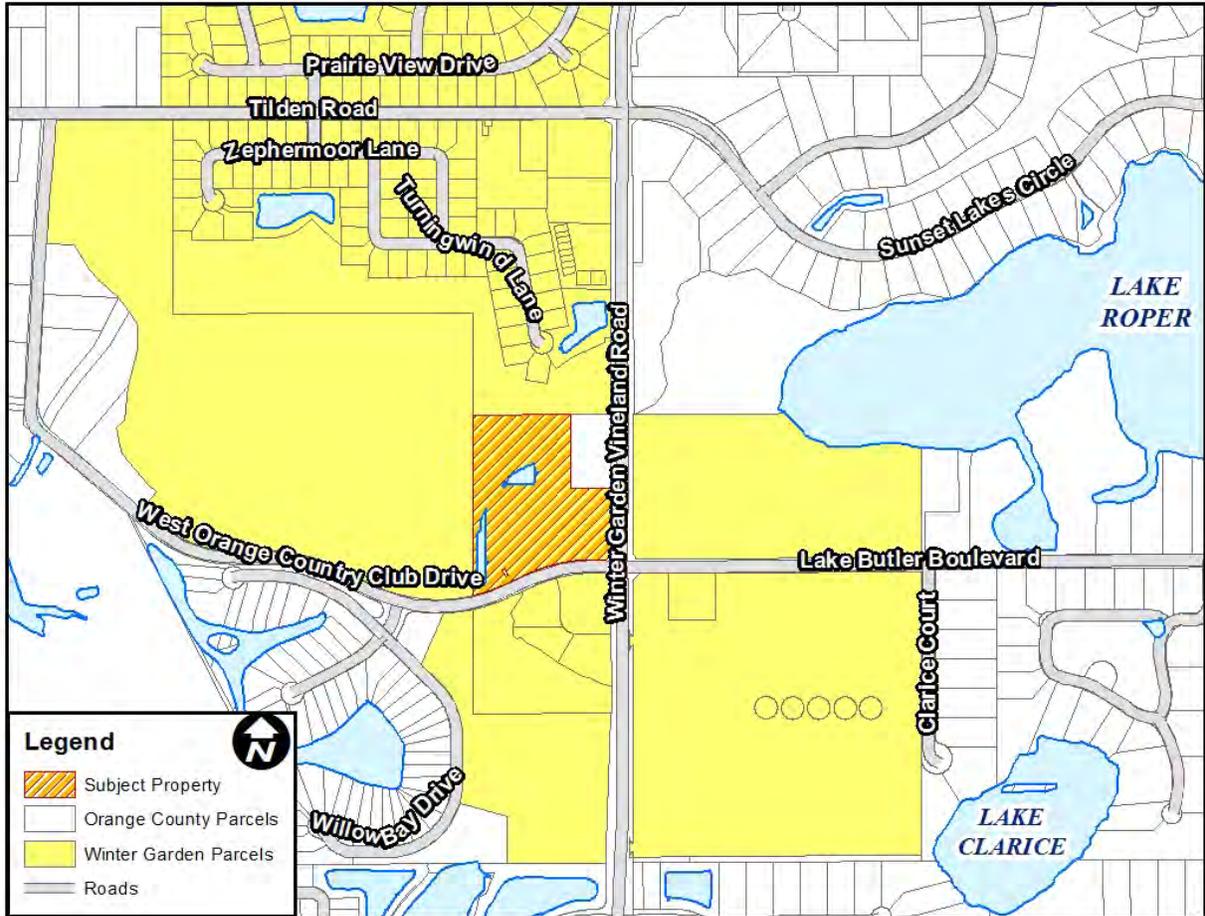
**ATTACHMENT(S):**

Location Map  
Application for Site Plan  
Appeal Letter  
Shoppes at Lake Butler Developer's Agreement  
Proposed Site Plan

# LOCATION MAP

4020 Winter Garden Vineland Road

SHOPPES AT LAKE BUTLER





**APPLICATION FOR SITE PLAN APPROVAL**

**SUBMITTAL REQUIREMENTS**

*PLEASE BRING ALL OF THE FOLLOWING ITEMS THAT APPLY WHEN SUBMITTING YOUR APPLICATION*

APPLICATION	INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED.	<input type="checkbox"/>
CD	<b>A CD COPY OF ALL APPLICATION DOCUMENTS AND SUBMITTAL DOCUMENTS IN PDF FORMAT</b>	<input type="checkbox"/>
SITE PLAN	<ul style="list-style-type: none"> <li>• 5 COPIES (IF LARGER THAN 11" X 17" <b>FOLDED NOT ROLLED</b>)</li> <li>• MAJOR AND MULTI-FAMILY SUBMITTALS MUST COMPLETE AND SUBMIT THE ATTACHED SUFFICIENCY CHECKLIST FOR SITE PLAN SUBMITTAL.</li> <li>• SITE PLANS REQUIRING A ST. JOHN'S STORMWATER PERMIT MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER.</li> </ul>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
FEE	<p><b>PLAN REVIEW FEES ARE NON-REFUNDABLE :</b></p> <p>CHECK THE APPROPRIATE BOX AND FILL IN BLANKS TO VERIFY FEE CALCULATIONS</p> <p><input type="checkbox"/> DE MINIMIS INDUSTRIAL OR COMMERCIAL SITE PLAN REVIEW (LESS THAN 300 SF OF BUILDING OR 500 SF OF IMPERVIOUS SURFACE)          NO FEE REQUIRED (CONSIDERED AS PART OF THE BUILDING PERMIT FEE)</p> <p><input checked="" type="checkbox"/> MAJOR INDUSTRIAL, COMMERCIAL, OR INSTITUTIONAL SITE PLAN APPROVAL (THE ADDITION OF GREATER THAN 4,000 SF OF BUILDING OR 5,000 SF OF IMPERVIOUS SURFACE).          A FEE OF \$200.00 PLUS \$20.00 PER 1,000 SF OF THE TOTAL OF BOTH BUILDING AREA AND IMPERVIOUS SURFACE SHALL BE COLLECTED AT TIME OF SITE PLAN SUBMITTAL.</p> <p>TOTAL IMPERVIOUS SURFACE (INCLUDES BUILDING AREA): <u>26,892 SF</u></p> <p>BASE FEE \$200.00          \$20.00 X (IMPERVIOUS SURFACE/1,000) \$ <u>537.84</u></p> <p><input type="checkbox"/> MINOR INDUSTRIAL, COMMERCIAL, OR INSTITUTIONAL SITE PLAN APPROVAL (ALL SITE PLANS SMALLER THAN A MAJOR INDUSTRIAL OR COMMERCIAL SITE PLAN REVIEW BUT GREATER THAN A DE MINIMIS INDUSTRIAL OR COMMERCIAL SITE PLAN REVIEW).          A FEE OF \$500.00</p> <p><input type="checkbox"/> MULTI-FAMILY SITE PLAN REVIEW.          A FEE OF \$300.00 PLUS \$10.00 PER UNIT.          TOTAL NUMBER OF UNITS: _____</p> <p>BASE FEE \$300.00          \$10.00 X NUMBER OF UNITS \$ _____</p> <p><input type="checkbox"/> SITE INSPECTION FEE – DUE AT TIME OF THE ISSUANCE OF BUILDING PERMIT.          SEE **ADVISEMENTS**.</p>	<input type="checkbox"/>
SURVEY	TWO SIGNED SEALED SURVEYS (IF LARGER THAN 11" X 17" <b>FOLDED NOT ROLLED</b> )	<input type="checkbox"/>
PARKING	PARKING CALCULATIONS	<input type="checkbox"/>
LEGAL DESCRIPTION	PROVIDE A FULL LEGAL DESCRIPTION.	<input type="checkbox"/>
OWNERSHIP	PROOF OF OWNERSHIP (I.E., A COPY OF THE DEED).	<input type="checkbox"/>
POA - OR - POAA	LIMITED POWER OF ATTORNEY (IF SIGNED BY AN AGENT OF THE OWNER) - OR - COMPLETED PROPERTY OWNER AUTHORIZATION AFFIDAVIT	<input type="checkbox"/>



## **\*\* ADVISEMENTS \*\***

### **SITE INSPECTION FEE:**

IN ADDITION TO THE APPLICATION PLAN REVIEW FEES, AN ADDITIONAL **SITE INSPECTION FEE OF 2.25%** OF THE COST OF CONSTRUCTION OF THE SITE (PARKING AREAS, LIGHTING, LANDSCAPING, STORMWATER RETENTION AREAS, AND WATER AND SEWER UTILITIES) IS REQUIRED FOR ALL NON-RESIDENTIAL AND NEW MULTI-FAMILY DEVELOPMENT. THIS FEE WILL BE CALCULATED BEFORE APPLYING FOR BUILDING PERMITS AND **COLLECTED AT TIME OF THE ISSUANCE OF BUILDING PERMITS**. IT IS THE APPLICANT'S OBLIGATION TO PROVIDE THE CITY'S ENGINEERING DEPARTMENT WITH ADEQUATE INFORMATION (I.E. COPIES OF BIDS OR CONTRACTS) IDENTIFYING THESE COSTS BEFORE APPLYING FOR BUILDING PERMITS.

### **COMMUNICATION TOWERS:**

COMMUNICATION TOWERS MUST COMPLY WITH CHAPTER 70 OF THE CITY'S CODE OF ORDINANCES AND PAY THE ASSOCIATED FEES IDENTIFIED IN SECTION 88-2(A)(1) OF THE CITY OF WINTER GARDEN'S CODE OF ORDINANCES?

### **UTILITY LOCATE:**

IT IS THE OWNER/CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES AND COORDINATE WITH THE PROPER AGENCY FOR THE INSPECTION OF NEW UTILITIES.

### **PROCEDURE:**

UNDER THIS DIVISION, ALL USES SHALL BE SUBJECT TO THE GENERAL REGULATIONS FOR STRUCTURES AND USES, LOTS AND YARDS AND VEHICLES CONTAINED IN THIS CHAPTER. SITE PLANS LESS THAN OR EQUAL TO 25,000 SQUARE FEET SHALL REQUIRE REVIEW AND APPROVAL BY THE DEVELOPMENT REVIEW COMMITTEE. SITE PLANS GREATER THAN 25,000 SQUARE FEET OF LAND AREA SHALL ALSO REQUIRE CITY COMMISSION APPROVAL AFTER DEVELOPMENT REVIEW COMMITTEE REVIEW AND APPROVAL. ALL SITE PLANS APPROVED BY THE CITY STAFF OR COMMISSION PURSUANT TO THIS DIVISION SHALL EXPIRE AND BECOME NULL AND VOID IF THE BUILDING OR IMPROVEMENT OR OTHER MATTERS AUTHORIZED BY THE SITE PLAN APPROVAL HAVE NOT RECEIVED AN APPROVED BUILDING PERMIT FOR THE PRINCIPAL STRUCTURE OR BUILDING WITHIN 365 DAYS OF THE DATE OF THE APPROVAL. THE CITY ENGINEER, IF SHOWN GOOD CAUSE, MAY EXTEND THE APPROVAL ONE TIME FOR A PERIOD NOT TO EXCEED AN ADDITIONAL 365 DAYS. THE EXTENSION REQUEST SHALL BE FILED WITH THE CITY ENGINEER IN WRITING AT LEAST TWO WEEKS PRIOR TO THE EXPIRATION OF THE INITIAL 365-DAY APPROVAL PERIOD.

### **CODE OF ORDINANCES:**

THE CITY OF WINTER GARDEN'S CODE OF ORDINANCE CAN BE FOUND ON THE INTERNET AT [WWW.MUNICODE.COM](http://WWW.MUNICODE.COM). ACCESS TO THE INTERNET CAN BE OBTAINED AT ANY BRANCH OF THE ORANGE COUNTY LIBRARY.

### **APPLICATION SUBMITTAL:**

THE APPLICANT SHALL SUBMIT AN APPLICATION FOR A DEVELOPMENT PERMIT ALONG WITH TWO COPIES OF A PRELIMINARY DEVELOPMENT USE SITE PLAN SHOWING ALL THE APPROPRIATE AND APPLICABLE DATA REQUESTED IN THIS ARTICLE AND OTHER INFORMATION AS REQUIRED BY THE DIRECTOR OF PLANNING.

**NOTE:** IF THE APPLICANT WISHES TO BE REPRESENTED BY AN AGENT, A LIMITED POWER OF ATTORNEY OR A PROPERTY OWNER AUTHORIZATION AFFIDAVIT MUST BE PROPERLY EXECUTED AND PROVIDED TO THE CITY ALONG WITH THIS APPLICATION.



**APPLICATION FOR SITE PLAN APPROVAL**

THE FOLLOWING APPLICATION IS REQUIRED FOR ALL PROPOSED INDUSTRIAL COMMERCIAL, OR MULTI-FAMILY SITE PLANS THAT ADD MORE THAN 300 SF OF BUILDING OR 500 SF OF ASPHALT/CONCRETE AND FOR ALL NEW OR ALTERATIONS OF COMMUNICATION TOWERS.

**OWNER OF RECORD INFORMATION**

BUSINESS NAME: Shoppes at Lake Butler, LLC  
CONTACT NAME: Alan Charron  
MAILING ADDRESS: 2345 W. Sand Lake Rd, Ste. 100  
CITY: Orlando STATE: FL ZIP: 32809  
PHONE: 407.291.9000 FACSIMILE: \_\_\_\_\_ CELLULAR: 407 506 2993  
EMAIL: ashley@ccs-construction.com

**APPLICANT/CONTACT PERSON (IF DIFFERENT THAN OWNER OF RECORD):**

BUSINESS NAME: Z Development Services  
CONTACT NAME: Robert Ziegentuis  
MAILING ADDRESS: 708 E. Colonial Dr., Ste. 100  
CITY: Orlando STATE: FL ZIP: 32803  
PHONE: 407 271 8910 FACSIMILE: 407 442 0604 CELLULAR: 407 748 5500  
EMAIL: bob@zdevelopment+services.com

Only the primary contact as indicated by the Applicant/Contact Person will receive all correspondence from the City.

**PROPERTY/SITE INFORMATION:**

PROJECT NAME: Shoppes at Lake Butler  
SITE ADDRESS: 4020 Winter Garden Vheland Rd, Winter Garden, FL 34787  
COUNTY PROPERTY APPRAISER TAX PARCEL ID NUMBER(S):  
11 - 23 - 27 - 0000 - 00 - 026

CURRENT ZONING: C-2 ACRES: 0.80 (project area)  
ACRES: \_\_\_\_\_  
ACRES: \_\_\_\_\_

EXISTING USE: Parking Lot DU OR SQFT: N/A  
DU OR SQFT: \_\_\_\_\_  
DU OR SQFT: \_\_\_\_\_

PROPOSED USE(S): Bank | Retail | Coffee Shop DU OR SQFT: 4012 SF  
DU OR SQFT: \_\_\_\_\_  
DU OR SQFT: \_\_\_\_\_

**RESPONSIBLE PARTY:**

IF THIS APPLICATION IS DEEMED TO REQUIRE REVIEW BY THE CITY ENGINEER, CITY SURVEYOR AND/OR CITY ATTORNEY, I UNDERSTAND THAT I OR MY COMPANY WILL BE RESPONSIBLE TO PAY FOR ANY AND ALL REASONABLE LEGAL, ENGINEERING, OR SURVEYING FEES INCURRED BY THE CITY OF WINTER GARDEN IN THE PROCESS OF REVIEWING THE ABOVE PROJECT. I ALSO UNDERSTAND THAT IF THIS PROJECT PROPERTY IS SOLD, I OR MY COMPANY WILL BE RESPONSIBLE TO ENSURE THAT THE NEW OWNER WRITES A SIMILAR LETTER ACCEPTING ALL THE RESPONSIBILITY TO PAY FOR ANY AND ALL REASONABLE LEGAL, ENGINEERING, OR SURVEYING FEES INCURRED BY THE CITY OF WINTER GARDEN IN THE PROCESS OF REVIEWING THIS PROJECT FROM THE DATE THE PROPERTY IS SOLD.

AN APPLICANT SHALL PROVIDE PROMPT WRITTEN NOTICE TO THE CITY MANAGER IN THE EVENT OF A CHANGE IN OWNERSHIP OF ALL OR A PORTION OF A LOT, TRACT, OR PARCEL OF REAL PROPERTY WITH THE RESPECT TO WHICH AN APPLICATION, OR PROJECT IS PENDING BEFORE THE CITY.

PLEASE INITIAL RECOGNIZING YOUR AGREEMENT OF THE ABOVE REQUIREMENT:

INITIALS:   f  

ALL INVOICES FOR THE COSTS ASSOCIATED WITH THIS PROJECT SHOULD BE SENT TO:

PROJECT NAME OR ADDRESS: Lake Butler - Out Parcel

NAME:

COMPANY:

MAILING ADDRESS:

Shoppes at Lake Butler, LLC

2345 W Sand Lake Rd, Suite 100

Orlando  
CITY

FL  
STATE

32809  
ZIP

TELEPHONE: 407-506-2993

EXT.:

FACSIMILE: 407-624-5597

EMAIL: agbley@ccs-construction.com

**PROPERTY OWNER AUTHORIZATION / SIGNATURE OF APPLICANT:**

I/WE HEREBY CERTIFY THAT I/WE ARE THE OWNER(S) OF THE REAL PROPERTY WHICH IS THE SUBJECT FOR THIS APPLICATION AND THAT THE FOREGOING INFORMATION ON THIS APPLICATION IS TRUE AND COMPLETE.

  [Signature]    
OWNER SIGNATURE OR AUTHORIZED APPLICANT

11/9/13  
DATE

ALAN CHARRON  
PRINT NAME

**NOTARIZATION:**

STATE OF FLORIDA

COUNTY OF ORANGE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 12<sup>th</sup> DAY OF NOVEMBER

20 13, BY ALAN CHARRON, AS MANAGER

OF SHOPPES AT LAKE BUTLER, WHO IS PERSONALLY KNOWN TO ME OR WHO PRODUCED

Mary De Guzman  
NOTARY PUBLIC SIGNATURE  
MARY DE GUZMAN  
PRINT NAME



6/15/15

FOR OFFICE USE ONLY		DATE/RECEIVED BY STAMP
<input type="checkbox"/> SITE PLAN <input type="checkbox"/> FEES <input type="checkbox"/> SURVEY <input type="checkbox"/> PARKING CALCULATIONS <input type="checkbox"/> LEGAL ATTACHED <input type="checkbox"/> OWNERSHIP ATTACHED <input type="checkbox"/> POA OR POAA ATTACHED		

**SUFFICIENCY CHECKLIST FOR SITE PLAN SUBMITTAL**

PROJECT NAME: \_\_\_\_\_

SITE ADDRESS: \_\_\_\_\_



### Development Review Costs

By signing this Application, the Applicant acknowledges and agrees that Applicant has read Chapter 88, City of Winter Garden Code Ordinances ("Chapter 88") and understands and agrees to accept Applicant's responsibilities and obligations to pay the City for all fees, costs, and expenses incurred by the City in the review, processing, inspection, and regulation of this Application, including but not limited to: (i) those charges associated with the time City staff and City consultants (including, without limitation engineers, architects, planners, attorneys, paralegals, surveyors, construction inspection professionals and any other professional or technical consultants) spend on the review, processing, inspection, and regulation of the Application or development; (ii) any expenses directly related thereto, including but not limited to notices, advertising, postage, surveying, inspection, legal and engineering costs; and (iii) those charges associated with the time City staff and City consultants spend concerning administrative proceedings, quasi-judicial proceedings, trial court proceedings and appellate court proceedings relating to the consideration, review or challenge of all or part of the Application or any development order or permit issued as the product of the Application or a similar application by the Applicant. However, Chapter 88 does not require the Applicant to pay the City's attorneys' fees and litigation expenses in proceedings or litigation where the City and Applicant are direct adverse parties, except in matters where the City is enforcing the requirements of Chapter 88 against Applicant as specified in § 88-10, City of Winter Garden Code of Ordinances. Applicant understands and agrees that the aforesaid fees, costs and expenses will be invoiced and shall be paid by the Applicant whether or not the Application is successful.

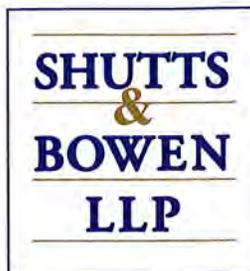
Applicant shall provide prompt written notice to the City's City Manager and Community Development Director within ten (10) calendar days of the occurrence of a change in ownership of all or a portion of a lot, tract, or parcel of real property that is the subject of the Application. Such written notice shall comply with the provisions of § 88-11, City of Winter Garden Code of Ordinances.

Invoices from the City shall be paid within ten (10) calendar days of the date appearing on the invoice. Full payment is a requirement for City's final approval of the Application or any similar application by the Applicant, and as such, the failure to pay such amount jeopardizes the effectiveness of any development order or permit issued prior to full payment of such amounts by Applicant. If nonpayment occurs, the City shall have all remedies at law and in equity against the Applicant and the property owner(s) of the Property subject to this Application, including without limitation, the right to cease development review and processing of the Application, revoke, rescind or place a stop work order on development orders and permits issued at the request of the Applicant, and those other remedies specified in Chapter 88. The provisions of Chapter 88 are incorporated herein by this reference, and the agreements contained herein are supplemental to the Applicant's and the property owner(s)' requirements and obligations under Chapter 88.

### No Reliance

Applicant acknowledges and agrees that it is spending funds at its own risk in an attempt to obtain development orders, permits and/or approvals from the City or to otherwise develop the Property, and the City is not liable for reimbursing Applicant for such costs and expenses. Individual City employees, City consultants, City appointed officials and elected officials (including city commissioners) have no actual or apparent authority to bind the City on Application approvals and development matters, except for certain very limited matters that are expressly authorized by the City of Winter Garden Code of Ordinances to be determined by the City's Community Development Director or the City's City Manager. Applicant shall not rely on and has no basis to rely on, any written or oral statements of the City's employees, consultants, or elected or appointed officials, except for the actual development order(s) or permit(s) issued after final action is taken by the City on the Application pursuant to the standard applicable review and approval process. Often for development matters, prior to final action being taken by the City, the City must conduct quasi-judicial public hearing(s) where decisions on development applications must be based on the evidence presented in the record at such hearing(s), including testimony and evidence presented by the Applicant, City staff and consultants, and other interested parties. Moreover, often it is the case that multiple types of development orders and permits must be issued before a development can proceed, so the issuance of one or more development orders and permits, should not be relied upon by the Applicant for the likelihood that other required development orders, permits and approvals will be issued. Further, the final actions and/or development orders or permits of the City on development matters can often be challenged; thus, the Applicant should consult with its own legal counsel as to the reliability of final actions of the City and development orders and permits issued by the City.

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*Founded 1910*

Community Development  
Planning & Zoning

JAN 09 2014

Received By: KP

SCOTT A. GLASS  
PARTNER  
(407) 835-6964 Direct Telephone  
(407) 849-7264 Direct Facsimile

E-MAIL ADDRESS:  
sglass@shutts.com

January 9, 2013

**VIA HAND DELIVERY**

Mr. Ed Williams  
Community Development Director  
City of Winter Garden  
Office of the City Manager  
300 West Plant Street  
Winter Garden, FL 34787

Clerk of the Planning & Zoning Board  
City of Winter Garden  
300 West Plant Street  
Winter Garden, FL 34787

**Re: Appeal to the Planning and Zoning Board of Action Taken by Development Review Committee on December 18, 2013 relating to Shoppes at Lake Butler, 4020 Winter Garden Vineland Road, Winter Garden, FL 34787**

Dear Mr. Williams and Madam Clerk:

I have the distinct pleasure of representing Shoppes at Lake Butler LLC (hereafter referred to as "Appellant"). On behalf of Appellant, and in accordance with Sections 98-159 and 118-162 of the City of Winter Garden Land Development Code (the "Code"), and having been advised by the City that there are no adopted forms or specific Planning & Zoning Board Rules prescribing the form of appeal referenced in such Code sections, please allow this letter to serve as a Notice of Appeal / Petition for Appeal of the action taken by the Development Review Committee ("DRC") under Revised Agenda Item #3, Shoppes at Lake Butler – SPA, at the DRC meeting held on December 18, 2013. As grounds for the appeal the Appellant states as follows:

Appellant owns 8.44± acres of developed property located on the northwest corner of the intersection of Winter Garden Vineland Road and West Orange Country Club Boulevard (the "Property"). The Property was originally developed as a free-standing Winn-Dixie grocery store. Winn-Dixie closed the store and, after it had sat vacant for some time, Appellant acquired

it in 2007 with the intent to redevelop it as a 9,989 square foot church, a 9,836 square foot day care center and 24,441 square of general retail (collectively, the "Primary Redevelopment Plan"). Appellant was also interested in obtaining approval for an outparcel on the Property.

When Appellant applied to the City with its redevelopment plans, the City acknowledged that the Primary Redevelopment Plan could be constructed without requiring any additional traffic mitigation. The City further advised Appellant, however, that addition of the proposed outparcel would trigger a traffic mitigation obligation. Thereafter, Appellant and the City negotiated for Appellant to donate right-of-way and a temporary construction easement which were needed for the proposed widening of Winter Garden Vineland Road. In exchange for these donations, the City agreed to approve a 34,973 square foot outparcel. The agreement was documented in that certain Shoppes at Lake Butler Developer's Agreement by and between Appellant and City dated August 14, 2008 and subsequently recorded in OR Book 9756, Page 5819 among the Official Records of Orange County, Florida (the "Developer's Agreement").

As noted in the Developer's Agreement, the Appellant did not receive any monetary compensation or any transportation impact fee credits for the donation of the right-of-way and the temporary construction easement. Instead, the sole compensation provided to the Appellant by the City was approval of the outparcel and acknowledgment by the City that, "[t]he Developer's conveyance of the Right-of-Way Property and granting the Temporary Construction Easement satisfies the Project's traffic concurrency requirements, including for the proposed outparcel provided such outparcel's use is consistent with permitted uses in the C-2 zoning district."<sup>1</sup>

Appellant proceeded to redevelop the Winn-Dixie building as proposed in the Primary Redevelopment Plan, creating a much more attractive shopping center. Unfortunately, before Appellant was able to proceed with its plans to develop the outparcel consistent with the Code's C-2 zoning requirements the economy took a substantial downturn and development of the outparcel was placed on hold. Eventually, however, the economy began recovering and, on or about November 19, 2013, Appellant submitted its proposed site plan for development of the outparcel. Specifically, Appellant proposes to construct two retail buildings on the outparcel. The first building would be 3,085 square feet and is expected to be leased to a community bank. It would have two drive-through lanes. The second building would comprise 2,997 square feet and would have a single-lane drive-through. A national donut shop has expressed a desire to lease about 2/3 of the smaller building, including its single drive-through lane, with the balance of the building to be leased for a small, non-drive-through, quick service eating establishment.

The submitted site plan demonstrates that the contemplated buildings would meet all Code setback requirements. Additionally, the site plan shows that all parking required by Code will be located on the approved outparcel. The redevelopment of the outparcel as proposed

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<sup>1</sup> See, Developer's Agreement, a copy of which is attached to this letter for convenience.

would not violate impervious surface ratio or floor area ratio requirements. In fact, the site plan appears to meet all Code requirements for development in the C-2 zoning category. Moreover, the total square footage of the combined buildings is less than the Code would permit if Appellant had elected to develop the outparcel with a single building.

On December 18, 2013, the proposed site plan was reviewed and rejected by the DRC. The Community Development Director (the "CDD") strenuously objected to the prospect of having two buildings on a single outparcel, although he acknowledged at the meeting that there is absolutely no provision in the Code which prohibits erecting more than one building on a single parcel so long as all City development standards are satisfied. The CDD also vociferously objected to the possibility of two separate, albeit somewhat similar, uses in a single building on an outparcel. Again, however, the CDD was forced to admit that the Code does not prohibit two uses in one building. Being unable to identify a single Code provision which would prohibit the development of the outparcel as proposed, the CDD proceeded to alternately characterize the site plan as an attempt by the Appellant to ignore the Development Agreement and develop multiple outparcels, or as a backdoor attempt by the Appellant to develop a "strip center" in front of an existing shopping center.

Again, however, the CDD offered no support for his conclusions. A review of the Code reveals that neither the term "Outparcel" nor the term "Strip Center" is defined therein. Furthermore, while the term "strip center" is not defined, strip centers are commonly understood to be a type of shopping center and that term, "shopping center," is defined in the Code. Specifically, Section 118-1 of the Code states, in relevant part, that, "*shopping center* means a group of not less than five contiguous retail stores, orderly planned and developed as a single unit." Appellant, of course, is not proposing five or more contiguous retail stores and, therefore, is clearly not proposing to develop a strip center or any other kind of shopping center on the outparcel. Nonetheless, and despite the clarity of the Code in this regard, the CDD declined to reconsider his interpretation of the Code.

After discussion of staff's various technical comments, each of which was satisfactorily addressed at the DRC meeting or which can be satisfactorily addressed on resubmittal, the CDD moved to deny the site plan based on his interpretation that it would legally create more than one outparcel or would somehow constitute a strip center in front of a shopping center. Specifically, he moved to, "deny the project as submitted, recommend that it be redesigned as a single-use single outparcel, and that the traffic study be revised to address the on-site maneuvering and stacking, correctly." The motion was subsequently seconded by the building official and passed by apparent unanimous voice vote. The CDD made it clear that the DRC will not entertain any revised site plan for the outparcel that contains two buildings regardless of the provisions of the Code.

Appellant, with all due respect, submits that it should be allowed to develop its property in any manner it sees fit so long as such development is consistent with the Code as duly adopted by the City's elected representatives. Appellant further respectfully suggests that, if the City of

Mr. Ed Williams  
Clerk of the Planning & Zoning Board  
January 9, 2013  
Page 4

Winter Garden did not intend to allow the outparcel to be developed in accordance with the provisions of the Code, it should have stated as much while negotiating the Developer's Agreement. Appellant reasonably and in good faith relied on the City's representations during that negotiation process that it would be allowed to develop the outparcel consistent with C-2 zoning and development standards. The Developer's Agreement reflects as much. Accordingly, so long as Appellant is able to address any specific Code driven deficiencies in its site plan Appellant's development plan for the outparcel should be approved as a matter of law and fundamental property rights.

We look forward to hearing from you regarding the scheduling of this appeal. In the meantime, although the Code does not make reference to a fee for filing this type of appeal, if there is such a fee please let me know immediately so that I may have it delivered to the City.

Sincerely,



Scott A. Glass

THIS INSTRUMENT PREPARED BY  
AND SHOULD BE RETURNED TO:

Daniel W. Langley  
Fishback, Dominick, Bennett, Stepter,  
Ardaman, Ahlers, Bolton & Langley LLP  
1947 Lee Road  
Winter Park, Florida 32789

Parcel Identification # 11-23-27-0000-00-026

DOC # 20080538538 B: 9756 P: 5819  
09/09/2008 01:13:17 PM Page 1 of 19  
Rec Fee: \$163.00 Doc Type: NOT  
Martha O. Haynie, Comptroller  
Orange County, FL  
MB - Ret To: FISHBACK LAW FIRM



Community Development  
Planning & Zoning

JAN 09 2014

Received By: *AK*

## SHOPPES AT LAKE BUTLER DEVELOPER'S AGREEMENT

THIS DEVELOPER'S AGREEMENT, hereinafter referred to as the "Agreement," is made this 14<sup>th</sup> day of August, 2008, by and between the CITY OF WINTER GARDEN, FLORIDA, a Florida municipality, hereinafter referred to as the "City"; and SHOPPES AT LAKE BUTLER, LLC, a Florida limited liability company, 6700 Conroy Windermere Road, Suite 230, Orlando, Florida 32835 (herein "Developer").

**WHEREAS**, the Developer owns fee simple title to that certain real property being approximately 8.55 acres with parcel identification numbers 11-23-27-0000-00-026 generally located on County Road 535 in Winter Garden, Orange County, Florida, the legal description of which is more particularly described on the attached **Exhibit "A"** ("Subject Property"); and

**WHEREAS**, the Subject Property is currently zoned C-2, and carries a Comprehensive Plan Future Land Use Map designation of Commercial; and

**WHEREAS**, the Subject Property is currently developed with a vacant Winn-Dixie grocery store;

**WHEREAS**, the Developer desires to redevelop the Subject Property with a 9,989 sq. ft. church, 9,836 sq. ft. day care and 24,441 sq. ft. of retail shopping center space, an outparcel with land area of 34,973 sq. ft. and supporting site infrastructure (collectively, the "Project"); and

**WHEREAS**, development of the Project remains subject to certain approvals by the City, including, but not limited to, site plan approval, issuance of building permits, certificates of completion and certificates of occupancy; and

**WHEREAS**, re-development of the Subject Property without the outparcel component would not entail a requirement for traffic mitigation but development of the Subject Property at the intensity and configuration proposed requires the Developer to perform certain obligations and provide for mitigation of certain impacts of such development in order to comply with the City's Code of Ordinances, Comprehensive Plan, state law, and otherwise address the impacts generated by the Project; and

**WHEREAS**, Developer acknowledges that there are inadequate public road facilities and infrastructure existing at this time to adequately serve the Project with the outparcel and, therefore, the Developer will need to provide certain right-of-way dedications, perform certain obligations and provide for mitigation of certain impacts of such development in order to comply with the City's Code of Ordinances, Comprehensive Plan, regulations and policies; and

**WHEREAS**, the City and the Developer desire to enter into this Agreement to memorialize certain promises, agreements, covenants and expectations pertaining to the Developer's dedication of right-of-way and other matters as provided for herein.

**NOW, THEREFORE**, for and in consideration of the above premises, the promises and provisions contained herein, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Developer and the City agree as set forth herein.

1. **Recitals.** The above premises are true and correct and are incorporated herein as material provisions of this Agreement. Any and all exhibits referred to in this Agreement are incorporated herein as material provisions of this Agreement.

2. **Right-of-way Conveyance.** County Road 535 contains insufficient capacity to service the needs of the Project and the Subject Property. In order to mitigate the impacts of the Project and the redevelopment of the Subject Property on County Road 535 the Developer shall convey land to the City to be used for widening County Road 535. Prior to building permit(s) and certificate(s) of occupancy being issued for any portion of the Subject Property, but no later than one (1) year from the effective date of this Agreement, the Developer shall convey to the City fee simple title to a strip of property running north and south along the Subject Property's boundary with County Road 535, said property being more particularly identified on attached **Exhibit "B"** as Parcel 1007 (the "**Right-of-Way Property**"). No certificates of occupancy shall be issued until the Right-of-Way Property is conveyed to the City in accordance with this Agreement. Further, no site or building permits for the proposed outparcel shall be issued until the Right-of-Way Property is conveyed to the City in accordance with this Agreement.

The Right-of-Way Property shall be conveyed by the Developer to the City by general warranty deed free and clear of all liens and encumbrances except for those matters acceptable to the City. The form of the general warranty deed shall be subject to the approval of the City. The Developer shall, at least ten (10) days prior to the conveyance of the Right-of-Way Property to the City, provide to the City a boundary survey of the Right-of-Way Property certified to the City and a current attorney's opinion of title or a current title commitment to be followed by a policy of title insurance, evidencing that fee simple title to the Right-of-Way Property is free and clear of all liens and encumbrances except for those matters acceptable to the City. The cost and expenses related to the conveyance of the Right-of-Way Property including the cost of title work and survey shall be borne solely by the Developer.

Real property taxes on the Right-of-Way Property shall be prorated as of the day before the City's acceptance of the conveyance of the same, and the prorated amount of such real property taxes attributable to the Developer shall be paid and escrowed by the Developer in accordance with the provisions of Section 196.295, Florida Statutes; provided, however, that if

the conveyance occurs between November 1 and December 31, then the Developer shall be remain responsible for all real property taxes that are due for the year and prior years. Neither the Developer nor Developer's successors and assigns nor any other person or entity shall be entitled to any road impact fee credits or other compensation of any kind for, on account of, or with respect to the required conveyance of the Right-of-Way Property to the City.

Developer hereby indemnifies and holds the City harmless from any and all claims, damages, penalties, fines, costs, including but not limited to clean-up costs and other matters arising out of or any way related to environmental pollution and contamination on any and all real property interest granted, dedicated, gifted, or otherwise conveyed by the Developer to the City, unless such environmental pollution or contamination is solely caused and created after the date of conveyance at no fault of Developer and its successors and assigns in interest.

3. **Temporary Construction Easement.** In furtherance of the Developer's requirement to mitigate the impacts of the Project on County Road 535, the Developer shall grant the City a temporary construction easement over that certain portion of the Subject Property being more particularly identified on attached **Exhibit "C"** as Parcel 1007A (the "Temporary Construction Easement") to be used for widening County Road 535. The City shall have the right to allow the City's agents and contractors and Orange County and its agents and contractors use of the Temporary Construction Easement during the term of such easement. After construction of the County Road 535 widening project, the City will restore the easement area to its pre-construction condition. The Temporary Construction Easement shall be granted by the Developer and recorded prior to any certificate(s) of occupancy being issued for any portion of the Subject Property and prior to issuance of site and building permits for the proposed out-parcel, but not later than one year from the effective date of this Agreement. The Temporary Construction Easement shall be in conformance with the form easement attached hereto as **Exhibit "D"**, or other form approved by the City Attorney.

4. **Full Compensation and Release.** Developer agrees that the consideration provided to Developer in this Agreement is intended as and does hereby constitute full, just and complete compensation for the conveyance of the Right-of-Way Property and granting the Temporary Construction Easement provided for herein, including, without limitation, any and all damage, if any, to the Subject Property (or any portion thereof), Developer's remaining property and business which may result from Developer's conveyance to the City of the Right-of-Way Property and granting the Temporary Construction Easement. As such, Developer, on behalf of Developer and Developer's agents, successors, legal representatives and assigns, fully and forever release the City of and from, and waives, any and all condemnation or inverse condemnation claims and business damage claims relating to any or all portions of the Subject Property and Developer's remaining property, which Developer may now have, may have had or which may hereafter accrue or otherwise be acquired arising out of and caused by Developer's conveyance of the Right-of-Way Property and granting the Temporary Construction Easement. The foregoing release and waiver includes, but is not limited to, compensation, damages, expenses, attorney's or expert's fees and costs, whether known or unknown.

5. **Front Yard Setback Waiver.** The City zoning code requires the Project to provide a forty foot front yard setback. However, in order to accommodate redevelopment of the Subject Property after conveyance of the Right-of-Way Property, the City is hereby waiving ten

feet of the forty feet front yard setback requirements, thus giving the Project a thirty foot front yard setback requirement. In the event the Developer desires any further reduction of the Project's setback requirements, the Developer shall apply for the appropriate variance and such application will be processed in accordance with the City Code.

6. **Signage.** The Project and Subject Property shall be limited to a total of two monument signs adjacent to County Road 535 meeting the requirements of the City Code. The two monument signs may consist of two (2) multi-tenant signs, or one single-tenant and one multi-tenant sign. Such monument signs shall be no taller than twelve feet in height, have a minimum base of two feet and shall be encased in an ornamental shell of brick or material matching the Project buildings. The maximum copy area for the monument signs shall be no greater than 120 square feet.

7. **Concurrency Requirements.** The Developer's conveyance of the Right-of-Way Property and granting the Temporary Construction Easement satisfies the Project's traffic concurrency requirements, including for the proposed outparcel provided such outparcel's use is consistent with permitted uses in the C-2 zoning district.

8. **Impact Fees.**

(a) **Transportation Impact Fees.** Transportation impact fees shall be paid at rates applicable within the City at the time of building permit issuance. The Developer and the Project shall not receive any compensation or impact fee credits for the obligations of the Developer provided in this Agreement including without limitation, for the Right-of-Way Property conveyance and granting the Temporary Construction Easement required herein or as a condition to development approval.

(b) **Water and Sewer Impact Fees.** One hundred percent (100%) of the total water and sewer impact fees shall be paid by Developer prior to submittal of a Florida Department of Environmental Protection ("FDEP") permit application concerning the Project and City execution of same.

(c) **Police, Fire and Parks/Recreation Services Impact Fees.** Applicants for building permits within the Subject Property shall comply with the City Code, as it may from time to time be amended, imposing impact fees for police, fire, and parks/recreation facilities and/or services. The Developer shall not receive any compensation or credits for the obligations of the Developer provided in this Agreement including without limitation, payment for the Plant Street Payment. Additional impact fees, which may be adopted in the future or which currently exist, applicable to the development of the Subject Property, will be paid consistent with the applicable adopted ordinance or inter-local agreement at time of building permit issuance.

(d) The impact fee determination of subparagraphs (a) through (c) above shall be determined pursuant to City Code as such may be amended from time to time. The Developer shall not receive any compensation or impact fee credits for improvements described herein and/or the dedication or conveyance of any land to the City. The Developer will initially pay impact fees at the general retail impact fee rate. However, if at any time the actual use of any

structure on the Subject Property is more intense than the general retail use impact fee rate contemplates, the Developer shall make a true-up payment of impact fees to the City based on the difference between the general retail impact fee rate and more intense use impact fee rate. The impact fee true up payment shall be paid to the City prior to the more intense use of the Subject Property, or any portion thereof. Pursuant to the City Code, the Developer will receive impact fee credits for structures existing prior to redevelopment of the Subject Property.

9. **Development Conditions.** In addition to the conditions of development set forth herein, development of the Subject Property shall be subject to conditions of approval (as may be imposed by the City Commission, the Planning and Zoning Board, and/or as part of City staff requirements), the zoning ordinance and City Code requirements, the preliminary plat, final plat and site construction plans for the Subject Property, a copy of which are or upon approval will be retained by the City's Planning Director in the offices of the City Planning Director and which plans upon approval shall be incorporated herein by this reference.

10. **No Third-Party Beneficiaries.** Nothing in this Agreement, express or implied, is intended to or will be construed to confer on any person, other than the parties of this Agreement, any right, remedy, or claim with respect to this Agreement.

11. **Validity.** If any portion of this Agreement is finally determined by a court of competent jurisdiction to be invalid, unconstitutional, unenforceable or void, the balance of the Agreement shall continue in full force and effect.

12. **Notices.** Any notices required or permitted under this Agreement, and copies thereof, shall be addressed to the City and Developer at the following addresses, or at such other addresses designated in writing by the party to receive notice:

City: Mike Bollhoefer, City Manager  
City of Winter Garden  
300 West Plant Street  
Winter Garden, Florida 34787  
Telecopy: (407) 656-4952

With a copy to: A. Kurt Ardaman, City Attorney  
City of Winter Garden  
300 West Plant Street  
Winter Garden, Florida 34787  
Telecopy: (407) 656-4952

Developer: Allan Charron, Managing Member  
Shoppes at Lake Butler, LLC  
6700 Conroy Windermere Road, Suite 230  
Orlando, Florida 32835

Notices shall be either: (i) personally delivered (including delivery by Federal Express or other overnight courier service) to the addresses set forth above, in which case they shall be deemed delivered on the date of delivery; (ii) sent by certified mail, return receipt requested, in which case they shall be deemed delivered on the date shown on the receipt unless delivery is refused or intentionally delayed by the addressee, in which event they shall be deemed delivered on the date of deposit in the U.S. Mail; or (iii) transmitted via telecopier using the telecopier numbers provided above, if any (or such other number as the receiving party may have designated in writing), in which case the delivery shall be deemed to have occurred on the day of transmission, provided the day of transmission is a normal business day, or on the first normal business day after the transmission. In the event a dispute arises concerning whether a telecopier transmission was made and on what date, said telecopier transmission must be verified by a print-out generated by the transmitting machine.

13. **Attorney's Fees.** In any lawsuit between the parties to this Agreement arising from this Agreement, each party shall bear their own attorney's fees and litigation costs. Notwithstanding the foregoing, in the event the City brings any lawsuit against the Developer, or its successors and assigns for failure to pay any sum owed to the City arising out of or from this Agreement, the prevailing party shall recover reasonable attorney's fees and litigation costs from the non-prevailing party.

14. **Entire Agreement.** This Agreement embodies the entire understanding of the parties with respect to the matters specifically enumerated herein, and all negotiations, representations, warranties and agreements made between the parties are merged herein. The making, execution and delivery of this Agreement by all parties has been induced by no representations, statements, warranties or agreements that are not expressed herein. There are no further or other agreements or understandings; written or oral, in effect between or among the parties related to the subject matter hereof.

15. **Interpretation.** None of the parties shall be considered the drafter of all or any portion of this Agreement for the purposes of interpreting all or any portion of this Agreement, it being recognized that all parties have contributed substantially and materially to the preparation of this Agreement.

16. **Binding Effect and Successors.** This Agreement shall run with the Subject Property and the rights and the obligations under this Agreement shall benefit, burden, and bind the successors, heirs and assigns of all parties to this Agreement. Excluding the City, all transferees, transferor, grantees, grantors, assignees and assignors relating to the Subject Property are jointly and severally liable for the Developer's obligations under this Agreement. The rights granted to Developer under this Agreement relate specifically to the Subject Property and are not permitted to be transferred to any other property.

17. **Local Development Approvals and Permits.** Notwithstanding anything herein to the contrary, all development of the Subject Property shall be in compliance with all applicable federal, state, county and municipal laws and ordinances, rules and regulations (including, but not limited to, the City's land development regulations, zoning requirements and comprehensive plan). Unless expressly authorized or granted herein, nothing in this Agreement

shall constitute or be deemed to constitute or require the City to issue any approval by the City of any rezoning, Comprehensive Plan amendment, variance, special exception, final site plan, preliminary subdivision plan, final subdivision plan, building permit, grading, stormwater drainage, engineering, or any other land use or development approval. Nor shall this Agreement be deemed to reduce, eliminate, derogate from or otherwise adversely affect any such approvals, permissions or rights. These and any other required City development approvals and permits shall be processed and issued by the City in accordance with procedures with respect to same as otherwise set forth in the City's Code of Ordinances and subject to any conditions of approval thereof. Nothing in this Agreement shall constitute or be deemed to constitute a limitation, restriction or any other type of waiver of Developer's right or ability to seek a rezoning, comprehensive plan amendment, variance, special exception, site plan, preliminary subdivision plan, final subdivision plan, or any other land use or development approval.

18. **Permit Approvals.** Developer shall be responsible for providing to City and obtaining any and all approval and permits for, by way of example and not limitation, all drainage improvements, drainage connections, driveway connections, and utility connections from all applicable governmental agencies or jurisdictions, including but not limited to, the St. John's River Water Management District ("SJRWMD"), Orange County, the Orlando-Orange County Expressway Authority ("OOCEA"), Florida Department of Transportation ("FDOT") and the Florida Department of Environmental Protection ("FDEP"). If permit requirements and conditions imposed by Orange County, SJRWMD, OOCEA, FDOT, FDEP, or any other applicable jurisdiction significantly change the design of the approved Site Plan or the Project or create conflict or inconsistencies with the conditions of this Agreement, the Agreement and approved site plan must be amended and approved by the City prior to the continuation of any development activities within the Subject Property.

19. **Authority.** Each party represents and warrants to the other party that it has all necessary power and authority to enter into and consummate the terms and conditions of this Agreement, that all acts, approvals, procedures, and similar matters required in order to authorize this Agreement have been taken, obtained, or followed, as the case may be, and that, upon the execution of this Agreement by all parties, this Agreement shall run with the Subject Property and the rights and obligations under this Agreement shall benefit, burden and be binding upon the parties hereto and their successors in interest and assigns. In the event Developer fails to pay the monies, dedicates the lands so required by this Agreement, or otherwise fails to meet Developer's obligations under this Agreement, no further development (including without limitation the issuance of permits, review of applications, or construction) of the Subject Property shall continue until such obligations are met.

Furthermore, Developer represents and warrants to City that Developer is the sole owner of the Subject Property, in fee simple, free and clear of any encumbrances, including but not limited to mortgages, liens or easements or, in the event an encumbrance exists, Developer, at Developer's sole cost shall obtain the necessary joinders and consents and subordinations to this Agreement (and documents called for herein) or releases from the appropriate parties with an interest in the Subject Property. Developer shall provide to City, certified surveys, title reports or other documents evidencing said ownership interest.

20. **Effective Date.** This Agreement shall become effective upon execution by all parties (the "Effective Date").

21. **Breach.** In the event of a breach, default, or violation of one or more of the provisions herein by the Developer or the City, the violating party shall be given ten (10) days to cure such violation upon receipt of written notice of the violation from a non-violating party. In the event such violation is not cured within said period, the City or the Developer, as the case may be, shall have the right to pursue any and all legal and equitable remedies available provided by law. Notwithstanding the foregoing, the City shall be permitted to without notice immediately withhold the issuance of certificates of occupancy or building permits associated with the Project in the event Developer is in violation of any provision of this Agreement.

22. **Amendment.** This Agreement may be amended, modified or cancelled by mutual consent of the parties hereto as represented by a written document executed by the City and the Developer.

23. **Governing Law.** This Agreement shall be governed by and construed in accordance with the laws of the State of Florida. Exclusive venue in any action to construe or enforce the provisions of this Agreement shall be in the circuit court of and for Orange County, Florida.

24. **Recording.** Within fourteen (14) days after the execution of this Agreement by the parties, the City shall record this Agreement with the cost thereof to be borne by the Developer.

25. **Non-Waiver of Sovereign Immunity.** Nothing contained in this Agreement nor in any instruments executed pursuant to the terms of this Agreement shall be construed as a waiver or attempted waiver by the City of its sovereign immunity under the Constitution and laws of the State of Florida.

26. **Informed Execution.** This Agreement is entered into voluntarily by the Developer without duress and after full review, evaluation and consideration by the Developer. Developer is represented by counsel, or alternatively, has been afforded an opportunity to retain counsel for review of this Agreement.

27. **Reimbursement.** The Developer shall be responsible for reimbursement of development review costs to the City related to the Project and Subject Property in accordance with Chapter 88, City of Winter Garden Code of Ordinances, including but not limited to City costs associated with negotiations, inspections, conferences, title issues, meetings, reviews, drafting of this Agreement and other matters relating to this Agreement.

28. **Time is of the Essence.** Time is hereby declared to be of the essence in the performance of the duties and obligations of the respective parties to this Agreement.

29. **Captions.** The captions or paragraph headings of this Agreement are provided for convenience only and shall not be deemed to explain, modify, amplify or aid in the interpretation, or meaning of this Agreement.

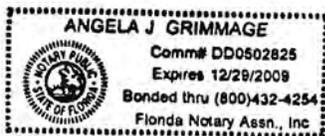
30. **Independent Parties.** City and Developer are not partners and this Agreement is not a joint venture and nothing in this Agreement shall be construed to authorize the City or Developer to represent or bind the any other party to matters not expressly authorized or provided in this Agreement.

AGREED by the Developer and the City Commission of the City of Winter Garden, Florida, a Florida municipality and \_\_\_\_\_, on this 14<sup>th</sup> day of August, 2008.

<p><u>Marangeli Cordero</u> Print Name: <u>Marangeli Cordero</u> Witness</p> <p><u>Alexis A Todd</u> Print Name: <u>ALEXIS TODD</u> Witness</p> <p><u>Marangeli Cordero</u> Print Name: <u>Marangeli Cordero</u> Witness</p> <p><u>Alexis A Todd</u> Print Name: <u>ALEXIS TODD</u> Witness</p> <p><u>Michael Charron</u> Print Name: <u>MIKE CHARRON</u> Witness</p> <p><u>Ashley Rumble</u> Print Name: <u>ASHLEY RUMBLE</u> Witness</p>	<p><b>"CITY"</b></p> <p><b>CITY OF WINTER GARDEN, FLORIDA</b></p> <p>By: <u>John Rees</u> JOHN REES, MAYOR</p> <p>By: <u>Michael Bollhofer</u> MICHAEL BOLLHOEFER, CITY MANAGER</p> <p><b>ATTEST:</b></p> <p>By: <u>Kathy Golden</u> KATHY GOLDEN, CITY CLERK</p> <p><b>"DEVELOPER"</b></p> <p>SHOPPES AT LAKE BUTLER, LLC, a Florida limited liability company</p> <p>(Signature) <u>[Signature]</u> Print Name: <u>ALAN CHARRON</u> Title: <u>Managing Member</u></p>
--	---

STATE OF FLORIDA  
COUNTY OF ORANGE

The foregoing instrument was sworn to, signed and acknowledged before me this Aug 14<sup>th</sup> 2008, by JOHN REES, as the Mayor, of the City of Winter Garden, Florida. He (check one)  is personally known to me, or  has produced a valid driver's license or \_\_\_\_\_ as identification.



Angela J. Grimmage  
Notary Public, State and County Aforesaid  
Name: ANGELA J. GRIMMAGE  
My Commission Expires: 12/29/2009  
My Commission Number is: DD0502825

STATE OF FLORIDA  
COUNTY OF ORANGE

The foregoing instrument was sworn to, signed and acknowledged before me this Aug 15<sup>th</sup> 2008, by Michael Bollhoefer, as the City Manager of the City of Winter Garden, Florida. He (check one)  is personally known to me, or  has produced a valid driver's license or \_\_\_\_\_ as identification.



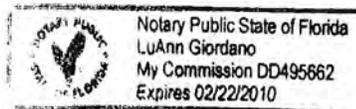
Angela J. Grimmage  
Notary Public, State and County Aforesaid  
Name: ANGELA J. GRIMMAGE  
My Commission Expires: 12/29/2009  
My Commission Number is: DD0502825

STATE OF Florida  
COUNTY OF Orange

The foregoing instrument was executed, sworn to and acknowledged before me this 8/8, 2008 by Alan Charron as managing member of SHOPPES AT LAKE BUTLER, LLC, on its behalf. He/She (check one)  is personally known to me, or  has produced a valid driver's license as identification.

LuAnn Giordano  
Notary Public, State and County Aforesaid  
Name: LuAnn Giordano  
My Commission Expires: 2/22/2010  
My Commission Number is: DD495662

s:\laka\clients\winter garden\shoppes at lake butler w500-developer's agreement 07-25-08.doc



## EXHIBIT "A" - SUBJECT PROPERTY

Part of the Northwest 1/4 of the Southwest 1/4 of Section 11, Township 23 South, Range 27 East, Orange County, Florida, more particularly described as follows: Commencing at the Southwest corner of said Northwest 1/4; thence North 89°45'44" East along the South line of said Northwest 1/4, a distance of 662.19 feet to the Southwest corner of the Southeast 1/4 of the Southwest 1/4 of the Northwest 1/4 of said Section 11, and the POINT OF BEGINNING; thence North 0°01'21" East along the West line of the Southeast 1/4 of the Southwest 1/4 of the Northwest 1/4 of said Section 11, a distance of 663.53 feet to the Northwest corner of the Southeast 1/4 of the Southwest 1/4 of the Northwest 1/4 of said Section 11; thence leaving said West line, North 89°46'13" East along the North line of the Southeast 1/4 of the Southwest 1/4 of the Northwest 1/4 of said Section 11, a distance of 432.36 feet to a point at the Northwest corner of the East 230.00 feet of the North 326.70 feet of the Southeast 1/4 of the Southwest 1/4 of the Northwest 1/4 of said Section 11; thence leaving said North line, South 0°02'10" West along the West line of said East 230.00 feet of the North 326.70 feet, a distance of 326.70 feet to the Southwest corner of said East 230.00 feet of the North 326.70 feet; thence leaving said West line, North 89°46'13" East along the South line of said East 230.00 feet of the North 326.70 feet, a distance of 200.00 feet to a point on the Westerly right of way line of Winter Garden/Vineland Road (also known as State Road 535, variable right of way); thence leaving said South line, South 0°02'10" West along the Westerly right of way line of said Winter Garden/Vineland Road, a distance of 56.09 feet to a point; thence continuing along said Westerly right of way line, South 5°21'53" West, a distance of 106.03 feet to a point; thence continuing along said Westerly right of way line, South 0°02'10" West, a distance of 130.00 feet to a point; thence continuing Southwesterly along said Westerly right of way line along a curve to the right, an arc distance of 39.26 feet (said curve having a radius of 25.00 feet, a delta angle of 89°59'13" and a chord bearing and distance of South 45°17'13" West, 35.35 feet) to a point on the Northerly right of way line of West Orange Country Club Drive (60-foot right of way); thence leaving said Westerly right of way line, North 89°39'34" West along the Northerly right of way line of said West Orange Country Club Drive, a distance of 56.67 feet to a point; thence Southwesterly along a curve to the left, an arc distance of 312.27 feet (said curve having a radius of 730.00 feet, a delta angle of 24°30'33" and a chord bearing and distance of South 77°45'23" West, 309.89 feet) to a point; thence continuing along

said Northerly right of way line, South 65°33'33" West, a distance of 122.90 feet to a point; thence continuing Southwesterly along a curve to the right, an arc distance of 133.04 feet (said curve having a radius of 670.00 feet, a delta angle of 11°22'39" and a chord bearing and distance of South 71°21'28" West, 132.83 feet) to a point on the West line of the Northeast 1/4 of the Northwest 1/4 of the Southwest 1/4 of said Section 11; thence leaving said Northerly right of way line, North 0°02'09" East along the West line of the Northeast 1/4 of the Northwest 1/4 of the Southwest 1/4 of said Section 11, a distance of 135.87 feet to the POINT OF BEGINNING. Less and except the following described fee simple Lift Station Parcel conveyed to the City of Winter Garden, Florida, as recorded in Official Records Book 6560, Page 8912, of the Public Records of Orange County, Florida: A parcel of land located in the Southwest 1/4 of Section 11, Township 23 South, Range 27 East, Orange County, Florida, being more particularly described as follows: Commencing at the Northwest corner of the Southwest 1/4 of said Section 11, thence North 89°45'44" East, along the North line of the Southwest 1/4 of Section 11, a distance of 662.19 feet to the Northwest corner of the Northeast 1/4 of the Southwest 1/4 of said Section 11, South 0°02'09" West, along the West line of the Northeast 1/4 of the Northwest 1/4 of the Southwest 1/4 of said Section 11, a distance of 135.87 feet to the Northerly right of way line of West Orange Country Club Drive (60-foot right of way), said point being on a curve to the left having a radius of 670.00 feet, a delta angle of 6°54'39" and a chord bearing and distance of North 73°35'28" East, 80.76 feet; thence leaving the West line of the Northeast 1/4 of the Northwest 1/4 of the Southwest 1/4 of said Section 11, Northeasterly along the arc of said curve and along the Northerly right of way line of said West Orange Country Club Drive an arc distance of 80.81 feet to a point; thence leaving the Northerly right of way line of said West Orange Country Club Drive, North 0°00'00" East, a distance of 91.46 feet to a point; thence South 89°59'17" East, a distance of 59.22 feet to the POINT OF BEGINNING. Thence North 68°38'28" East, a distance of 6.60 feet to a point; thence South 27°38'03" East, a distance of 31.14 feet to a point; thence South 65°38'12" West, a distance of 12.77 feet to a point; thence North 25°30'04" West, a distance of 9.37 feet to a point; thence South 89°54'25" West, a distance of 8.14 feet to a point; thence North 04°49'32" West, a distance of 20.16 feet to a point; thence North 68°38'28" East, a distance of 5.28 feet to the POINT OF BEGINNING.

~~SCHEDULE "A"~~

Exhibit B

Parcel No. 1007

Right-of-Way Property

Legal Description:

A parcel of land lying within a portion of Section 11, Township 23 South, Range 27 East. Being more particularly described as follows:

Commence at the Southeast corner of the Southwest 1/4 of the Northwest 1/4 of said Section 11; thence run South 89°40' 52" West along the South line of said Northwest 1/4 for a distance of 74.25 feet; thence departing said South line run North 00°19' 08" West for a distance of 20.32 feet to a point on the North right of way line of West Orange Country Club Drive as recorded in Plat Book 19, Page 52 of the Official Records of Orange County, Florida, said point also being the Point of Beginning; thence run North 45°08' 59" East for a distance of 34.33 feet; thence run North 00°02' 00" West for a distance of 292.27 feet to a point on the Southerly line of an Orange County Board of County Commission parcel (Orange County Fire Rescue Station #34); thence run North 89°42' 01" East along said Southerly line for a distance of 20.00 feet to a point on the Westerly right of way line of County Road 535, also known as Winter Garden Vineland Road as recorded in Deed Book 396, Page 57, Deed Book 347, Page 588, and Plat Book 19, Page 52 of the Official Records Book of Orange County, Florida; thence departing said Southerly line run South 00°02' 00" East along said Westerly right of way line for a distance of 66.51 feet; thence run South 05°23' 12" West for a distance of 105.48 feet; thence run South 00°01' 31" East for a distance of 120.04 feet to the point of curvature of a curve concave Northwesterly having a radius of 25.00 feet; thence run Southwesterly along said curve through a central angle of 89°59' 42" for an arc distance of 39.27 feet to the point of tangency, said point also being a point on the Northerly right of way line of aforesaid West Orange Country Club Drive; thence run South 89°58' 11" West along said Northerly right of way line for a distance of 9.37 feet to the aforesaid Point of Beginning.

Said Parcel contains 4,521 square feet, or 0.10 acres more or less.

SHEET 1 OF 2



16 EAST PLANT STREET  
Winter Garden, Florida 32787 \* (407) 654-5355

SURVEYOR'S NOTES:

SEGMENT A - COUNTY ROAD 535

1. THIS IS NOT A SURVEY.
2. THIS SKETCH IS NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
3. BEARINGS AND DISTANCES SHOWN HEREON ARE BASED ON THE ORANGE COUNTY GEODETIC INFORMATION SYSTEM. BASED ON A LINE BETWEEN ORANGE COUNTY GIS MONUMENTS # 142 ( X = 471586.842, Y = 1491264.527 ) AND # 144 ( X = 476871.124, Y = 1491264.527 ) BEARING BEING N 18°24' 49" W.

JOB NO. 24275  
DATE: 07-18-06  
SCALE: 1" = 50 FEET  
FIELD BY: N/A

CALCULATED BY: RJT  
DRAWN BY: RJT  
CHECKED BY: JLR

FOR THE LICENSED BUSINESS #6723 BY:

JAMES L. RICKMAN, P.S.M. #5633

# SKETCH OF DESCRIPTION

Parcel No. 1007

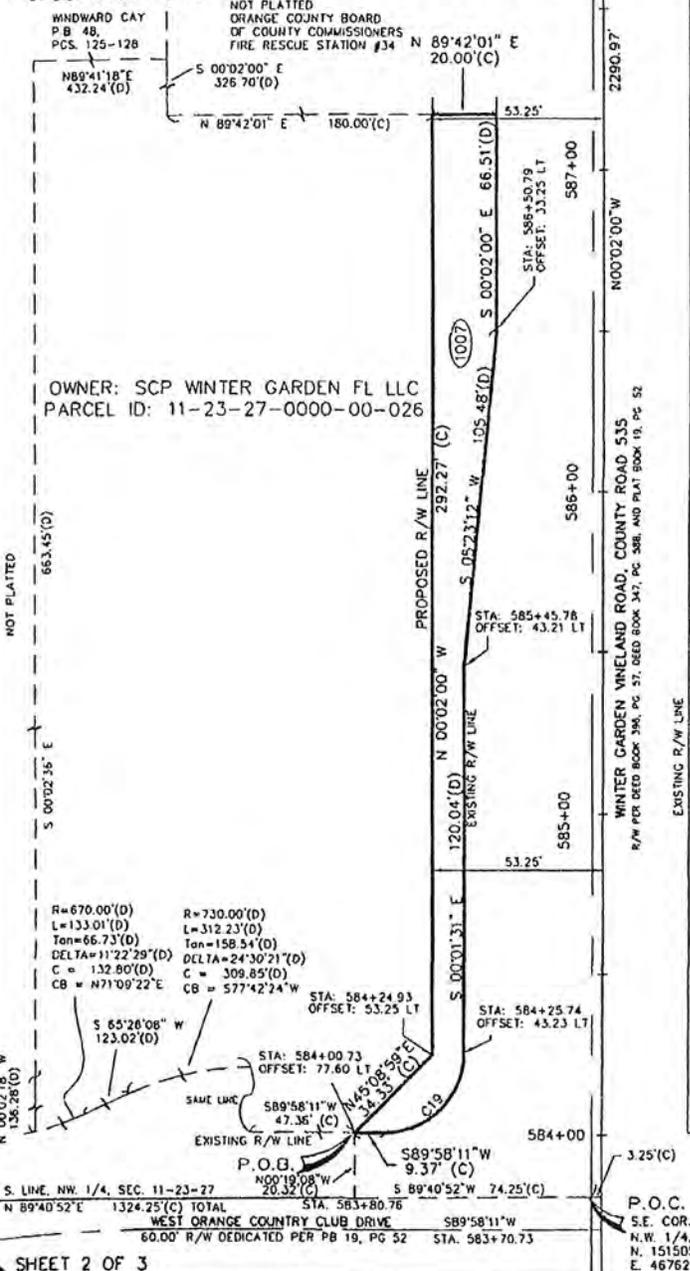
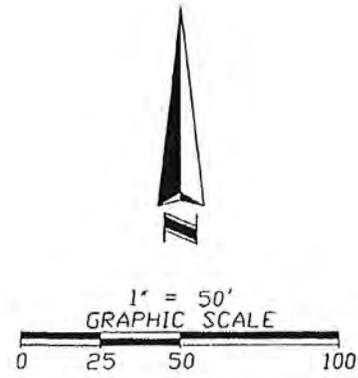


Exhibit "B"



LEGEND:			
Δ	DENOTES DELTA	L	DENOTES LENGTH
R	DENOTES RADIUS	(P)	DENOTES PLAT
CB	DENOTES CHORD BEARING	(C)	DENOTES CALCULATED
TB	DENOTES TANGENT BEARING	R/W	DENOTES RIGHT OF WAY
TAN	DENOTES TANGENT	(C)	DENOTES CENTERLINE
		P.O.B.	DENOTES POINT OF BEGINNING
		P.B.	DENOTES PLAT BOOK
		STA.	DENOTES STATION
		P.I.	DENOTES POINT OF INTERSECTION
		P.T.	DENOTES POINT OF TANGENCY
		P.C.	DENOTES POINT OF CURVATURE
		○	DENOTES CHANGE IN DIRECTION
		C.R.	DENOTES COUNTY ROAD
		P.O.C.	DENOTES POINT OF COMMENCEMENT
		PG	DENOTES PAGE

JOB NO.:	24275	CALCULATED BY:	RJT
DATE:	07-18-06	DRAWN BY:	RJT
SCALE:	1" = 50 FEET	CHECKED BY:	JLR
FIELD BY:	N/A		

COUNTY ROAD 535  
SEGMENT A

**ALLEN & COMPANY**  
Professional Surveyors & Mappers

16 EAST PLANT STREET  
Winter Garden, Florida 32787 • (407) 654-5355

~~SECTION 23 A 23~~  
**Exhibit "C"**  
**TCE**

Parcel No. 7007A

Legal Description:

A parcel of land lying within a portion of Section 11, Township 23 South, Range 27 East. Being more particularly described as follows:

Commence at the Northwest corner of the Northeast 1/4 of the Southwest 1/4 of said Section 11; thence run North 00° 02' 00" West along the West line of the East 1/2 of the Northwest 1/4 of said Section 11 for a distance of 259.82 feet; thence departing said West line run South 89° 58' 00" West for a distance of 50.00 feet to the Point of Beginning; thence run South 89° 58' 00" West for a distance of 15.00 feet; thence run North 00° 02' 00" West for a distance of 59.41 feet; thence run North 89° 58' 00" East for a distance of 15.00 feet; thence run South 00° 02' 00" East for a distance of 59.41 feet to the aforesaid Point of Beginning.

Said parcel contains 891.017 square feet, or 0.020 acres more or less.

SHEET 1 OF 2



16 EAST PLANT STREET  
 Water Garden, Florida 32787 • (407) 654-5355

SURVEYOR'S NOTES:

SEGMENT A - COUNTY ROAD 535

1. THIS IS NOT A SURVEY.
2. THIS SKETCH IS NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
3. BEARINGS AND DISTANCES SHOWN HEREON ARE BASED ON THE ORANGE COUNTY GEODETIC INFORMATION SYSTEM. BASED ON A LINE BETWEEN ORANGE COUNTY GIS MONUMENTS # 142 ( X = 471586.842, Y = 1507137.192 ) AND # 144 ( X = 476871.124, Y = 1491264.527 ) BEARING BEING N 18°24' 49" W.

JOB NO. 24275  
 DATE: 12-03-07  
 SCALE: 1" = 40 FEET  
 FIELD BY: N/A

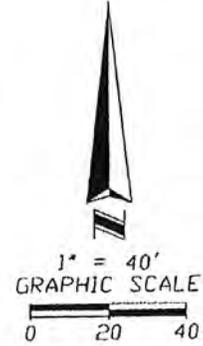
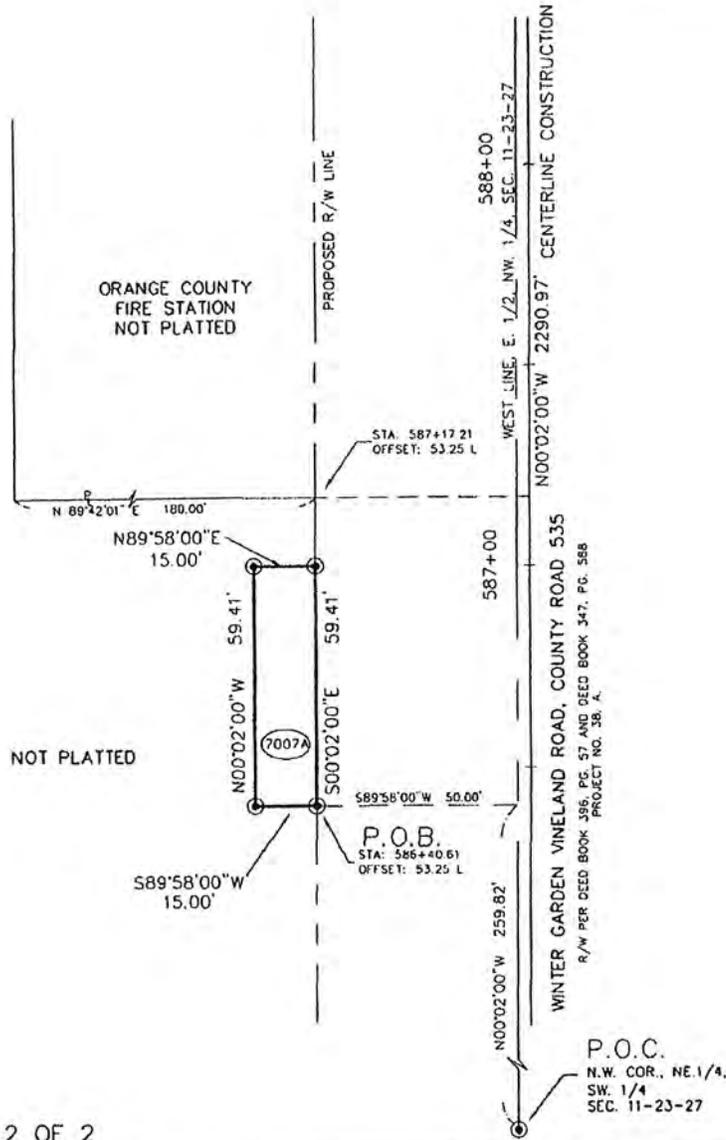
CALCULATED BY: RJT  
 DRAWN BY: RJT  
 CHECKED BY: JLR

FOR THE LICENSED BUSINESS #6723 BY:

*[Signature]*  
 JAMES L. RICKMAN, R.S.M. #5633

SKETCH OF DESCRIPTION  
Parcel No. 7007A

Exhibit "C"



SHEET 2 OF 2



16 EAST PLANT STREET  
Winter Garden, Florida 32787 • (407) 654-5355

LEGEND:

- |                                   |                                |                                    |
|-----------------------------------|--------------------------------|------------------------------------|
| Δ DENOTES DELTA                   | L DENOTES LENGTH               | STA. DENOTES STATION               |
| R DENOTES RADIUS                  | (P) DENOTES PLAT               | P.I. DENOTES POINT OF INTERSECTION |
| CB DENOTES CHORD BEARING          | (C) DENOTES CALCULATED         | P.T. DENOTES POINT OF TANGENCY     |
| IB DENOTES TANGENT BEARING        | R/W DENOTES RIGHT OF WAY       | P.C. DENOTES POINT OF CURVATURE    |
| TAN DENOTES TANGENT               | ⊙ DENOTES CENTERLINE           | ⊙ DENOTES CHANGE IN DIRECTION      |
| POC DENOTES POINT OF COMMENCEMENT | POB DENOTES POINT OF BEGINNING | C.R. DENOTES COUNTY ROAD           |
|                                   |                                | P.B. DENOTES PLAT BOOK             |

JOB NO. 24275  
DATE: 12-03-07  
SCALE: 1" = 40 FEET  
FIELD BY: N/A

CALCULATED BY: RJT  
DRAWN BY: RJT  
CHECKED BY: JLR

COUNTY ROAD 535  
SEGMENT A

This Instrument Prepared By  
And Return to:

Daniel W. Langley  
Fishback Dominick  
1947 Lee Road  
Winter Park, Florida 32789-1834

Exhibit "D"

Part of Tax Parcel Identification # 11-23-27-0000-00-026

**TEMPORARY CONSTRUCTION EASEMENT**

**THIS TEMPORARY CONSTRUCTION EASEMENT** granted this \_\_\_\_\_ day of \_\_\_\_\_, 2008, by **SHOPPES AT LAKE BUTLER, LLC**, a Florida limited liability company, 6700, Winter Garden, Florida 34787 hereinafter the **Grantor**, to the **CITY OF WINTER GARDEN**, a Florida municipal corporation, whose mailing address is 251 West Plant Street, Winter Garden, Florida 34787, hereinafter the **Grantee**.

**WITNESSETH:**

For and in consideration of the sum of Ten and 00/100 dollars and other valuable considerations, the receipt of which is hereby acknowledged, Grantor does hereby grant to Grantee, its successors and assigns, an exclusive temporary construction easement in, to, over, across and under the following described property in Orange County, Florida, to-wit:

**SEE EXHIBIT "A"**

The easement herein granted is for the purpose of clearing, excavating, and grading, and installing and constructing public roadway improvements and associated right-of-way improvements. The rights granted to Grantee by the Grantor specifically include, without limitations, the right of Grantee, its agents, employees, officers, successors, and contractors to: (i) erect, place, store and use construction equipment on the Temporary Construction Easement; and (ii) ingress and egress to and from the Temporary Construction Easement. Grantee's use of the Temporary Construction Easement shall not deprive Grantor of an access point to and from County Road 535.

This Temporary Construction Easement shall become effective upon the execution of this Easement and shall expire upon the completion of the County Road 535 widening project to the Grantee's satisfaction, but not later than eight (8) years after execution of this Easement, after which this easement shall terminate automatically and all interests herein conveyed shall revert to the Grantor, its successors

and assigns. After construction of the County Road 535 widening project, Grantee will restore the easement area to its pre-construction condition as of the date of this easement.

Grantor covenants and warrants to Grantee that Grantor has the right to grant the easement described herein. The Grantor covenants and agrees that the Grantor shall not cause or allow any improvements to be made in the Temporary Construction Easement which are or might be incompatible with the grant of the easement to Grantee. Grantee shall have the right to assign this Temporary Construction Easement or any portion of the rights granted herein to Orange County without notice to the Grantor. This Temporary Construction Easement and the rights and obligations contained herein shall be deemed to run with the title to the land referred to herein for the benefit of the Grantee and the burden of the Grantor, and their successors and assigns.

IN WITNESS WHEREOF, Grantor has hereunto set its hand and seal the day and year first above written.

Signed, sealed and delivered in the presence of:

SHOPPES AT LAKE BUTLER, LLC

Michael Chanon  
Signature

MIKE CHANON  
Print

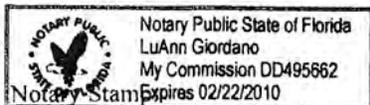
[Signature]  
By: Alan Chanon  
Its: Mgr.

[Signature]  
Signature

ASHLEY RUMBLE  
Print

STATE OF FLORIDA }  
COUNTY OF ORANGE }

The foregoing instrument was acknowledged before me this 8<sup>th</sup> day of AUG, 2008, by Alan Chanon as Mgr. of the Shoppes at Lake Butler, LLC, who is personally known X or who produced identification of the following type:



NOTARY PUBLIC  
STATE OF FLORIDA

[Signature]  
Signature  
LuAnn Giordano  
Print Name

~~SCHEMATIC "A"~~  
**Exhibit "A"**  
**TCE**

Parcel No. 7007A

Legal Description:

A parcel of land lying within a portion of Section 11, Township 23 South, Range 27 East. Being more particularly described as follows:

Commence at the Northwest corner of the Northeast 1/4 of the Southwest 1/4 of said Section 11; thence run North 00° 02' 00" West along the West line of the East 1/2 of the Northwest 1/4 of said Section 11 for a distance of 259.82 feet; thence departing said West line run South 89° 58' 00" West for a distance of 50.00 feet to the Point of Beginning; thence run South 89° 58' 00" West for a distance of 15.00 feet; thence run North 00° 02' 00" West for a distance of 59.41 feet; thence run North 89° 58' 00" East for a distance of 15.00 feet; thence run South 00° 02' 00" East for a distance of 59.41 feet to the aforesaid Point of Beginning.

Said parcel contains 891.017 square feet, or 0.020 acres more or less.

SHEET 1 OF 2



**ALLEN & COMPANY**  
 Professional Surveyors & Mappers  
 16 EAST PLANT STREET  
 Winter Garden, Florida 32787 (407) 654-5355

**SURVEYOR'S NOTES:**

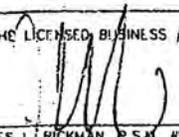
**SEGMENT A - COUNTY ROAD 535**

1. THIS IS NOT A SURVEY.
2. THIS SKETCH IS NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
3. BEARINGS AND DISTANCES SHOWN HEREON ARE BASED ON THE ORANGE COUNTY GEODETIC INFORMATION SYSTEM. BASED ON A LINE BETWEEN ORANGE COUNTY GIS MONUMENTS # 142 ( X = 471586.842, Y = 1507137.192 ) AND # 144 ( X = 476871.124, Y = 1491264.527 ) BEARING BEING N 18°24' 49" W.

JOB NO. 24275  
 DATE: 12-03-07  
 SCALE: 1" = 40 FEET  
 FIELD BY: N/A

CALCULATED BY: RJT  
 DRAWN BY: RJT  
 CHECKED BY: JLR

FOR THE LICENSED BUSINESS #6723 BY:

  
 JAMES L. RICKMAN, P.S.M. #5633



# SHOPPES AT LAKE BUTLER

## OUTPARCEL DEVELOPMENT

### WINTER GARDEN VINELAND ROAD

### WINTER GARDEN, FLORIDA

ZONING: C-2  
 FUTURE LAND USE: COM  
 PROJECT SITE AREA: 0.80 AC

#### DEVELOPER & CONSULTANTS

**OWNER/DEVELOPER**  
 SHOPPES AT LAKE BUTLER  
 2345 W. SAND LAKE RD., SUITE 100  
 ORLANDO, FL 32809

**CIVIL ENGINEER**  
 Z BERLENGHINI SERVICES  
 708 E. COLONIAL BLVD., SUITE 100  
 ORLANDO, FLORIDA 32803  
 PHONE: 407-271-8910  
 FAX: 407-442-0604  
 EMAIL: RB@ZDEVELOPERSERVICES.COM  
 CONTACT: ROBERT ZIEGENFUSS, PE

**SURVEYOR**  
 ACCURIGHT SURVEYS OF ORLANDO, INC  
 2012 E. ROBINSON ST  
 ORLANDO, FLORIDA 32803  
 PHONE: 407-294-6314  
 FAX: 407-691-2171  
 EMAIL: JBR@ACCURIGHTSURVEYS.NET  
 CONTACT: JAMES BRAY

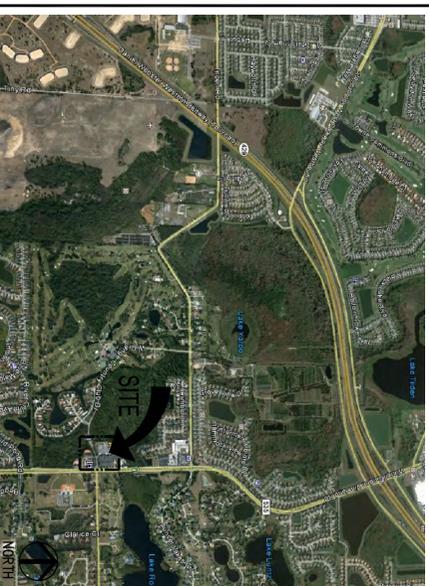
#### INDEX OF DRAWINGS

SHT. NO.	DESCRIPTION
CV	COVER SHEET
C0	CIVIL DATA SHEET
C1	OVERALL SITE PLAN
C1.1	SITE PLAN
C2	UTILITY PLAN
C3	GRADING, DRAINAGE AND EROSION CONTROL PLAN
C4	CONSTRUCTION DETAILS
C5	CITY OF WINTER GARDEN STANDARD DETAILS
C6	CITY OF WINTER GARDEN STANDARD DETAILS
C7	CITY OF WINTER GARDEN STANDARD DETAILS
L-1	LANDSCAPE PLAN
	SITE LIGHTING PLAN
	SURVEY

#### PROJECT REVISIONS

REV. NO.	DATE	DESCRIPTION	SHEETS	BY
-	-	-	-	-

#### VICINITY MAP NIS



#### UTILITY CONTACTS

**SEWER/** CITY OF WINTER GARDEN  
 300 WEST PLANT STREET  
 WINTER GARDEN, FLORIDA 34787  
 PHONE: 407-696-4100  
 CONTACT: DON COCHRAN

**ORANGE COUNTY UTILITIES**  
 702 S. ORANGE BLVD.  
 ORANGE, FLORIDA 32837  
 CONTACT: DAN BROOKER, PE

**ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT**  
 511 SOUTH RIVER ROAD, SUITE 500  
 MAHLAND, FLORIDA 32751  
 PHONE: 407-659-4800

**ELECTRIC** DUKES ENERGY  
 PHONE: 800-700-8744  
 CONTACT: CUSTOMER SERVICE

**TELEPHONE** BRIGHTHOUSE NETWORKS  
 PHONE: 407-532-8609  
 CONTACT: MARVIN USRY, JR.

#### LEGAL DESCRIPTION (PARENT TRACT)

PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 AND A PART OF THE NORTHWEST 1/4 OF SECTION 11, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID NORTHWEST 1/4, THENCE NORTH 89°45'44" EAST ALONG THE SOUTH LINE OF SAID NORTHWEST 1/4, A DISTANCE OF 662.19 FEET TO THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 11, AND THE POINT OF BEGINNING, THENCE NORTH 00°01'21" EAST ALONG THE WEST LINE OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 11, A DISTANCE OF 663.53 FEET TO THE NORTHWEST CORNER OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 11, THENCE LEAVING SAID WEST LINE, NORTH 89°46'13" EAST ALONG THE NORTH LINE OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 11, A DISTANCE OF 432.36 FEET TO A POINT AT THE NORTHWEST CORNER OF THE EAST 230.00 FEET OF THE NORTH 326.70 FEET OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 11, THENCE LEAVING SAID NORTH LINE, SOUTH 00°02'10" WEST ALONG THE WEST LINE OF THE NORTH 326.70 FEET, A DISTANCE OF 326.70 FEET TO A POINT AT THE NORTHWEST CORNER OF SAID EAST 230.00 FEET OF THE NORTH 326.70 FEET OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 11, THENCE LEAVING SAID NORTH LINE, SOUTH 00°02'10" WEST ALONG THE SOUTH LINE OF SAID EAST 230.00 FEET TO A POINT ON THE WESTERN RIGHT-OF-WAY LINE OF WINTER GARDEN/VINELAND ROAD (ALSO KNOWN AS STATE ROAD 538, VARIABLE RIGHT OF WAY), THENCE LEAVING SAID SOUTH LINE, SOUTH 00°02'10" WEST ALONG THE WESTERN RIGHT OF WAY LINE OF SAID WINTER GARDEN/VINELAND ROAD, A DISTANCE OF 56.09 FEET TO A POINT, THENCE CONTINUING ALONG SAID WESTERN RIGHT OF WAY LINE, SOUTH 05°21'53" WEST, A DISTANCE OF 106.03 FEET TO A POINT, THENCE CONTINUING ALONG SAID WESTERN RIGHT OF WAY LINE, SOUTH 45°17'13" WEST, A DISTANCE OF 130.00 FEET TO A POINT, THENCE CONTINUING SOUTHWESTERLY ALONG SAID WESTERN RIGHT OF WAY LINE ALONG A CURVE TO THE RIGHT, AN ARC DISTANCE OF 39.26 FEET (SAID CURVE HAVING A RADIUS OF 25.00 FEET, A DELTA ANGLE OF 89°29'13" AND A CHORD BEARING AND DISTANCE OF SOUTH 11°17'13" WEST, 35.35 FEET) TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF WEST ORANGE COUNTRY CLUB DRIVE (60-FOOT RIGHT OF WAY), THENCE LEAVING SAID WESTERN RIGHT OF WAY LINE OF SAID WEST ORANGE COUNTRY CLUB DRIVE, A DISTANCE OF 56.67 FEET TO A POINT; THENCE SOUTHWESTERLY ALONG A CURVE TO THE LEFT, AN ARC DISTANCE OF 312.27 FEET (SAID CURVE HAVING A RADIUS OF 730.00 FEET, A DELTA ANGLE OF 172°23'9" AND A CHORD BEARING AND DISTANCE OF SOUTH 1°21'28" WEST, 132.83 FEET) TO A POINT ON THE WEST LINE OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 11; THENCE LEAVING SAID NORTHERLY RIGHT OF WAY LINE, NORTH 00°02'09" EAST ALONG THE WEST LINE OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 11, A DISTANCE OF 153.87 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT THE FOLLOWING DESCRIBED FEE SIMPLE, LEFT STATION PAGE, CONVEYED TO THE CITY OF WINTER GARDEN, FLORIDA, AS RECORDED IN OFFICIAL RECORDS BOOK 6960, PAGE 8912, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, A PARCEL OF LAND LOCATED IN THE SOUTHWEST 1/4 OF SECTION 11, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 11, THENCE NORTH 89°45'44" EAST, ALONG THE NORTH LINE OF THE SOUTHWEST 1/4 OF SECTION 11, A DISTANCE OF 662.19 FEET TO THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 11, THENCE LEAVING THE NORTH LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 11, SOUTH 00°02'09" WEST, ALONG THE WEST LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 11, A DISTANCE OF 135.87 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF WEST ORANGE COUNTRY CLUB DRIVE (60-FOOT RIGHT OF WAY), SAID POINT BEING ON A CURVE TO THE LEFT HAVING A RADIUS OF 670.00 FEET, A DELTA ANGLE OF 08°54'39" AND A CHORD BEARING AND DISTANCE OF NORTH 73°55'28" EAST, 80.76 FEET; THENCE LEAVING THE WEST LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 11, THENCE LEAVING THE NORTHERLY RIGHT OF WAY LINE OF WEST ORANGE COUNTRY CLUB DRIVE, NORTH 00°00'00" EAST, A DISTANCE OF 91.46 FEET TO A POINT; THENCE SOUTH 89°29'17" EAST, A DISTANCE OF 59.22 FEET TO THE POINT OF BEGINNING, THENCE NORTH 68°38'28" EAST, A DISTANCE OF 6.60 FEET TO A POINT; THENCE SOUTH 72°38'03" EAST, A DISTANCE OF 31.14 FEET TO A POINT; THENCE SOUTH 65°38'12" WEST, A DISTANCE OF 62.07 FEET TO A POINT; THENCE SOUTH 89°29'17" EAST, A DISTANCE OF 9.37 FEET TO A POINT; THENCE SOUTH 89°29'29" WEST, A DISTANCE OF 81.4 FEET TO A POINT; THENCE NORTH 04°49'32" WEST, A DISTANCE OF 5.29 FEET TO THE POINT OF BEGINNING.

ALSO LESS ROAD RIGHT-OF-WAY ON EAST PER WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 9783, PAGE 6317, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

DATE: 10/25/13  
 DRAWN: CK  
 CHECKED: NZ  
**CV**  
 PROJECT NO.: 2013-125

SHOPPES AT LAKE BUTLER  
 WINTER GARDEN VINELAND ROAD  
 WINTER GARDEN, FLORIDA

ROBERT ZIEGENFUSS, P.E., LEED AP  
 FL REG. # 56752

REVISION	DATE	REVISION	DATE

**Z DEVELOPMENT**  
 s e r v i c e s  
 CA 29354  
 708 E. COLONIAL DR., STE 100 PH: (407) 271-8910  
 ORLANDO, FL 32803 FAX: (407) 442-0604



REFER TO SHEET CO FOR GENERAL NOTES, SPECIFICATIONS AND LEGENDS IN ADDITION TO SITE SPECIFIC NOTES AND REQUIREMENTS.



CA 29354

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ROBERT ZIEGENFUSS, P.E., LEED AP  
FL REG. # 56752

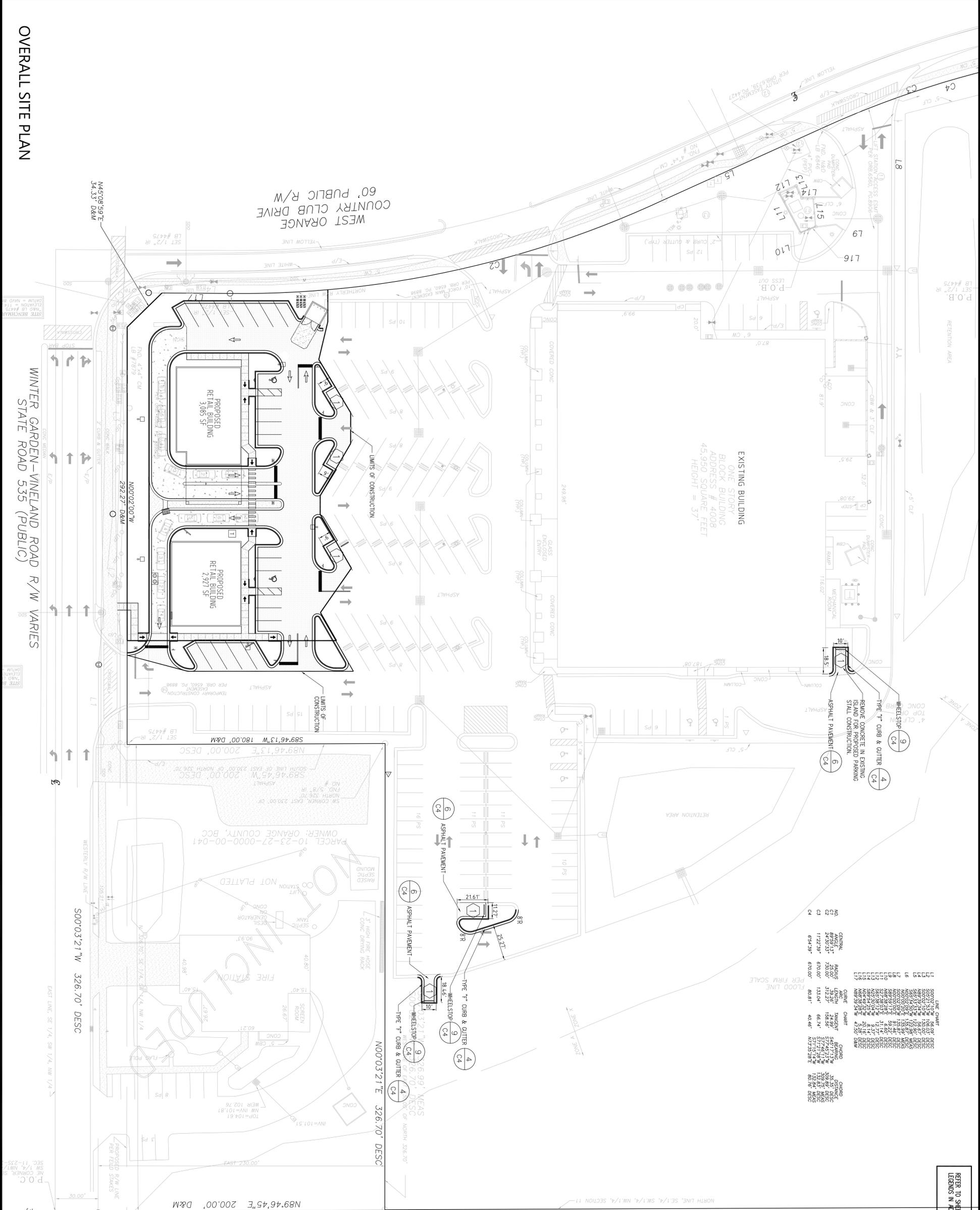
SHOPPES AT LAKE BUTLER  
WINTER GARDEN VINELAND ROAD  
WINTER GARDEN, FLORIDA

DATE: 10/25/13  
DRAWN: CK  
CHECKED: RZ

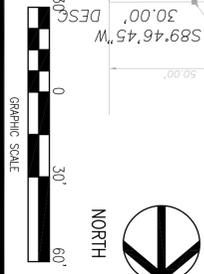
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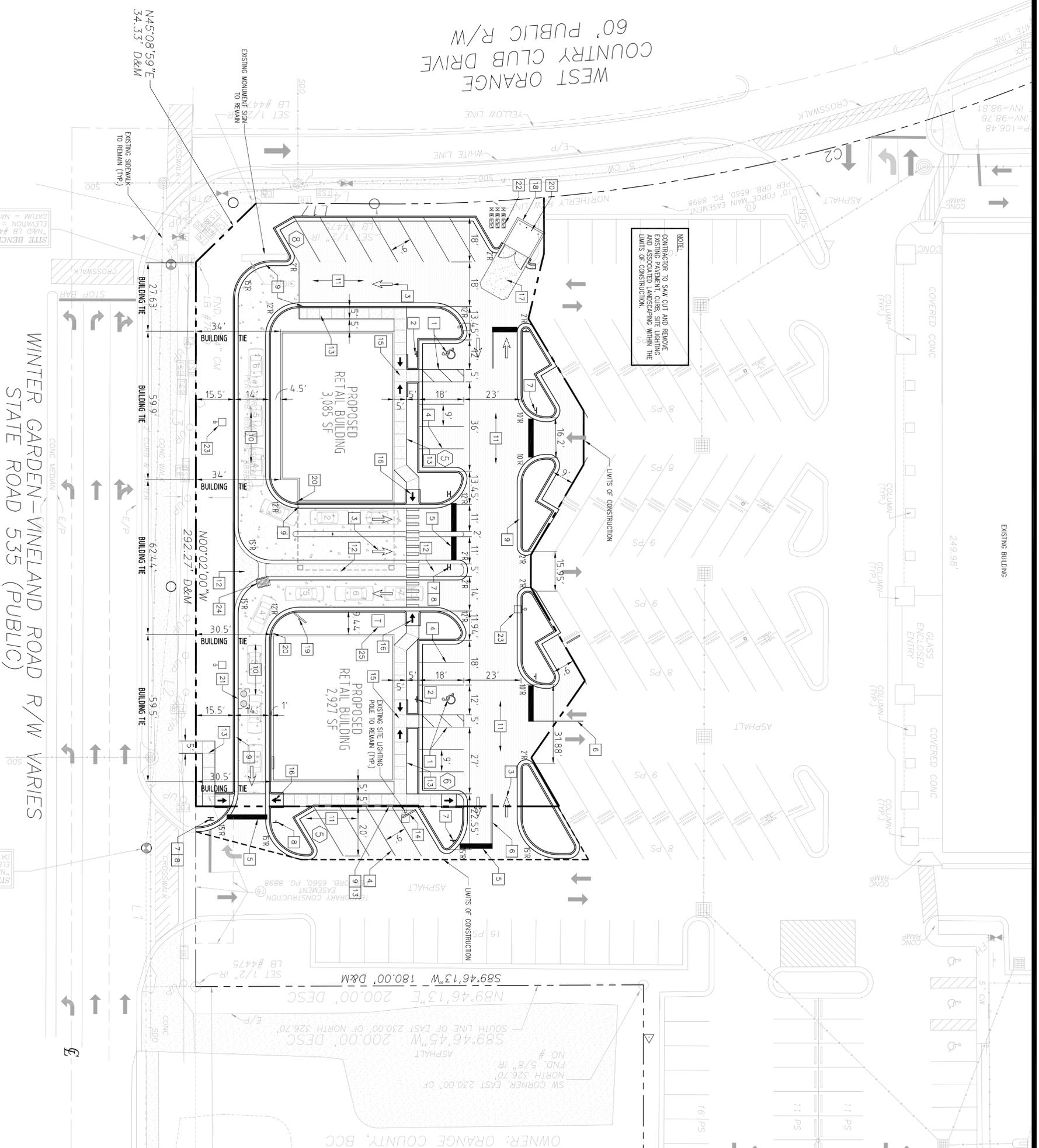
PROJECT NO.: 2013-125

PLAT OF SURVEY



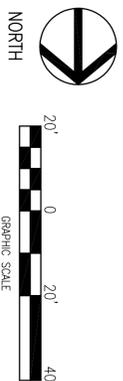
OVERALL SITE PLAN





**NOTE:**  
CONTRACTOR TO SAW CUT AND REMOVE  
EXISTING PAVEMENT, CURB, SITE LIGHTING  
AND ASSOCIATED LANDSCAPING WITHIN THE  
LIMITS OF CONSTRUCTION.

WINTER GARDEN - VINELAND ROAD R/W VARIES  
STATE ROAD 535 (PUBLIC)



PLAN NOTES

- 1 HANDICAP PARKING, STRIPING & ACCESS ISLE (C4)
- 2 HANDICAP PARKING SIGN (C4)
- 3 PARKING MARKINGS (C4) (TRP)
- 4 4" WHITE (PAINT) PARKING STRIPING (TRP)
- 5 24" WHITE (PAINT) STOP BAR (TRP)
- 6 6" DOUBLE YELLOW CENTERLINE STRIPING (TRP)
- 7 30" STOP SIGN (R-1) (TRP)
- 8 30" "DO NOT ENTER" SIGN (TRP)
- 9 TYPE "F" CURB AND CUTTER (PER FOOT INDEX 300) (C4) (TRP)
- 10 CONCRETE PAVEMENT (C4)
- 11 ASPHALT PAVEMENT (C4)
- 12 CONCRETE TRAFFIC SEPARATOR (C4)
- 13 CONCRETE SIDEWALK WITH EXPANSION JOINTS AND SCORE MARKS (SEE PLAN FOR WIDTH) (C4)
- 14 WHEEL STOP (1 PLACED) (C4)
- 15 SIDEWALK HANDICAP RAMP (C4) (TRP)
- 16 HANDICAP END RAMP (C4) (TRP)
- 17 CONCRETE APRON (C4)
- 18 SOLID WASTE ENCLOSURE (SEE ARCHITECTURAL PLANS)
- 19 DRIVE THRU ORDER STATION AND CANOPY
- 20 BOLLARD (C4)
- 21 GREASE TRAP (SEE SHEET C2)
- 22 WATER METERS AND BACKFLOW PREVENTERS (SEE SHEET C2)
- 23 SITE LIGHTING POLE (SEE LIGHTING PLAN)
- 24 DRAINAGE STRUCTURE (SEE SHEET C3)
- 25 PAD MOUNTED TRANSFORMER (SEE ELECTRICAL PLAN)

REFER TO SHEET C0 FOR GENERAL NOTES, SPECIFICATIONS AND LEGENDS IN ADDITION TO SITE SPECIFIC NOTES AND REQUIREMENTS.



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REVISION	DATE	REVISION	DATE

ROBERT ZIEGENFUSS, P.E., LEED AP  
FL REG. # 56752

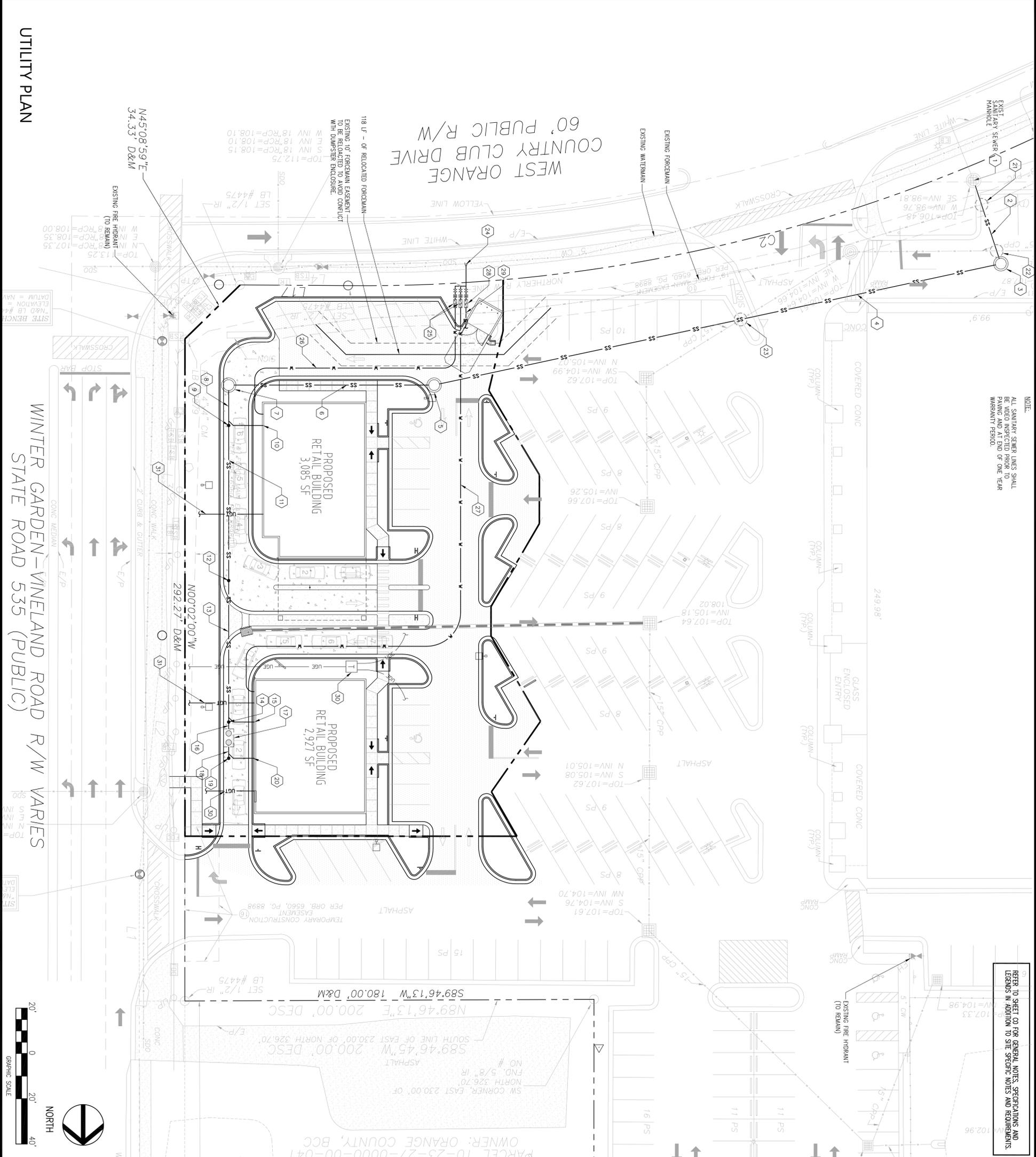
SHOPPES AT LAKE BUTLER  
WINTER GARDEN VINELAND ROAD  
WINTER GARDEN, FLORIDA

C1.1

DATE: 10/25/13  
DRAWN: CK  
CHECKED: NZ  
PROJECT NO.: 2013-125

NOTE:  
ALL SANITARY SEWER LINES SHALL BE VIDEO INSPECTED PRIOR TO PAVING AND AT END OF ONE YEAR WARRANTY PERIOD.

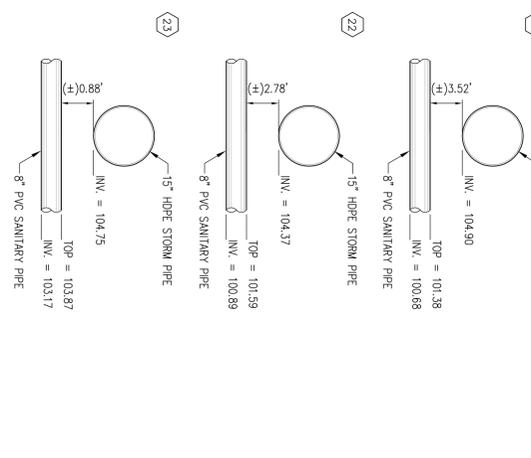
REFER TO SHEET C0 FOR GENERAL NOTES, SPECIFICATIONS AND LEGENDS IN ADDITION TO SITE SPECIFIC NOTES AND REQUIREMENTS.



**UTILITY NOTES**

SANITARY SEWER NOTES

- 1 CORE DRILL & CONNECT TO EXISTING SANITARY SEWER MANHOLE AT INV. ELEV. = 100.39.
- 2 34 LF - 8" PVC @ 1.0% SLOPE
- 3 SANITARY SEWER MANHOLE #1  
TOP = 108.50  
(S) 8" INV. (OU1) = 100.93  
(E) 8" INV. (N) = 102.03
- 4 250 LF - 8" PVC @ 1.0% SLOPE
- 5 SANITARY SEWER MANHOLE #2  
TOP = 110.55  
(S) 8" INV. (OU1) = 104.53  
(E) 8" INV. (N) = 104.63
- 6 80 LF - 8" PVC @ 1.0% SLOPE
- 7 SANITARY SEWER MANHOLE #3  
(N) 8" INV. (OU1) = 105.43  
(N) 8" INV. (N) = 105.53
- 8 16 LF - 6" PVC @ 1.0% SLOPE
- 9 CLEANOUT @ INV. ELEV. = 105.69
- 10 CONNECT TO EXISTING SANITARY SEWER CLEANOUT @ INV. ELEV. = 105.84. VIA 15 LF - 6" PVC @ 1.0% SLOPE. (COORDINATE W/ PLUMBING PLAN FOR BUILDING OUTLET.)
- 11 68 LF - 6" PVC @ 1.0% SLOPE
- 12 CLEANOUT @ INV. ELEV. = 106.38
- 13 63 LF - 6" PVC @ 1.0% SLOPE
- 14 CLEANOUT @ INV. ELEV. = 107.01
- 15 CONNECT TO EXISTING SANITARY SEWER CLEANOUT @ INV. ELEV. = 107.12. VIA 11 LF - 6" PVC @ 1.0% SLOPE. (COORDINATE W/ PLUMBING PLAN FOR BUILDING OUTLET.)
- 16 3 LF - 6" PVC @ 1.0% SLOPE
- 17 GREASE TRAP (REFER TO PLUMBING PLANS)  
TOP = 110.10  
(S) 6" INV. (OU1) = 107.04  
(N) 6" INV. (N) = 107.29
- 18 5 LF - 6" PVC @ 1.0% SLOPE
- 19 CLEANOUT @ INV. ELEV. = 107.34
- 20 CONNECT TO EXISTING SANITARY SEWER CLEANOUT @ INV. ELEV. = 107.45. VIA 11 LF - 6" PVC @ 1.0% SLOPE. (COORDINATE W/ PLUMBING PLAN FOR BUILDING OUTLET.)
- 21 PIPE CROSSINGS



WATER NOTES

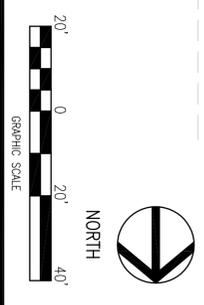
- 24 2" WET TAP WITH TAPPING SLEEVE AND VALVE
- 25 1" WATER & 1-1/2" PE2 BACKFLOW PREVENTER (DOMESTIC) - 2 PLACES
- 26 135 LF - 1-1/2" PE SERVICE LINE TO BUILDING
- 27 255 LF - 1-1/2" PE SERVICE LINE TO BUILDING
- 28 1" WATER & 1-1/2" PE2 BACKFLOW PREVENTER (IRRIGATION)
- 29 1-1/2" IRRIGATION LINE (REFER TO IRRIGATION PLAN)

ELECTRIC/PHONE NOTES

- 30 CONTRACTOR SHALL COORDINATE NEW POWER SERVICE WITH THE APPROPRIATE SERVICE PROVIDER PRIOR TO CONSTRUCTION. TRANSFORMER LOCATION SUBJECT TO CHANGE BASED ON POWER COMPANY REQUIREMENTS.
- 31 CONTRACTOR SHALL COORDINATE NEW UNDERGROUND TELEPHONE SERVICE CONNECTION WITH THE APPROPRIATE SERVICE PROVIDER PRIOR TO CONSTRUCTION. TWO (2) - 2" CONDUITS WITH PULL STRINGS WILL BE REQUIRED BY CENTURY LINK FOR EACH BUILDING. THESE CONDUITS SHOULD BE INSTALLED TO A COMMON LOCATION IN THE HIGHWAY 85 R.O.W. USING 36" LONG SWEEPS (NO 90° BENDS). A 4"x4" PLWOOD BACKBOARD WILL BE REQUIRED IN THE BUILDING.

UTILITY PLAN

WINTER GARDEN - VINELAND ROAD R/W VARIES  
WINTER STATE ROAD 535 (PUBLIC)



CA 29354

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REVISION	DATE	REVISION	DATE

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FL REG. # 56752

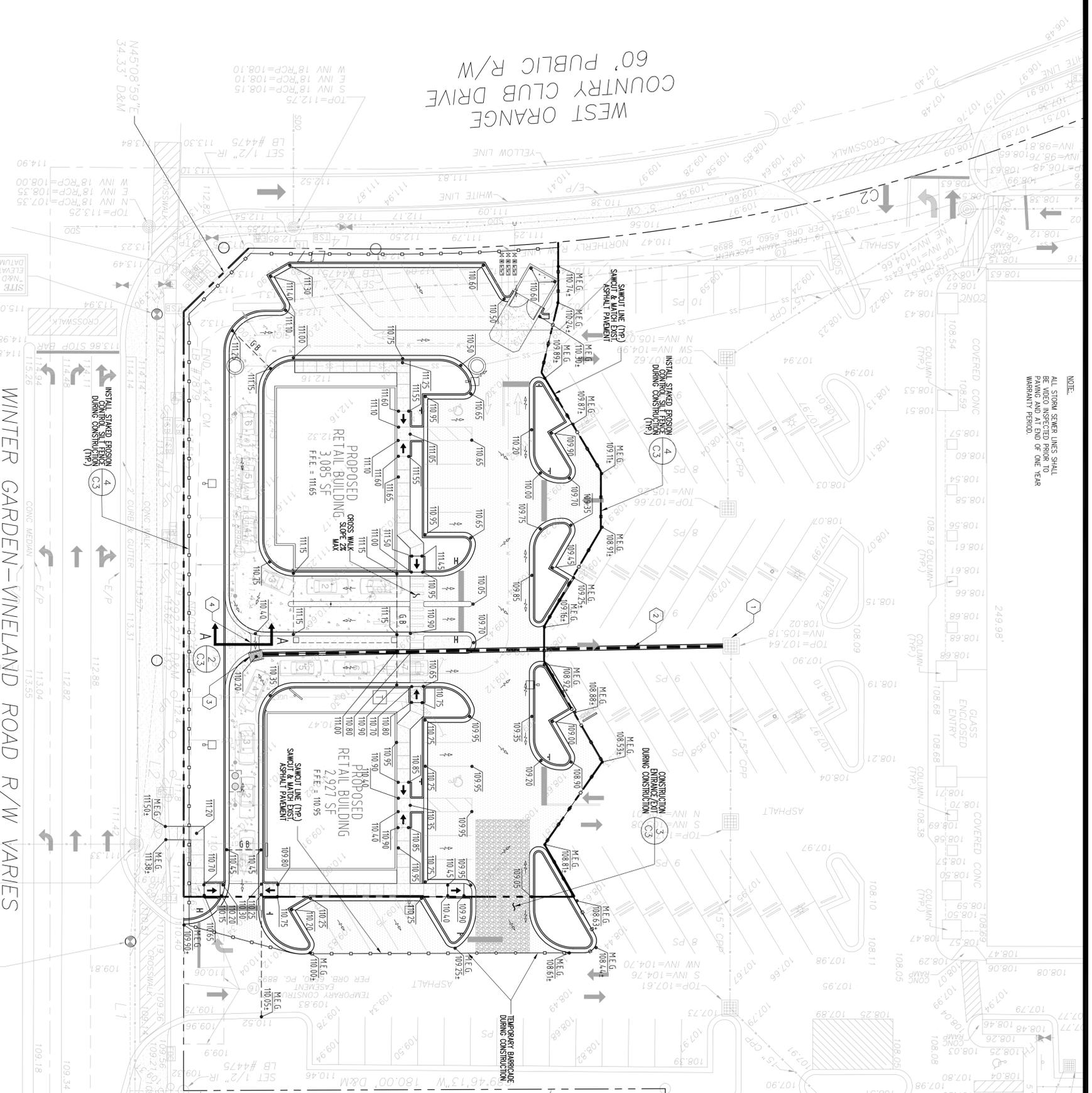
SHOPPES AT LAKE BUTLER  
WINTER GARDEN VINELAND ROAD  
WINTER GARDEN, FLORIDA

DATE: 10/25/13  
DRAWN: CK  
CHECKED: NZ

C2

PROJECT NO.: 2013-125

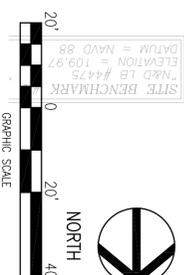
NOTE:  
ALL STORM SEWER LINES SHALL BE VIDEO INSPECTED PRIOR TO BEING COVERED AND OF ONE YEAR WARRANTY PERIOD.



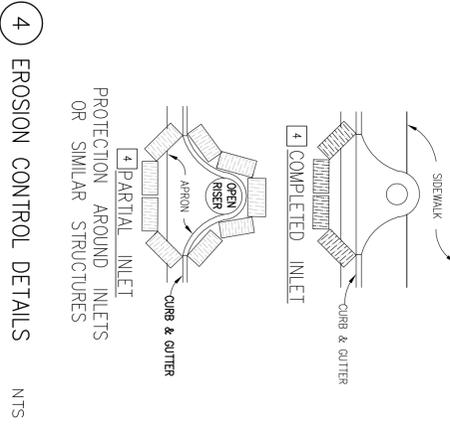
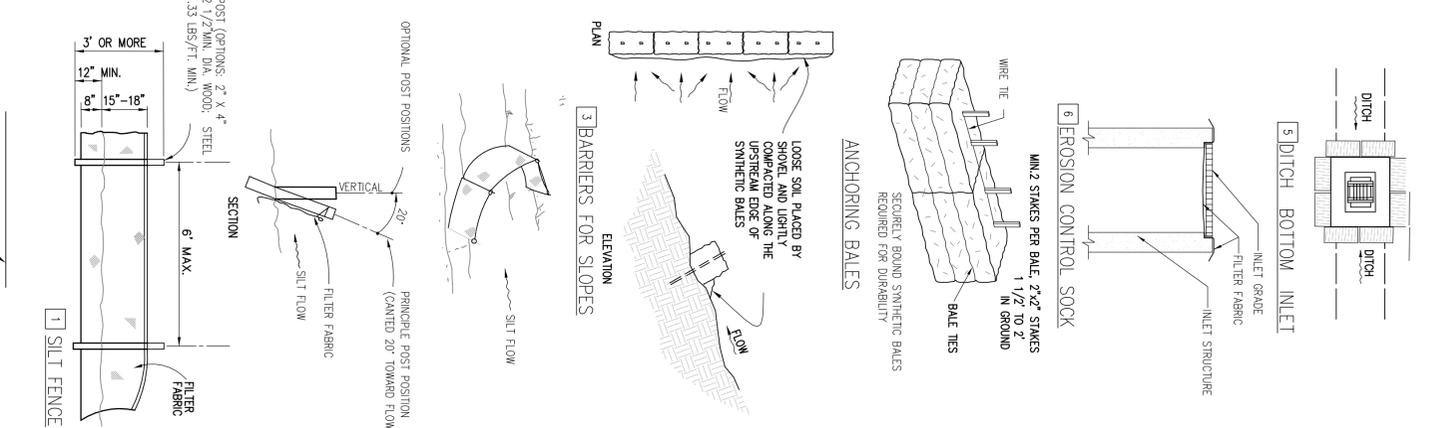
GRADING, DRAINAGE & EROSION CONTROL PLAN

WINTER GARDEN-VINELAND ROAD R/W VARIES  
STATE ROAD 535 (PUBLIC)

REFER TO SHEET C01 FOR GENERAL NOTES, SPECIFICATIONS AND LEGENDS IN ADDITION TO SITE SPECIFIC NOTES AND REQUIREMENTS.

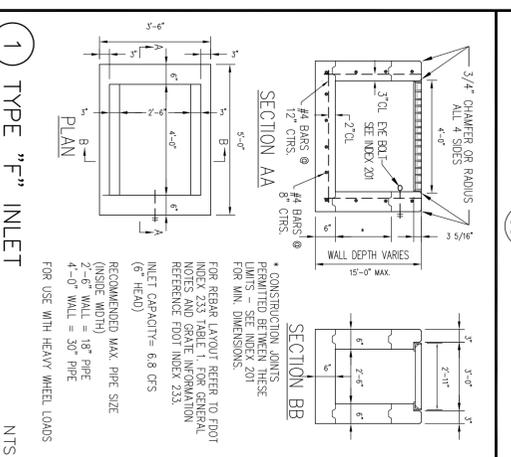


ANCHOR BALES WITH 2" x 2" x 4" STAKES PER SYNTHETIC BALE.

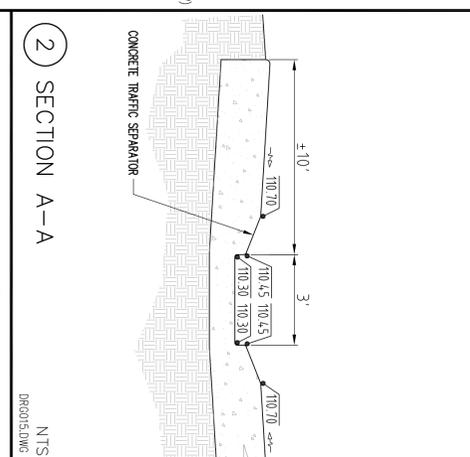


DRAINAGE NOTES

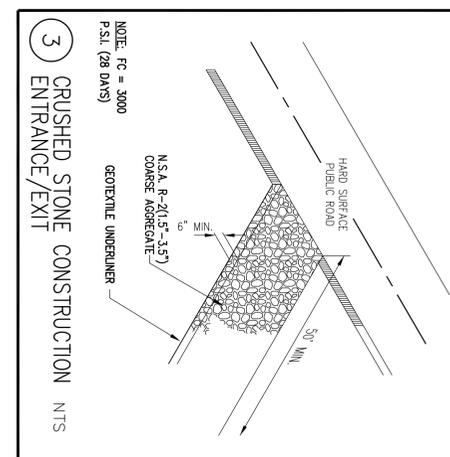
- 1 CORE DRILL AND CONNECT TO EXISTING STORM SEWER INLET AT INVERT ELEVATION = 105.28 (CONTRACTOR TO REPAIR ANY DAMAGE TO EXISTING INLET THAT MAY OCCUR DURING CONSTRUCTION).
- 2 12" LF - 18" HOPE @ 1:08' SLOPE
- 3 FOOT TYPE "T" GRATE INLET (W/ 18" NW (O/U) = 107.00)
- 4 CONCRETE CURB FLUME (C3)



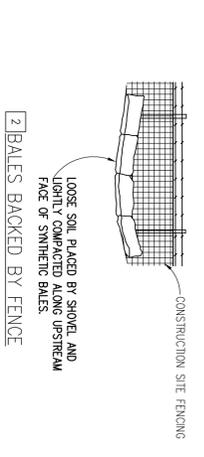
1 TYPE "F" INLET (REF: FOOT INDEX 233) (PRECAST DIMENSIONS)



2 SECTION A-A NTS DR0015.DWG



3 CRUSHED STONE CONSTRUCTION ENTRANCE/EXIT NTS



4 BALES BACKED BY FENCE

**Z DEVELOPMENT**  
services

CA 29354

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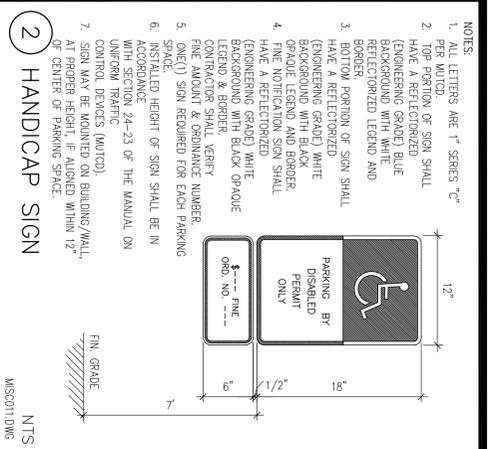
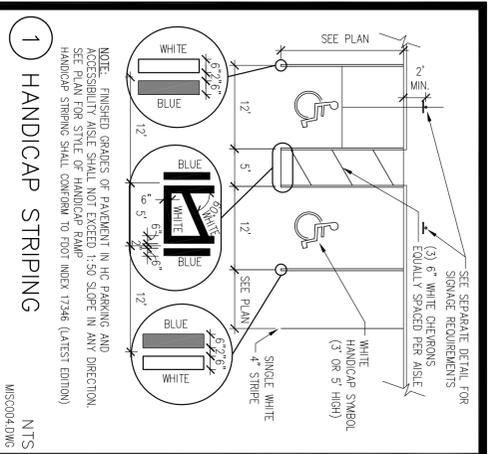
ROBERT ZIEGENFUSS, P.E., LEED AP  
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SHOPPES AT LAKE BUTLER  
WINTER GARDEN VINELAND ROAD  
WINTER GARDEN, FLORIDA

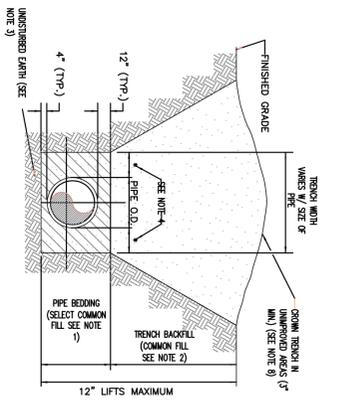
DATE: 10/25/13  
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**C3**

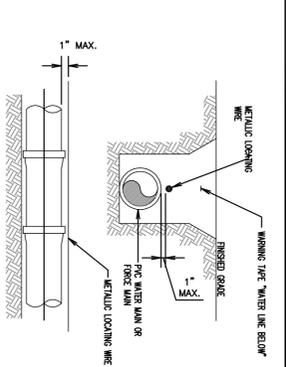
PROJECT NO.: 2013-125



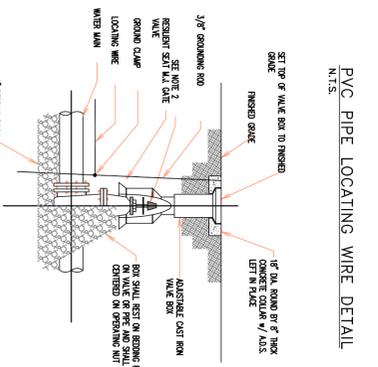




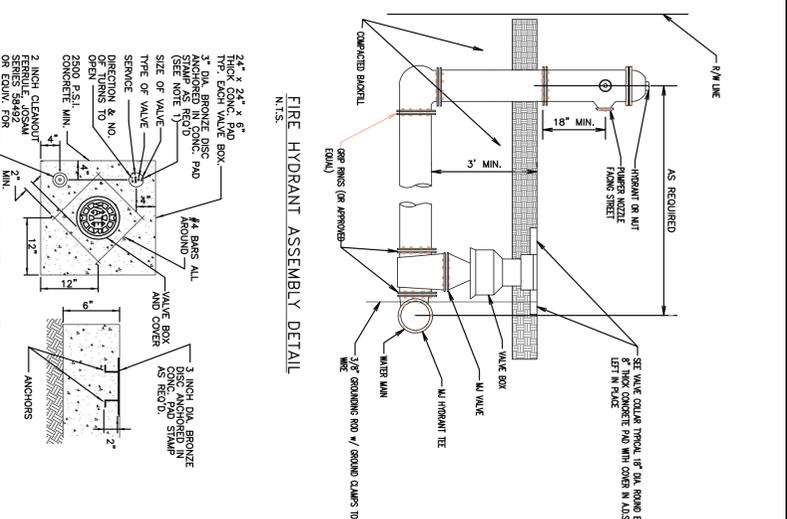
- NOTES:
1. PIPE BEDDING SELECT COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER ASTM D 1557 AND CONTAINING NO MORE THAN 5% PASSING #20 SIEVE.
  2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER ASTM D 1557 AND CONTAINING NO MORE THAN 5% PASSING #20 SIEVE.
  3. PIPE BEDDING: UNIFORM SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND PROVISIONS MAY BE REQUIRED AS DIRECTED BY THE CITY OF WINTER GARDEN.
  4. (1) 1/2" MAX. FOR PIPE DIAMETERS LESS THAN 24" AND 2" MAX. FOR PIPE DIAMETER 24" LARGER.
  5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
  6. ALL PIPE TO BE INSTALLED WITH BELT HOODING UPSTREAM TO THE DIRECTION OF THE FLOW.
  7. REFER TO SECTION 0515 OF THE CITY OF WINTER GARDEN MANUAL OF SPECIFICATIONS AND STANDARDS FOR WINTERIZATION AND WATER MAIN CONSTRUCTION FOR SHEETING AND BRACING IN EXPLANATIONS.
  8. FINAL RESTORATION OF IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURVEYOR'S RESTORATION WITHIN CITY OF WINTER GARDEN AND WINTER GARDEN UTILITIES DIVISION'S JURISDICTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND FINAL CONSTRUCTION SPECIFICATIONS.



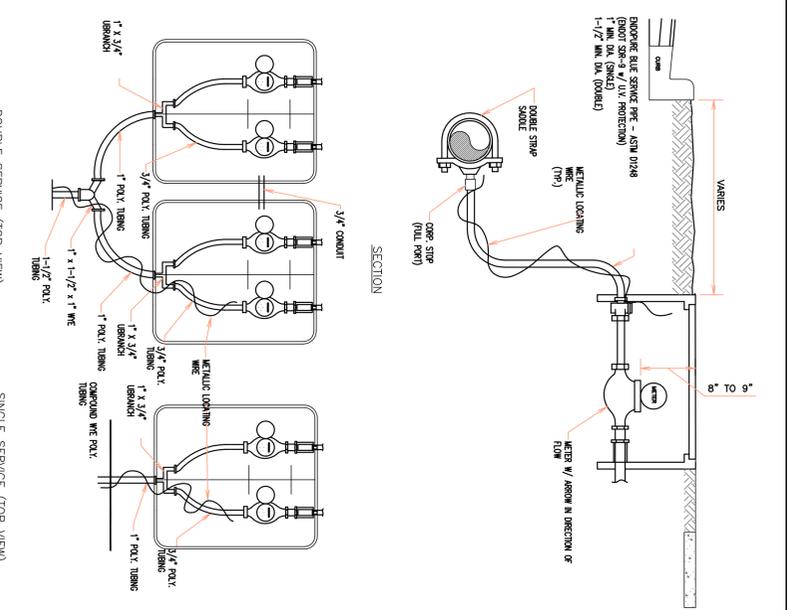
- NOTES:
1. PVC PIPE SHALL REQUIRE INSTALLED METALLIC LOCKING WIRE (TO GROUND COVER) OF PIPE WITH EACH TYPE A OR B. METALLIC LOCKING WIRE SHALL BE ATTACHED TO THE TOP OF EXISTING PIPE OR BOX IF SO AS NOT TO INTERFERE WITH VALVE OPERATION.
  2. LOCKING WIRE SHALL TERMINATE AT THE TOP OF BOX, VALVE BOX AND BE CHARGED OF EXISTING GRADE TOP OF BOX IF SO AS NOT TO INTERFERE WITH VALVE OPERATION.



- NOTES:
1. THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 4.0 FEET.
  2. DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
  3. PIPE INSTALLATION SHALL BE SUCH THAT THE AIR.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
  4. INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATING AS SPECIFIED FOR VALVE/WAULTS.
  5. CAST IRON FRAME, COVER AND ACCESS UD SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
  6. COVER SHALL READ "WINTER GARDEN UTILITIES DIVISION, "SEWER" OR "PORTABLE WATER".
  7. NO GALVANIZED PIPE/VALVES.



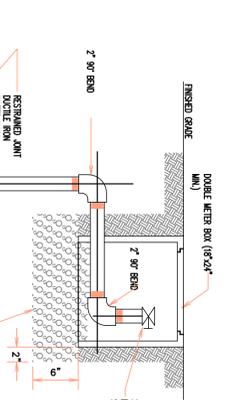
- NOTES:
1. BRONZE IDENTIFICATION DISC SHALL BE REQUIRED FOR ALL VALVES.



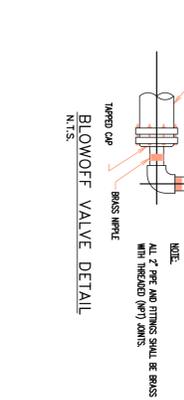
- NOTES:
1. A FITTINGS SHALL BE BRASS WITH COMPRESSION/FLANG JOINT CONNECTIONS.
  2. NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
  3. EACH SERVICE SHALL REMAIN IN A KEEPER BOX ASSEMBLY, WHICH SHALL BE PLACED TO GRADE IN THE UTILITY EASEMENT AT THE PROPERTY LINE(S) OF THE LOT(S) TO BE SERVED.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTION TO AND INCLUDING THE LETTER BOX ASSEMBLY, CITY SHALL PROVIDE THE LETTER BOX ASSEMBLY TO FINISH GRADE.
  5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SERVING THE LETTER BOX ASSEMBLY TO FINISH GRADE.
  6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SERVING THE LETTER BOX ASSEMBLY TO FINISH GRADE.
  7. IN NO CASE IS METERS TO BE INSTALLED IN SERVICE OR OTHER PAID AREAS.

City of Winter Garden, Florida  
STANDARDS AND SPECIFICATIONS  
For Utilities Construction

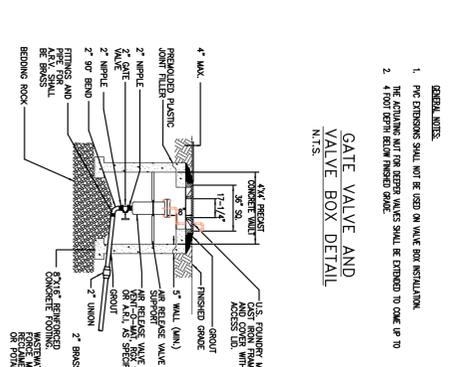
REVISION	DATE	REVISION	DATE



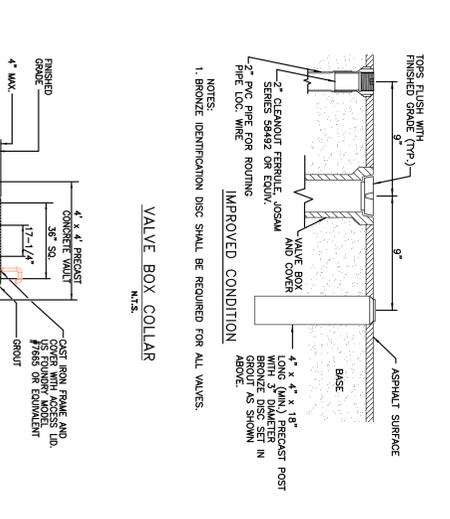
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  7. NO GALVANIZED PIPE/VALVES.



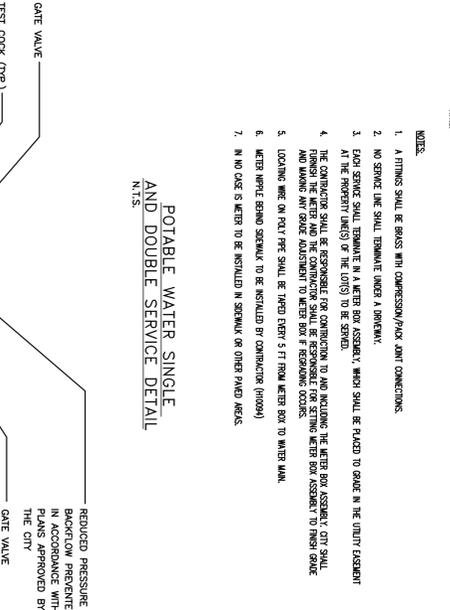
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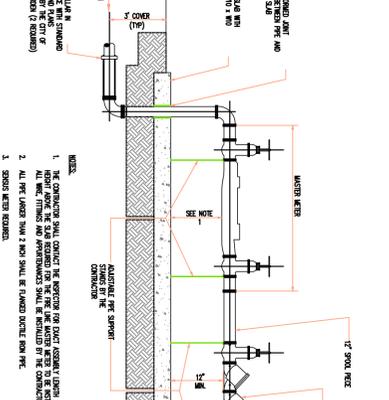
- NOTES:
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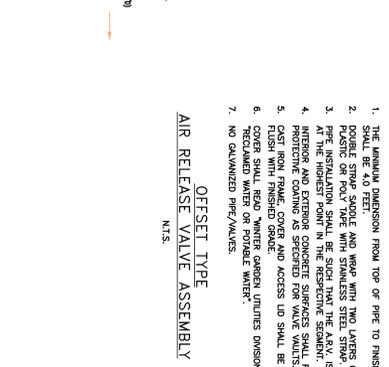
- NOTES:
1. ALL PIPE AND FITTINGS 2" AND SMALLER SHALL BE THREADED SCHEDULE 40S BLACK STEEL PIPE (NPS).
  2. ALL PIPE LARGER THAN 2" SHALL BE FLANGED DUCTILE IRON PIPE.
  3. NO GALVANIZED PIPE ALLOWED.

POTABLE WATER SYSTEM  
AIR RELEASE VALVE AND VAULT

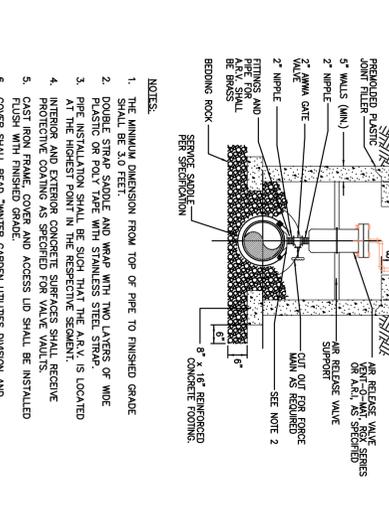
REVISION	DATE	REVISION	DATE



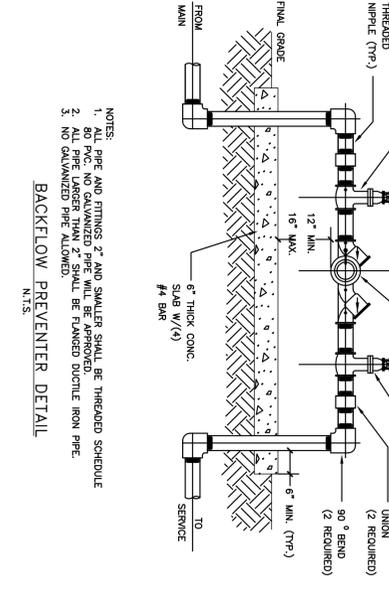
- NOTES:
1. THE CONTRACTOR SHALL CONTACT THE SUPPLIER FOR DATED (COMMON) LISTS AND REPAIR PARTS AND INSTRUCTIONS FOR THE AIR RELEASE VALVE TO BE INSTALLED.
  2. ALL PIPE LARGER THAN 2" SHALL BE FLANGED DUCTILE IRON PIPE.
  3. SADDLE BEER KEYS.
  4. 7" PIPES METERS SHALL BE COMPACTED ON WATER METER ASSEMBLY.



- NOTES:
1. THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 4.0 FEET.
  2. DOUBLE STRAP SADDLE AND WRAP WITH TWO LAYERS OF WIDE PLASTIC OR POLY TAPE WITH STAINLESS STEEL STRAP.
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  6. COVER SHALL READ "WINTER GARDEN UTILITIES DIVISION AND "PORTABLE WATER".
  7. NO GALVANIZED PIPE/VALVES.



- NOTES:
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  2. ALL PIPE LARGER THAN 2" SHALL BE FLANGED DUCTILE IRON PIPE.
  3. NO GALVANIZED PIPE ALLOWED.

POTABLE WATER SYSTEM  
AIR RELEASE VALVE AND VAULT

REVISION	DATE	REVISION	DATE

DATE: JANUARY 2008  
SHEET: 2 OF 8

STANDARD DETAILS FOR POTABLE WATER SYSTEMS

WINTER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEERS' DOCUMENTS. THE DETAILS, NOTES AND SPECIFICATIONS SHOWN ON THIS SHEET REPRESENT THE NOTED STANDARDS OF THE CITY OF WINTER GARDEN FOR THE CONSTRUCTION OF PUBLIC WORKS AND UTILITY INFRASTRUCTURE. BY INCLUDING THE STANDARDS, THE DESIGN ENGINEER HAS ACKNOWLEDGED THAT THEY ARE PRESENT TO THE PROJECT AND THAT DETAILS, NOTES, OR SPECIFICATIONS ARE THE CITY AND HAVE NOT BEEN REVISED OR MODIFIED WITHOUT WRITTEN APPROVAL FROM THE CITY ENGINEER OR UTILITY DIRECTOR.

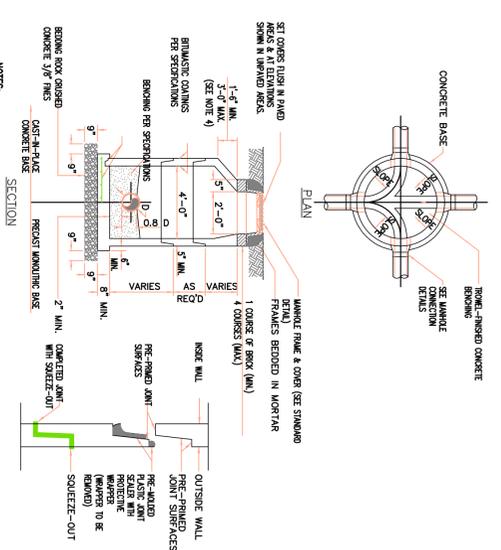
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DATE: 10/25/13  
DRAWN: CK  
CHECKED: NZ

SHOPPES AT LAKE BUTLER  
WINTER GARDEN VINELAND ROAD  
WINTER GARDEN, FLORIDA

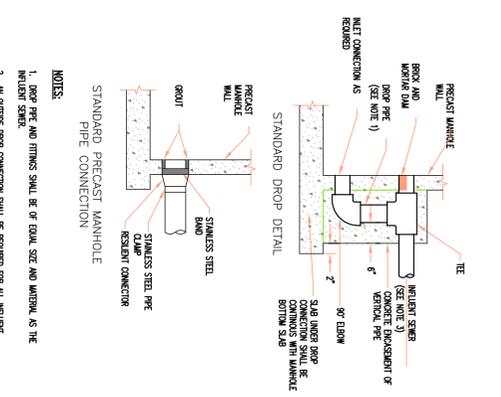
ROBERT ZIEGENFUSS, P.E., LEED AP  
FL REG. # 56752

DEVELOPMENT services  
CA 29354  
708 E. COLONIAL DR., STE 100 PH: (407) 271-8910  
ORLANDO, FL 32803 FAX: (407) 442-0604



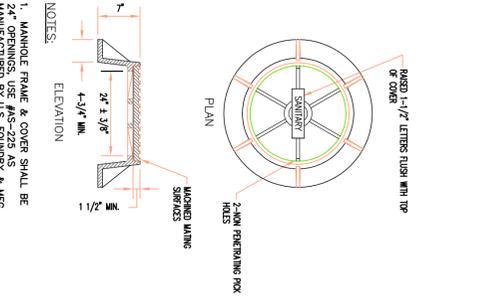
- NOTES:**
1. JOINT CONNECTIONS ARE REQUIRED WHEREVER HEIGHT OF MANHOLE EXCEEDS 2'-0" OR MORE ABOVE THE HEIGHT OF THE MANHOLE. SEE MANHOLE CONNECTION DETAILS. ALL JOINTS TO BE OUTSIDE OF THE MANHOLE.
  2. E-2 RAMP OUTSIDE ALL JOINTS.
  3. GROUT WITH NON-SHRINKING GROUT ABOVE JOINTS.
  4. NO JOINTS OVER 3 FT. TALL.
  5. ALL PRECAST CONCRETE SHALL BE COATED INSIDE AND OUTSIDE WITH COAL TAR EPOXY, MINIMUM 16 MIL THICK.

**PRECAST CONCRETE SANITARY MANHOLE**  
N.T.S.



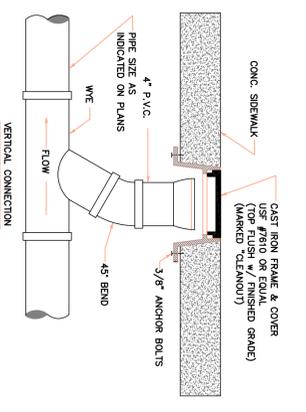
- NOTES:**
1. DROP PIPE AND FITTINGS SHALL BE OF EQUAL SIZE AND MATERIAL AS THE MANHOLE STRUCTURE.
  2. ALL JOINTS ABOVE CONNECTION SHALL BE REINFORCED FOR ALL JOINTS WHICH HAVE AN INSET 2' OR MORE ABOVE THE MANHOLE MOUTH.

**SANITARY MANHOLE CONNECTION DETAILS**  
N.T.S.

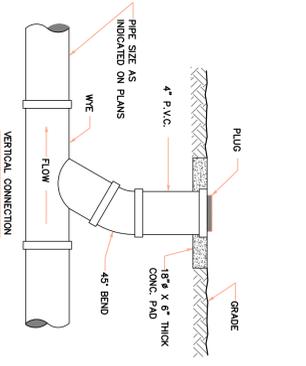


- NOTES:**
1. MANHOLE FRAME & COVER SHALL BE MANUFACTURED BY U.S. FOUNDRY & MFG. CORP. OR APPROVED EQUAL.
  2. RAIN STOPPERS LIDS OR RAIN GUARD LIDS (L.V.H.S.) REQUIRED.

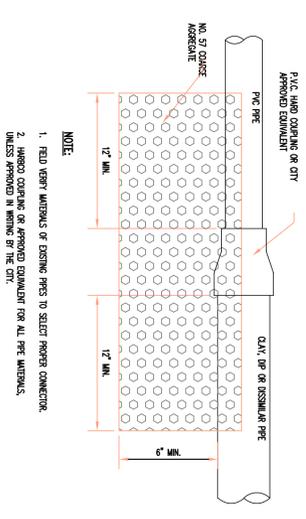
**SANITARY MANHOLE STANDARD FRAME AND COVER**  
N.T.S.



**CLEAN OUT DETAIL (IN PAVED AREA)**  
N.T.S.

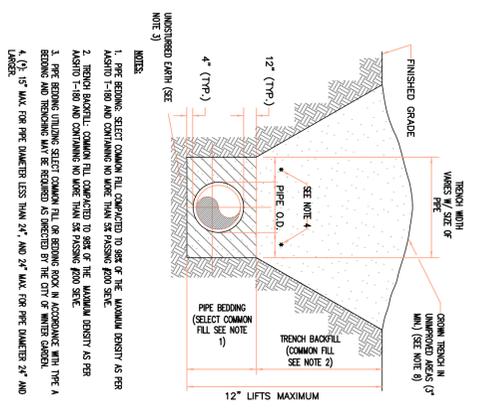


**CLEAN OUT DETAIL (IN UNPAVED AREA)**  
N.T.S.



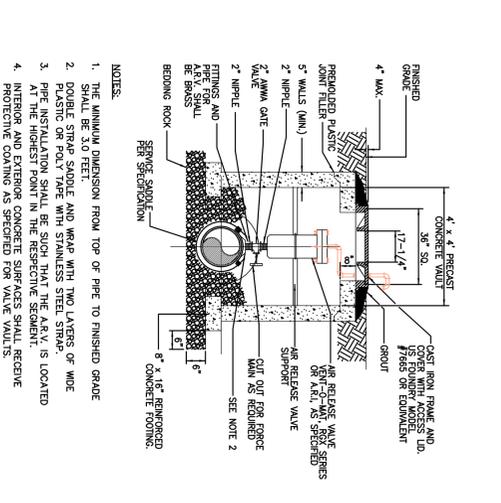
**SEWER MAIN CONNECTION DETAIL**  
N.T.S.

- NOTE:**
1. FIELD JOINT MATERIALS OF EXISTING PIPES TO SELECT PROPER CONNECTION.
  2. HUBBED COUPLING OR APPROVED EQUIVALENT FOR ALL PIPE MATERIALS UNLESS APPROVED IN WRITING BY THE CITY.



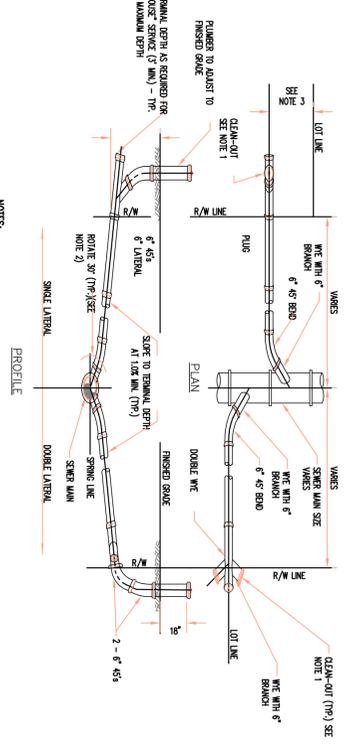
- NOTES:**
1. PIPE BEDDING, SELECT COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER ASTM D-1557 AND COMPACTED TO MORE THAN 84% FROM FRO DEPTH.
  2. TRENCH BACKFILL, COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER ASTM D-1557 AND COMPACTED TO MORE THAN 84% FROM FRO DEPTH.
  3. PIPE BEDDING, SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND BEDDING SHALL BE EQUIVALENT TO THAT OF THE CITY OF WINTER GARDEN.
  4. (1) 12\"/>
  - 5. WATER SHALL NOT BE REINFORCED IN THE TRENCH DURING CONSTRUCTION.
  - 6. ALL PIPE TO BE INSTALLED WITH BELT FRAMES UPSTREAM TO THE DIRECTION OF THE FLOW.
  - 7. ACCESS TO SECTION 1/3 OF THE GRADE COUNTY MAINT. OF STAMPS AND SPECIFICATIONS FOR WATERMAIN AND WATER MAIN CONSTRUCTION FOR SETTING AND BRACING AND DIMENSIONS.
  - 8. FINAL RESTORATION IN APPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SPACE RESTORATION WITHIN CITY OF WINTER GARDEN AND UNPAVED AREAS SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD RESTORATION SPECIFICATIONS.

**STANDARD BEDDING DETAIL**  
N.T.S.



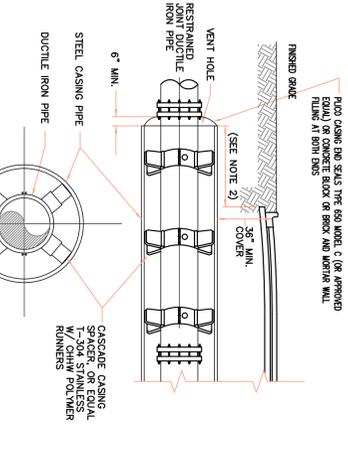
- NOTES:**
1. THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 3.0 FEET.
  2. DOUBLE STRAP SHOULDER AND WEATH WITH TWO LAYERS OF WOE.
  3. PIPE INSTALLATION SHALL BE SUCH THAT THE A.S.V. IS LOCATED AT THE HIGHEST POINT IN THE RESPECTIVE SEGMENT.
  4. INTERIOR AND EXTERIOR CONCRETE SURFACES SHALL RECEIVE PROTECTIVE COATING AS SPECIFIED FOR VALVE VAULTS.
  5. CAST IRON FRAME, COVER AND ACCESS LD SHALL BE INSTALLED.
  6. COVER SHALL BEAD WINTER GARDEN UTILITIES DIVISION AND "WASTEWATER".
  7. NO GALVANIZED PIPE/VALVES.

**SEWAGE COMBINATION AIR VALVE (SCAV) AND VALVE VAULT**  
N.T.S.



- NOTES:**
1. CLEANOUT SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH STANDARD PLUMBING CODE.
  2. INVERT OF SERVICE LATERAL SHALL NOT EXCEED SINKER MAIN BELOW SINKER LINE.
  3. WYES AND 45 DEGREE SHALL BE P.V.C. (SPP 20).
  4. LOCATE SINKER LATERAL AS CLOSE TO LOT LINE AS POSSIBLE, 25' MINIMUM.

**SANITARY SEWER SERVICE LATERAL DETAIL**  
N.T.S.



- NOTES:**
1. WHERE PRACTICAL, CASING SHALL EXTEND 8 FEET ABOVE TOP OF MANHOLE AND SHALL NOT BE LESS THAN 6 FEET ABOVE TOP OF MANHOLE IN ALL CASES.
  2. CASING SPACERS AND END STAYS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
  3. DESIGN ENGINEER TO DETERMINE NEED FOR SKEWPORT WARE (S) FOR CORROSION CONTROL.

**BORE AND JACK DETAIL**  
N.T.S.

WINTER GARDEN STANDARDS INCORPORATED WITH PERSONAL ENGINEER'S DOCUMENTS.  
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No.	ITEM	DATE

City of Winter Garden, Florida  
STANDARDS AND SPECIFICATIONS  
For Utilities Construction

STANDARD DETAILS  
FOR  
WASTEWATER SYSTEMS

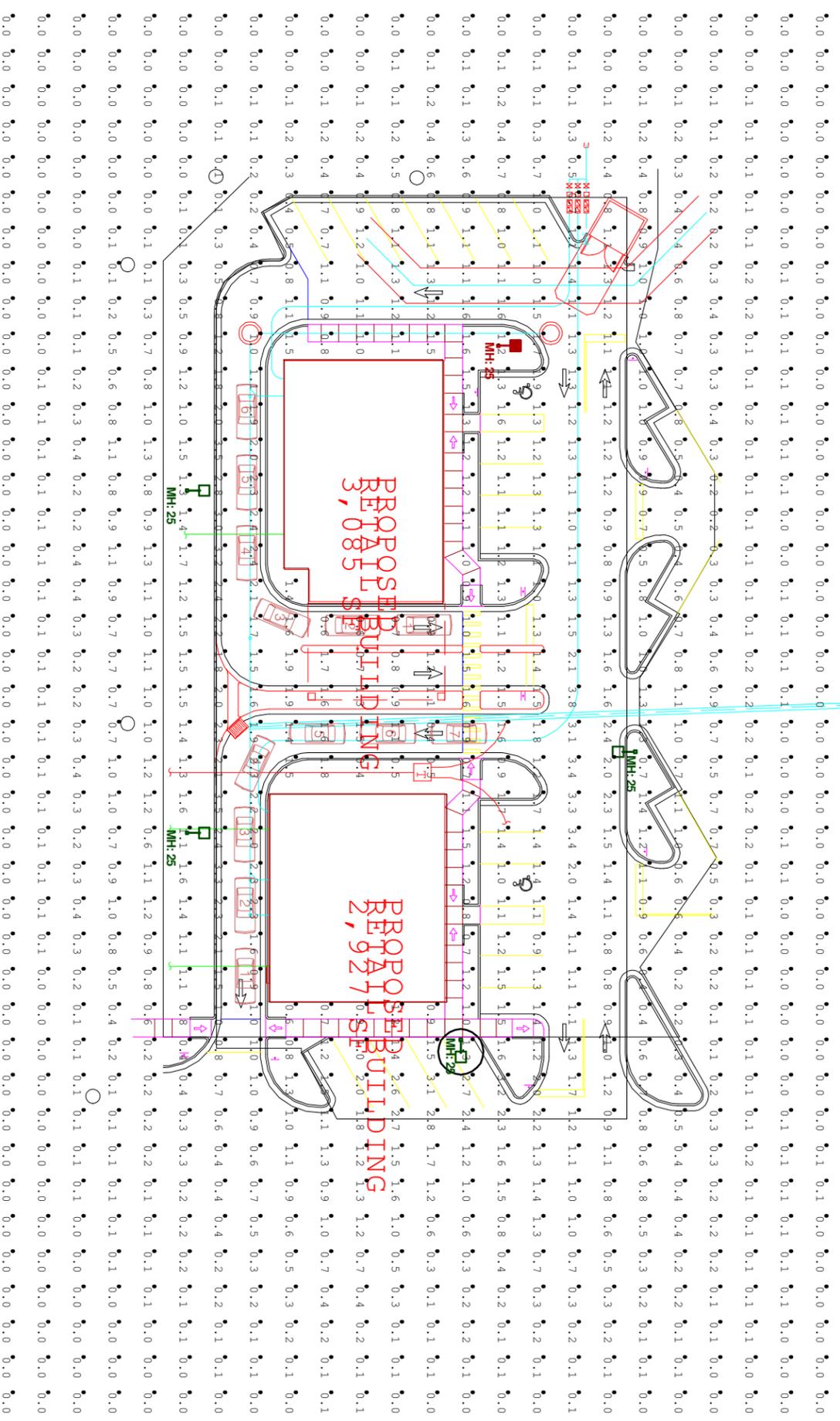
DATE: JANUARY 2008  
SHEET: 3 OF 8

**Z DEVELOPMENT services**  
CA 29354  
708 E. COLONIAL DR., STE 100 PH: (407) 271-8910  
ORLANDO, FL 32803 FAX: (407) 442-0604

REVISION DATE REVISION DATE

SHOPPES AT LAKE BUTLER  
WINTER GARDEN VINELAND ROAD  
WINTER GARDEN, FLORIDA

DATE: 10/25/13  
DRAWN: CK  
CHECKED: NZ  
C7  
PROJECT NO.: 2013-125



Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Description	Lum. Watts
	4	AVV3	SINGLE	25000	0.750	AVV30625-M 250w psmh	288
	1	AVV5	SINGLE	25000	0.750	AVV50625-M 250w psmh	288

(4) PS4S22S1BZ 22 x 4 x .188 Square steel poles  
 \*\*\* New Ruud poles meet 140 mph wind zone requirements  
 \*\*\* Circled fixture on existing pole - Customer to determine mounting method for existing pole before ordering.

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
CALC	0.63	3.8	0.0	N.A.	N.A.
PARKING LOT ONLY	1.46	3.8	0.4	3.65	9.50



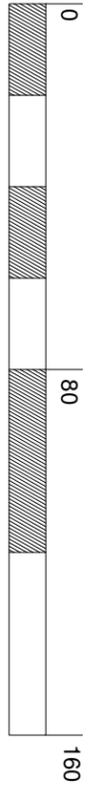
9201 Washington Ave  
 Racine, WI 53406  
 PH: (800) 236-7000  
 FX: (800) 236-7500  
 www.ruudlightingdirect.com

Date: 10/24/2013 Scale: 1"=40' Layout by: Bill

Project Name: Shoppes at Lake Butler - Winter Garden, FL Customer No: 27241

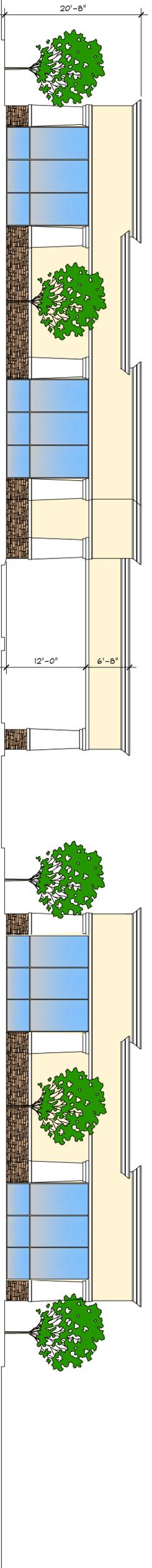
Filename: S:\Out\131024ZD1BRS.AGI

Footcandles calculated at grade using mean lumen values



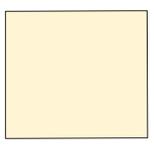
Illumination results shown on this lighting design are based on project parameters provided to Ruud Lighting used in conjunction with luminaires test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting, or energy code.



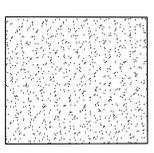


ELEVATION FACING VINELAND ROAD  
 SCALE: 1/8" = 1'-0"

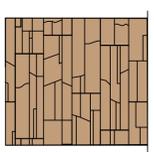
MATERIALS:



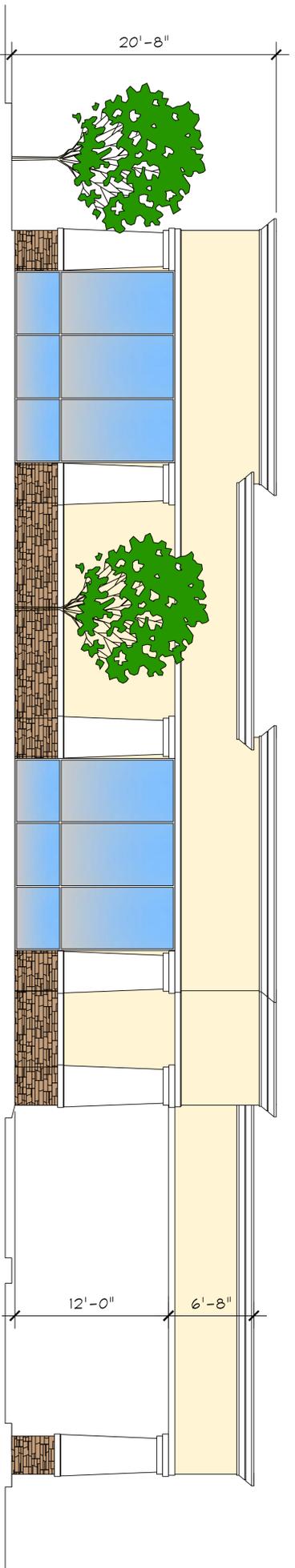
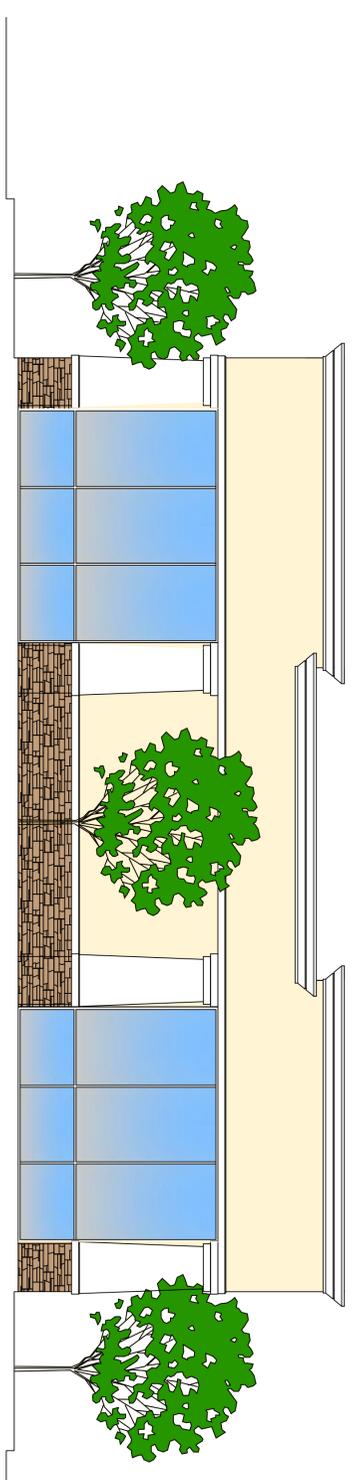
OPTIMISTIC YELLOW  
 SN 6900



NAVAJO WHITE  
 SN 6126 (TRIM)



LEDGESTONE  
 DESERT RIDGE  
 SUNHILL BLEND  
 CORONADO STONE



**GARCIA SEUFERT ARCHITECT, INC.**  
 ARCHITECTURAL DESIGN SERVICES  
 121 W. 122nd Ave TAMPA, FL 33612  
 PHONE 813-915-8300  
 FAX 813-915-0168  
 FL REGISTRATION # AA26000767

PROJECT NAME :  
**EXTERIOR ELEVATION STUDY**  
**THE SHOPPES AT LAKE BUTLER**  
 FLORIDA

SHEET CONTENT :  
**EXTERIOR ELEVATIONS**

**BRIAN D. SEUFERT, AIA**  
 FL REG AR-0012775

ICERTIFIED TO THE BEST OF MY KNOWLEDGE THAT THE DESIGN AND SPECIFICATIONS CONFORM TO THE MINIMUM BUILDING CODES.

JOB NO :  
 1865

DRAWN/REVIEWED:  
 RLG/BDS

ISSUE DATE :  
 06 NOV 2013

REVISIONS	DATE
1	
2	
3	

SHEET NUMBER  
**A-**