



**CITY COMMISSION AGENDA
CITY HALL COMMISSION CHAMBERS
300 W. Plant Street**

REGULAR MEETING

OCTOBER 24, 2013

6:30 P.M.

CALL TO ORDER

Determination of a Quorum

Invocation and Pledge of Allegiance

1. APPROVAL OF MINUTES

Regular Meeting of October 9, 2013

2. OATHS OF OFFICE AND INTRODUCTION OF NEW POLICE OFFICERS

3. PRESENTATION

A. **Proclamation 13-14** declaring November 2 through November 9, 2013 as the Week of the Family – Mayor Rees

B. Florida League of Cities recognition of Tri-County team members – Kathy Till

4. PUBLIC HEARING MATTER

Appeal by the School Board of Orange County, Florida, of the August 5, 2013 conditional approval of a preliminary plat for the proposed 140 single-family lot Crooked Lake Preserve Subdivision by the City of Winter Garden Planning and Zoning Board (*postponed September 26, 2013 and October 9, 2013 City Commission approved mitigation agreements*) - Community Development Director Williams

5. REGULAR BUSINESS

A. Recommendation to approve Final Plat for Carriage Pointe Reserve Phase II - Community Development Director Williams

B. Recommendation to declare various vehicles and equipment as surplus and authorize disposal at auction – Assistant City Manager – Administrative Services Gilbert

C. Appointments to the Planning and Zoning Board for expiring terms of Kent Horsley, Jim Gentry, and Mark Maciel for three year terms ending October 2016 – City Clerk Golden

6. MATTERS FROM PUBLIC (*Limited to 3 minutes per speaker*)

7. MATTERS FROM CITY ATTORNEY – Kurt Ardaman

8. MATTERS FROM CITY MANAGER – Mike Bollhoefer

A. Discussion on cancelling regular City Commission meetings of November 28, and December 26, 2013 for the holidays

9. MATTERS FROM MAYOR AND COMMISSIONERS

ADJOURN to a Regular Meeting on November 14, 2013 at 6:30 p.m. in City Hall Commission Chambers, 300 W. Plant Street, 1st floor

NOTICE: In accordance with Florida Statutes 286.0105, if any person decides to appeal any decision made by said body with respect to any matter considered at such meeting, he/she will need a record of the proceedings and, for that purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The City of Winter Garden does not prepare or provide such record.

	Those needing assistance to participate in any of these proceedings should contact the City Clerk's Office at least 48 hours in advance of the meeting (407) 656-4111 x2254.		Help for the hearing impaired is available through the Assistive Listening System. Receivers can be obtained at the meeting from the Information Technology Director.
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CITY OF WINTER GARDEN

CITY COMMISSION REGULAR MEETING MINUTES

October 9, 2013

A **REGULAR MEETING** of the Winter Garden City Commission was called to order by Mayor Rees at 6:30 p.m. at City Hall, 300 West Plant Street, Winter Garden, Florida. The invocation and Pledge of Allegiance were given.

Present: Mayor John Rees, Commissioners Bob Buchanan, Kent Makin, Robert Olszewski and Colin Sharman

Also Present: City Manager Mike Bollhoefer, City Attorney Kurt Ardaman, City Clerk Kathy Golden, Assistant to City Manager – Administrative Services Frank Gilbert, Community Development Director Ed Williams, Finance Director Laura Zielonka, Fire Chief John Williamson, Police Chief George Brennan, Economic Development Director Tanja Gerhartz, Recreation Director Jay Conn, Orlando Sentinel Report Stephen Hudak, and West Orange Times Reporter Peter M. Gordon

1. **APPROVAL OF MINUTES**

Motion by Commissioner Olszewski to approve the regular meeting minutes of September 26, 2013 as submitted. Seconded by Commissioner Sharman and carried unanimously 5-0.

2. **PUBLIC HEARING MATTER**

Appeal by the School Board of Orange County, Florida of the August 5, 2013 conditional approval of a preliminary plat for the proposed 140 single-family lot Crooked Lake Preserve Subdivision by the City of Winter Garden Planning and Zoning Board

City Attorney Ardaman stated that within the last hour an agreement reached primarily between the developer and Orange County Public School Board (OCPS). He noted that the City was requested to be a party to the agreement by OCPS in relation to all building permit matters. All of the money issues for concurrency, litigation, capacity for the school and surrounding areas have all been worked out between the developer and the school system. They are both satisfied with this agreement. Mr. Ardaman noted that there was one change he suggested to OCPS and the developer; Section 25, pertaining to attorney fees. He noted that he and the City Manager did not want, in the event of any litigation involving this agreement, to allow the prevailing party to recover their fees and costs from the other party; both parties agreed. He noted that the redlined language is in Section 25 of both agreements and he recommended approval for the School Concurrency Mitigation Agreement for WG-13-006 and the School Mitigation Agreement for Capacity Enhancement WG-13-002.

Mayor Rees opened the public hearing; hearing and seeing none, he closed the public hearing.

Motion by Commissioner Sharman to approve Mitigation Agreement WG-13-002 and WG-13-006 with changes as instructed by City Attorney Ardaman. Seconded by Commissioner Buchanan and carried unanimously 5-0.

3. **REGULAR BUSINESS**

A. **Recommendation to approve the Request for Qualifications submitted by Walker Parking Consultants, design criteria specialists, for a downtown parking garage**

City Manager Bollhoefer recognized Community Development Director Williams to give a PowerPoint presentation on parking garages in hopes that staff's additional analysis would answer any public and/or City Commission's questions and concerns. (*See attached Exhibit A*)

Mr. Williams explained why he recommends the city construct one or two parking garages to meet parking demands for downtown. He spoke of structured parking and how it is a more efficient use of land than the surface parking lots. He noted that the land that would have been used for surface lots then becomes available for other uses. He shared that for LEED certification for downtowns, you can't have more than 20 percent of your downtown as surface lots. We are slightly above that figure and we will go just below that figure as a couple of lots are developed for building purposes. He went on to explain the impact parking structures typically have in cities.

Mr. Williams noted a universal objection shared with him was they felt a parking garage does not fit the historic character of the City. He pointed out that recent projects were designed and built with a great deal of sensitivity to the character of the neighborhood where they were located. The second biggest concern was safety. This can be addressed through lighting stairways, open or visible stairways, security patrols, call boxes, and closed circuit cameras, that will be reflected in the upcoming exhibits he will present.

Mr. Williams stated that at our last meeting a consultant was authorized to assist with gathering criteria for parking garages that would fit the area and still meet the needs for parking. He asked the City Commission to review tonight's presentation and in the very near future narrow it down to one preferred site so that the consultant can work on the design.

Mr. Williams stated that staff has spent quite some time on the site selection evaluation and he would give a summarization of that information. He noted that one site was superior to the others but would not criticize the other two sites as they may be needed in the future and have potential.

Mr. Williams began the PowerPoint presentation and pointed out staff's findings through research of the current downtown parking and access points.

City Manager Bollhoefer recommended hiring a firm to draw up the design criteria for the building of the parking garage. Mayor Rees expressed that the firm would need to know the location of the site. There was discussion on the decision not being required at tonight's meeting.

Commissioner Sharman inquired of the City's options during the loss of parking spaces due to construction. Mr. Williams noted that typically City Hall [*parking*] is not utilized as much as it should. City vehicles could be moved to the ball field area. We may have to use a shuttle between that lot and baseball fields to get sufficient parking. Mr. Bollhoefer added that the shuttle could be used for all extra parking locations during construction that he anticipates will be four to five months maximum.

Commissioner Olszewski asked about the cost and Mr. Williams shared that \$6 million dollars has been budgeted through the CRA (Community Redevelopment Agency) and shared there would be some additional costs such as bricking Tremaine Street. Mr. Bollhoefer noted that the addition of amenities would increase the cost of the structure.

Mayor Rees asked if a weighted average was done because when he looks at Average Weekday Utilization sheet it shows 17 percent of 47 spaces and 13 percent of 192 spaces; rarely does he see we are at 100 percent anywhere. Mr. Williams responded that this was not used for the purpose of ranking which was the better location. Staff was trying to get a feel for the demand and better understanding of when we lose the other two lots to development.

Mr. Bollhoefer shared that staff will provide the City Commission with how the averages were calculated to aid them with their decision making.

Commissioner Makin asked about the total proposed square footage. Mr. Williams responded that staff is trying to get between 600 and 700 spaces. We currently have 393 surface spaces.

Commissioner Olszewski noted he is on record that he has not seen a problem getting parking spaces, outside a special event. It has been sold to the City Commission that we can't do anything that would cause someone come and feel negative about Winter Garden, and then not come back. If we are going to make this investment, we should be sure we have the ability to have other lots available. If a development comes in that will have residential and commercial with a parking garage, he thinks it would behoove us to partner with them to create ample parking. He wants to make sure we are not losing the downtown integrity, businesses, and charm.

Mr. Bollhoefer shared some of the projects and proposed projects coming in and related parking impacts.

Commissioner Sharman spoke of the cost of doing nothing and suggested that the parking garage be built before the businesses come in, as they inevitably will.

Commissioner Buchanan spoke of utilizing the land that is already owned by the City and noted that there hasn't been a development that did not hurt until it was built including Highway 50. He thinks the businesses are established with enough business that they will carry for five to six months to get the parking garage open and they will be appreciative.

Mr. Bollhoefer noted that only one firm submitted a proposal and that the references for the firm have been checked; they have a very good reputation.

Commissioner Olszewski stated that it is important that the City Commission is doing its due diligence and putting it in the right location.

Motion by Commissioner Sharman to approve hiring Walker Parking Consultants to design a downtown parking garage. Seconded by Commissioner Olszewski and carried unanimously 5-0.

4. **MATTERS FROM CITIZENS** – There were no items.

5. **MATTERS FROM CITY ATTORNEY** – There were no items.

6. **MATTERS FROM CITY MANAGER**

Community Relations Manager Vaughn announced the next Art in Public Places exhibit which will be called Red Chair Visits reception will be on October 24, 2013 at 5:30 p.m. until 7:00 p.m.

Ms. Vaughn announced that the Relay for Life season will kick off next Wednesday at Tanner Hall at 6:00 p.m. to sign up teams. She noted that the campaign will be about super heroes and our phrase is "Never fear, relays are here". She noted that April 25 and 26, 2014 will be the Relay for Life event.

7. **MATTERS FROM MAYOR AND COMMISSIONERS**

Commissioner Makin expressed that he attended MusicFest both nights and was happy it did not rain. It was a great event that was packed with people.

Commissioner Buchanan stated that he also attended MusicFest and both nights were absolutely fabulous; it was crowded and there were no complaints. Everyone had a great time.

Commissioner Olszewski stated that this was an outstanding job by the City staff and Winter Garden Heritage Foundation for hosting this great event [*MusicFest*] that brought a lot of people to the City.

Commissioner Olszewski announced the East Winter Garden Community Development Corporation's annual black tie gala will be held at Tanner Hall. He noted that a table was budgeted and asked to make the purchase for the event held on November 15, 2013.

Motion by Commissioner Olszewski to approve the purchase of a table at the East Winter Garden Community Development Black Tie Gala fundraiser. Seconded by Commissioner Sharman and carried unanimously 5-0.

Commissioner Sharman was thankful there was no rain for the MusicFest event.

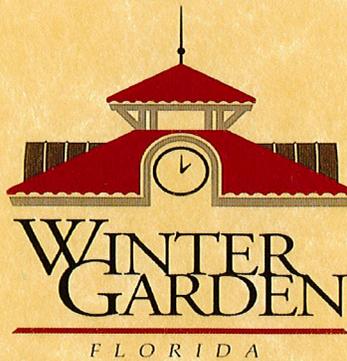
The meeting adjourned at 7:26 p.m.

APPROVED:

Mayor John Rees

ATTEST:

City Clerk Kathy Golden, CMC



Proclamation

13-14

Whereas, the City of Winter Garden is blessed with a multitude of families – an essential part of the cultural, social, and spiritual fabric of our community; and

Whereas, the City of Winter Garden recognizes that strong families are at the center of strong communities; that children live better lives when their families are strong; and that families are strong when they live in communities that connect them to economic opportunities, social networks, and services; and

Whereas, everyone has a role to play in making families successful, including neighborhood organizations, businesses, non-profit agencies, policymakers, and families themselves; and

Whereas, during the week of November 2 to Saturday, November 9, 2013, City of Winter Garden residents should take time to honor the importance of families and recommit to enhancing and extending the special connections that support and strengthen them throughout the year; and

Whereas, during this week, we urge the residents of the City of Winter Garden to join other agencies and organizations throughout the state to honor and celebrate our families;

Therefore, it is my great pleasure and privilege as the Mayor of the City of Winter Garden to hereby proclaim the week of November 2 to Saturday, November 9, 2013, as

“WEEK OF THE FAMILY”

in the City of Winter Garden, and urge all citizens to share in this occasion.

In witness whereof, I have hereunto set my hand and caused the City Seal to be affixed this 24th day of October, 2013.


Mayor John Rees



Attest:



Kathy Golden, City Clerk



THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Ed Williams, Community Development Director

Via: City Manager Mike Bollhoefer

Date: October 18, 2013 **Meeting Date:** October 24, 2013

Subject: 16303 Marsh Road (Preliminary Plat)
Crooked Lake Preserve UVPUD
PARCEL ID# 05-23-27-0000-00-005
PARCEL ID# 05-23-27-0000-00-008

Issue: This is an appeal by the School Board of Orange County, Florida of the August 5, 2013 conditional approval of a preliminary plat for the proposed 140 single-family lot Crooked Lake Preserve Subdivision by the City of Winter Garden Planning and Zoning Board.

Discussion: The School Board of Orange County's appeal letter states that the P&Z decision does not appear to be in compliance with Policy 9-1.3.2 of the Public Schools Facilities Element of the City of Winter Garden Comprehensive Plan, nor does it appear to comply with the requirements of the Amended Interlocal Agreement for Public School Facility Planning and Implementation of Concurrency by and between the School Board and the City of Winter Garden.

Recommended Action:

Staff recommends that the City Commission uphold the Planning and Zoning Boards decision, conditionally approving the Preliminary Plat for the Crooked Lake Preserve UVPUD subdivision.

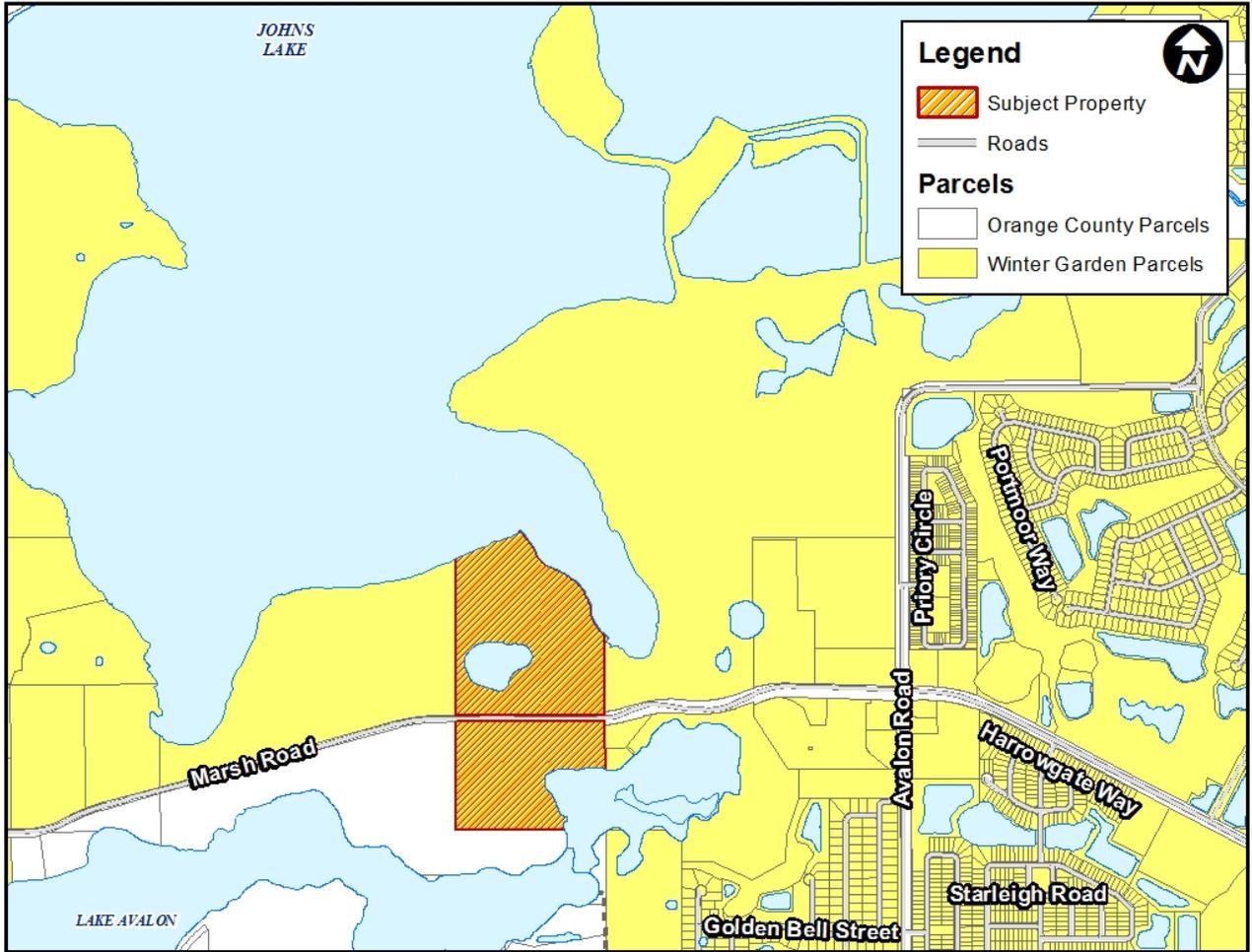
Attachment(s)/References:

Location Map
Appeal Letter
Verbatim record of portion of P&Z Board meeting minutes
Crooked Lake Preserve UVPUD Preliminary Plat

LOCATION MAP

16303 Marsh Road

PRELIMINARY PLAT





CITY OF WINTER GARDEN
300 WEST PLANT STREET
WINTER GARDEN, FL 34787

P: 407.656.4111
WWW.WINTERGARDEN-FL.GOV

WINTER GARDEN • A charming little city with a juicy past.

**APPLICATION FOR AN APPEAL OF
A PLANNING AND ZONING BOARD DECISION**

SECTION 98-31 OF THE CITY CODE OF ORDINANCE ALLOWS FOR ANYONE AGGRIEVED BY A DECISION OF THE PLANNING AND ZONING BOARD TO APPEAL SAID DECISION TO THE CITY COMMISSION. THIS DOCUMENT IS THE OFFICIAL APPEALS APPLICATION. PLEASE COMPLETE THIS FORM, SUPPLY ALL REQUIRED INFORMATION, AND PROVIDE THE APPROPRIATE FEE.

1. NAME & ADDRESS OF PETITIONER:
Orange County School Board
c/o Juli Simas James, Esq., Shutts & Bowen LLP, as Agent
300 S. Orange Avenue, Suite 1000, Orlando, FL 32801

FAX: 407-425-8316 PHONE NUMBER: 407-835-6774

2. CONTACT PERSON/MAILING ADDRESS (IF DIFFERENT):
Same as above.

FAX: _____ PHONE NUMBER: _____

3. IF CORPORATION, NAMES OF PRESIDENT AND SECRETARY:

PRESIDENT: Bill Sublette, Esq., Chairman SECRETARY: Dr. Barbara M. Jenkins, Superintendent

4. PROPERTY ID NUMBER: 05-23-27-0000-00-005 & 05-23-27-0000-00-008

5. ADDRESS OF SITE: 16303 Marsh Road, Winter Garden, FL 34787

6. PROVIDE A FULL LEGAL DESCRIPTION: See Attached Legal Description

7. DECISION TO BE APPEALED (DATE, NATURE OF THE DECISION)
August 5, 2013 decision of Planning & Zoning Board on Agenda Item #10, Preliminary Plat for 140
single-family lots in the Crooked Lake Preserve UVPUD Subdivision subject to conditions of the
Staff Report.

8. I UNDERSTAND THAT THE CITY OF WINTER GARDEN REQUIRES THAT THE APPLICANT BE RESPONSIBLE FOR REIMBURSING THE CITY FOR ALL ADVERTISING COSTS ASSOCIATED WITH THIS APPLICATION, INCLUDING POSTAGE FOR NOTICES TO ADJACENT PROPERTY OWNERS, AND FOR NEWSPAPER ADVERTISING AS REQUIRED BY THE FLORIDA STATUTES AND THE CITY CODE. I UNDERSTAND THAT I WILL BE BILLED FOR THESE COSTS AND WILL BE RESPONSIBLE FOR PAYING THEM, WHETHER OR NOT MY APPLICATION FOR AN APPEAL IS SUCCESSFUL.

IN ADDITION, IF THIS APPLICATION IS DEEMED TO REQUIRE REVIEW BY THE CITY ENGINEER, CITY SURVEYOR AND/OR CITY ATTORNEY, I UNDERSTAND THAT I OR MY COMPANY WILL BE RESPONSIBLE TO PAY FOR ANY AND ALL REASONABLE LEGAL, ENGINEERING, OR SURVEYING FEES INCURRED BY THE CITY OF WINTER GARDEN IN THE PROCESS OF REVIEWING THE ABOVE PROJECT. I ALSO UNDERSTAND THAT IF THIS PROJECT PROPERTY IS SOLD, I OR MY COMPANY WILL BE RESPONSIBLE TO ENSURE THAT THE NEW OWNER WRITES A SIMILAR LETTER ACCEPTING ALL THE RESPONSIBILITY TO PAY FOR ANY AND ALL REASONABLE LEGAL, ENGINEERING, OR SURVEYING FEES INCURRED BY THE CITY OF WINTER GARDEN IN THE PROCESS OF REVIEWING THIS PROJECT FROM THE DATE THE PROPERTY IS SOLD.



CITY OF WINTER GARDEN
300 WEST PLANT STREET
WINTER GARDEN, FL 34787

P: 407.656.4111
WWW.WINTERGARDEN-FL.GOV

AN APPLICANT SHALL PROVIDE PROMPT WRITTEN NOTICE TO THE CITY MANAGER IN THE EVENT OF A CHANGE IN OWNERSHIP OF ALL OR A PORTION OF A LOT, TRACT, OR PARCEL OF REAL PROPERTY WITH THE RESPECT TO WHICH AN APPLICATION , OR PROJECT IS PENDING BEFORE THE CITY.

INVOICES FOR THE COSTS ASSOCIATED WITH Appeal of Crooked Lake Prelim Plat (PROJECT NAME OR ADDRESS)
SHOULD BE SENT TO (NAME AND ADDRESS OF RESPONSIBLE PARTY):

Orange County School Board
c/o Juli Simas James, Esq.
Shutts & Bowen LLP
300 S. Orange Avenue, Suite 1000, Orlando, FL 32801

SIGNATURE OF THE PETITIONER

Juli Simas James, Esq., on behalf
of Shutts & Bowen LLP, as Agent
PRINT NAME:

August 15, 2013
DATE

IF PETITIONER IS A LEGAL REPRESENTATIVE OF THE OWNER, AN AFFIDAVIT SIGNED BY THE OWNER MUST ACCOMPANY THIS PETITION.

SUBMITTAL REQUIREMENTS:

1. A LETTER DESCRIBING:
 - A. THE NATURE AND REASON FOR YOUR APPEAL,
 - B. A DESCRIPTION OF THE DETERMINATION OF THE PLANNING AND ZONING BOARD.
 - C. THE REASON FOR OVERTURNING THE DETERMINATION (I.E., WHY YOU BELIEVE THE P&Z BOARD DECISION IS INCORRECT.)
2. FEE: A NON-REFUNDABLE FEE OF \$300 IS REQUIRED.

THE PLANNING AND ZONING DIRECTOR MAY REQUIRE ADDITIONAL INFORMATION. RETURN THIS FORM AND THE ABOVE SUBMITTAL REQUIREMENTS TO THE PLANNING DIRECTOR AT THE ADDRESS ABOVE.

PROCEDURE:

CITY STAFF WILL REVIEW THE APPEAL AND PLACE IT ON THE NEXT AVAILABLE CITY COMMISSION AGENDA AFTER PROPER NOTIFICATION.



CITY OF WINTER GARDEN
300 WEST PLANT STREET
WINTER GARDEN, FL 34787

P: 407.656.4111
WWW.WINTERGARDEN-FL.GOV

CODE OF ORDINANCES

THE CITY OF WINTER GARDEN'S CODE OF ORDINANCES CAN BE FOUND ON THE INTERNET AT [HTTP://WWW.MUNICODE.COM/DATABASE.HTML](http://www.municode.com/database.html). ACCESS TO THE INTERNET CAN BE OBTAINED AT ANY BRANCH OF THE ORANGE COUNTY LIBRARY.

SEC. 98-31. APPEAL FROM DECISIONS.

(A) ANY PERSON AGGRIEVED BY ANY DECISION OF THE PLANNING AND ZONING BOARD MAY FILE A NOTICE OF APPEAL TO THE CITY COMMISSION WITHIN 15 DAYS AFTER SUCH DECISION IS RENDERED BY THE BOARD. THE PERSON APPEALING SHALL FILE A NOTICE OF APPEAL UPON A FORM PRESCRIBED BY THE DIRECTOR OF PLANNING IN THE OFFICE OF THE CITY MANAGER STATING WHEREIN THE BOARD ERRED. THE DIRECTOR OF PLANNING SHALL FORTHWITH TRANSMIT TO THE CITY COMMISSION ALL THE PAPERS, PHOTOGRAPHS AND EXHIBITS CONSTITUTING THE RECORD UPON WHICH THE ACTION APPEALED FROM WAS TAKEN OR PROPERLY CERTIFIED COPIES THEREOF IN LIEU OF ORIGINALS AS THE CITY COMMISSION MAY ELECT.

(B) UPON THE FILING OF THE NOTICE OF APPEAL, THE DIRECTOR OF PLANNING SHALL PROMPTLY MAIL A COPY OF A NOTICE OF HEARING BEFORE THE CITY COMMISSION BY UNITED STATES MAIL, POSTAGE PREPAID, TO THE ORIGINAL APPLICANT, TO THE OWNER OF RECORD OF THE SUBJECT PROPERTY AND THE OWNERS OF PROPERTY WITHIN 300 FEET, FURNISHED BY THE PERSON WHO FILED THE ORIGINAL APPEAL, TO EACH ATTORNEY AT LAW APPEARING FOR ANY PERSON AT THE HEARING BEFORE THE BOARD AND TO THE CITY ATTORNEY.

(C) THE MAYOR-COMMISSIONER OF THE CITY COMMISSION OR IN HIS ABSENCE THE MAYOR PRO TEMPORE MAY ADMINISTER OATHS AND COMPEL THE ATTENDANCE OF WITNESSES. ALL MEETINGS OF THE CITY COMMISSION SHALL BE OPEN TO THE PUBLIC. THE CITY COMMISSION SHALL KEEP MINUTES OF ITS MEETINGS, SHOWING THE VOTE OF EACH MEMBER ON EACH HEARING OR, IF ABSENT OR FAILING TO VOTE, INDICATING SUCH FACT, AND SHALL KEEP RECORDS OF ITS EXAMINATION AND OTHER OFFICIAL ACTIONS, ALL OF WHICH SHALL BE IMMEDIATELY FILED IN THE MINUTES OF THE CITY COMMISSION.

(D) THE CITY COMMISSION SHALL CONDUCT A HEARING DE NOVO UPON ANY APPEAL TAKEN FROM THE RULING OF THE BOARD AND SHALL HEAR THE TESTIMONY OF WITNESSES AND OTHER EVIDENCE OFFERED BY THE AGGRIEVED PERSON AND INTERESTED PARTIES TO THE APPEAL AND MAY, IN CONFORMITY WITH THIS ARTICLE AND THE ZONING RESOLUTIONS, RULES AND REGULATIONS ADOPTED THEREUNDER, REVERSE, OR AFFIRM, WHOLLY OR PARTLY, OR MAY MODIFY THE ORDER, REQUIREMENT, DECISION, OR DETERMINATION OF THE BOARD. THE CITY COMMISSION SHALL RENDER ITS DECISION ON THE APPEAL WITHIN 21 DAYS AFTER THE CONCLUSION OF THE PUBLIC HEARING. FOR GOOD CAUSE, THE CITY COMMISSION MAY EXTEND THE TIME FOR HOLDING ITS HEARING AND RENDERING ITS DECISION TO A TIME CERTAIN AFTER NOTICE TO ALL PARTIES TO WHOM NOTICE OF SUCH HEARING IS REQUIRED.

(CODE 1988, § 16-32)

EXHIBIT "A"

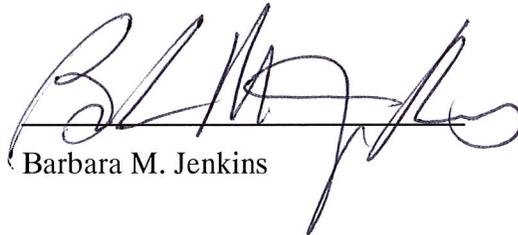
(Legal Description)

THE WEST ONE-HALF (1/2) OF THE NORTHEAST QUARTER OF SECTION 5,
TOWNSHIP 23 SOUTH, RANGE 27 EAST AS RECORDED IN THE PUBLIC RECORDS OF
ORANGE COUNTY, FLORIDA, LESS MARSH ROAD.

**AFFIDAVIT OF AGENT AUTHORIZATION
ORANGE COUNTY SCHOOL BOARD**

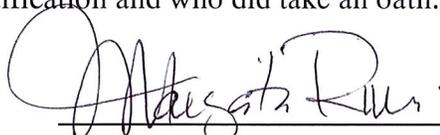
STATE OF FLORIDA)
)
COUNTY OF ORANGE)

I, Barbara M. Jenkins, having first been duly sworn, do hereby declare that I am the Superintendent of Orange County Public Schools, that I have been authorized by the Orange County School Board to execute this affidavit, and that the Orange County School Board has authorized and appointed Juli James, Esq. and the law firm of Shutts & Bowen, LLP to act as the Orange County School Board's agent with regard to the appeal of the City of Winter Garden Planning & Zoning Board's decision approving the preliminary plat for 140 single-family lots in the Crooked Lake Preserve UVPUD Subdivision (Parcel ID # 05-23-27-0000-00-005 & 05-23-27-0000-00-008).


Barbara M. Jenkins

Sworn to (or affirmed) and subscribed before me this 13th day of August, 2013, by Barbara M. Jenkins as the Superintendent of Orange County Public Schools on behalf of Orange County Public Schools. She is personally known to me or who produced _____ as identification and who did take an oath.





Notary Public
Print name: Margarita Rivera
My commission expires: _____
Notary Seal:

SHUTTS
&
BOWEN
LLP

100 Years
of Service

JULI SIMAS JAMES
PARTNER
(407) 835-6774 Direct Telephone
(407) 849-7274 Direct Facsimile

E-MAIL ADDRESS:
jjames@shutts.com

August 20, 2013

VIA HAND DELIVERY

Mr. Ed Williams
Community Development Director
City of Winter Garden
Office of the City Manager
300 West Plant Street
Winter Garden, FL 34787

**Re: Appeal to City Commission of Planning & Zoning Board's August 5, 2013
decision conditionally approving a preliminary plat for 140 single-family
lots in the Crooked Lake Preserve UVPUD Subdivision**

Dear Mr. Williams:

In accordance with §98-31 of the City of Winter Garden Code of Ordinances (the "Code"), and on behalf of the School Board of Orange County, Florida, I am herewith submitting:

1. A signed Application for an Appeal of A Planning and Zoning Board Decision;
2. A check in the amount of \$300.00 for the prescribed filing fee;
3. An Affidavit executed by Dr. Barbara Jenkins, Orange County School Superintendent, appointing the undersigned and the law firm of Shutts & Bowen, LLP as the School Board's authorized agent; and,
4. This letter setting forth the nature and reason for the appeal, a description of the Planning and Zoning Board's decision, and the reason the decision must be overturned as required by the aforementioned application.

As set forth in §98.31(a), please transmit all papers, photographs and exhibits constituting the record of the above referenced Planning and Zoning Board's decision to the Honorable Mayor and City Commission so they may conduct a *de novo* hearing as mandated by §98.31(d)

of the Code. Please notify the undersigned as soon as possible when the date for such hearing has been scheduled.

Nature and reason for the appeal.

This is an appeal by the School Board of Orange County, Florida (the "School Board") of the August 5, 2013 conditional approval of a preliminary plat for the proposed 140 single-family lot Crooked Lake Preserve Subdivision (the "Project") by the City of Winter Garden Planning and Zoning Board (the "P&Z"). The reason for the appeal is that the P&Z decision does not appear to be in compliance with Policy 9-1.3.2 of the Public Schools Facilities Element of the City of Winter Garden Comprehensive Plan (the "Comp Plan"), nor does it appear to comply with the requirements of the Amended Interlocal Agreement for Public School Facility Planning and Implementation of Concurrency by and between the School Board and the City of Winter Garden (the "ILA").

Description of the Planning and Zoning Board's decision.

At its August 5, 2013 meeting, under Agenda Item #10, the P&Z accepted staff's recommendation and approved a Preliminary Plat of 140 single-family lots in the Crooked Lake Preserve UVPUD Subdivision subject to conditions set out in the Staff Report attached to the P&Z Meeting Agenda. Fifteen separate conditions were listed dealing with items ranging from construction of proposed roundabouts to obtaining a Sand Skink clearance letter from the Florida Fish and Wildlife Commission. None of the 15 conditions related in any manner to school capacity or concurrency issues.

Reasons the decision must be overturned.

Policy 9-1.3.2 of the Public School Facilities Element of the Comp Plan states unequivocally that:

*The City shall determine if a development is vested or otherwise exempt from school concurrency. **Unless the development is determined to be vested or exempt from concurrency, the City shall not approve a residential site plan, plat, or its functional equivalent, until a concurrency review has been conducted by OCPS, and a Concurrency Certificate or its functional equivalent has been issued for the development consistent with the provisions of the ILA.** However, if OCPS fails to timely issue such Concurrency Certificate or its functional equivalent, the City may perform such concurrency review, utilizing the best available data and analyses, to determine whether a development meets concurrency requirements.*

Emphasis added.

The issue of whether an approval granted by a local government is consistent with its adopted comprehensive plan is subject to strict scrutiny. *Board of County Commissioners of Brevard County v. Snyder*, 627 So.2d 469 (Fla. 1993). In the context of land use cases the term “strict scrutiny” arises from the necessity of strict compliance with the adopted comprehensive plan. *Id.* at 475. *See also, Machado v. Musgrove*, 519 So.2d 629 (Fla. 3d DCA 1987), review denied, 529 So.2d 693 (Fla. 1988). As stated in *Pinecrest Lakes, Inc. v. Shidel*, 795 S0.2d 191 (Fla. 4th DCA 2001), *review denied*, 821 So.2d 300 (Fla. 2002), “strict scrutiny of local government development orders is necessary to insure that local governments comply with the duty imposed by section 163.3194 to make decisions consistent with the Comprehensive Plan.” 795 So.2d at 202.

In the instant case it must be noted that the Comp Plan prohibits the City from approving a plat, i.e., any plat and not just a final plat, “*until a concurrency review has been conducted by OCPS, and a Concurrency Certificate or its functional equivalent has been issued for the development consistent with the provisions of the ILA.*” It must also be noted that no current and valid Concurrency Certificate was in effect at the time of the August 5, 2013 P&Z meeting. Therefore, unless the City has determined the Project exempt from school concurrency and provided notice of such to the School Board, the P&Z could not approve the preliminary plat without violating the Comp Plan.

Section 163.3194(1)(a), F.S. states, in relevant part, that:

After a comprehensive plan, or element or portion thereof, has been adopted in conformity with this act, all development undertaken by, and all actions taken in regard to development orders by, governmental agencies in regard to land covered by such plan or element shall be consistent with such plan or element as adopted.

Compliance is not discretionary. *Village of Key Biscayne v. Tesauros Holdings, Inc.*, 761 S0.2d 397, 398 (Fla. 3d DCA 2000). As stated in *Pinecrest Lakes, Inc. v. Shidel, supra*, “[t]he statute is framed as a rule, a command to cities and counties that they must comply with their own Comprehensive Plans after they have been approved by the State.” Thus, a development order issued in violation of an approved comprehensive plan is void *ab initio*.

Furthermore, even if it could be argued that Policy 9-1.3.2 was intended to address only final plats, which is not what the plain language states, approval of the preliminary plat in this case has made approval of the final plat a mere ministerial function. Specifically, Section 110-123(e) of the Code states, in relevant part:

**** ... conditional approval of the preliminary plat shall be deemed an expression of approval as to the layout submitted on the preliminary plat and as a guide to the preparation of the final plat and construction plans, which will be submitted for approval of the planning and zoning board and the city commission*

*and for recording upon fulfillment of the requirements of this chapter and the conditions of the conditional approval, if any. ****

Thus, in the instant case, the P&Z's approval of the preliminary plat has essentially made final approval of the 140 single-family lots prescribed by that plat, and the attendant impact of the homes to be constructed thereon, a foregone conclusion. Such approval without issuance of a Concurrency Certificate is clearly contrary to the intent and language of Policy 9-1.3.2 and is also contrary to the ILA which provides, among other things, that:

11.3 ... an application for a Residential Development may be approved only if the School Capacity projected to be needed by the proposed Residential Development is or will be available to accommodate such projected need within the School Concurrency Service Areas at the Level of Service standards specified in (the ILA). A determination of whether School Capacity is available to serve a Residential Development shall be made by the Applicable Local Government upon recommendation by the School Board, consistent with the Level of Service standards adopted in (the ILA) and in the (City's) Comprehensive Plan.

Moreover, the City has specifically pledged in the ILA that it would:

[w]ithhold any Site Plan Approval under the (City Code) for new Residential Units not exempted under (the ILA) until the School Board has reported whether there is Available School Capacity sufficient to serve the Residential Development under review as provided in Section 16 (of the ILA).

See, ILA, ¶11.4(b). Again, the P&Z's decision is not consistent with this requirement.

Additionally, during the rezoning process for the subject property the City noted on several occasions that school capacity and concurrency would have to be addressed prior to preliminary plat approval. For example, on April 17, 2013, the Development Review Committee (the "DRC") noted in its minutes that, "*[d]evelopment of the property requires compliance with school concurrency standards, future submittal should include statement of how school capacity and concurrency will be met for development. Application for Capacity Determination previously submitted to OCPS expired March 2013 and therefore will require re-application for Capacity(.) [D]etermination must be provided from Orange County Public Schools prior to scheduling of public hearings for rezoning. Additionally, concurrency determination from Orange County Public Schools must be provided with preliminary plat submittal." Emphasis added.*

Likewise, in a memo from Ed Williams, Community Development Director, to the DRC dated May 28, 2013, again regarding the proposed rezoning of the Project property as needed in order to subdivide it for 140 single-family homes, Mr. Williams noted that, while "this review (was) for rezoning only and (did) not include the preliminary plat review," a number of staff comments would need to be addressed in future submittals. Among those comments was

Planning comment #25 which stated, “[d]evelopment of the property requires compliance with school capacity and concurrency standards.”

As you no doubt know, §110-123(c) of the Code provides that:

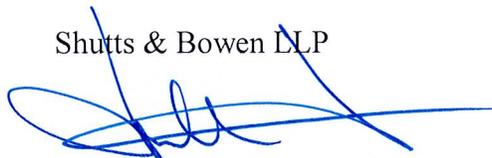
*Following a review by the city staff of the preliminary plat and other materials submitted for conformity to this chapter, the negotiations with the subdivider on changes deemed advisable and the kind and extent of improvements to be made by the subdivider, and **after the subdivider has addressed the city staff’s comments and provided any requested additional information or materials**, the city planner shall place the subdivider’s request for conditional approval of the preliminary plat, as submitted or as modified, on the next available planning and zoning board agenda. Thereafter, the planning and zoning board shall consider said request and act thereon. If approved, the planning and zoning board shall express its approval as a conditional approval and shall state the conditions of such approval, if any, or if disapproved shall express its disapproval and its reasons therefor.*

Inasmuch as those comments relating to school capacity and concurrency were apparently never addressed by the applicant, the consideration of the preliminary plat by P&Z appears to have been premature in any event.

For the foregoing reasons, we would respectfully submit that the challenged action of the P&Z must be overturned on appeal.

Sincerely,

Shutts & Bowen LLP



Juli Simas James

Enclosures

cc: Mr. Michael Bollhoefer, City Manager (via hand delivery)
Mr. A. Kurt Ardaman, City Attorney (via hand delivery)
Ms. Kathy Golden, City Clerk (via hand delivery)
Woody Rodriguez, Esq. (via email: woody.rodriguez@ocps.net)
Eileen D. Fernandez, Esq. (via email: eileen.fernandez@ocps.net)

16303 Marsh Road (Crooked Lake Preserve)

Verbatim report from the August 5, 2013 P & Z Meeting – this recording started at 7:04:28 p.m.

Senior Planner Laura Smith: The next item on your agenda is another preliminary plat. This is for the Crooked Lake Preserve property on Marsh Road. Again, you approved the rezoning to Urban Village PUD on this project last month. They are requesting preliminary plat for 140 single family lots. We have reviewed the preliminary plat and find it to be consistent with the comprehensive plan and the zoning that was approved last month and staff would recommend approval of this preliminary plat subject to the conditions that are outlined in the attached staff report. I would be happy to answer any questions that you have. Mr. Dunn?

Board Member Jimmy Dunn: Yes, I need to recuse myself from voting on this item.

Board Member James Gentry: Make sure you file your report with the clerk.

(?) Do they have their developer's agreement signed?

Planner Smith: Yes, they do.

(?) And recorded? And executed? (laughter)

Planner Smith: Yes.

James Gentry: Ok, this is a public hearing. Would anyone like to speak for or against this issue? Please step forward, sign in, and then state your name and address for us please, ma'am.

Speaker: Good evening, my name is Carol McGowin. My address is 1613 Walkerton Court, Winter Garden. I'm here on behalf of Orange County Public Schools. Orange County Public Schools objects to the project going forward as there is no CEA or concurrency agreement in place as defined by the interlocal agreement or state statute. This project does not comport with local ordinances, the ILA, or with the county charter agreement that was adopted by Orange County voters in November 2012. Thank you.

James Gentry: Did you sign in?

Carol McGowin: Getting ready to.

James Gentry: Ok. Does anyone on staff want to address that?

Community Development Director Ed Williams: Thanks. We appreciate any comments that come from the school board to the city whether it is P & Z or City Council. However, the comments tonight are inappropriate in that this is a subdivision pre-plat approval. The time for that comment is either at the comprehensive plan amendment or the rezoning hearing, not at the pre-plat. So you can't consider those comments tonight in your deliberations. If you approve or deny this based on those you need to state that for the record as to why you are approving or denying it and we would suggest that you not consider the school board issue because this is the inappropriate permit to be considering it on. Now, for a quick history and background on the issue. As you know, we don't have capacity in the High

School. It's a problem that we have had for 9 years. For 9 years the reliever high school has been in the budget and the school board has been unsuccessful in getting the high school approved. Other developments in this area have been approved with agreements and allowed to go forward. This developer has been presented with an agreement that says "you can pay your fees like those other developers but you can't go forward, you can't pull building permits, for the next 2 years or until we design the high school". Well, that is another issue because they have a standardized design for the high school so one could argue that the high school is already designed. But, that's not the real issue here. We're being put, as the City, in a position of having to say to the developer while the properties on all sides of you have been approved and are allowed to go forward we cannot issue building permits for you. In all likelihood we would be sued for doing that. So we have a choice, are we sued by the developer who would have a heck of a good case and waste taxpayer money, or do we get sued by the school board who has not been following the interlocal agreement in how they consider capacity. It has taken 9 years to solve a problem that they've known they've had, in 2004, when they purchased the reliever school site. Under the terms and conditions we have advised the school board the better law suite for the taxpayers of Winter Garden is have the school board. But we don't want to get to that. In the agreement, interlocal agreement, there is a dispute resolution provision. The school board has not availed themselves to that position at this point. We feel that would have been the appropriate time and place during the comprehensive plan amendments or during the rezoning that if they had a problem and wanted to treat this project differently than all the other properties out there, they would have filed for mediation and dispute resolution to try and resolve the issue. In spite of all those issues and the position that we are being placed in, in discussions with the City Manager as late as 2 minutes into this meeting, we are still willing to meet with the school board in an effort to find an agreement that treats this developer as fairly and in the same breath as all the other developers out there, and, we would recommend that you go forward with this on its merits as a subdivision not considering the school issue and allowing us to negotiate that with the school board through a different procedure and process. I would be happy to answer any questions you have on this issue.

(?) Why are we singling out this particular developer when we've already approved several other housing subdivisions and we have brought up as, from this board, has brought up the school related issue as being as capacity? My child goes to West Orange and I already know it's over capacity.

Director Williams: And has been since 2004. It's a great question and I can only speculate on what the various answers would be. Obviously the hearings are getting ready to happen on that school and the more pressure the public brings on county elected officials to approve that zoning the better chance it has to be approved. Perhaps it is an effort by the school board to get more support for the school being approved. If that is the case, and that's been relayed to us in the past on other projects, it is not the right way to do it.

(?) Now that particular relief school that we are talking about is that the one that is on the corner of 535 and Ficquette? Is that correct?

Director Williams: Yes, that is the one. And we, as the City, have not taken a position on that site. The position our board has taken is 'we need a reliever high school, we will do anything we can to help, we don't care if it's that site or any other site'. We need a high school out here and we have since 2004.

James Gentry: You have questions?

(?) And so, Ed, this is reminiscent of the old days when, and we appreciate what the school board is saying, but they would show up at almost every subdivision plan and by design have to oppose. Is this something we are going to see more of in the future?

Director Williams: No, I think that the school is going to be approved and this issue will go away. Hopefully it will go away.

(?) And when do you that will happen?

Director Williams: Well, the hearings are scheduled I believe in September/October time frame so it should be fairly soon. Which is another reason why we don't understand why this property would be held back 2 years while everyone else is allowed to go forward. And again, they do not show up at every meeting. We send all notices to them and they were notified of the zoning amendment, the PD amendment for this process, and they did not come to the meetings. They did not show up and raise the objection and I don't know why. But, we do know that they were notified of all the meetings properly and chose not to attend. And, I'm not picking on you (here he looked at Carol McGowin) it is thru Tyrone and Andrew...

(?) Don't shoot the messenger.

Director Williams: And yes, we are not picking on the messenger. But we are being put in a very difficult position and one that we are being placed in, we believe, unfairly.

(?) Everyone wants to be in Winter Garden.

Director Williams: Well, and we have been a huge supporter of the school board. We are the only City that went out spent two and a half million dollars to build sewer, water and roads to two schools when the developer went belly up and couldn't meet his obligations. We go out and we build the signals and the crosswalks when they put in the schools and they send us traffic studies that say 'there will be no cars going to that school so we don't need those'. But, this issue tonight is not the appropriate forum for it. We believe we can still work out an agreement. If an agreement is not worked out does not mean that this developer will not pay his fair share. He is still obligated to pay the school impact fees as we currently have them and they exist in our ordinances and we will collect those whether they have a capacity enhancement agreement or not.

James Gentry: Anyone else? Make a motion?

Eric Weiss: I motion to approve the preliminary plat at 16303 Marsh Road with Staff recommendations.

Mark Maciel: I'll second.

James Gentry: We've had a motion and a second, all in favor?
(all replied with an affirmative)

James Gentry: Any opposed?
(no response)

Director Williams: Thank you very much.

DESCRIPTION

THE WEST ONE-HALF (1/2) OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 23 SOUTH, RANGE 27 EAST AS RECORDED IN THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, LESS MARSH ROAD.

CONTAINS 78.292 ACRES MORE OR LESS.

TAX ID# 05-23-27-0000-00-005
05-23-27-0000-00-008

OWNER / DEVELOPER: CROOKED LAKE HOLDINGS, LLC. (407) 905-8180
P.O. BOX 770609
WINTER GARDEN, FL. 34777-0609

ENGINEER: JUNE ENGINEERING CONSULTANTS (407) 905-8180
P.O. BOX 770609
WINTER GARDEN, FL. 34777-0609

SURVEYOR: BISHMAN SURVEYING & MAPPING, INC. (407) 702-8127
14 S. Main Street, SUITE 210
WINTER GARDEN, FL. 34787

GEOTECHNICAL ENGINEER: YOVAISH ENGINEERING SCIENCES, INC. (407) 774-9383
953 SUNSHINE LANE
ALTAMONTE SPRINGS, FL. 32714

ENVIRONMENTAL CONSULTANT: BIO-TECH CONSULTING, INC. (407) 894-5969
2002 E. ROBINSON STREET
ORLANDO, FL. 32803

Utility Companies

Water/Sewer/Reuse Water: City of Winter Garden Utilities Dept. 407-656-4100
8 N. Highland Street
Winter Garden, FL. 34787

Telephone: Centurylink 407-814-5373
P.O. Box 770339
Winter Garden, FL. 34777-0339

Electric: Progress Energy 407-905-3302
452 E. Crown Point Road
Winter Garden, FL. 34787

Cable: Brighthouse Networks 407-295-9119
3767 All American Blvd.
Orlando, FL. 32810

Stormwater: City of Winter Garden - Public Works 407-656-2256
265 Lakeview Road
Winter Garden, FL. 34787

Fire: City of Winter Garden Fire Dept. 407-656-4689
131 E. Palmetto Street
Winter Garden, FL. 34787

Gas: Lake Apopka Natural Gas District 407-656-2734
P.O. Box 771275
Winter Garden, FL. 34777-1275

Site Data

Site Area: 78.29 Acres
Net Developable: 58.94

Zoning: PD

Future Land Use: Urban Village Residential up to 4 DU/Ac.

Aprox. Max. Number of Proposed Lots: 140

Aprox. Proposed Density: 1.79 units/acre (gross)
2.38 units/acre (net)

Min. Floor Area: 1,500 sf (60' Lots)
2,000 sf (90' Lots)

Max. Building Height: 35 feet

Min. Lot Width: 60 feet (non Lakefront) 90 feet (Lakefront)

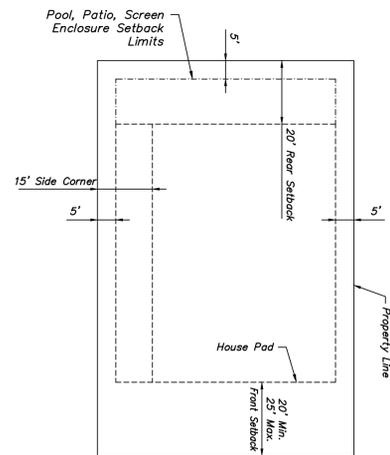
Building Setbacks	(60', 70' Lots)	(90' Lots)
Front	20'	25'
Side	5'	7.5'
Side Corner	15'	15'
Rear	20'	30'
Rear Accessory	5'	5'
Normal High Water		30'

Open Space

Required	25% of Total Developable	14.74 Acres
Provided		
Tract A	Upland Buffer	1.07 Acres
Tract B	Dry Retention	1.70 Acres
Tract C	Wetland Buffer	0.83 Acres
Tract E	Park	0.26 Acres
Tract F	Landscape	0.30 Acres
Tract G	Landscape	0.54 Acres
Tract H	Landscape	0.36 Acres
Tract I	Landscape	0.63 Acres
Tract J	Retention/Open Space	3.26 Acres
Tract K	Wetland Buffer	0.65 Acres
Tract M	Dry Retention	0.88 Acres
Tract N	Park	0.63 Acres
Tract O	Park	3.69 Acres
Tract P	Open Space	0.22 Acres
Tract Q	Dry Retention	2.55 Acres
Tract S	Open Space	0.29 Acres
Total Open Space		17.86 Acres
		17.86 > 14.74

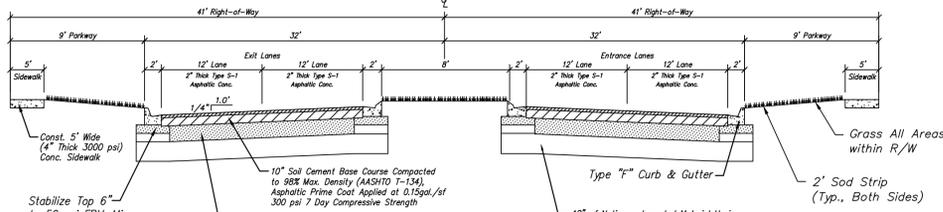
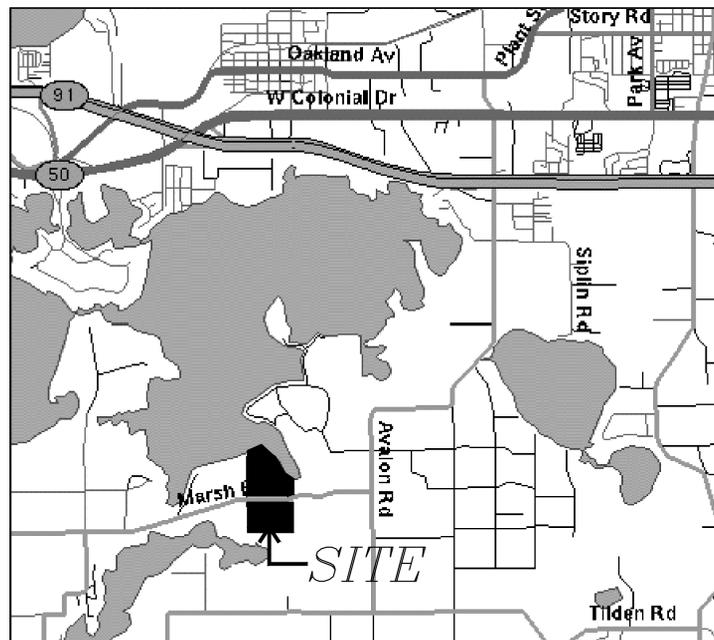
Recreation

Required	5% of Total Developable	2.95 Acres
Provided		
Tract E		0.26 Acres
Tract M		0.66 Acres
Tract O		3.69 Acres
Total Recreation		4.61 Acres
		4.61 > 2.95



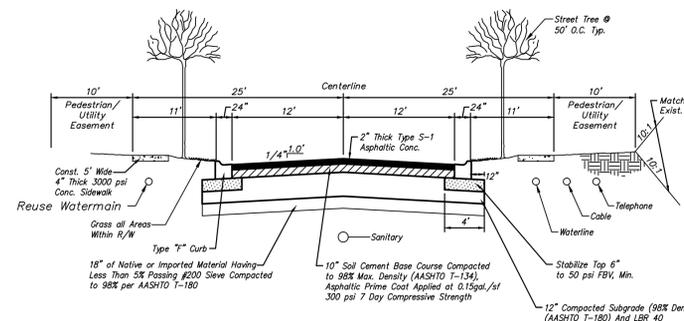
(60' - 85' Lot)
TYPICAL LOT LAYOUT
N.T.S.

PUD / Preliminary Plan for Crooked Lake Preserve



Note: The Full Right-of-Way and any Disturbed Areas Shall Have a Full Stand of Grass Upon Completion of the Infrastructure

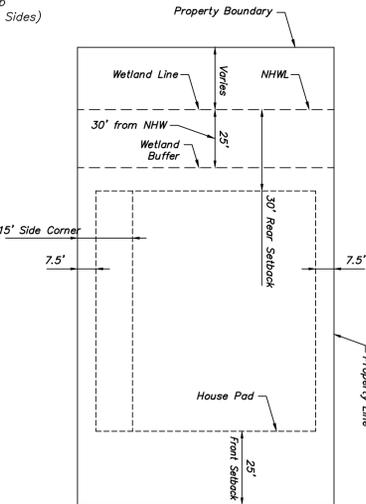
ENTRANCE ROAD SECTION
N.T.S.



Note: The Full Right-of-Way and any Disturbed Areas Shall Have a Full Stand of Grass Upon Completion of the Infrastructure

TYPICAL PAVEMENT SECTION
N.T.S.

INDEX OF SHEETS	
SHEET TITLE	No.
Cover Sheet	1
Existing Conditions	2
Preliminary Plan	3
Marsh Road - Landscaping	4
Landscape Plan	L-1



(90' Lot)
TYPICAL LOT LAYOUT
N.T.S.

General Notes

- The homeowners association will establish and operate an Architectural Review Committee in order to set architectural design standards by which the community will be developed.
- Common open space will be deeded to the homeowners association for ownership and maintenance.
- Deed Restrictions - Prior to the approval of any final plat, the owner shall record deed restrictions that creates a Property Owner's Association.
- Utilities and equipment - All utilities must be underground. All utility equipment (i.e. transformers, etc.) must be well screened.
- Signage - The residential subdivisions may have two signs per entrance with a maximum of 24 s.f. total per sign.
- The Owner or Developer of the property is required to provide landscaping for each retention pond.
- Street trees located in Right-of-Way shall be reviewed with final construction plans.
- Existing vegetation consists of planted pines.
- Landscape plans to be provided at time of construction plan submittal.
- Park amenities (tot-lot) shall be completed prior to C.O. of 25th unit.
- All driveways must comply with Appendix A, Section 2.10 (1) of the City Code governing residential driveways.
- All sidewalks not adjacent to building lots shall be installed with initial infrastructure.
- A photometric lighting plan that conforms to the dark skies regulations shall be provided with the final construction plans.
- All construction shall meet City of Winter Garden requirements for drainage, roadways and utilities.
- Landscaping shall be installed consistent with the requirements of Section 118-1524(b) and Table 3.4.2.
- Swimming pools must meet all requirements of City Code and are not guaranteed on all lots. Applications for swimming pools will be reviewed on an individual basis.
- Installation of privacy fences should not impede the flow of water for drainage purposes.
- Pavers or walkways should apply for building permits, be reviewed for non-pervious surface and how they affect water flow before they are installed.
- Residential Design Criteria - Typical front elevations of product proposed to be built in the subdivision will be reviewed with the application for rezoning to UVPUD and elevations will be included in the UVPUD rezoning ordinance.

a. In lieu of the front garage setback requirement as stated in the JPA Design Guidelines, the applicant request a waiver to require "a maximum of forty (40) percent of all residential units shall have the garage door setback five (5) feet from the principal front building facade or side-loaded garages. Residential units with the five (5) foot garage recess or side-loaded garages shall have a twenty (20) foot front yard building setback line. All other residential units shall have a minimum twenty-five (25) foot front yard setback."

b. The proposed urban village PUD will have a combination lot width from 60 to 90 feet. In addition to the larger lots, the proposed units will have a variety of main entrance treatments including front porches. The applicant request a waiver of the JPA Design Guidelines to "define a front porch as a covered outdoor area at or adjacent to the front door of the residential unit that extends a minimum of three (3) feet on either side of the front door and has a minimum depth of six (6) feet. Front porches shall be provided on fifty (50) percent of the lots."

c. Primary building entrances shall be visible and accessible from the street and shall have a walkway from the primary entrance to the sidewalk.

d. Product types constructed within the 60' and 70' lots shall be staggered to avoid similar products directly adjacent to each other or provide alternate color and architectural detail.

e. 5' foot side yard setback shown on the 60' and 70' wide lots are acceptable under the following conditions: All mechanical equipment including AC units, pool equipment, water filtration systems, and any other utility or service equipment must be located to the rear of the house, side yards must remain unobstructed, and stormwater design/engineering must be provided sufficiently addressing that 5 foot side yards can adequately support all necessary drainage and stormwater management for the property.

20. All lots bordering the PUD perimeter shall meet the requirements of Chapter 118, Article V, Division 2, Subdivision III, Section 118-924(d). A minimum 25-foot yard shall be required from the nearest part of any building wall to the edge of any public right-of-way or private street, and all structures shall have a minimum 20-foot rear yard. A minimum 25-foot yard shall be maintained between the walls of all structures and the perimeter of the PUD. Additional perimeter yard requirements for multistory buildings shall be figured at five additional feet for each ten feet of height over the first story.

21. The project shall have option to gate the entrance on the north and/or south of Marsh Road. If the Project is gated the roads will be privately owned and maintained.

22. Docks shall comply with City of Winter Garden ordinance 11-20 (as codified in Chapter 118 of the City Code).

23. The twenty five foot easement around the perimeter of the project shall have no pools, fences, or any other accessory structures that will encroach on the 25 foot perimeter easement. These conditions shall be added to the Plat notes and mandated to be on each individual lots deeds. This easement shall be maintained by the HOA.

Tract Ownership & Maintenance			
Tract	Description	Ownership & Maintenance	Area
A	Upland Buffer	Homeowners Association	1.07
B	Retention	Homeowners Association	1.70
C	Wetland Buffer	Homeowners Association	0.83
D	Wetland	Homeowners Association	2.92
E	Park	Homeowners Association	0.26
F	Landscape	Homeowners Association	0.30
G	Landscape	Homeowners Association	0.54
H	Landscape	Homeowners Association	0.36
I	Landscape	Homeowners Association	0.63
J	Retention/Open Space	City of Winter Garden	3.26
K	Wetland Buffer	Homeowners Association	0.65
L	Wetland	Homeowners Association	6.75
M	Retention	Homeowners Association	0.88
N	Park	Homeowners Association	0.66
O	Park	Homeowners Association	3.69
P	Open Space	Homeowners Association	0.22
Q	Retention	Homeowners Association	2.55
R	Lift Station	City of Winter Garden	0.02
S	Open Space	Homeowners Association	0.29
	Right-of-Way	Homeowners Association	8.57
	Johns Lake		9.68

February 14, 2013
Revised 06/26/13



june engineering consultants, inc.
14 S. Main Street
Winter Garden, FL 34787
Ph. 407-905-8180
Fax 407-905-6232

Certificate of Authorization #00008507

ROHLAND ALLEN JUNE II
PE# 41949

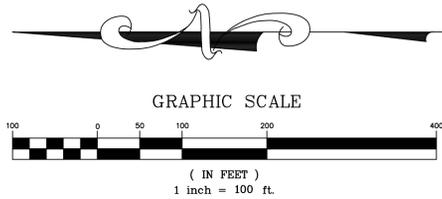
BOUNDARY AND TOPOGRAPHIC SURVEY

- LEGEND:**
- | | | | |
|------------------------------------|---------------------------------|-------------------------------------|------------------------------|
| R RADIUS | ⊙ WELL | PVC POLYVINYL CHLORIDE PIPE | ⊕ ELECTRIC HAND HOLE |
| ∠ CENTRAL ANGLE | ⊠ TELEPHONE OUTLET | RCP REINFORCED CONCRETE PIPE | ⊠ CABLE TELEVISION RISER |
| L LENGTH | ⊠ TELEPHONE RISER | CMP CORRUGATED METAL PIPE | ⊠ TELEPHONE ACCESS CABINET |
| CH CHORD | ⊠ FIRE HYDRANT | DIP DUCTILE IRON PIPE | ⊠ CATCH BASIN |
| CB CHORD BEARING | ⊠ MASTER WATER ASSEMBLY | VCP VITRIFIED CLAY PIPE | ⊠ DRAIN |
| TB TANGENT BEARING | ⊠ SEWER VALVE | CPP CORRUGATED PLASTIC PIPE | ⊠ CURB INLET |
| MD MEASURED | ⊠ WATER VALVE | HDPE HIGH DENSITY POLYETHYLENE PIPE | ⊠ CURB INLET WITHOUT MANHOLE |
| (P) PLAT | ⊠ RECLAIMED WATER VALVE | NHW NORMAL HIGH WATER | ⊠ MITERED END SECTION |
| (C) CALCULATED | ⊠ IRRIGATION VALVE | UHP UNDERGROUND POWER LINE | ⊠ UTILITY VAULT |
| (D) DESCRIPTION | ⊠ GAS VALVE | UGG UNDERGROUND GAS LINE | ⊠ AIR CONDITIONER |
| POB POINT OF BEGINNING | ⊠ SANITARY MANHOLE | UGT UNDERGROUND TELEPHONE LINE | ⊠ POWER BOX |
| POC POINT OF COMMENCEMENT | ⊠ DRAINAGE MANHOLE | FOC FIBER OPTIC CABLE | ⊠ POWER RAISER |
| O.R. OFFICIAL RECORDS BOOK | ⊠ TELEPHONE MANHOLE | WC WATER LINE | ⊠ BOLLARD |
| PL PAGE | ⊠ GREASE TRAP MANHOLE | WC WOODEN UTILITY POLE | ⊠ MONITORING WELL |
| TR TYPICAL | ⊠ POWER MANHOLE | CU CONCRETE UTILITY POLE | ⊠ LIGHT POLE |
| P.T. POINT OF TANGENCY | ⊠ WATER SHUT-OFF VALVE | ⊠ GUY POLE | ⊠ WALKWAY LIGHT |
| P.C. POINT OF CURVATURE | ⊠ POWER TRANSFORMER | ⊠ GUY ANCHOR | ⊠ TRAFFIC SIGNAL BOX |
| IRON ROD & CAP | ⊠ WATER METER | INV-69.73 INVERT ELEVATION | ⊠ BOLLARD |
| 4"x4" CONCRETE MONUMENT | ⊠ GAS METER | + 68.51 EXISTING GROUND ELEVATION | ⊠ FLAG POLE |
| IRON PIPE | ⊠ POWER METER | -60- EXISTING GROUND CONTOUR | ⊠ PARKING METER |
| BARBED WIRE FENCE | ⊠ WATER BLOW-OFF VALVE | ⊠ SINGLE POST SIGN | ⊠ TRAFFIC FLOW ARROW |
| WOOD FENCE | ⊠ CLEAN-OUT | ⊠ DOUBLE POST SIGN | ⊠ SOIL BORING |
| CHAIN LINK FENCE | ⊠ FIRE DEPARTMENT CONTROL VALVE | ⊠ HANDICAPPED PARKING SPACE (H/2) | ⊠ DRAINAGE DIRECTION |
| EDGE OF ASPHALT PAVEMENT | | ⊠ S.M. - SITE BENCH MARK | |
| CENTERSLINE | | | |
| LB LICENSED BUSINESS | | | |
| PSM PROFESSIONAL SURVEYOR & MAPPER | | | |
| PLS PROFESSIONAL LAND SURVEYOR | | | |

DESCRIPTION

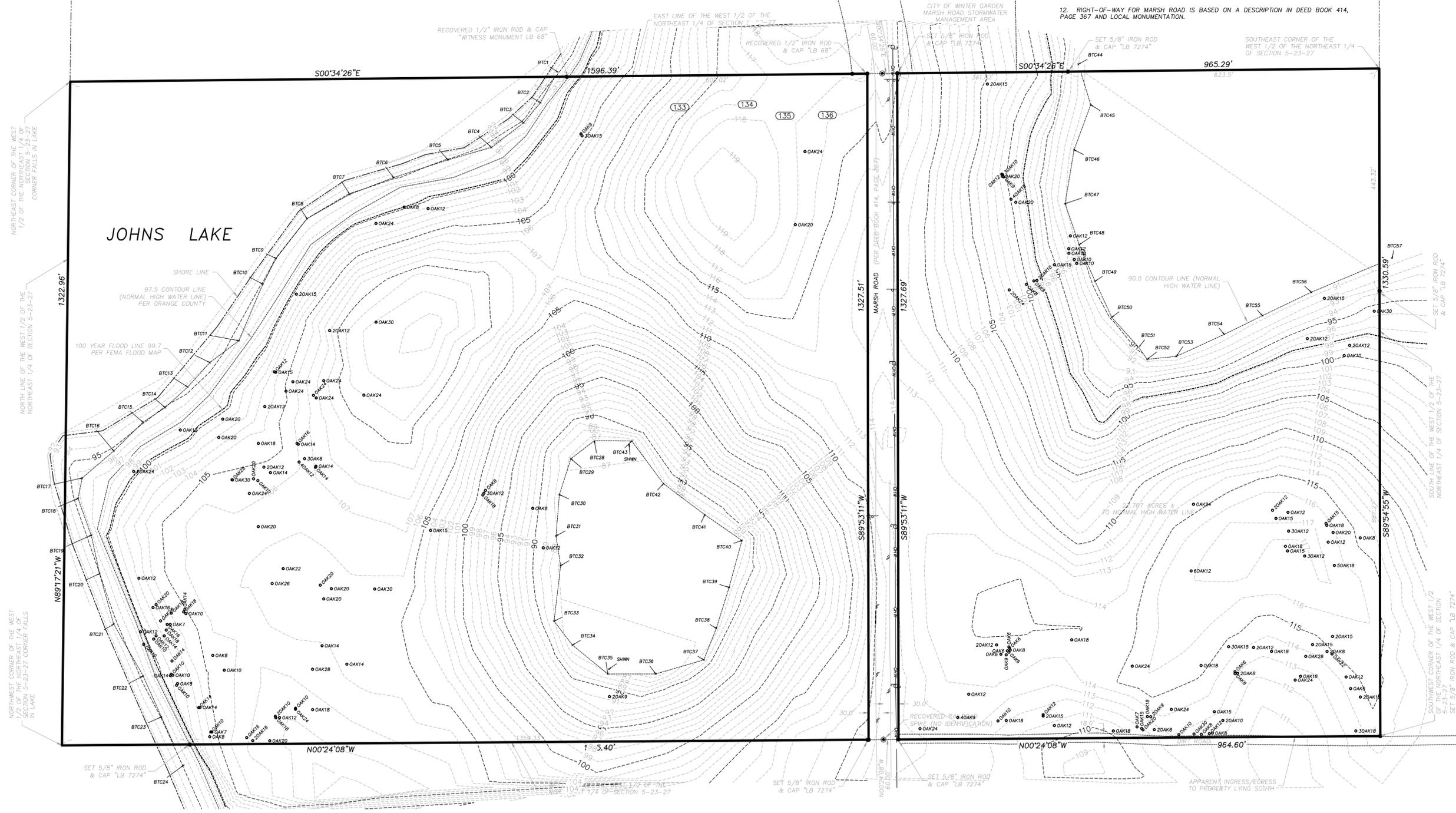
THE WEST ONE-HALF (1/2) OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 23 SOUTH, RANGE 27 EAST, AS RECORDED IN THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, LESS MARSH ROAD.

CONTAINS 78.292 ACRES MORE OR LESS.



SURVEYORS NOTES:

- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS OF WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD, BY THIS FIRM.
- REVISIONS DO NOT CONSTITUTE A RE-CERTIFICATION OF THE EXISTING FIELD CONDITIONS OF THIS SURVEY.
- BEARINGS SHOWN HEREON ARE BASED ON THE FOLLOWING: THE EAST LINE OF THE NORTHEAST 1/4, SECTION 5-23-27 BEING N00°45'10"W (ASSUMED).
- THE DESCRIPTION SHOWN HEREON IS PER O.R. BOOK 2495, PAGE 1118, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
- UNDERGROUND IMPROVEMENTS AND INSTALLATIONS HAVE NOT BEEN LOCATED.
- NO INTERIOR IMPROVEMENTS HAVE BEEN LOCATED UNLESS OTHERWISE INDICATED.
- THE LANDS SHOWN HEREON LIE PARTIALLY WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN) WITH PORTIONS LYING WITHIN ZONE AE. (BASE FLOOD ELEVATIONS OF 97.7 NAVD 1988 FOR LAKE AVALON AND 99.7 NAVD 1988 FOR JOHN'S LAKE) ACCORDING TO "FIRM" MAP NO. 12095C0200 F AND COMMUNITY NO. 12079 0200 F, DATED SEPTEMBER 25, 2009.
- THE ELEVATIONS SHOWN HEREON ARE BASED ON A SQUARE CUT IN TOP OF HEADWALL ON THE WEST SIDE OF AVALON ROAD, ORANGE COUNTY BENCH MARK NUMBER R-407-024, ELEVATION = 123.503 (NAVD 1988).
- SITE BENCH MARKS ARE AS SHOWN HEREON.
- THE ELECTRONIC FILE FOR THIS PROJECT IS THE PROPERTY OF BISHMAN SURVEYING AND MAPPING, INC. AND IS NOT THE PROPERTY OF THE CLIENT.
- RIGHT-OF-WAY FOR MARSH ROAD IS BASED ON A DESCRIPTION IN DEED BOOK 414, PAGE 367 AND LOCAL MONUMENTATION.



DATE	REVISION
5/30/13	City Comments

Boundary & Topo Survey
Crooked Lake Preserve

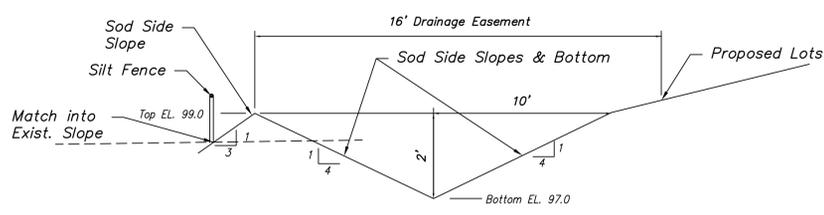
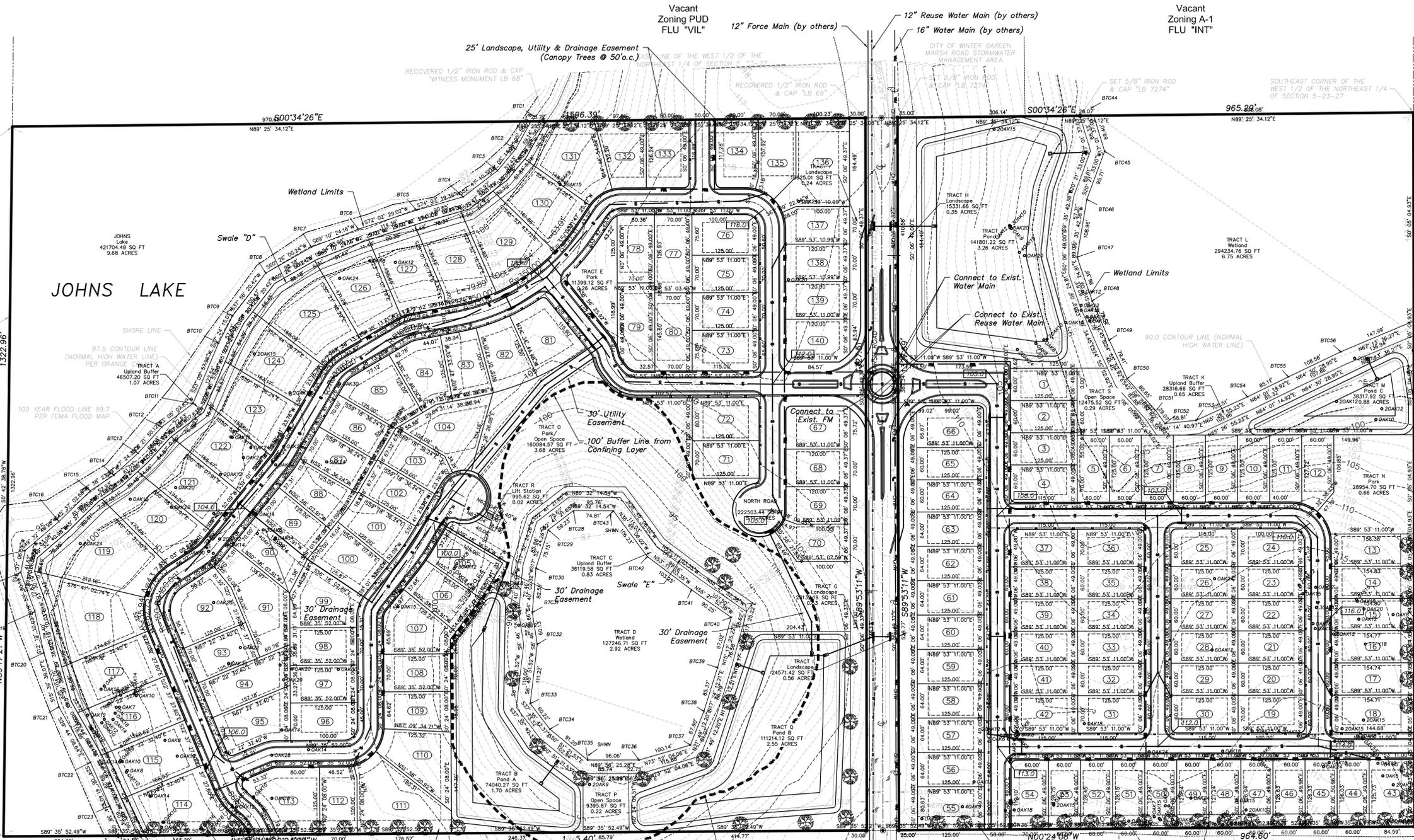
JEC June engineering consultants, inc.
14 S. Main Street
Winter Garden, FL 34787
Ph. 407-905-8180
Fax 407-905-6232

Certificate of Authorization #00008507

DRAWN BY: CLK CHECKED BY: RAJ SCALE: 1" = 100'
DATE: 2/19/13 DATE: 2/19/13

ROHLAND ALLEN JUNE II
PE# 41949

JOB NO. 12-0446
SHEET 2 OF 4



(Rear of Lots 114-131)

TYPICAL ENVIRONMENTAL SWALE "D" Section
N.T.S.

DATE	REVISION
5/30/13	City Comments

Preliminary Site Plan
Crooked Lake Preserve

JEC june engineering consultants, inc.
14 S. Main Street
Winter Garden, FL 34787
Ph. 407-905-8180
Fax 407-905-6232

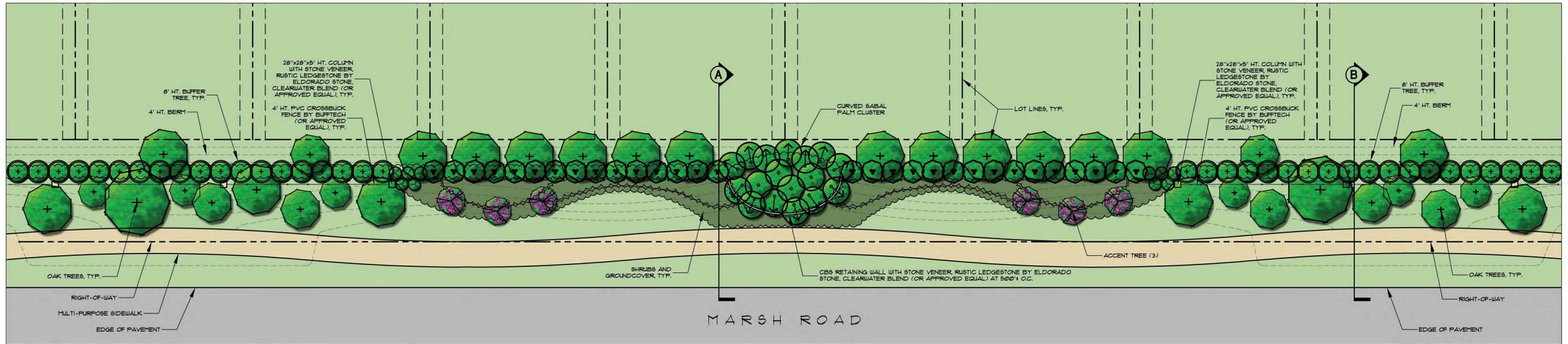
Certificate of Authorization #00008507

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DATE: 2/19/13 DATE: 2/19/13

ROHLAND ALLEN JUNE II
PE# 41949

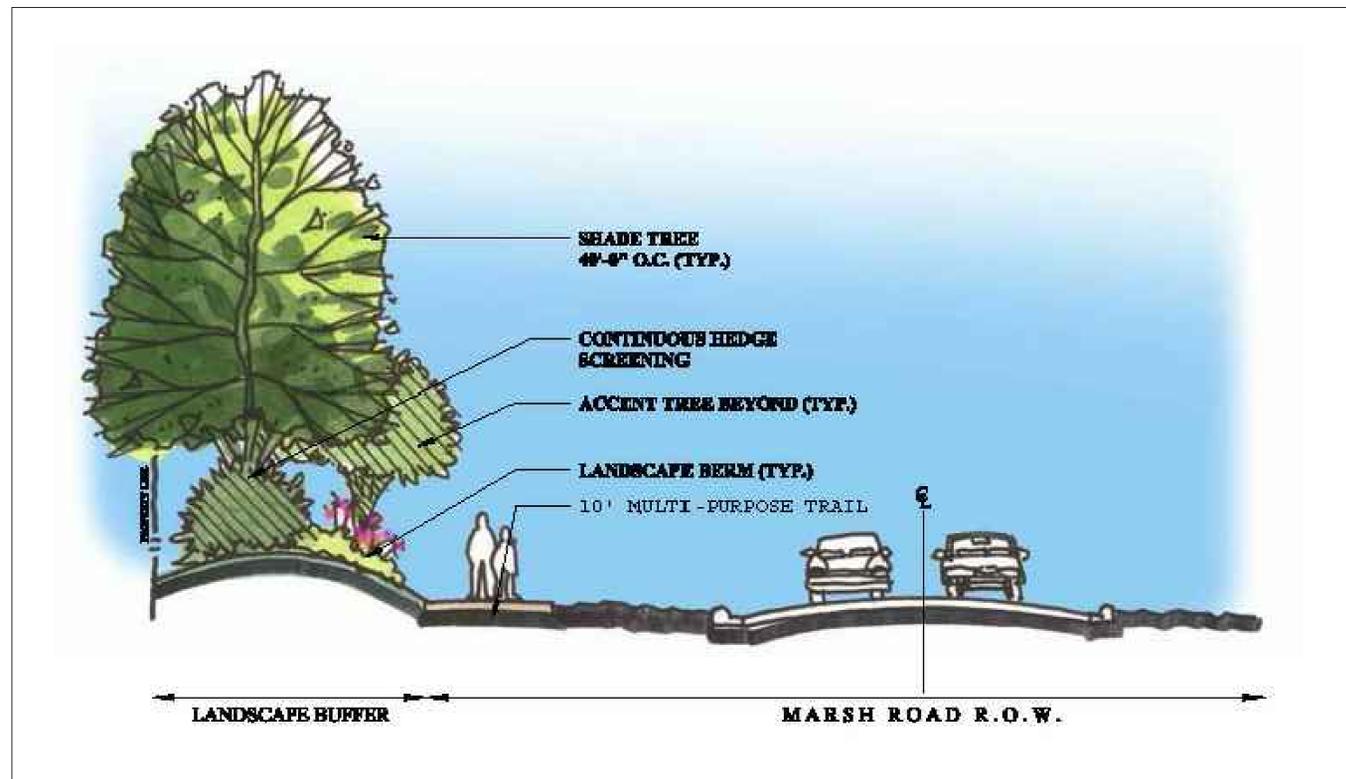
JOB NO.
12-0446
SHEET
3
OF
4

K:\ACTIVE\085\046\Cra-Mar Preliminary Plan 072413.dwg, 7/31/2013 10:11:51 AM



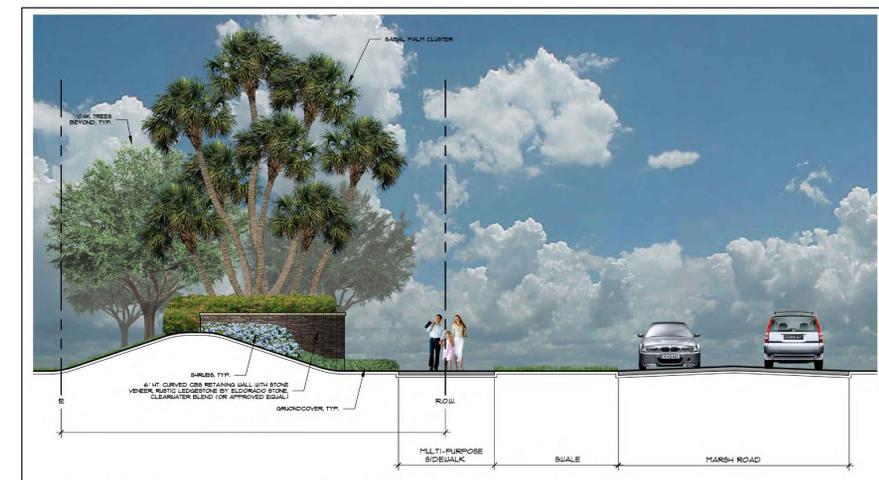
MARSH ROAD LANDSCAPE BUFFER

N.T.S.



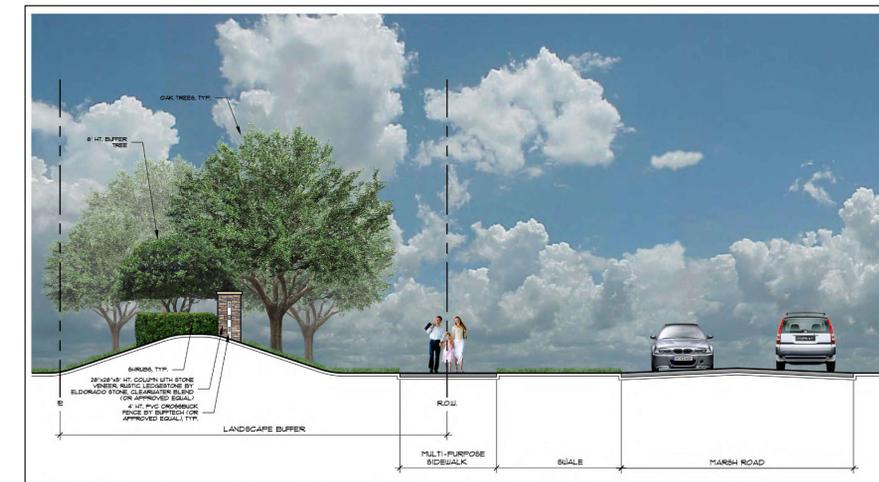
MARSH ROAD TYPICAL SECTION

N.T.S.



TYPICAL SECTION "A"

N.T.S.



TYPICAL SECTION "B"

N.T.S.

DATE	REVISION
5/30/13	City Comments

Marsh Road
Crooked Lake Preserve

JEC june engineering consultants, inc.
132 W. Plant Street, Suite 200
Winter Garden, FL, 34787
Ph. 407-905-8180
Fax 407-905-6232

Certificate of Authorization #00008507

DRAWN BY: CLK CHECKED BY: RAJ SCALE: As Noted
DATE: ?? DATE: ??

ROHLAND ALLEN JUNE II
PE# 41949

JOB NO.
12-0446
SHEET
4
OF 4

K:\ACTIVE JOBS\0446 Cra-Mar Groves\Cra-Mar Preliminary Plan 072413.dwg, 7/25/2013 4:05:48 PM

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Ed Williams, Community Development Director

Via: City Manager Mike Bollhoefer

Date: **October 18, 2013** **Meeting Date: October 24, 2013**

Subject: Final Plat
Reserve at Carriage Pointe Phase II (37.01+/- Acres)

Issue: Consideration of Final Plat of 30 lots in the 37.01+/- acre Reserve at Carriage Pointe subdivision to be platted as Phase 2. The Preliminary Plat of the Reserve at Carriage Pointe subdivision for a total of 90 lots was approved by the Planning and Zoning Board on June 4, 2012.

Discussion:

The applicant is requesting approval of Final Plat of 30 lots in the 37.01+/- acre Reserve at Carriage Pointe subdivision to be platted as Phase 2. The subject property is located within the City of Winter Garden municipal limits, and carries a zoning designation of PUD (Planned Unit Development).

Recommended Action:

Staff recommends approval of the Carriage Pointe Reserve Phase 2 Final Plat.
(See attached Staff Report)

Attachments/References:

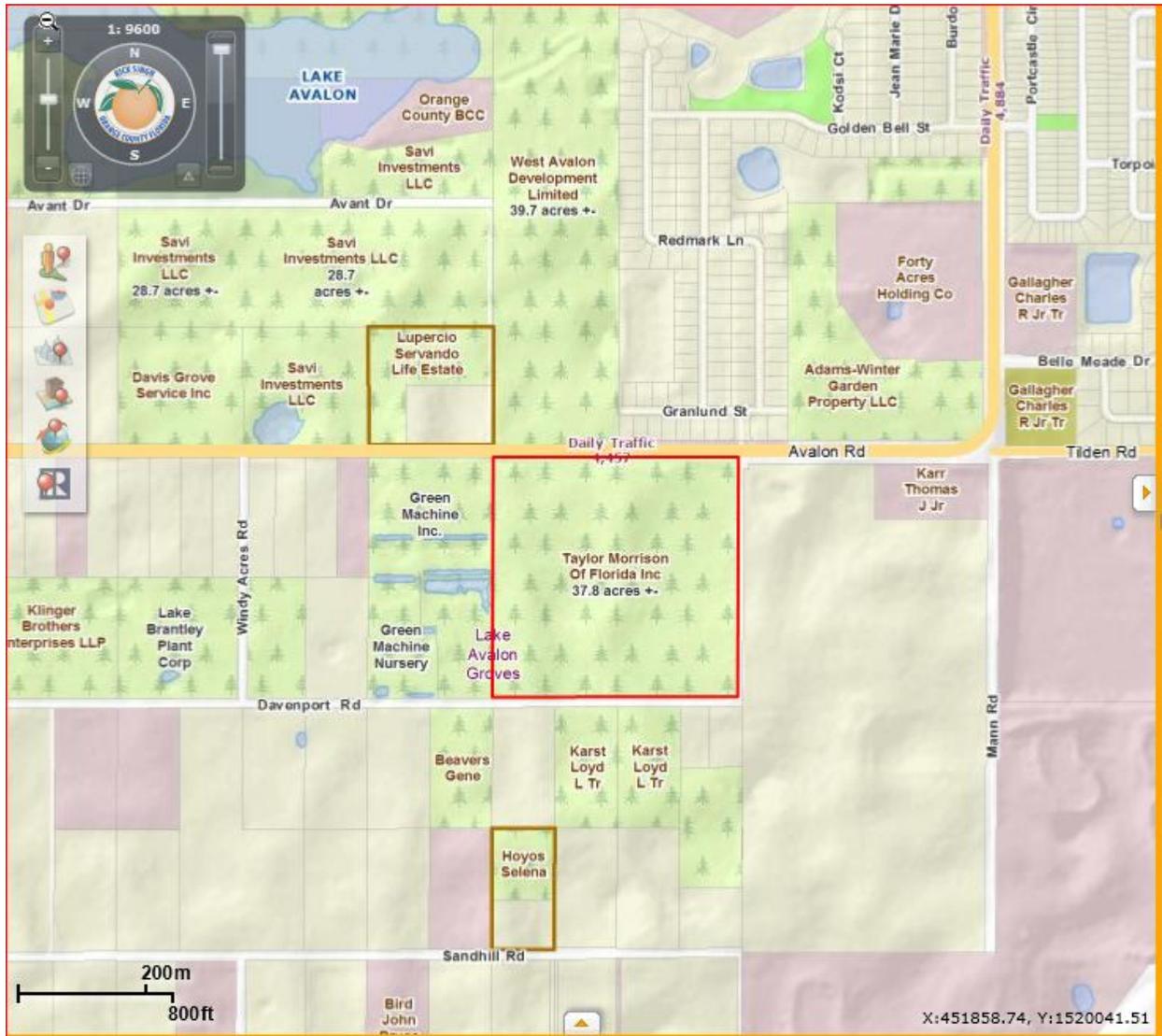
Location Map
Staff Report
Final Plat

LOCATION MAP

Carriage Pointe Reserve

2911 Avalon Road

Parcel ID # 06-23-27-4284-04-010



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

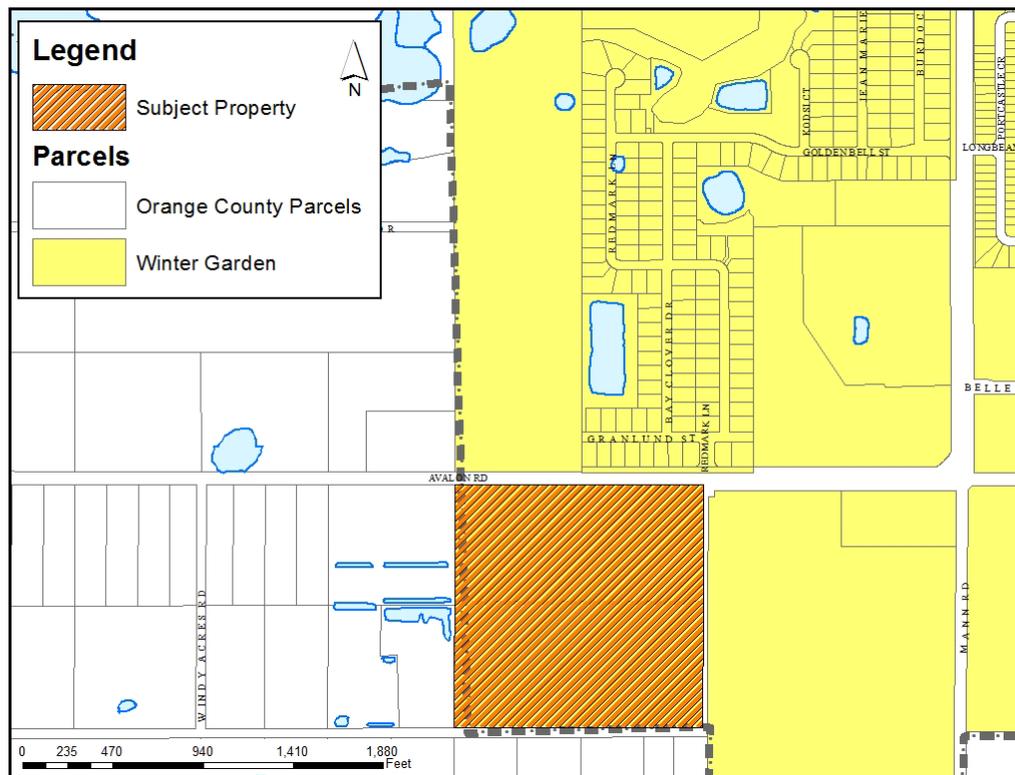
TO: PLANNING AND ZONING COMMITTEE
PREPARED BY: LAURA SMITH, SENIOR PLANNER
DATE: OCTOBER 18, 2013
SUBJECT: FINAL PLAT
Reserve at Carriage Pointe Phase 2 (37.01± ACRES)
PARCEL ID #06-23-27-4284-04-010

APPLICANT: Taylor Morrison of Florida, Inc.

INTRODUCTION

The purpose of this report is to evaluate the proposed Final Plat of the Reserve at Carriage Pointe Phase 2 for compliance with the Preliminary Plat for the Reserve at Carriage Pointe Property, the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The 37.01 ± acre subject property is located on the southwest corner of the intersection of Avalon Road and Davenport Road. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting approval of Final Plat of the first phase of the 37.01± acre property to be platted as the Reserve at Carriage Pointe Phase 2 for 30 single family residential lots. The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation PUD (Planned Unit Development) in the City of Winter Garden. The subject property is designated Suburban Residential on the Future Land Use Map of the Comprehensive Plan. The 37.01± acre site proposed for Final Plat encompasses the entire property of the subdivision, however only 30 lots of the 90 lots approved by the PUD zoning will be platted through this Final Plat as Phase 2, the first phase was previously platted for 60 lots.

EXISTING USE

The preliminary plat for the 37.01± acre Reserve at Carriage Pointe PUD was approved by the Planning and Zoning Board on June 4, 2012; Construction Plans for the subdivision were approved by the City Commission on June 14, 2012. Site work for the subdivision is currently underway.

ADJACENT LAND USE AND ZONING

The properties located to the north are a vacant property of 39.45 ± acres zoned NZ in the City and Carriage Pointe PUD. The properties located to the south are in unincorporated Orange County and are large-lot (e.g., 1 to 5 acres) single-family homes and vacant properties currently zoned A-1. The property to the east is Alexander Ridge, an undeveloped PUD with 72.54 ± acres. The properties to the west are Green Machine with 9.55 ± acres and Hodges Green Houses, Inc with 4.86 ± acres.

The subject property as well as some of the surrounding properties are located within the JPA expansion area as adopted by the Sixth Amendment to the Restated Interlocal Agreement for Joint Planning Area between Orange County and the City of Winter Garden dated January 24, 2007.

PROPOSED USE

The applicant proposes to plat the 37.01± acre site to construct 30 single family residential homes as Reserve at Carriage Pointe Phase 2.

PUBLIC FACILITY ANALYSIS

The Reserve at Carriage Pointe PUD subdivision was approved for 90 single family residential lots to be developed in two phases. Infrastructure in the form of roads, water, sewer, and reclaimed water systems are being installed to support the approved subdivision.

SUMMARY

City Staff recommend approval of the proposed Final Plat for Reserve at Carriage Pointe Phase 2.

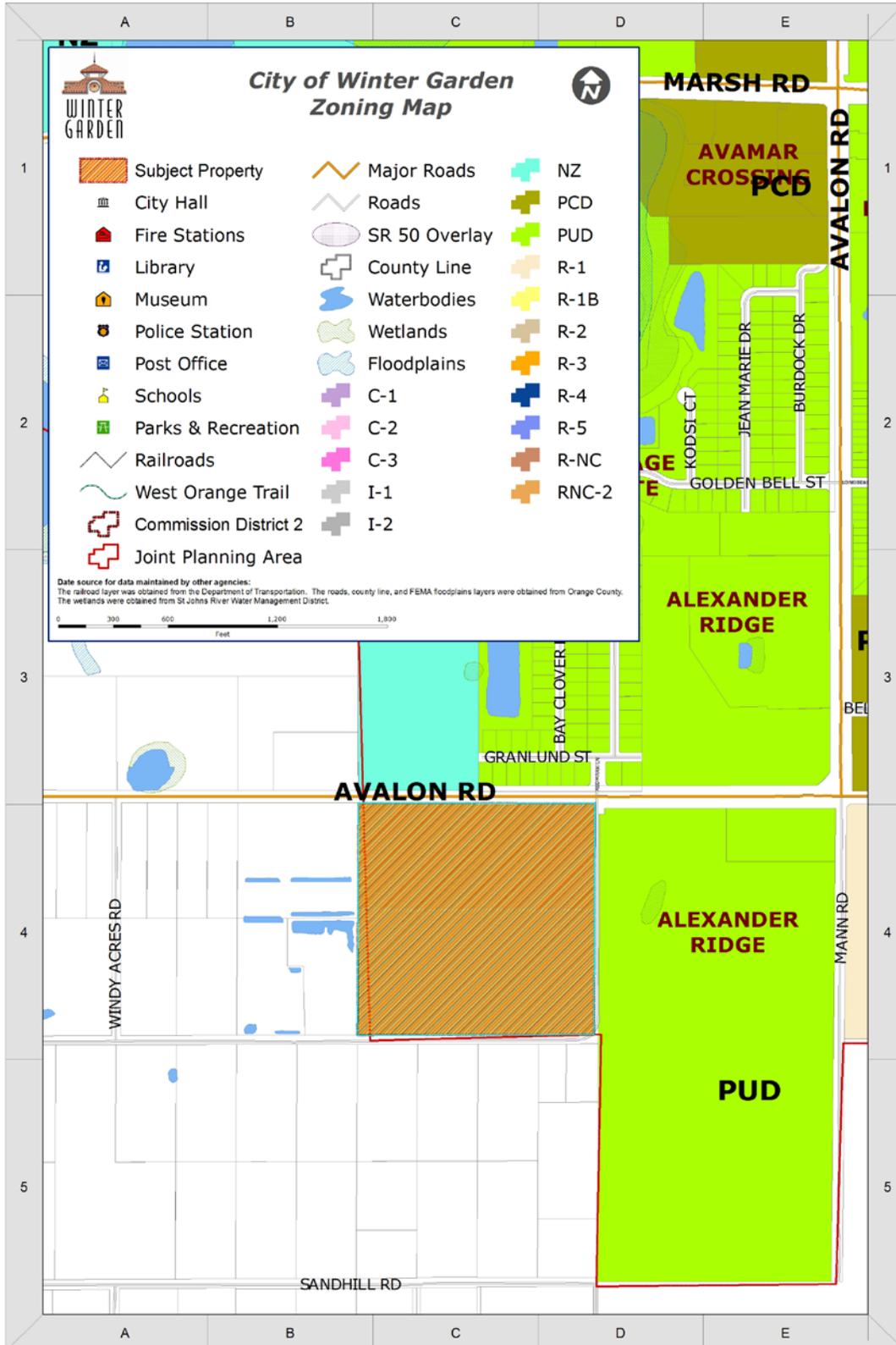
Staff has coordinated with the applicant to ensure that the Final Plat is consistent with the Code of Ordinances regarding Final Plat approval, the property specific PUD Zoning Ordinance and the approved Preliminary Plat.

MAPS

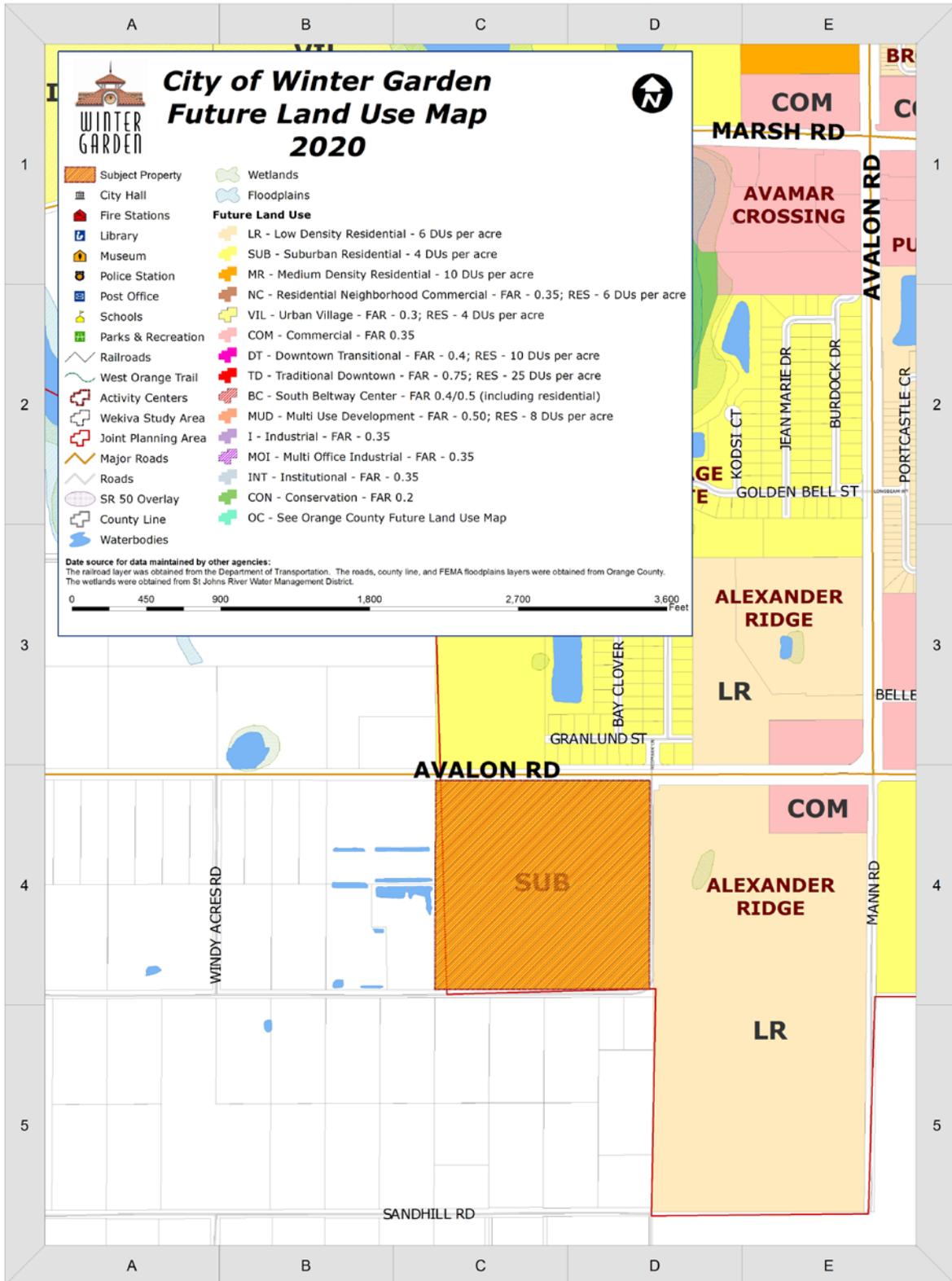
AERIAL PHOTO
RESERVE AT CARRIAGE POINTE



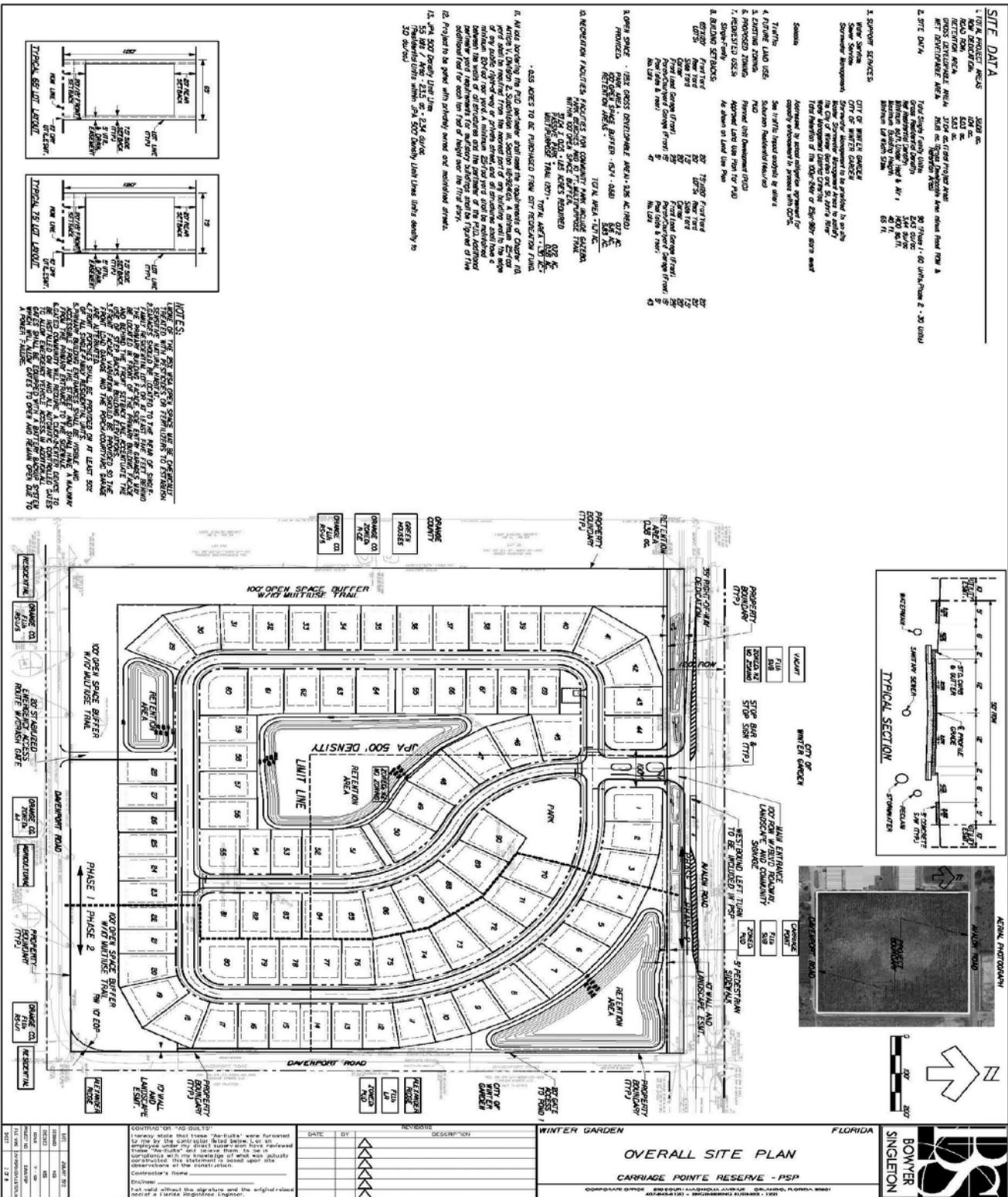
ZONING MAP
Reserve at Carriage Pointe



FUTURE LAND USE MAP
Reserve at Carriage Point



**Reserve at Carriage Pointe
 APPROVED - Preliminary Plat**



END OF STAFF REPORT

RESERVE AT CARRIAGE POINTE PHASE 2
LOCATED IN THE CITY OF WINTER GARDEN, ORANGE COUNTY, FLORIDA
BEING A REPLAT OF TRACT A, RESERVE AT CARRIAGE POINTE PHASE 1, PLAT BOOK 78, PAGES 117-122,
LOCATED IN SECTION 8, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA.

LEGAL DESCRIPTION:

ALL OF TRACT A, RESERVE AT CARRIAGE POINTE PHASE 1, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 78, PAGES 117-122, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. SAID LANDS LYING IN SECTION 8, TOWNSHIP 23 SOUTH, RANGE 27 EAST AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE EAST 1/4 CORNER OF SECTION 8, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA; THENCE N00°11'44"E, ALONG THE EAST LINE OF THE NORTHEAST 1/4 OF SAID SECTION 8, A DISTANCE OF 1352.21 FEET TO A POINT ON THE EASTERLY EXTENSION OF THE NORTH RIGHT-OF-WAY LINE OF DAVENPORT ROAD (A 50.00 FOOT RIGHT-OF-WAY); THENCE S89°52'42"W, ALONG SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 416.79 FEET; THENCE DEPARTING SAID NORTH RIGHT-OF-WAY LINE, RUN N00°07'18"W, A DISTANCE OF 100.00 FEET TO THE SOUTHWESTERLY MOST CORNER OF TRACT A, RESERVE AT CARRIAGE POINTE PHASE 1, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 78, PAGES 117-122, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA AND THE POINT OF BEGINNING; THENCE CONTINUE ALONG THE BOUNDARY OF SAID TRACT A, THE FOLLOWING 20 COURSES AND DISTANCES; RUN N00°07'18"W, A DISTANCE OF 170.00 FEET; THENCE N89°52'42"E, A DISTANCE OF 89.98 FEET; THENCE N00°11'44"E, A DISTANCE OF 360.78 FEET; THENCE N14°41'38"W, A DISTANCE OF 118.77 FEET; THENCE N36°27'07"W, A DISTANCE OF 137.96 FEET; THENCE N57°35'25"W, A DISTANCE OF 109.11 FEET; THENCE N62°18'28"W, A DISTANCE OF 30.15 FEET; THENCE N16°52'52"E, A DISTANCE OF 119.91 FEET; THENCE N25°29'08"E, A DISTANCE OF 50.51 FEET; THENCE N17°44'50"E, A DISTANCE OF 121.52 FEET; THENCE S68°15'00"E, A DISTANCE OF 89.42 FEET; THENCE S59°45'07"E, A DISTANCE OF 89.42 FEET; THENCE S51°45'35"E, A DISTANCE OF 89.42 FEET; THENCE S43°19'26"E, A DISTANCE OF 99.19 FEET; THENCE S33°21'20"E, A DISTANCE OF 99.18 FEET; THENCE S25°04'22"E, A DISTANCE OF 183.81 FEET; THENCE S00°11'44"W, A DISTANCE OF 501.52 FEET; THENCE S28°48'09"W, A DISTANCE OF 112.53 FEET; THENCE S66°09'05"W, A DISTANCE OF 123.13 FEET; THENCE S89°52'42"W, A DISTANCE OF 216.02 FEET TO THE POINT OF BEGINNING.

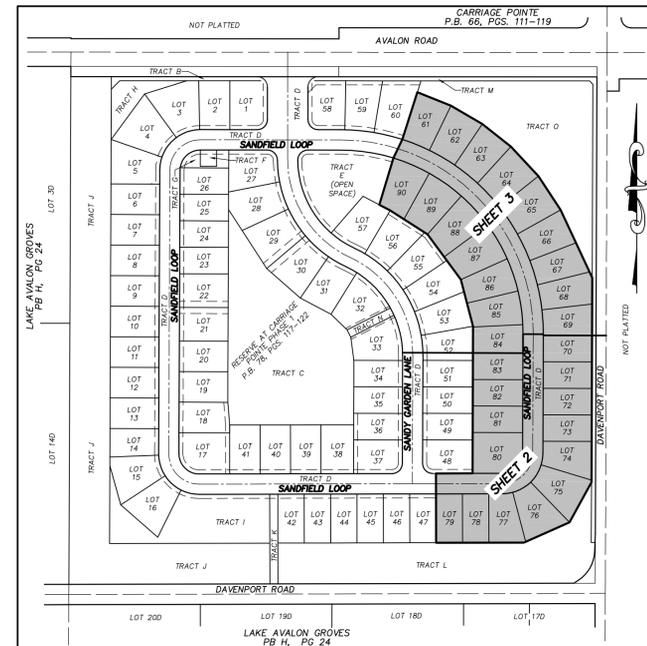
SAID LANDS CONTAINING 337,194.3 SQUARE FEET OR 7.74 ACRES, MORE OR LESS.

GENERAL NOTES:

- BEARINGS SHOWN HEREON ARE ASSUMED AND BASED ON THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA AS BEING N00°11'44"E.
- NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN THE AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
- UNLESS OTHERWISE INDICATED, A UTILITY AND DRAINAGE EASEMENT BEING 10.00 FEET WIDE AT THE FRONT OF ALL LOTS AND TRACTS ABUTTING ROAD RIGHTS-OF-WAY (PUBLIC OR PRIVATE), IS HEREBY DEDICATED TO THE CITY OF WINTER GARDEN, PUBLIC UTILITY SERVICE PROVIDERS AND THE RESERVE AT CARRIAGE POINTE HOMEOWNERS ASSOCIATION, INC. (THE "ASSOCIATION"), (SEE TYPICAL LOT DETAIL SHEET 2 OF 3). THE CITY OF WINTER GARDEN AND PUBLIC UTILITY SERVICE PROVIDERS ARE RESPONSIBLE ONLY FOR THE MAINTENANCE OF THEIR RESPECTIVE UTILITIES PLACED WITHIN THE UTILITY AND DRAINAGE EASEMENT. THE ASSOCIATION, INC. SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF ANY AND ALL DRAINAGE IMPROVEMENTS AND SWALES WITHIN THE DRAINAGE AND UTILITY AND DRAINAGE EASEMENT. THE FEE SIMPLE OWNER OF SAID LOTS AND OR TRACTS SHALL BE RESPONSIBLE FOR THE GRASS AND LANDSCAPING WITHIN ALL UTILITY AND DRAINAGE EASEMENTS LOCATED UPON INDIVIDUAL LOTS AND OR TRACTS.
- UNLESS OTHERWISE INDICATED, A UTILITY AND DRAINAGE EASEMENT BEING 5.00 FEET WIDE ALONG THE SIDES OF ALL LOTS AND TRACTS, IS HEREBY DEDICATED TO THE CITY OF WINTER GARDEN, PUBLIC UTILITY SERVICE PROVIDERS AND THE ASSOCIATION, (SEE TYPICAL LOT DETAIL SHEET 2 OF 3). THE CITY OF WINTER GARDEN AND PUBLIC UTILITY SERVICE PROVIDERS ARE RESPONSIBLE ONLY FOR THE MAINTENANCE OF THEIR RESPECTIVE UTILITIES PLACED WITHIN THE UTILITY AND DRAINAGE EASEMENT. THE ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF ANY AND ALL DRAINAGE IMPROVEMENTS AND SWALES WITHIN THE DRAINAGE AND UTILITY AND DRAINAGE EASEMENT. THE FEE SIMPLE OWNER OF SAID LOTS AND OR TRACTS SHALL BE RESPONSIBLE FOR THE GRASS AND LANDSCAPING WITHIN ALL UTILITY AND DRAINAGE EASEMENTS LOCATED UPON INDIVIDUAL LOTS AND OR TRACTS.
- THE ASSOCIATION, AS THE OWNER OF THE SUBDIVISION INFRASTRUCTURE NOT OTHERWISE DEDICATED TO THE PUBLIC USE OR THE CITY OF WINTER GARDEN, COMMON PROPERTIES, AND AMENITIES, AND THE INDIVIDUAL LOT OWNERS TO EXTENT OF THEIR INTEREST IN THE FOREGOING, SHALL RELEASE, DEFEND, INDEMNIFY AND HOLD THE CITY OF WINTER GARDEN, OTHER GOVERNMENTAL ENTITIES AND PUBLIC UTILITIES HARMLESS FROM ANY AND ALL COSTS, EXPENSES, SUITS, DEMANDS, LIABILITIES, DAMAGES, INJURIES (INCLUDING DEATH), OR OTHERWISE, INCLUDING ATTORNEY'S FEES AND COSTS OF SUIT, IN CONNECTION WITH THE REASONABLE USE OF SAID SUBDIVISION INFRASTRUCTURE, COMMON AREAS, OR AMENITIES, OR SAID PARTIES' MAINTENANCE THEREOF, OR SAID PARTIES' EXERCISE OF RIGHTS PERMITTED IN THE SUBJECT DECLARATION OF THE HOMEOWNERS ASSOCIATION, THIS PLAT, OR AS OTHERWISE PERMITTED BY LAW.
- THE CITY OF WINTER GARDEN SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO ACCESS, MAINTAIN, REPAIR, REPLACE AND/OR OTHERWISE CARE FOR OR CAUSE TO BE CARED FOR, ANY AND ALL COMMON AREAS, EASEMENTS, DRAINAGE SYSTEMS, INCLUDING WITHOUT LIMITATION, THE RETENTION/DETENTION AREAS AND UNDERDRAINS, COMMON PROPERTIES, PRIVATE ROADS, SCREENING WALLS, AND SUCH OTHER SUBDIVISION INFRASTRUCTURE NOT OTHERWISE DEDICATED TO THE PUBLIC USE OR THE CITY OF WINTER GARDEN, INCLUDING, WITHOUT LIMITATION, IMPROVEMENTS AND RIGHTS-OF-WAYS DEPICTED ON THIS PLAT. IN THE EVENT ANY OR ALL OF THE SAID AREAS, SYSTEMS, IMPROVEMENTS, PROPERTIES OR AREAS ARE NOT MAINTAINED, REPAIRED, OR REPLACED IN ACCORDANCE WITH THE STANDARDS OF THE CITY OF WINTER GARDEN CODE OF ORDINANCES, GOOD ENGINEERING PRACTICES, OR BECOME A NUISANCE, OR IN THE EVENT THE CITY OF WINTER GARDEN EXERCISES ITS FORECLOSURE RIGHT, EACH OF THE LOT OWNERS OF THE SUBDIVISION ARE HEREBY ULTIMATELY RESPONSIBLE FOR PAYMENT OF THE COST OF MAINTENANCE, REPAIR, AND CARE PROVIDED BY THE CITY OF WINTER GARDEN AND ITS CONTRACTORS AND AGENTS, PLUS ADMINISTRATIVE COSTS AND ATTORNEYS' FEES AND COSTS INCURRED BY THE CITY OF WINTER GARDEN. IF SAID COSTS ARE NOT PAID WITHIN 15 DAYS OF INVOICING, THEN SAID COSTS SHALL CONSTITUTE A LIEN ON THE PROPERTY OF THE OWNERS WHICH FAIL TO PAY SUCH COSTS AND MAY BE ENFORCED, WITHOUT LIMITATION, BY FORECLOSURE, SPECIAL ASSESSMENTS, OR AS MAY OTHERWISE BE PERMITTED BY LAW. THIS RIGHT, AND THE CITY OF WINTER GARDEN'S EXERCISE OF SAID RIGHT, SHALL NOT IMPOSE ANY OBLIGATION ON THE CITY OF WINTER GARDEN TO MAINTAIN, REPAIR, REPLACE, OR OTHERWISE CARE FOR SAID PRIVATE AREAS, DRAINAGE SYSTEMS, INCLUDING WITHOUT LIMITATION, THE RETENTION/DETENTION AREAS AND UNDERDRAINS, COMMON PROPERTIES, PRIVATE ROADS, SCREENING WALLS, AND SUCH OTHER SUBDIVISION INFRASTRUCTURE NOT OTHERWISE DEDICATED TO THE PUBLIC USE OR THE CITY OF WINTER GARDEN.
- THE LOTS WITHIN THIS SUBDIVISION ARE GOVERNED BY A MANDATORY HOMEOWNERS ASSOCIATION REQUIRING THE PAYMENT OF FEES AND WITH THE POWER TO ASSESS THE LOTS. THE HOMEOWNERS ASSOCIATION IS THE OWNER OF AND/OR RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND REPLACEMENT OF ALL PRIVATE AREAS, DRAINAGE SYSTEMS, INCLUDING WITHOUT LIMITATION, THE RETENTION/DETENTION AREAS AND UNDERDRAINS, COMMON PROPERTIES, PRIVATE ROADS, SCREENING WALLS, AND SUCH OTHER SUBDIVISION INFRASTRUCTURE NOT OTHERWISE DEDICATED TO THE PUBLIC USE OR THE CITY OF WINTER GARDEN. EVERY LOT OWNER WITHIN THIS SUBDIVISION MUST BE A MEMBER OF THE HOMEOWNERS ASSOCIATION. FAILURE TO PAY SUCH FEES OR ASSESSMENTS SHALL RESULT IN THE ATTACHMENT OF A LIEN ON THE PROPERTY OF THE OWNER WHICH FAILS TO PAY SUCH FEES OR ASSESSMENTS BY THE HOMEOWNERS ASSOCIATION, WHICH MAY RESULT IN THE FORECLOSURE OF SAID PROPERTY.
- PURSUANT TO SECTION 177.091 (28), FLORIDA STATUTES, AS AMENDED; ALL PLATTED UTILITY EASEMENTS SHALL PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO THE TERMS AND CONDITIONS OF THAT CERTAIN DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR THE RESERVE AT CARRIAGE POINTE AND ALL EXHIBITS THERETO, AND THE ARTICLES OF INCORPORATION FOR THE ASSOCIATION, WHICH ARE RECORDED IN OFFICIAL RECORDS BOOK 10532, PAGE 1373, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH AND SUBJECT TO THE CITY OF WINTER GARDEN LAND DEVELOPMENT CODE, AS AMENDED FROM TIME TO TIME, AND ALL FEDERAL, STATE, COUNTY AND CITY RULES, REGULATIONS, ORDINANCES, PROVISIONS AND APPROVALS. NOTHING THEREIN SHALL BE CONSTRUED TO WAIVE ANY PROVISION OF THE WINTER GARDEN LAND DEVELOPMENT CODE.
- LOTS 68-75 AS SHOWN HEREON ARE SUBJECT TO A 10.00 FOOT WIDE WALL, LANDSCAPE & DRAINAGE EASEMENT AS SHOWN ON SAID PLAT OF THE RESERVE AT CARRIAGE POINTE PHASE 1, PLAT BOOK 78, PAGES 117-122, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. ANY AND ALL GRASS AND LANDSCAPING WITHIN SAID EASEMENT AND WITHIN TRACT "M" (WALL, LANDSCAPE & DRAINAGE), AS SHOWN ON SAID PLAT OF THE RESERVE AT CARRIAGE POINTE PHASE 1, ON THE ADJACENT LOT SIDE OF ANY CONSTRUCTED WALL SHALL BE MAINTAINED BY THE OWNERS OF SAID ADJACENT LOTS AND IS HEREBY SUBJECT TO AN EASEMENT FOR INGRESS AND EGRESS IN FAVOR OF THE ASSOCIATION OR ITS REPRESENTATIVE, FOR INSTALLATION AND MAINTENANCE OF SAID WALL.
- THERE IS HEREBY GRANTED AND DEDICATED TO THE CITY OF WINTER GARDEN AND OTHER PUBLIC SERVICE AND EMERGENCY SERVICE PROVIDERS, A NON-EXCLUSIVE EASEMENT OVER AND THROUGH TRACT D (PRIVATE RIGHT-OF-WAY), AND ANY OTHER PRIVATELY OWNED INTERNAL ROADS, PAVED AREAS AND SIDEWALKS FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS ACCESS FOR THE PURPOSE OF PROVIDING PUBLIC AND EMERGENCY SERVICES TO THE SUBDIVISION, INCLUDING BUT NOT LIMITED TO, POSTAL, FIRE PROTECTION, POLICE PROTECTION, EMERGENCY MEDICAL TRANSPORTATION, CODE ENFORCEMENT, GARBAGE, UTILITIES AND OTHER PUBLIC AND EMERGENCY SERVICES.
- TRACT "D" (50' PRIVATE ROAD RIGHT-OF-WAY) SHALL BE CONVEYED TO THE ASSOCIATION, AS REQUIRED BY CHAPTER 720 OF THE FLORIDA STATUTES.
- THERE IS HEREBY GRANTED AND DEDICATED TO DUKE ENERGY, A UTILITY EASEMENT WITHIN TRACT "D" FOR THE INSTALLATION AND MAINTENANCE OF UTILITIES.



VICINITY MAP
(NOT TO SCALE)



KEY SHEET
(NOT TO SCALE)

SHEET INDEX:

- SHEET 1 - COVER SHEET W/LEGAL DESCRIPTION, NOTES, VICINITY MAP & KEY MAP.
- SHEETS 2-3 - PLAT DETAIL SHEETS W/TYPICAL LOT DETAIL, AND LEGEND & ABBREVIATIONS.

PLAT BOOK: _____ PAGE: _____

RESERVE AT CARRIAGE POINTE PHASE 2
DEDICATION

KNOW ALL MEN BY THESE PRESENTS, That the entity named below, being the owner in fee simple of the land described in the foregoing caption to this plat, hereby dedicates said lands and plot for the uses and purposes expressed herein; including those easements described in the survey notes, and dedicates the interior road right of way shown on the plat as Tract "D", commonly known as Sandhill Loop, to The Reserve at Carriage Pointe Homeowners Association, Inc.

IN WITNESS WHEREOF, the owner has caused these presents to be signed and attested to by the officer named below and its corporate seal to be affixed hereto on _____, A.D. 2013.

Taylor Morrison of Florida, Inc., a Florida Corporation
 151 Southhall Lane, Suite 200
 Maitland, Florida 32751

BY: Taylor Morrison of Florida, Inc., a Florida Corporation

Name: Gregory U. Clark

Signed: _____ (CORPORATE SEAL)

Title: Vice President of Land

Signed, sealed and delivered in the presence of:

Witness(Signature) _____ Witness(Signature) _____

Witness(Printed) _____ Witness(Printed) _____

State of _____, County of _____

The foregoing instrument was acknowledged before me this _____ day of _____, 2013, by Gregory U. Clark, Vice President of Land of Taylor Morrison of Florida, Inc., on behalf of said entity. He is [] personally known to me or [] has produced his State of Florida driver's license as identification. The individual did [] or did not [] take an oath.

Signature of Notary Public _____ (AFFIX NOTARY STAMP OR SEAL)

Printed, Typed or Stamped Notary Name _____

Notary Public, State of _____

Commission No.: _____

My Commission Expires: _____

QUALIFICATION STATEMENT OF SURVEYOR AND MAPPER

KNOW ALL MEN BY THESE PRESENTS, That the undersigned, being a licensed and registered land surveyor, does hereby certify that on May 22, 2013, he completed the survey of the lands as shown in the foregoing plat or plan; that said plat is a true and correct representation of the lands therein described and platted or subdivided; that permanent reference monuments have been placed or shown thereon as required by Chapter 177, Florida Statutes; and that said land is located in the City of Winter Garden, Orange County, Florida.

(Signature) _____ Date: _____
 WILLIAM D. DONLEY, (PSM) Professional Surveyor and Mapper
 Certificate No. 5381

BOWYER-SINGLETON & ASSOCIATES, INC. (SEAL)
 520 South Magnolia Avenue
 Orlando, Florida 32801
 Certificate of authorization No. (LB) License Business 1221

CERTIFICATE OF APPROVAL BY
THE BOARD OF CITY COMMISSIONERS

This is to certify that on _____, 2013, the foregoing plat was approved by the City Commissioners of Winter Garden, Florida.

Mayor of Winter Garden _____ (SEAL)

City Clerk _____

CERTIFICATE OF REVIEW BY CITY SURVEYOR

I HEREBY CERTIFY that I have reviewed the foregoing plat and find that it is in conformity with Chapter 177, Florida Statutes.

City Surveyor _____ Date _____

Printed Name: _____

Company: _____ (SEAL)

Address: _____

Registration No.: _____

CERTIFICATE OF COUNTY COMPTROLLER

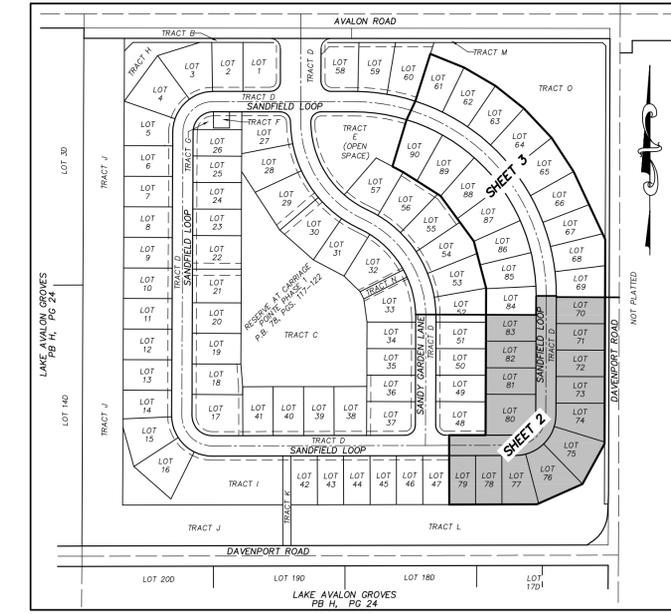
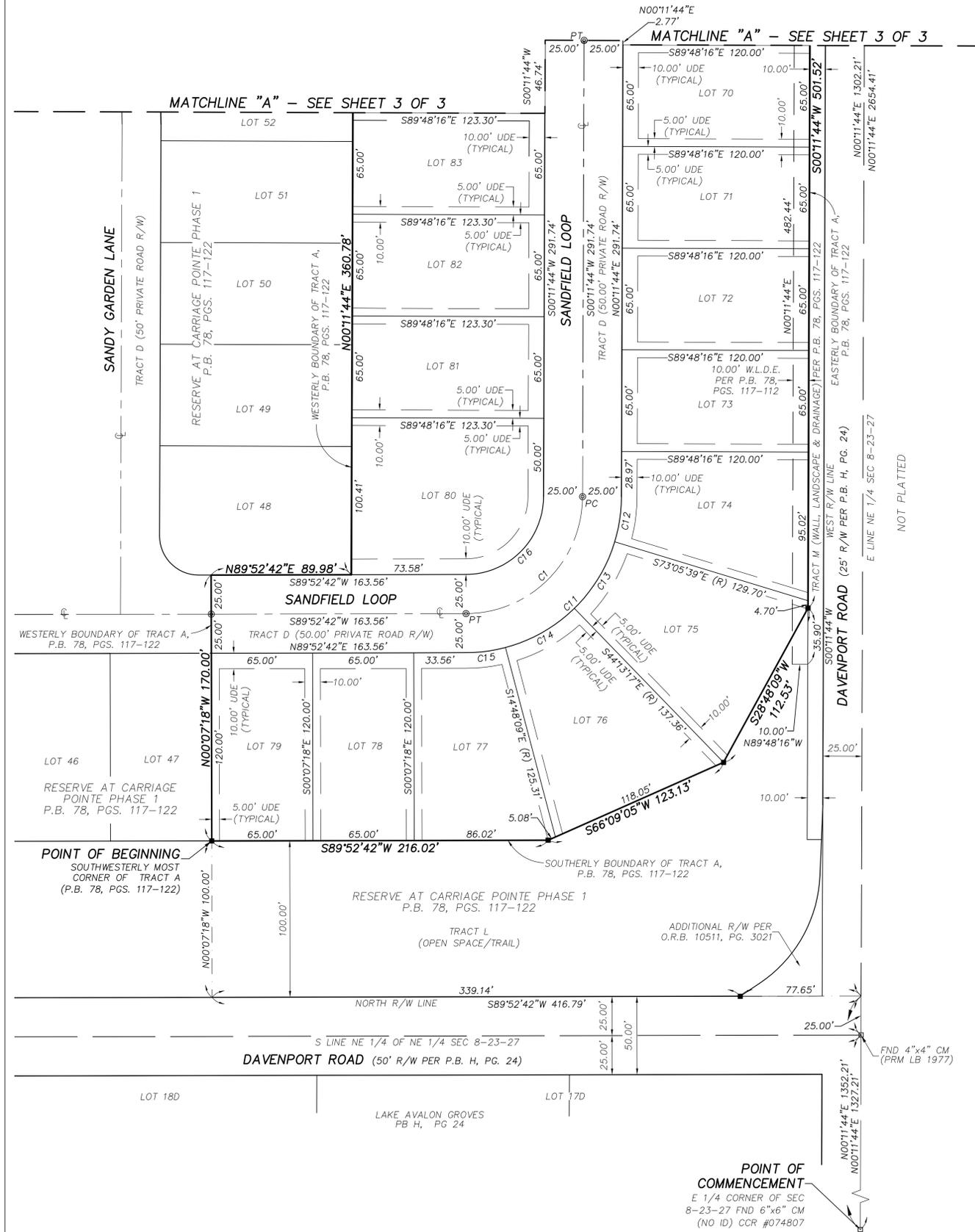
I HEREBY CERTIFY that the foregoing plat was recorded in the Orange County Official Records on _____, 2013 as File No. _____, County Comptroller in and for Orange County, Florida.

By: _____ (SEAL)

PREPARED BY:
 BOWYER SINGLETON & ASSOCIATES, INC.
 520 SOUTH MAGNOLIA AVENUE
 ORLANDO, FLORIDA 32801
 PHONE: 407.843.5120 FAX: 407.648.9104
 BSA-CIVIL.COM
 CERTIFICATE OF AUTHORIZATION No. LB 1221

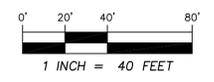
RESERVE AT CARRIAGE POINTE PHASE 2
 LOCATED IN THE CITY OF WINTER GARDEN, ORANGE COUNTY, FLORIDA
 BEING A REPLAT OF TRACT A, RESERVE AT CARRIAGE POINTE PHASE 1, PLAT BOOK 78, PAGES 117-122,
 LOCATED IN SECTION 8, TOWNSHIP 23 SOUTH, RANGE 27 EAST, ORANGE COUNTY, FLORIDA.

PLAT BOOK: PAGE:



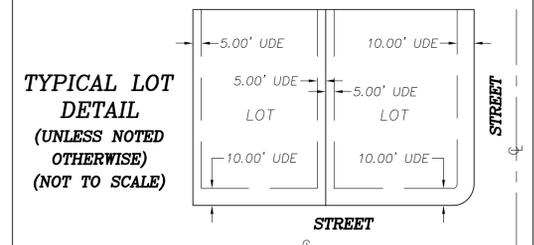
KEY SHEET
(NOT TO SCALE)

CURVE TABLE					
#	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C11	156.53'	100.00'	89°40'58"	N45°02'13"E	141.03'
C12	29.17'	100.00'	16°42'37"	N08°33'02"E	29.06'
C13	50.39'	100.00'	28°52'22"	N31°20'32"E	49.86'
C14	51.35'	100.00'	29°25'08"	N60°29'17"E	50.78'
C15	25.62'	100.00'	14°40'51"	N82°32'16"E	25.55'
C16	78.26'	50.00'	89°40'58"	S45°02'13"W	70.51'



LEGEND AND ABBREVIATIONS:

- AC ACRES
- CL CENTER LINE
- CB CHORD BEARING
- CCR CERTIFIED CORNER RECORD
- CD CHORD DISTANCE
- CM CONCRETE MONUMENT
- DE DRAINAGE EASEMENT
- FND FOUND
- ID IDENTIFICATION
- IR IRON ROD
- IRC IRON ROD & CAP
- LB LICENSED BUSINESS
- N/D NAIL & DISK
- NO NUMBER
- O.R.B. OFFICIAL RECORDS BOOK
- (P) PLAT
- P.B. PLAT BOOK
- PC POINT OF CURVATURE
- PI POINT OF INTERSECTION
- PT POINT OF TANGENCY
- PCP PERMANENT CONTROL POINT
- PG(S) PAGE/PAGES
- PLS PROFESSIONAL LAND SURVEYOR
- PRM PERMANENT REFERENCE MONUMENT
- PSM PROFESSIONAL SURVEYOR MAPPING
- R/W RIGHT OF WAY
- (R) RADIAL
- (NR) NON RADIAL
- R RADIUS
- REC RECOVERED
- SEC SECTION-TOWNSHIP-RANGE
- (TYP) TYPICAL
- UE UTILITY EASEMENT
- W/D WITH WALL, LANDSCAPE & DRAINAGE EASEMENT
- W/L.D.E. WALL, LANDSCAPE & DRAINAGE EASEMENT
- Δ BREAK LINE
- ▲ FOUND 4"x4" CM (AS NOTED)
- SET 4"x4" CM (PRM BSA LB 1221)
- SET N/D (PCP LB 1221)
- SET 5/8" IRC (BSA LB 1221)
- FOUND IRON ROD (AS NOTED)



BOWYER SINGLETON
 PREPARED BY:
 BOWYER SINGLETON & ASSOCIATES, INC.
 520 SOUTH MAGNOLIA AVENUE
 ORLANDO, FLORIDA 32801
 PHONE: 407.843.5120 FAX: 407.648.9104
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 LAND DEVELOPMENT & TRANSPORTATION ENGINEERING
 PLANNING | SURVEYING & MAPPING

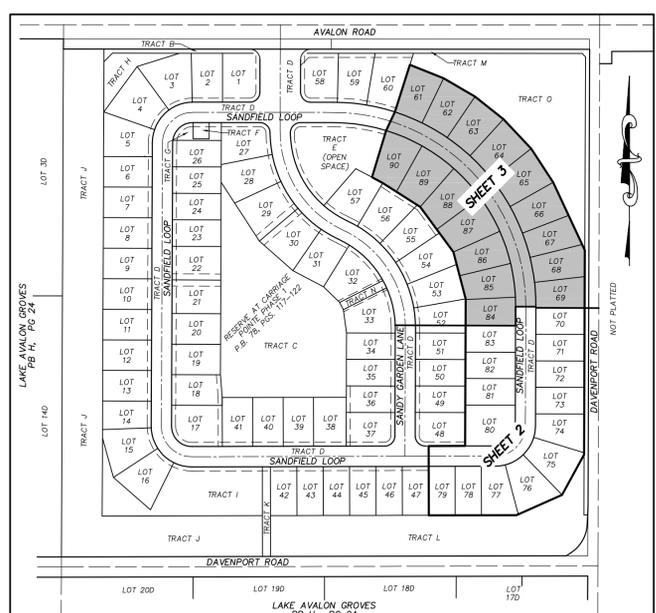
SHEET 2 OF 3

RESERVE AT CARRIAGE POINTE PHASE 2
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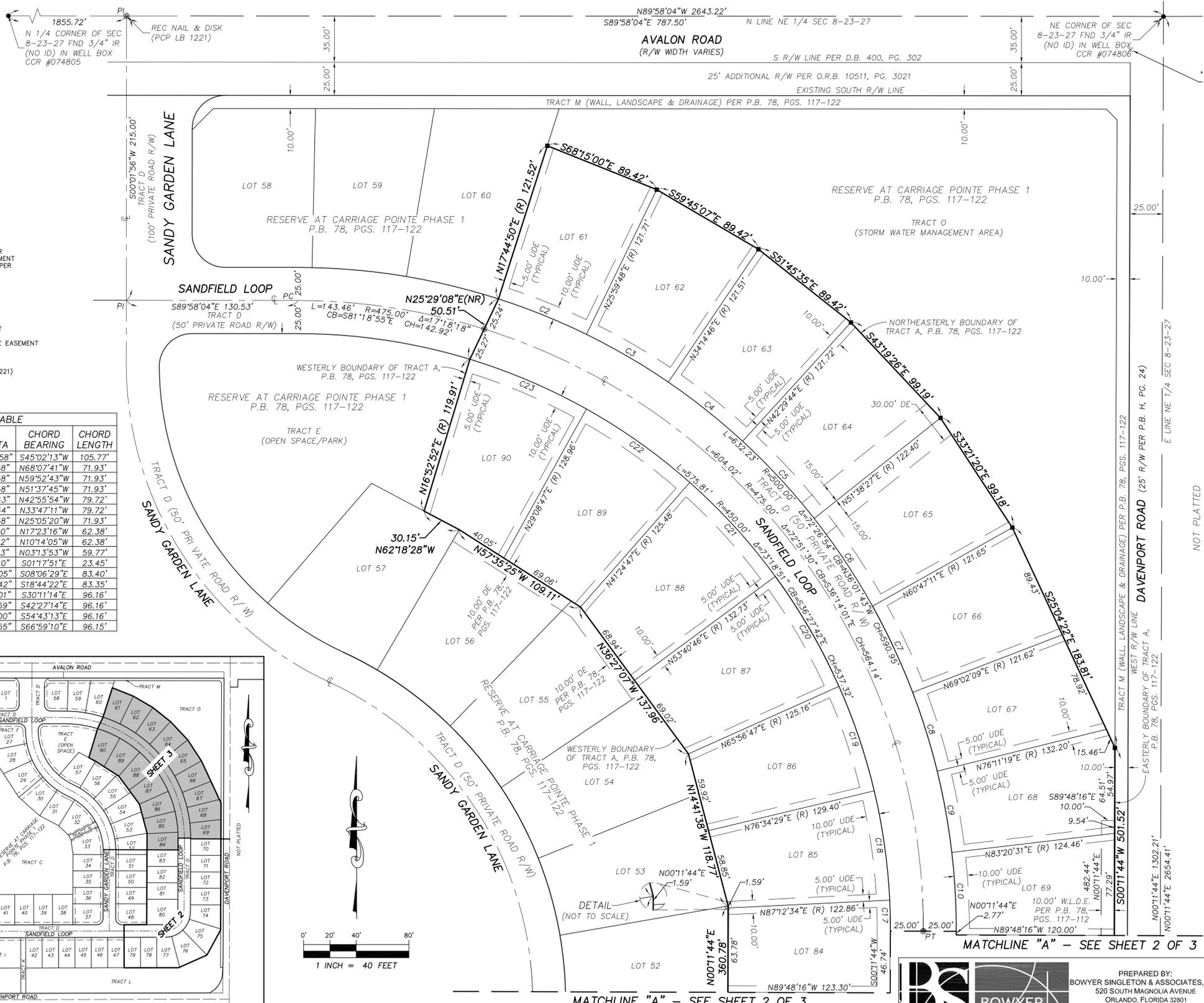
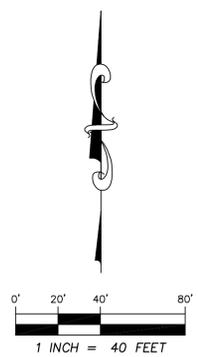
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- Δ CENTRAL ANGLE
- BREAK LINE
- FOUND 4"x4" CM (AS NOTED)
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- SET 5/8" IRC (BSA LB 1221)
- FOUND IRON ROD (AS NOTED)

#	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	117.39'	75.00'	89°40'58"	S45°02'13"W	105.77'
C2	71.99'	500.00'	8°14'58"	N68°07'41"W	71.93'
C3	71.99'	500.00'	8°14'58"	N59°52'43"W	71.93'
C4	71.99'	500.00'	8°14'58"	N51°37'45"W	71.93'
C5	79.81'	500.00'	9°08'43"	N42°55'54"W	79.72'
C6	79.81'	500.00'	9°08'44"	N33°47'11"W	79.72'
C7	71.99'	500.00'	8°14'58"	N25°05'20"W	71.93'
C8	62.42'	500.00'	7°09'10"	N17°23'16"W	62.38'
C9	62.42'	500.00'	7°09'12"	N10°14'05"W	62.38'
C10	59.81'	500.00'	6°51'13"	N03°13'53"W	59.77'
C17	23.45'	450.00'	2°59'10"	S01°17'51"E	23.45'
C18	83.52'	450.00'	10°38'05"	S08°06'29"E	83.40'
C19	83.47'	450.00'	10°37'42"	S18°44'22"E	83.35'
C20	96.34'	450.00'	12°16'01"	S30°11'14"E	96.16'
C21	96.34'	450.00'	12°15'59"	S42°27'14"E	96.16'
C22	96.34'	450.00'	12°16'00"	S54°43'13"E	96.16'
C23	96.33'	450.00'	12°15'55"	S66°59'10"E	96.15'



KEY SHEET
(NOT TO SCALE)




BOWLER SINGLETON
 LAND DEVELOPMENT & TRANSPORTATION ENGINEERING
 PLANNING | SURVEYING & MAPPING

PREPARED BY:
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 CERTIFICATE OF AUTHORIZATION NO. LB 1221

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Todd Atchison
Manager- Fleet Management Division
Frank Gilbert
Assistant City Manager – Administrative Services

Via: Mike Bollhoefer
City Manager

Date: October 18, 2013 **Meeting Date: October 24, 2013**

Subject: Authorization to Dispose of Surplus Vehicles and Equipment

Issue: Disposal of vehicles and equipment that have reached or exceeded usable service life as of October 18, 2013.

Recommended Action: Motion to declare the attached vehicles and equipment as surplus and authorize their sale at auction.

Attachments/References: 2013 Fleet Surplus

Asset Unit #	Fixed Asset #	Asset Manufacture Date	Asset Description	Manufacturer Serial # (Includes VIN #s)	Engine	Date Acquired	Vehicle Year
84	1167	1/1/1998	Utility Body (84)	N/A	N/A	2/12/1998	1998
95	1725	4/13/2000	2000 Dodge Pick-up Truck Reg Cab R1500	1B7HC16X3YS620622	3.9L, V6, VIN (X)	1/6/2000	2000
3	253	5/6/1994	94 Jeep Cherokee V3 SE	1J4FT2854RI223425	4L, In-Line6, VIN (S)	10/1/1996	1994
110	2866	1/31/2004	2004 Ford Crown Victoria	2FAFP71W84X154518	4.6L, V8, VIN (9)	3/19/2004	2004
112	3214	4/26/2005	2005 Ford Crown Vic-112	2FAFP71WX5X158541	4.6L, V8, VIN (W)	6/7/2005	2005
121	3213	3/6/2005	2005 Ford Crown Vic-121	2FAFP71W15X158539	4.6L, V8, VIN (W)	6/7/2005	2005
128	2281	2/2/2005	2002 Crown Victoria V128	2FAFP71W22X137758	4.6L, V8, VIN (W)	2/9/2002	2002
133	2602	4/24/2003	2003 Crown Victoria #133	2FAHP71W53X205299	4.6L, V8, VIN (W)	5/14/2003	2003
134	2872	1/31/2004	2004 Ford Crown Victoria	2FAFP71W64X154517	4.6L, V8, VIN (9)	4/1/2004	2004
148	3708	7/25/2007	2007 Crown Victoria #148	2FAFP71W47X111508	4.6L, V8, VIN (W)	9/20/2006	2007
153	3907	7/12/2007	2007 Crown Victoria #153	2FAFP71W27X131188	4.6L, V8, VIN (W)	1/9/2007	2007
114	2867	1/31/2004	2004 Ford Crown Victoria	2FAFP71WX4X154519	4.6L, V8, VIN (9)	3/19/2004	2004
127	2279	6/23/2002	2002 Crown Victoria V127	2FAFP71W92X137756	4.6L, V8, VIN (W)	2/9/2002	2002
94	1649	2/2/1999	Evo Mag 20 C230 #94	1L9AF59B7XK006309	3126 Cat Diesel	11/12/1999	1999
97	1701	2000/1/1	Evo Mag 20 C230 SL #97 SAS	1L9AF59R7YK006327	3126 Cat Diesel	1/28/2000	2000
214	2319	2/3/2002	Evo Mag 20 C230 SL	1L9AF59B12K006556	3126 Cat Diesel	3/19/2002	2002
806	525	4/28/2006	2000 Wylie Asphalt Trailer	23H	N/A	1/1/2006	2000
96	N/A	4/13/2000	2000 Dodge Pick-up Truck Reg Cab R1500	1B7HC16X8YS628831	3.9L, V6, VIN (X)	1/6/2000	2000
129	2543	4/17/2006	2004 Chrysler Sebring-129 Lxi	1C3EL56TX4N105444	2.7L, V6, VIN (T)	2/24/2003	2003
909	520	1/1/1981	1981 Ford Tractor 555	C622275	?	3/6/1990	1981
N/A	1823	N/A	Truck Topper	F91-046810	N/A	N/A	N/A
814	?	2007/11/21	1990 #814 Dual Axle Trailer	F91-046811	Dual Axle Trailer	?	1990
581	581	9/22/1989	BH AIR HYDRAULIC JACK	?	N/A	9/22/1989	N/A
582	582	9/30/1989	Wheel Dolly	?	N/A	9/30/1989	N/A
2021	2021	?	40 Ton Press	CP4	N/A	?	N/A
15	3181	?	Evo Mag 20 C230 #15	1L9AF59B75K006835	C7 Cat Diesel	3/1/2005	2005
24	2306	?	Sterling M85007A	2FZAANAK62AJ80707	3126 Cat Diesel	1/10/2002	2002
77	1307	11/1/1995	1996 Chevy Blazer	1GNDT13W3TK142826	4.3 V6	12/7/1995	1996
48	1308	11/1/1995	1996 Ford F150	2FTEF15N6TCA23326	5.8 V8	12/5/1995	1996

**THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM**

From: City Clerk Golden

Date: October 14, 2013

Meeting Date: October 24, 2013

Subject: Planning and Zoning Board appointments

Issue: Appointment to three seats scheduled to expire October 31, 2013. Expiring seats are currently held by Mark Maciel (District 3), Jim Gentry (District 2), and Kent Horsley (District 3)

Mr. Maciel from District 3 has expressed would like to be considered for reappointment. The remaining two members are not eligible for reappointment because of term limits. The appointment term is for three years, to expire the second meeting in October 2016.

The remaining filled seats are from Districts 1, 2, 3 and 4.

The attached interest forms are herewith submitted for your consideration.

Code Reference:

Sec. 98-26. Creation; composition; appointment, terms, removal, compensation, of members; ...

(a) There is created a planning and zoning board which shall consist of seven members who shall be appointed by the city commission. Commencing January 1, 2010, each member appointment shall be for a term of three years. Planning and zoning board members appointed by the city commission to serve out the remainder of an unexpired four-year term vacated by a previous board member, who were otherwise appointed by the city commission prior to September 1, 2008 to serve a four-year term, or who were appointed to serve a two-year term after September 1, 2008, shall continue to serve out the remainder of those terms to which they were appointed. **After January 1, 2010, the city commission, at its second October meeting, shall appoint planning and zoning board members to open seats for three-year terms**, with such terms ending upon the appointment of a successor or reappointment of such member. A member shall not be appointed to the board for more than two consecutive full terms, but may be reappointed after the expiration of one year following the end of such member's second term. For members on the board on January 1, 2010 in their second or later term, such members may be reappointed for one additional succeeding term regardless of the two-term limitation in this subsection.

(b) To ensure multidistrict representation on the board, **the city commission shall appoint to the board at least one member from each voting district within the city's boundaries. Furthermore, no more than two members of the planning and zoning board may reside in a single district** subject to the following exceptions:

Attachments: Interest forms on file and matrix of interested residents by district.

Planning and Zoning Board Appointment Interest Forms on file as of 10/14/13

Term would expire November 1, 2016

Note: All Districts are eligible for appointment as long as there are no more than two per district serving.

Date Applied	Date Interest Verified if app is over 1 year	Name
DISTRICT 1		
10/5/2012	10/14/13	Matthew Moore
3/7/2005	10/14/13	Dianna Duffy
1/11/2008	LM 10/14/13	Herbert Liskey
4/19/2010	1/10/13	Neal Lippold
4/30/2008	3/22/13	Arthur Mitchell III
7/7/2011	1/19/13	Eric Rainville
DISTRICT 2		
1/25/2010	LM 10/14/13	Don Patton
9/21/2012	1/9/13	Benjamin LaTorre
8/30/2011	3/22/13	Heather Gantt
DISTRICT 3		
4/19/2013	4/22/13	Bruce Woloshin
DISTRICT 4		
4/18/2013	Current	Gerald Montgomery
4/19/2013	Current	Henry Haddock
7/11/2013	Current	David Kassander
5/15/2013	Current	Matthew Matin
7/21/2011	3/22/13	Ryan Dotson

Current Composition:

Kent Horsley	District 1	October 2013
Mac McKinney	District 1	October 2014
Jim Gentry	District 2	October 2013
Eric Weiss	District 2	October 2014
Mark Maciel	District 3	October 2013
Rohan Ramlackhan	District 3	October 2014
James Dunn	District 4	October 2014

Key:

LM = Left phone message with no response



Rec'd 10-15-12

CITY OF WINTER GARDEN
 CITY CLERK'S OFFICE
 300 WEST PLANT STREET
 WINTER GARDEN, FL 34787

P: 407.656.4111

WWW.WINTERGARDEN-FL.GOV

BOARD APPOINTMENT INTEREST FORM

THANK YOU FOR YOUR INTEREST IN SERVING ON ONE OF THE CITY'S BOARDS/COMMITTEES. VOLUNTEERS LIKE YOU ARE ESSENTIAL TO ENSURING THAT YOUR CITY GOVERNMENT IS RESPONSIVE TO THE NEEDS OF THE COMMUNITY. PLEASE HELP US PLACE YOU ON THE MOST APPROPRIATE COMMITTEE BY COMPLETING THIS QUESTIONNAIRE. FEEL FREE TO ATTACH A RESUME.

10-14-13

DATE: 10-5-12 VERIFIED INTEREST ON: _____

LAST NAME: Moore FIRST: Matthew MIDDLE: Louis

HOME ADDRESS: 121 W. Maple St, W6 34787

OFFICE ADDRESS: Lake Mary.

HOME PHONE: _____ CELL PHONE: 1-407-738-5588 WORK PHONE: 321-249-4585

EMAIL: mamoore@pershing.com FAX #: _____

CURRENT EMPLOYER: Bank of N.Y. Mellon LENGTH: 6 yrs

POSITION: Mutual Fund Trade Desk

EDUCATION: HIGH SCHOOL GRADUATE YES NO UNDERGRADUATE COLLEGE DEGREE IN: Business Management

ADVANCED COLLEGE DEGREE IN: _____ OTHER: _____

PLEASE STATE YOUR EXPERIENCE, INTERESTS OR ELEMENTS OF YOUR HISTORY THAT YOU THINK QUALIFY YOU FOR APPOINTMENT:

→ Always involved with the community while growing up. Working with people & getting the job done are a few of the traits I learned from being an Eagle Scout & involved with our church.

- Part of a process improvement committee at work & leading a group of managers to make a process better for the customer.

COMMUNITY INVOLVEMENT: Big Brothers Big Sisters

INTERESTS/ACTIVITIES: Sports, being active, home improvement, wood working

WHY DO YOU DESIRE TO SERVE ON THIS/THESE BOARDS? To be part of the community, where involvement is key to the City's success.

NAME ANY BUSINESS, PROFESSIONAL, CIVIC OR FRATERNAL ORGANIZATIONS OF WHICH YOU ARE A MEMBER AND THE DATES OF MEMBERSHIP.

Big Brothers Big Sisters → Oct 2007 → Present.

ARE YOU A RESIDENT OF WINTER GARDEN? YES NO IF YES, CONTINUOUS RESIDENT SINCE? 2010

ARE YOU A REGISTERED VOTER OF ORANGE COUNTY? YES NO WHICH CITY DISTRICT? 1

ARE YOU CURRENTLY SERVING ON ANY OTHER BOARDS? YES NO IF YES, PLEASE STATE NAME OF BOARD:

HAVE YOU EVER SERVED ON A GOVERNMENT BOARD? YES NO IF YES, PLEASE STATE NAME OF BOARD:

REFERENCES:

David Patterson - 813-758-3474 John Rees 407-266-0445
Or Robert Baskin - 813-763-5327

WHICH BOARD(S) ARE YOU INTERESTED?

- *CODE ENFORCEMENT BOARD
 - *PLANNING & ZONING BOARD
 - *COMMUNITY REDEVELOPMENT AGENCY
 - *COMMUNITY REDEVELOPMENT ADVISORY BOARD - CIRCLE ALL THAT APPLY TO YOU WITHIN THE CRA: RESIDE / ~~OWN~~ / OPERATE A BUSINESS / OTHER
 - *GENERAL EMPLOYEES PENSION BOARD
 - *FIRE/POLICE PENSION BOARD
 - *ARCHITECTURAL REVIEW AND HISTORIC PRESERVATION BOARD
- CIRCLE ALL THAT APPLY TO YOU: ARCHITECT / LICENSED GENERAL CONTRACTOR / WG HERITAGE FOUNDATION BOARD MEMBER / OWN COMMERCIAL PROPERTY IN THE HISTORIC DISTRICT / OWN COMMERCIAL PROPERTY IN THE HISTORIC DISTRICT & RESIDE IN THE CITY / RESIDE IN THE CITY
- ELECTION CANVASSING BOARD

PLEASE NOTE: MEMBERS SERVING ON BOARDS WITH AN ASTERISK (*) ARE REQUIRED TO FILE AN ANNUAL FINANCIAL DISCLOSURE FORM WITH THE ORANGE COUNTY SUPERVISOR OF ELECTIONS OFFICE ON OR BEFORE JULY 1ST OF EACH YEAR. APPLICANTS FOR BOARD APPOINTMENT ARE REMINDED OF THE PROVISIONS OF THE FLORIDA STATUTES AS APPLICABLE TO CONFLICTS OF INTEREST. ALL BOARD APPLICATIONS ARE KEPT ON FILE FOR ONE YEAR AND ARE SUBMITTED TO THE CITY COMMISSION WHENEVER A VACANCY OCCURS. UPDATED INFORMATION SHOULD BE SUBMITTED AND MAY BE REQUESTED AT ANY TIME.

DIRECT INTEREST FORM AND QUESTIONS TO THE CITY CLERK'S OFFICE AT 407-656-4111 EXT. 2254

THANK YOU FOR YOUR INTEREST IN SERVING YOUR COMMUNITY.

Board Appointment Interest Form 06-10

CITY OF WINTER GARDEN
BOARD APPOINTMENT INTEREST FORM

LM 10-14-13

Rec'd. 3-7-05
Still interested as of
9-12-08.
Still interested as of 10-5-12
10-14-13

Last name: DUFFY First: DIANNA Middle: D

Home Address: 454 VALLEY VIEW DRIVE, W.G. 34787

Office Address: N/A

Home Phone: 407 656 8769 Work Phone: cell # 407-484-7524 Fax: N/A

Place of employment: RETIRED (FOR NOW) Length: 5 YRS.

Educational Information: School Name STATE UNIV. COLLEGE AT BUFFALO

Location: BUFFALO, NY Degree Earned: ART. ED. Dates Attended: 1958-62

Please state your experience, interests or elements of your history that you think qualify you for appointment:

* please see attached SEE VILLAGE OF HAMBURG, NY - 5 YRS.

Community involvement: neighborhood issues

Interests/activities: biking W. Orange Trail

Why do you desire to serve on this/these boards? community involvement & improvement
maintaining standards of excellence

Name any business, professional, civic or fraternal organizations of which you are a member and the dates of membership. see attached

Are you a resident of Winter Garden? yes If yes, continuous resident since? 2003

Are you a registered voter of Orange County? yes Which precinct? 1103 ✓ (On voter registration)

Are you currently serving on any other boards? yes If yes, please state name of board: COHA (neighborhood)

Have you ever served on a government board? _____ If yes, please state name of board: see attached

References: Nancy J. O'Brien, 407 370 3894
Jem Bruce, 407 656 9363

Which city board(s) are you interested? Code Enforcement Board Planning & Zoning Board

*

Recreation Commission member, Hamburg, NY 1980 - 1985

Downtown Redevelopment and Commercial Real Estate Sales & Leasing, Buffalo, NY, 1984 - 1986

Orlando/Orange County Convention & Visitors Bureau, Convention Services Director,

Still interested 10-09 JH
" " 10-8-10

**CITY OF WINTER GARDEN
BOARD APPOINTMENT INTEREST FORM**

Date: 1-11-08

Last name: Liskey First: Herbert Middle: Greg

Home Address: 223 S. Lakeview Ave Winter Garden

Mack Concrete Industries, Inc

Office Address: 23902 C.R. 561 ASTORIA

Office 352-742-2333

Home Phone: 407-877-0557 Work Phone: Call-352-406-4602 Fax: 352-742-0799

Place of employment: Mack Concrete Industries Inc Length: 13 years

Educational Information: School Name James Madison University

Harrisonburg

Location: Virginia Degree Earned: B.S Dates Attended: 1975

Graduated

Please state your experience, interests or elements of your history that you think qualify you for appointment:

V. President and General Manager Mack Industries Inc
Owned 2 Construction Companies 33 years in Construction
Industry

Community involvement:

V. President of Florida Precast Concrete Ass.

Interests/activities: V. President Florida Onsite Waste Water Ass

Involved with First United Methodist Church Praise Team

Why do you desire to serve on this/these boards? To Give My Experience In The Future

Name any business, professional, civic or fraternal organizations of which you are a member and the dates of membership. See Above List. I also sit on A.S.T.M Committees
Elks Club.

Are you a resident of Winter Garden? Yes If yes, continuous resident since? 1995

Are you a registered voter of Orange County? Yes Which precinct? 1103 (On voter registration)

Are you currently serving on any other boards? No If yes, please state name of board: _____

Have you ever served on a government board? No If yes, please state name of board: _____

References: Jack Quesinberry

- Which city board(s) are you interested? Code Enforcement Board Planning & Zoning Board
 Community Redevelopment Agency or Advisory Board General Employees Pension Board
 Fire/Police Pension Board

Please attach any additional information.

Note: Interest forms are maintained for a period of one year. Should any information change, please notify the City Clerk's Office at (407) 656-4111 x2254. Thank you for your interest in serving your community.



CITY OF WINTER GARDEN
300 WEST PLANT STREET
WINTER GARDEN, FL 34787

Rec'd. 4-19-10

P: 407.656.4111
WWW.WINTERGARDEN-FL.GOV

still interested as of 10-5-10
3-26-12
1-10-13

WINTER GARDEN • A charming little city with a juicy past.

CITY OF WINTER GARDEN BOARD APPOINTMENT INTEREST FORM

THANK YOU FOR YOUR INTEREST IN SERVING ON ONE OF THE CITY'S BOARDS/COMMITTEES. VOLUNTEERS LIKE YOU ARE ESSENTIAL TO ENSURING THAT YOUR CITY GOVERNMENT IS RESPONSIVE TO THE NEEDS OF THE COMMUNITY. PLEASE HELP US PLACE YOU ON THE MOST APPROPRIATE COMMITTEE BY COMPLETING THIS QUESTIONNAIRE. FEEL FREE TO ATTACH A RESUME.

DATE: APRIL 16, 2010 VERIFIED INTEREST ON: _____

LAST NAME: LIPPOLD FIRST: NEAL MIDDLE: W
HOME ADDRESS: 525 S. HIGHLAND AVENUE, WINTER GARDEN, FL 34787
OFFICE ADDRESS: _____
HOME PHONE: 407-347-8300 WORK PHONE: _____ FAX: 407-347-8300
CURRENT EMPLOYER: RETIRED - WAUBONSEE COMMUNITY COLLEGE, SUGAR GROVE, IL LENGTH: 31 YEARS
POSITION: PROFESSOR EMERITUS OF CRIMINAL JUSTICE
EDUCATION: AURORA EAST HIGH SCHOOL UNDERGRADUATE COLLEGE DEGREE IN: CRIMINAL JUSTICE/SOCIOLOGY
ADVANCED COLLEGE DEGREE IN: CRIMINAL JUSTICE OTHER: ALL BUT DISSERTATION FOR EDUCATIONAL DOCTORATE IN CURRICULUM AND INSTRUCTION

PLEASE STATE YOUR EXPERIENCE, INTERESTS OR ELEMENTS OF YOUR HISTORY THAT YOU THINK QUALIFY YOU FOR APPOINTMENT:
I was involved in police work for 17 years holding position from patrolman to chief of police; 5 years as a correctional counselor and parole agent with the Illinois Department of Corrections; 31 years a professor of criminal justice. I believe my work and educational qualify for a position on the police committee.
COMMUNITY INVOLVEMENT: Instructor with AARP Driver Safety Program, past member of the Volusia County COP program.
INTERESTS/ACTIVITIES: Sports, reading, gardening
WHY DO YOU DESIRE TO SERVE ON THIS/THESE BOARDS? I have a strong interest in giving back to the communities were I have lived.

NAME ANY BUSINESS, PROFESSIONAL, CIVIC OR FRATERNAL ORGANIZATIONS OF WHICH YOU ARE A MEMBER AND THE DATES OF MEMBERSHIP.
American Legion, member for over 15 years, Illinois Association of Police Planners, 1980 thru 2006; International Association of Law Enforcement Planners, 2000 thru 2006.

ARE YOU A RESIDENT OF WINTER GARDEN? Yes IF YES, CONTINUOUS RESIDENT SINCE? 2008
ARE YOU A REGISTERED VOTER OF ORANGE COUNTY? Yes WHICH CITY DISTRICT? 81
ARE YOU CURRENTLY SERVING ON ANY OTHER BOARDS? No IF YES, PLEASE STATE NAME OF BOARD: _____

HAVE YOU EVER SERVED ON A GOVERNMENT BOARD? Yes IF YES, PLEASE STATE NAME OF BOARD: POLICE COMMITTEE AS CHIEF OF POLICE, I SERVED ON THE POLICE COMMITTEE FOR THE VILLAGE OF SUGAR GROVE, ILLINOIS FROM 1980 THRU 1986.

- REFERENCES: SUPPLIED ON DEMAND
WHICH BOARD(S) ARE YOU INTERESTED?
 *CODE ENFORCEMENT BOARD
 *PLANNING & ZONING BOARD
 *COMMUNITY REDEVELOPMENT AGENCY OR ADVISORY BOARD
 *GENERAL EMPLOYEES PENSION BOARD
 *FIRE/POLICE PENSION BOARD
 *ARCHITECTURAL REVIEW AND HISTORICAL PRESERVATION BOARD

PLEASE NOTE: MEMBERS SERVING ON BOARDS WITH AN ASTERISK (*) ARE REQUIRED TO FILE AN ANNUAL FINANCIAL DISCLOSURE FORM WITH THE ORANGE COUNTY SUPERVISOR OF ELECTIONS OFFICE ON OR BEFORE JULY 1ST OF EACH YEAR. APPLICANTS FOR BOARD APPOINTMENT ARE REMINDED OF THE PROVISIONS OF THE FLORIDA STATUTES AS APPLICABLE TO CONFLICTS OF INTEREST. ALL BOARD APPLICATIONS ARE KEPT ON FILE FOR ONE YEAR AND ARE SUBMITTED TO THE CITY COMMISSION WHENEVER A VACANCY OCCURS. UPDATED INFORMATION SHOULD BE SUBMITTED AND MAY BE REQUESTED AT ANY TIME.

DIRECT INTEREST FORM AND QUESTIONS TO THE CITY CLERK'S OFFICE AT 407-656-4111 EXT. 2254.

THANK YOU FOR YOUR INTEREST IN SERVING YOUR COMMUNITY.

REVISED 11/02/09

NEAL W. LIPPOLD

525 S. Highland Avenue ■ Winter Garden, FL 34787 ■ (407) 347-8300 ■ nlippold@cfl.rr.com

EDUCATION

NORTHERN ILLINOIS UNIVERSITY

Curriculum and Instruction, January, 1992-2002

All course work completed for EdD, except dissertation.

CHICAGO STATE UNIVERSITY

Masters Degree ■ Corrections, May, 1978

AURORA UNIVERSITY

Bachelors of Arts Degree - Sociology and Corrections, June, 1974

WAUBONSEE COMMUNITY COLLEGE

Associate in General Studies Degree, June, 1972

WORK EXPERIENCE

ACADEMIC

8/75-6/06: Professor of Criminal Justice, Waubonsee Community College.

Taught all criminal justice courses; promoted the criminal justice program via advertising, flyers, advisory councils and visits to criminal justice agencies.

Responsible for budget preparation; preparing semester class schedule; degree and certificate programs; catalog changes; ordering equipment; developing departmental policy and procedures, and hiring of adjunct faculty.

Program Development/Curriculum Design

- Curriculum design written all course work leading to both the Associate in Science and Associate in Applied Science Degrees.
- Created certificates in advance police skills and community policing.

Distance Learning

- Pioneer teacher in two-way interactive teaching.
- Pioneer teacher in the development of online courses.
- Have written a total of ten online courses, 7 criminal justice and 3 Microsoft application courses.

Dual credit course offerings

- Help to create and taught dual credit program that combined the efforts of Waubonsee Community College, Oswego, Illinois school district and the Oswego Illinois Police Department.
- Through the two-way interactive television system I have taught dual credit classes with two high school districts..

Driver Safety:

- Certified DDC 4 Instructor
- Certified 25 Alive Instructor
- Certified instructor with AARP Driver Safety Program

Extracurricular Activities:

- Campus Police Cadet training
- Involvement with Waubensee Community College Drama Department
- SkillsUSA VICA Criminal Justice Advisor
- Member of the Waubensee Community College Speakers Bureau

Center for Teaching, Learning and Technology

- Pioneer leadership role with the Center for Teaching and Learning and Technology as a trailblazer and Consultant
- Faculty Liaison for the academic year of 1999 - 2000
- Responsible for coordinating the Spring 2000 Adjunct training workshop
- Developed the foundational study for the development of a Faculty Teaching and Learning Academy
- Created and coordinated the New Faculty Teaching and Learning Academy for new faculty coming to Waubensee
- Chaired the Faculty Development Committee for the Center for Teaching, Learning and Technology
- Worked with faculty to create a (CATs) classroom assessment techniques program for all Waubensee faculty
- Tested interactive video and audio software

Presenter--State Level

- Peoria, Illinois, 1995, Illinois Community College Faculty Association
- Bloomington, Illinois, 1997, Statewide Distance Learning Instructional Consortium
- Bloomington, Illinois, 1998, Statewide Distance Learning Instructional Consortium

Research - Classroom Usage

- Developed and conducted a study regarding classroom usage for Waubensee Community College

ADMINISTRATIVE/PRACTICAL

1987 - 1992, Sergeant, Fox Valley Park District Police Department. Responsible for general patrol, patrol supervision, and training of officers.

1976 - 1986, Chief of Police, Village of Sugar Grove, Illinois. Responsible for the operation of the police department, including budgeting, personnel matters, policy formulation, and working with the village's governmental officials.

1975 - 1982, Chief of Police, Waubensee Community College Police Department. Responsible for the security of the campus, training of student employees, budgeting, and policy formulation.

1970 - 1975, Parole Agent and Correctional Counselor, State of Illinois, Department of Corrections. Responsible for caseload management and the supervision of incarcerated inmates and parolees.

KNOWLEDGE, ABILITIES, AND SKILLS

-
- X Software: WordPerfect, Microsoft Word, PowerPoint, Publisher, and Outlook, WordPerfect Presentation Graphics, Web Browsers, Working knowledge of Hypertext Markup Language, WebCT course management software, Cu-See-Me.
 - X Equipment: Personal Computers and Macintosh.
 - X Other: various printers, and scanners, telecommunications equipment, interactive video equipment.

COLLEGIATE ACTIVITIES

- Curriculum Council
- Calendar Committee
- Member of committee that planned the new classroom building
- Co-Chair of the Illinois Articulation Initiative Criminal Justice Panel
- Member of Committees to prepare for North Central Accreditation Visit (3 visits)
- Past president of Faculty Federation
- Safety Committee
- Diversity Committee
- Insurance Ad Hoc Committee
- Interview committees
- Faculty Trainer for Two-way Interactive Video
- Evaluation committees
- Student Advisement Committees
- Student health and Safety

- Administration Search Committees
- Semester Orientation Committees
- Advisory Counsel
- Building Committees
- Referendum Committees
 - Criminal Justice Program Advisory Committee
 - Student Conduct Board

PROFESSIONAL AFFILIATIONS

- X Illinois Association of Police Planners
- X International Association of Law Enforcement Planners
- X American Correctional Association
- X Illinois Correctional Association

COMMUNITY ACTIVITIES

- Breaking Free, member of the Board, 1978 - 1982
- Sugar Grove Lions Club, former member and past president
- DeKalb Evening Lions club, 1992 - 2000
- Candidate for Kane County Sheriff, 1986
- Candidate for Alderman, 3rd Ward, City of Aurora, 1991
- Member of the Board, Kane County Association of Chiefs of Police, 1988

HONORS

- Awarded Rank of Professor by the Waubensee Community College Board of Trustees
- Certificate of Merit presented by the Du Page Bar Association
- Who's Who in America 1997 & 2000
- Who's Who in American Education 1998 & 2004
- Certificate of Appreciation, awarded by the Board of Trustees, Waubensee Community College, 1988
- Featured Alumnus, awarded by the Board of Trustees, Waubensee Community College, 1991
- Certificate of Achievement, awarded by the National District Attorneys Association, 1990
- Certificate of Honor, awarded by the Kane County Bar Association, 1991
- Great Teacher Conference, 1987
- National Great Teacher Conference, 1988
- Nominated as Distinguished Alumnus

References sent under separate cover

Rec'd. 4-30-08

Still interested 10-1-09 JH
" " 10-5-10
3-22-13

**CITY OF WINTER GARDEN
BOARD APPOINTMENT INTEREST FORM**

Date: 7/29/08

Last name: Mitchell III First: ARTHUR Middle: L.

Home Address: 204 TRAIL BRIDGE CT

Office Address: Same

Home Phone: 407-287-7624 Work Phone: 914-262-6601 Fax: 407-287-7624

Place of employment: Commence BANK Length: 4.5 years

Educational Information: School Name PACE UNIVERSITY

Location: PLEASANTVILLE, NY Degree Earned: BBA Dates Attended: _____

Please state your experience, interests or elements of your history that you think qualify you for appointment:
See Resumé + Attached Letter

Community involvement: WEST ORANGE REALTY RESERVE (WARR)

Interests/activities: OUTDOORS, GARDENING, POLITICS + BASEBALL

Why do you desire to serve on this/these boards? TO SERVE MY CITY AND MAKE IT BETTER

Name any business, professional, civic or fraternal organizations of which you are a member and the dates of membership. WEST ORANGE REALTY RESERVE Since 8/07

Are you a resident of Winter Garden? If yes, continuous resident since? 4/07

Are you a registered voter of Orange County? Which precinct? 1103 (On voter registration)

Are you currently serving on any other boards? NO If yes, please state name of board: _____

Have you ever served on a government board? NO If yes, please state name of board: _____

References: LEWIS MAKIN - 407-877-8620

MARIA VALLADARES (407) 253-4550, James Mitchell 407-649-7688

- Which city board(s) are you interested?
- Code Enforcement Board
 - Planning & Zoning Board
 - Community Redevelopment Agency or Advisory Board owns resides
 - General Employees Pension Board
 - Fire/Police Pension Board
 - ARCHITECTURAL REVIEW BOARD

Note: Interest forms are maintained for a period of one year. Should any information change, please notify the City Clerk's Office at (407) 656-4111 x2254. Thank you for your interest in serving your community.

Arthur Mitchell III
204 Trail Bridge Ct
Winter Garden, Fl 34787
April 30, 2008

Dear Mayor Reese:

I am submitting my application to serve the City of Winter Garden on the Architectural Review Board or the Community Redevelopment Agency or Advisory Board. If it is possible I would like to serve on both if my schedule permits. I will leave up to you to see which board you think I qualify for best.

I feel that I would be an asset to boards for various reasons. One being married to an owner of a business downtown, we have a vested interest in seeing Winter Garden grow and expand into an even better city than it currently is. Being in the lending business for years, I have seen many municipal and private projects that have helped revitalize and grow downtown areas. Growing up outside of New York City I have seen how public and private partnerships and investments have turned around downtown areas from virtual ghost towns to destination places and areas that people want to live. I come from a construction family. My father owns a plumbing business back in New York and I have been around the trades my whole life. I also renovated a 130 year Victorian House back in New York. Having swung a hammer myself I have an idea with what's involved with some construction projects. I am also a big advocate of keeping the downtown charm and architectural integrity, while attracting new construction and business at the same time. I think the two can go hand in hand. I see a great potential in Winter Garden and I truly love the city and the people that live here. I feel the need to serve my city to make it a better place for ourselves as well as our children.

I respectfully submit my application to you and I hope to serve my city and all residents of Winter Garden to the best of my ability. Thank You for your consideration.

Sincerely,



Arthur W. Mitchell III

Enclosures

Arthur W. Mitchell III
204 Trail Bridge Ct.
Winter Garden, Florida 34787
e- mail:arthur42@optonline.net
914-262-6601

Professional Experience:

Loan Officer; Commerce Bank Purchase, West Palm Beach, Florida: November 2003 - Present

- Originated and closed an average of \$16 million in residential mortgages annually.
- Service 4 bank branches in Florida to address customers mortgage needs.
- Responsibilities include being on call seven days a week to adhere to Commerce Bank's "Wow" philosophy of meeting and exceeding customer's expectations.
- Conduct first time home buyers seminars for the public, not for profits and real estate brokers in order to market Commerce Banks mortgage products.

Loan Officer; Sleepy Hollow Bank, Sleepy Hollow, New York: May 2002 - September 2003

- Originated and closed approximately \$30 million in residential and commercial mortgages.
- Origination on multi- family and commercial mortgages included cash flow analysis and valuation using the Income Capitalization approach.
- Responsibilities included being on call seven days a week via pager for lead calls and to service loans in process.
- Serviced three bank branches in Westchester County for all customers mortgage needs.

Loan Officer; Yonkers Savings and Loan, Yonkers, New York: August 2000 - April 2002

- Originated and closed approximately \$50 million in residential and commercial mortgages.
- Responsibilities included being on call seven days a week via pager for lead calls and to service loans in process.
- Serviced six bank branches for all customers mortgage needs in the counties of Westchester, Rockland, Putnam, Orange, Dutchess, and the five boroughs of New York City.

Loan Officer; The Community Preservation Corporation, (CPC), Hawthorne, New York: Jan. 1998 - Aug. 2000

- Originated and underwrote 1 - 4 family, multifamily and mixed-use acquisition, refinance, and construction loans.
- Prepared a detailed narrative, valuation, cost, and equity analysis for formal presentation to CPC's loan committee.
- Marketed CPC's loan products to mortgage brokers and real estate brokers throughout the Hudson Valley region.
- Worked with local not for profits and city agencies to provide low interest rate gap financing for CPC's borrowers.
- Performed engineering inspections with CPC's engineer and the borrower to assess the work scope and costs on construction and rehab loans.
- Performed annual Freddie Mac and CPC building inspections and repair escrow releases.

Multifamily Asset Management Specialist; Freddie Mac, New York, New York: 1992 -1998

- Analyzed cash flow and resolved problem loans through restructuring of debt, resulting in reduction of bad debt write off.

- Recommended receivers and supervised property management companies for over 200 properties.
- Performed hundreds of physical inspections of multifamily properties for valuation, budgeting and business plan purposes resulting in a 20% savings of operating expenses.
- Revised and approved hundreds of building budgets submitted by property management companies to ensure stabilization of the asset and positioning for sale.
- Negotiated sales of properties through local brokers maximizing recovery on bad debt.

Originator/Multifamily Inspector; Columbia Equities, Tarrytown, New York: 1988 -1992

- Originator of first and second Freddie Mac/ Fannie Mae and sub prime mortgages.
- Performed hundreds of physical inspections and write -ups of single and multifamily dwellings to fulfill seller/servicer obligations with Freddie Mac.

Senior Loan Officer/Office Manager; Integrity Mortgage, White Plains, New York: 1987-1988

Sales/Broker Representatives; Advanta Mortgage, White Plains, New York: 1986 – 1987

Educational Background:

Pace University, Pleasantville, New York: Earned a **Bachelor of Arts Degree in Marketing** in May 1996.

Organizations:

Associate member of the West Orange Realty Resource Organization



CITY OF WINTER GARDEN
CITY CLERK'S OFFICE
300 WEST PLANT STREET
WINTER GARDEN, FL 34787

P: 407.656.4111
WWW.WINTERGARDEN-FL.GOV

BOARD APPOINTMENT INTEREST FORM

THANK YOU FOR YOUR INTEREST IN SERVING ON ONE OF THE CITY'S BOARDS/COMMITTEES. VOLUNTEERS LIKE YOU ARE ESSENTIAL TO ENSURING THAT YOUR CITY GOVERNMENT IS RESPONSIVE TO THE NEEDS OF THE COMMUNITY. PLEASE HELP US PLACE YOU ON THE MOST APPROPRIATE COMMITTEE BY COMPLETING THIS QUESTIONNAIRE. FEEL FREE TO ATTACH A RESUME.

DATE: April 7, 2011

VERIFIED INTEREST ON: 8-24-11 1-9-13
5-24-12

LAST NAME: Rainville FIRST: Eric MIDDLE: John
 HOME ADDRESS: 416 Courlea Oaks Blvd, Winter Garden, FL 34787
 OFFICE ADDRESS: 2314 Circuit Way, Brooksville, FL 34604
 HOME PHONE: 407-877-9660 CELL PHONE: 407-913-7135 WORK PHONE: 352-848-2588
 EMAIL: eric@therainvilles.com FAX #: 352-848-2592
 CURRENT EMPLOYER: Regions Facility Services LENGTH: _____
 POSITION: Director of Facility Support Services
 EDUCATION: HIGH SCHOOL GRADUATE Yes No UNDERGRADUATE COLLEGE DEGREE IN: BS in Building Construction
 ADVANCED COLLEGE DEGREE IN: _____ OTHER: _____

PLEASE STATE YOUR EXPERIENCE, INTERESTS OR ELEMENTS OF YOUR HISTORY THAT YOU THINK QUALIFY YOU FOR APPOINTMENT:
Seasoned in facilities, owners representation and construction management with expertise in portfolio and asset management, maintenance capital planning and facilities management; utilities, fuels and futures purchasing; cost control, estimating, scheduling, development, preconstruction and construction phase administration. Certified General Contractor.

COMMUNITY INVOLVEMENT: Member of the Winter Garden Heritage Foundation, Dillard St. PTA and 90% of community events
INTERESTS/ACTIVITIES: Enjoy cooking (placed best overall Uncle Don's Chili Cook-off), Biking with my kids, building.

WHY DO YOU DESIRE TO SERVE ON THIS/THESE BOARDS? Desire to contribute and make a positive impact on the City of Winter Garden

NAME ANY BUSINESS, PROFESSIONAL, CIVIC OR FRATERNAL ORGANIZATIONS OF WHICH YOU ARE A MEMBER AND THE DATES OF MEMBERSHIP.
Facilities Management Professionals International 2009- Present, Restaurant Facility Management Association 2005-Present

ARE YOU A RESIDENT OF WINTER GARDEN? Yes No IF YES, CONTINUOUS RESIDENT SINCE? April 2007
 ARE YOU A REGISTERED VOTER OF ORANGE COUNTY? Yes No WHICH CITY DISTRICT? District 1
 ARE YOU CURRENTLY SERVING ON ANY OTHER BOARDS? Yes No IF YES, PLEASE STATE NAME OF BOARD: _____

HAVE YOU EVER SERVED ON A GOVERNMENT BOARD? Yes No IF YES, PLEASE STATE NAME OF BOARD: _____

REFERENCES:
Jay Conn, Director Parks and Recreation, City of Winter Garden, 407-656-4155
Howard Long, Project Executive, Roy Anderson Construction, 228-297-4104

WHICH BOARD(S) ARE YOU INTERESTED?

- *CODE ENFORCEMENT BOARD
 - *PLANNING & ZONING BOARD
 - *COMMUNITY REDEVELOPMENT AGENCY
 - *COMMUNITY REDEVELOPMENT ADVISORY BOARD - CIRCLE ALL THAT APPLY TO YOU WITHIN THE CRA: RESIDE OWN / OPERATE A BUSINESS / OTHER
 - *GENERAL EMPLOYEES PENSION BOARD
 - *FIRE/POLICE PENSION BOARD
 - *ARCHITECTURAL REVIEW AND HISTORIC PRESERVATION BOARD
- CIRCLE ALL THAT APPLY TO YOU: ARCHITECT / LICENSED GENERAL CONTRACTOR / WG HERITAGE FOUNDATION BOARD MEMBER / OWN COMMERCIAL PROPERTY IN THE HISTORIC DISTRICT / OWN COMMERCIAL PROPERTY IN THE HISTORIC DISTRICT & RESIDE IN THE CITY / RESIDE IN THE CITY
- ELECTION CANVASSING BOARD

PLEASE NOTE: MEMBERS SERVING ON BOARDS WITH AN ASTERISK (*) ARE REQUIRED TO FILE AN ANNUAL FINANCIAL DISCLOSURE FORM WITH THE ORANGE COUNTY SUPERVISOR OF ELECTIONS OFFICE ON OR BEFORE JULY 1ST OF EACH YEAR. APPLICANTS FOR BOARD APPOINTMENT ARE REMINDED OF THE PROVISIONS OF THE FLORIDA STATUTES AS APPLICABLE TO CONFLICTS OF INTEREST. ALL BOARD APPLICATIONS ARE KEPT ON FILE FOR ONE YEAR AND ARE SUBMITTED TO THE CITY COMMISSION WHENEVER A VACANCY OCCURS. UPDATED INFORMATION SHOULD BE SUBMITTED AND MAY BE REQUESTED AT ANY TIME.

DIRECT INTEREST FORM AND QUESTIONS TO THE CITY CLERK'S OFFICE AT 407-656-4111 EXT. 2254

THANK YOU FOR YOUR INTEREST IN SERVING YOUR COMMUNITY.



LM 6-18-13

Rec'd. 1-25-10

CITY OF WINTER GARDEN
300 WEST PLANT STREET
WINTER GARDEN, FL 34787

P: 407.656.4111
WWW.WINTERGARDEN-FL.GOV

WINTER GARDEN • A charming little city with a juicy past.

CITY OF WINTER GARDEN BOARD APPOINTMENT INTEREST FORM

THANK YOU FOR YOUR INTEREST IN SERVING ON ONE OF THE CITY'S BOARDS/COMMITTEES. VOLUNTEERS LIKE YOU ARE ESSENTIAL TO ENSURING THAT YOUR CITY GOVERNMENT IS RESPONSIVE TO THE NEEDS OF THE COMMUNITY. PLEASE HELP US PLACE YOU ON THE MOST APPROPRIATE COMMITTEE BY COMPLETING THIS QUESTIONNAIRE. FEEL FREE TO ATTACH A RESUME.

DATE: JANUARY 19, 2010 VERIFIED INTEREST ON: _____

LAST NAME: PATTON FIRST: DONALD (DON) MIDDLE: B
HOME ADDRESS: 707 BRANDY OAKS LOOP, WINTER GARDEN, FL 34787
OFFICE ADDRESS: 1675 BUENA VISTA DRIVE, SUN TRUST SUITE 305, LAKE BUENA VISTA, FL 32830
HOME PHONE: 407-489-2243 WORK PHONE: 407-828-1836 FAX: _____
CURRENT EMPLOYER: WALT DISNEY PARKS & RESORTS LENGTH: 12 YEARS

POSITION: _____
EDUCATION: BA, Mathematics, Indiana University, 1988 HIGH SCHOOL UNDERGRADUATE COLLEGE DEGREE IN: _____
ADVANCED COLLEGE DEGREE IN: _____ OTHER: Post-Baccalaureate Certificate in Professional Accountancy (University of Southern Indiana), CPA (Indiana - Inactive)

PLEASE STATE YOUR EXPERIENCE, INTERESTS OR ELEMENTS OF YOUR HISTORY THAT YOU THINK QUALIFY YOU FOR APPOINTMENT:
Five years in public accounting provided a variety of work environment experiences. I also have a variety of community involvement experiences, as listed.

COMMUNITY INVOLVEMENT: Volunteer: Special Olympics, Habitat for Humanity, Horses for Riders with Disabilities, Fellowship of Christian Athletes Team Endurance

INTERESTS/ACTIVITIES: inline Skating, Cycling, Running, Instrumental Music, Inactive CPA (Indiana)

WHY DO YOU DESIRE TO SERVE ON THIS/THESE BOARDS? I want to contribute to my community with my service in government.

NAME ANY BUSINESS, PROFESSIONAL, CIVIC OR FRATERNAL ORGANIZATIONS OF WHICH YOU ARE A MEMBER AND THE DATES OF MEMBERSHIP.
Central Florida Compensation & Benefits Association, World at Work (Professional Compensation & Benefits Organization), Lake County Bicycle Alliance, Central Florida Trail Bladers & Bikers, Fellowship of Christian Athletes Team Endurance

ARE YOU A RESIDENT OF WINTER GARDEN? Yes IF YES, CONTINUOUS RESIDENT SINCE? APRIL 2009

ARE YOU A REGISTERED VOTER OF ORANGE COUNTY? Yes WHICH CITY DISTRICT? 2

ARE YOU CURRENTLY SERVING ON ANY OTHER BOARDS? No IF YES, PLEASE STATE NAME OF BOARD: _____

HAVE YOU EVER SERVED ON A GOVERNMENT BOARD? No IF YES, PLEASE STATE NAME OF BOARD: _____

REFERENCES: Janet Burnley, Director of Compensation, Walt Disney Parks & Resorts, 407-828-2488;
Mark Schafer, Director of Human Resources Finance, Walt Disney Parks & Resorts, 407-828-7119

- WHICH BOARD(S) ARE YOU INTERESTED?**
- _____ *CODE ENFORCEMENT BOARD
 - 1 *PLANNING & ZONING BOARD
 - 2 *COMMUNITY REDEVELOPMENT AGENCY OR ADVISORY BOARD
 - _____ *GENERAL EMPLOYEES PENSION BOARD
 - _____ *FIRE/POLICE PENSION BOARD
 - _____ STATE ROAD 50 COMMERCIAL CORRIDOR REVIEW BOARD (SUNSETS 4/24/2010)
 - _____ *ARCHITECTURAL REVIEW AND HISTORICAL PRESERVATION BOARD

PLEASE NOTE: MEMBERS SERVING ON BOARDS WITH AN ASTERISK (*) ARE REQUIRED TO FILE AN ANNUAL FINANCIAL DISCLOSURE FORM WITH THE ORANGE COUNTY SUPERVISOR OF ELECTIONS OFFICE ON OR BEFORE JULY 1ST OF EACH YEAR. APPLICANTS FOR BOARD APPOINTMENT ARE REMINDED OF THE PROVISIONS OF THE FLORIDA STATUTES AS APPLICABLE TO CONFLICTS OF INTEREST. ALL BOARD APPLICATIONS ARE KEPT ON FILE FOR ONE YEAR AND ARE SUBMITTED TO THE CITY COMMISSION WHENEVER A VACANCY OCCURS. UPDATED INFORMATION SHOULD BE SUBMITTED AND MAY BE REQUESTED AT ANY TIME.

DIRECT INTEREST FORM AND QUESTIONS TO THE CITY CLERK'S OFFICE AT 407-656-4111 EXT. 2254.



CITY OF WINTER GARDEN
CITY CLERK'S OFFICE
300 WEST PLANT STREET
WINTER GARDEN, FL 34787

P: 407.656.4111
WWW.WINTERGARDEN-FL.GOV

BOARD APPOINTMENT INTEREST FORM

THANK YOU FOR YOUR INTEREST IN SERVING ON ONE OF THE CITY'S BOARDS/COMMITTEES. VOLUNTEERS LIKE YOU ARE ESSENTIAL TO ENSURING THAT YOUR CITY GOVERNMENT IS RESPONSIVE TO THE NEEDS OF THE COMMUNITY. PLEASE HELP US PLACE YOU ON THE MOST APPROPRIATE COMMITTEE BY COMPLETING THIS QUESTIONNAIRE. **1-9-13**
FEEL FREE TO ATTACH A RESUME.

DATE: 9/21/12 VERIFIED INTEREST ON: _____

LAST NAME: Latorre FIRST: Benjamin MIDDLE: _____

HOME ADDRESS: 253 Rainfall Drive Winter Garden, FL

OFFICE ADDRESS: _____

HOME PHONE: 407-347-7623 CELL PHONE: 978-697-2342 WORK PHONE: 321-441-2637

EMAIL: benjamin.latorre@wpafl.com FAX #: _____

CURRENT EMPLOYER: Internal Revenue Service LENGTH: 4 years

POSITION: Revenue Agent

EDUCATION: HIGH SCHOOL GRADUATE YES NO UNDERGRADUATE COLLEGE DEGREE IN: Sports Management

ADVANCED COLLEGE DEGREE IN: Accounting OTHER: _____

PLEASE STATE YOUR EXPERIENCE, INTERESTS OR ELEMENTS OF YOUR HISTORY THAT YOU THINK QUALIFY YOU FOR APPOINTMENT:
student government - cross campus / Springfield College
Disciplinary Committee - cross campus
Business Background & Volunteer Activities

COMMUNITY INVOLVEMENT: HOA - Black Lake Park

INTERESTS/ACTIVITIES: Sports / Politics / Accounting / Music

WHY DO YOU DESIRE TO SERVE ON THIS/THESE BOARDS? I would to be part of my community and make a difference

NAME ANY BUSINESS, PROFESSIONAL, CIVIC OR FRATERNAL ORGANIZATIONS OF WHICH YOU ARE A MEMBER AND THE DATES OF MEMBERSHIP.

ARE YOU A RESIDENT OF WINTER GARDEN? YES NO IF YES, CONTINUOUS RESIDENT SINCE? September 2009

ARE YOU A REGISTERED VOTER OF ORANGE COUNTY? YES NO WHICH CITY DISTRICT? Winter Garden 2

ARE YOU CURRENTLY SERVING ON ANY OTHER BOARDS? YES NO IF YES, PLEASE STATE NAME OF BOARD:

HAVE YOU EVER SERVED ON A GOVERNMENT BOARD? YES NO IF YES, PLEASE STATE NAME OF BOARD:

REFERENCES:
Keeron Walsh 407-721-2959 Tom McLoone 407-470-9180
Dan Honan 407-504-8282

- WHICH BOARD(S) ARE YOU INTERESTED?**
- *CODE ENFORCEMENT BOARD
 - *PLANNING & ZONING BOARD
 - *COMMUNITY REDEVELOPMENT AGENCY
 - *COMMUNITY REDEVELOPMENT ADVISORY BOARD - CIRCLE ALL THAT APPLY TO YOU WITHIN THE CRA: RESIDE / OWN / OPERATE A BUSINESS / OTHER
 - *GENERAL EMPLOYEES PENSION BOARD
 - *FIRE/POLICE PENSION BOARD
 - *ARCHITECTURAL REVIEW AND HISTORIC PRESERVATION BOARD
- CIRCLE ALL THAT APPLY TO YOU: ARCHITECT / LICENSED GENERAL CONTRACTOR / WG HERITAGE FOUNDATION BOARD MEMBER / OWN COMMERCIAL PROPERTY IN THE HISTORIC DISTRICT / OWN COMMERCIAL PROPERTY IN THE HISTORIC DISTRICT & RESIDE IN THE CITY / RESIDE IN THE CITY
- ELECTION CANVASSING BOARD

PLEASE NOTE: MEMBERS SERVING ON BOARDS WITH AN ASTERISK (*) ARE REQUIRED TO FILE AN ANNUAL FINANCIAL DISCLOSURE FORM WITH THE ORANGE COUNTY SUPERVISOR OF ELECTIONS OFFICE ON OR BEFORE JULY 1ST OF EACH YEAR. APPLICANTS FOR BOARD APPOINTMENT ARE REMINDED OF THE PROVISIONS OF THE FLORIDA STATUTES AS APPLICABLE TO CONFLICTS OF INTEREST. ALL BOARD APPLICATIONS ARE KEPT ON FILE FOR ONE YEAR AND ARE SUBMITTED TO THE CITY COMMISSION WHENEVER A VACANCY OCCURS. UPDATED INFORMATION SHOULD BE SUBMITTED AND MAY BE REQUESTED AT ANY TIME.

DIRECT INTEREST FORM AND QUESTIONS TO THE CITY CLERK'S OFFICE AT 407-656-4111 EXT. 2254

THANK YOU FOR YOUR INTEREST IN SERVING YOUR COMMUNITY.



Rec'd 9-1-11

CITY OF WINTER GARDEN
CITY CLERK'S OFFICE
300 WEST PLANT STREET
WINTER GARDEN, FL 34787
P: 407.656.4111
WWW.WINTERGARDEN-FL.GOV

BOARD APPOINTMENT INTEREST FORM

THANK YOU FOR YOUR INTEREST IN SERVING ON ONE OF THE CITY'S BOARDS/COMMITTEES. VOLUNTEERS LIKE YOU ARE ESSENTIAL TO ENSURING THAT YOUR CITY GOVERNMENT IS RESPONSIVE TO THE NEEDS OF THE COMMUNITY. PLEASE HELP US PLACE YOU ON THE MOST APPROPRIATE COMMITTEE BY COMPLETING THIS QUESTIONNAIRE. FEEL FREE TO ATTACH A RESUME.

3-22-13

DATE: 08/30/11 VERIFIED INTEREST ON: _____

LAST NAME: Gantt FIRST: Heather MIDDLE: Marie

HOME ADDRESS: 540 Lake Cove Pointe Circle

OFFICE ADDRESS: _____

HOME PHONE: _____ CELL PHONE: 407-758-3802 WORK PHONE: _____

EMAIL: heather.gantt@disney.com FAX #: _____

CURRENT EMPLOYER: Walt Disney Co. LENGTH: 10 1/2 years

POSITION: Project Manager

EDUCATION: HIGH SCHOOL GRADUATE Yes No UNDERGRADUATE COLLEGE DEGREE IN: BS - Biology

ADVANCED COLLEGE DEGREE IN: MS - Management OTHER: _____

PLEASE STATE YOUR EXPERIENCE, INTERESTS OR ELEMENTS OF YOUR HISTORY THAT YOU THINK QUALIFY YOU FOR APPOINTMENT:
Served 5yrs as officer in the U.S. Army Signal Corps. After achieving the rank of Captain, began a career in IT Project Management at The Walt Disney Co. Since 2007, logged over 950 hours of volunteer service to the Central Florida community. Recipient of the Presidential Volunteer Service Award (2009, 2010, 2011). Recipient of the Chapin-Hood Award.

COMMUNITY INVOLVEMENT: Volunteer at children's school (Foundation Academy) and children's ministry at church.

INTERESTS/ACTIVITIES: Family, Volunteer Service, Travel

WHY DO YOU DESIRE TO SERVE ON THIS/THESE BOARDS? I love Winter Garden and am amazed with the successful growth of the city!

NAME ANY BUSINESS, PROFESSIONAL, CIVIC OR FRATERNAL ORGANIZATIONS OF WHICH YOU ARE A MEMBER AND THE DATES OF MEMBERSHIP.

Active member of the Junior League of Greater Orlando since 2003. Board Member 2006 (VP of R&D) and 2009 (Treasurer).

ARE YOU A RESIDENT OF WINTER GARDEN? Yes No IF YES, CONTINUOUS RESIDENT SINCE? 2005

ARE YOU A REGISTERED VOTER OF ORANGE COUNTY? Yes No WHICH CITY DISTRICT? 2

ARE YOU CURRENTLY SERVING ON ANY OTHER BOARDS? Yes No IF YES, PLEASE STATE NAME OF BOARD:

HAVE YOU EVER SERVED ON A GOVERNMENT BOARD? Yes No IF YES, PLEASE STATE NAME OF BOARD:

REFERENCES:

Stephanie Garris (407-619-5310) - Past President, Junior League of Greater Orlando; Executive Director of GRACE Medical Home

WHICH BOARD(S) ARE YOU INTERESTED?

- *CODE ENFORCEMENT BOARD
- *PLANNING & ZONING BOARD
- *COMMUNITY REDEVELOPMENT AGENCY
- *COMMUNITY REDEVELOPMENT ADVISORY BOARD - CIRCLE ALL THAT APPLY TO YOU WITHIN THE CRA: RESIDE / OWN / OPERATE A BUSINESS / OTHER
- *GENERAL EMPLOYEES PENSION BOARD
- *FIRE/POLICE PENSION BOARD
- *ARCHITECTURAL REVIEW AND HISTORIC PRESERVATION BOARD
CIRCLE ALL THAT APPLY TO YOU: ARCHITECT / LICENSED GENERAL CONTRACTOR / WG HERITAGE FOUNDATION BOARD MEMBER / OWN COMMERCIAL PROPERTY IN THE HISTORIC DISTRICT / OWN COMMERCIAL PROPERTY IN THE HISTORIC DISTRICT & RESIDE IN THE CITY / RESIDE IN THE CITY
- ELECTION CANVASSING BOARD

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DIRECT INTEREST FORM AND QUESTIONS TO THE CITY CLERK'S OFFICE AT 407-656-4111 EXT. 2254

THANK YOU FOR YOUR INTEREST IN SERVING YOUR COMMUNITY.





CITY OF WINTER GARDEN
 CITY CLERK'S OFFICE
 300 WEST PLANT STREET
 WINTER GARDEN, FL 34787

P: 407.656.4111

Rec'd 4-22-13

WWW.WINTERGARDEN-FL.GOV

BOARD APPOINTMENT INTEREST FORM

THANK YOU FOR YOUR INTEREST IN SERVING ON ONE OF THE CITY'S BOARDS/COMMITTEES. VOLUNTEERS LIKE YOU ARE ESSENTIAL TO ENSURING THAT YOUR CITY GOVERNMENT IS RESPONSIVE TO THE NEEDS OF THE COMMUNITY. PLEASE HELP US PLACE YOU ON THE MOST APPROPRIATE COMMITTEE BY COMPLETING THIS QUESTIONNAIRE. FEEL FREE TO ATTACH A RESUME.

DATE: April 19, 2013 VERIFIED INTEREST ON: _____

LAST NAME: Woloshin FIRST: Bruce MIDDLE: H
 HOME ADDRESS: 12668 Westfield Lakes Circle
 OFFICE ADDRESS: 1675 Lee Road, Winter Park, FL 32789
 HOME PHONE: 407-287-9147 CELL PHONE: 321-441-6397 WORK PHONE: 407-618-8383
 EMAIL: b.woloshin@earthlink.net FAX #: 407-740-6112
 CURRENT EMPLOYER: Terracon Consultants, Inc. LENGTH: 5 yrs
 POSITION: Engineering Manager
 EDUCATION: HIGH SCHOOL GRADUATE Yes No UNDERGRADUATE COLLEGE DEGREE IN: Civil Engineering
 ADVANCED COLLEGE DEGREE IN: Geotechnical Engineering OTHER: _____

PLEASE STATE YOUR EXPERIENCE, INTERESTS OR ELEMENTS OF YOUR HISTORY THAT YOU THINK QUALIFY YOU FOR APPOINTMENT:

I am a Professional Engineer with over 35 years of experience and I can add my engineering and business training and thought process to almost all decisions in everyday life to assist the City in prosperity and growth.

COMMUNITY INVOLVEMENT: Westfield Lakes Subdivision HOA President
 INTERESTS/ACTIVITIES: Wine, Golf, Community
 WHY DO YOU DESIRE TO SERVE ON THIS/THESE BOARDS? Get more involved with my city

NAME ANY BUSINESS, PROFESSIONAL, CIVIC OR FRATERNAL ORGANIZATIONS OF WHICH YOU ARE A MEMBER AND THE DATES OF MEMBERSHIP.
Westfield Lakes Property Owners Association, President, 2007

ARE YOU A RESIDENT OF WINTER GARDEN? Yes No IF YES, CONTINUOUS RESIDENT SINCE? 2006
 ARE YOU A REGISTERED VOTER OF ORANGE COUNTY? Yes No WHICH CITY DISTRICT? Two 3
 ARE YOU CURRENTLY SERVING ON ANY OTHER BOARDS? Yes No IF YES, PLEASE STATE NAME OF BOARD:

HAVE YOU EVER SERVED ON A GOVERNMENT BOARD? Yes No IF YES, PLEASE STATE NAME OF BOARD:

REFERENCES:
Gary Comstock, 407-656-1081; Robert Scott 407-648-0405; Jim Hamil 407-618-8350; Gary Guy 407-967-1828

WHICH BOARD(S) ARE YOU INTERESTED?

- *CODE ENFORCEMENT BOARD
- *PLANNING & ZONING BOARD
- *COMMUNITY REDEVELOPMENT AGENCY
- *COMMUNITY REDEVELOPMENT ADVISORY BOARD - CIRCLE ALL THAT APPLY TO YOU WITHIN THE CRA: RESIDE / OWN / OPERATE A BUSINESS / OTHER
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THANK YOU FOR YOUR INTEREST IN SERVING YOUR COMMUNITY.



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Rec'd 4-22-13

BOARD APPOINTMENT INTEREST FORM

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FEEL FREE TO ATTACH A RESUME.

DATE: April 18, 2013

VERIFIED INTEREST ON: _____

LAST NAME: Montgomery FIRST: Gerard MIDDLE: Vincent
HOME ADDRESS: 2045 Black Lake Blvd
OFFICE ADDRESS: 2045 Black Lake Blvd
HOME PHONE: 407-567-8688 CELL PHONE: 407-567-8688 WORK PHONE: _____
EMAIL: Gerard_Montgomery@yahoo.com FAX #: 407-315-0026
CURRENT EMPLOYER: Southeast Protection Service Inc LENGTH: 4 yrs
POSITION: President / Owner
EDUCATION: HIGH SCHOOL GRADUATE YES NO UNDERGRADUATE COLLEGE DEGREE IN: Business Management
ADVANCED COLLEGE DEGREE IN: _____ OTHER: _____

PLEASE STATE YOUR EXPERIENCE, INTERESTS OR ELEMENTS OF YOUR HISTORY THAT YOU THINK QUALIFY YOU FOR APPOINTMENT:

Business owner - Security / PRIVATE INVESTIGATION - 30 yrs exper ups District
Attended Winter Garden Citizen Police class Security Manager

COMMUNITY INVOLVEMENT: N/A

INTERESTS/ACTIVITIES: Biking / Reading / Business owner

WHY DO YOU DESIRE TO SERVE ON THIS/THESE BOARDS? more involved in City Govern ment / City Improvement

NAME ANY BUSINESS, PROFESSIONAL, CIVIC OR FRATERNAL ORGANIZATIONS OF WHICH YOU ARE A MEMBER AND THE DATES OF MEMBERSHIP.

N/A

ARE YOU A RESIDENT OF WINTER GARDEN? YES NO IF YES, CONTINUOUS RESIDENT SINCE? _____
ARE YOU A REGISTERED VOTER OF ORANGE COUNTY? YES NO WHICH CITY DISTRICT? 4
ARE YOU CURRENTLY SERVING ON ANY OTHER BOARDS? YES NO IF YES, PLEASE STATE NAME OF BOARD: _____

HAVE YOU EVER SERVED ON A GOVERNMENT BOARD? YES NO IF YES, PLEASE STATE NAME OF BOARD:

North Carolina Rural Electric Authority - Board member

REFERENCES:

Michelle Tatum - 407-825-7111 / James Buck - 336-669-1574 / Venessa Perre - 843-424-0178

WHICH BOARD(S) ARE YOU INTERESTED?

- *CODE ENFORCEMENT BOARD
 - *PLANNING & ZONING BOARD
 - *COMMUNITY REDEVELOPMENT AGENCY
 - *COMMUNITY REDEVELOPMENT ADVISORY BOARD - CIRCLE ALL THAT APPLY TO YOU WITHIN THE CRA: RESIDE / OWN / OPERATE A BUSINESS / OTHER
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DIRECT INTEREST FORM AND QUESTIONS TO THE CITY CLERK'S OFFICE AT 407-656-4111 EXT. 2254

THANK YOU FOR YOUR INTEREST IN SERVING YOUR COMMUNITY.

Board Appointment Interest Form 06-10



CITY OF WINTER GARDEN
CITY CLERK'S OFFICE
300 WEST PLANT STREET
WINTER GARDEN, FL 34787

P: 407.656.4111
WWW.WINTERGARDEN-FL.GOV

Rec'd 4-22-13

BOARD APPOINTMENT INTEREST FORM

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DATE: April 19, 2013 VERIFIED INTEREST ON: _____

LAST NAME: Haddock FIRST: Henry MIDDLE: D.
HOME ADDRESS: 14158 Hampshire Bay Circle
OFFICE ADDRESS: P.O. Box 783305
HOME PHONE: 407-654-6237 CELL PHONE: 407-443-1116 WORK PHONE: 407-443-1116
EMAIL: henry@crenav.com FAX #: _____
CURRENT EMPLOYER: CRE Solutions & Analytics, LLC LENGTH: 2012
POSITION: President
EDUCATION: HIGH SCHOOL GRADUATE YES NO UNDERGRADUATE COLLEGE DEGREE IN: Business Administration: Finance
ADVANCED COLLEGE DEGREE IN: Partial completion of MBA OTHER: _____

PLEASE STATE YOUR EXPERIENCE, INTERESTS OR ELEMENTS OF YOUR HISTORY THAT YOU THINK QUALIFY YOU FOR APPOINTMENT:
After a 30 year career in banking and commercial real estate, I am now self-employed. Through my Company (www.crenav.com) I provide Litigation Support Services, Mortgage Debt Advisory, Consulting and Real Estate Brokerage services to my client base. My website includes my CV which lists all qualifications for your consideration of an advisory board appointment.

COMMUNITY INVOLVEMENT: Church. My wife is active with the Winter Garden Theatre.

INTERESTS/ACTIVITIES: Golf, boating

WHY DO YOU DESIRE TO SERVE ON THIS/THESE BOARDS? After a long banking career, I now have both the qualifications, the time and no (e)

NAME ANY BUSINESS, PROFESSIONAL, CIVIC OR FRATERNAL ORGANIZATIONS OF WHICH YOU ARE A MEMBER AND THE DATES OF MEMBERSHIP.

See my website and CV at: www.crenav.com

ARE YOU A RESIDENT OF WINTER GARDEN? YES NO IF YES, CONTINUOUS RESIDENT SINCE? 2003

ARE YOU A REGISTERED VOTER OF ORANGE COUNTY? YES NO WHICH CITY DISTRICT? Winter Garden - 4

ARE YOU CURRENTLY SERVING ON ANY OTHER BOARDS? YES NO IF YES, PLEASE STATE NAME OF BOARD:

HAVE YOU EVER SERVED ON A GOVERNMENT BOARD? YES NO IF YES, PLEASE STATE NAME OF BOARD:

REFERENCES:

Mr. Robert L. Mellen, III (former Director Dr. Phillips Charities), Jules Cohen, Esq. (Akerman Senterfitt), Steve McCraney (McCraney Property Company), David Mann (SunTrust Bank Regional President)

WHICH BOARD(S) ARE YOU INTERESTED?

- *CODE ENFORCEMENT BOARD
- *PLANNING & ZONING BOARD
- *COMMUNITY REDEVELOPMENT AGENCY
- *COMMUNITY REDEVELOPMENT ADVISORY BOARD - CIRCLE ALL THAT APPLY TO YOU WITHIN THE CRA: RESIDE / OWN / OPERATE A BUSINESS / OTHER
- *GENERAL EMPLOYEES PENSION BOARD
- *FIRE/POLICE PENSION BOARD
- *ARCHITECTURAL REVIEW AND HISTORIC PRESERVATION BOARD
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DIRECT INTEREST FORM AND QUESTIONS TO THE CITY CLERK'S OFFICE AT 407-656-4111 EXT. 2254

THANK YOU FOR YOUR INTEREST IN SERVING YOUR COMMUNITY.



CITY OF WINTER GARDEN
 CITY CLERK'S OFFICE
 300 WEST PLANT STREET
 WINTER GARDEN, FL 34787

P: 407.656.4111

WWW.WINTERGARDEN-FL.GOV

Rec'd. 7-11-13

BOARD APPOINTMENT INTEREST FORM

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DATE: 11 July 2013 VERIFIED INTEREST ON: _____

LAST NAME: KASSANDER FIRST: DAVID MIDDLE: _____
 HOME ADDRESS: 15155 OVATION DRIVE, Winter Garden, FL 34787-5555
 OFFICE ADDRESS: same
 HOME PHONE: 407-347-5644 CELL PHONE: 407-900-3283 WORK PHONE: _____
 EMAIL: kassander.wintergarden@gmail.com FAX #: _____
 CURRENT EMPLOYER: The MITRE Corporation LENGTH: 16 Years
 POSITION: Systems Engineer
 EDUCATION: HIGH SCHOOL GRADUATE YES NO UNDERGRADUATE COLLEGE DEGREE IN: Communications
 ADVANCED COLLEGE DEGREE IN: Information Systems Management OTHER: _____

PLEASE STATE YOUR EXPERIENCE, INTERESTS OR ELEMENTS OF YOUR HISTORY THAT YOU THINK QUALIFY YOU FOR APPOINTMENT:
8+ years as City Council Member in Creve Coeur, MO, P&Z participation including Land Use Plan development, Urban Land Institute conferences/courses, High interest in City Planning/management. City size responsibilities in Military. Public Service for over 35 years with Engineering, National Government, HOA, and City legislative experience.

COMMUNITY INVOLVEMENT: City Council Member, HOA Member
 INTERESTS/ACTIVITIES: City management/planning; public service; technology
 WHY DO YOU DESIRE TO SERVE ON THIS/THESE BOARDS? To assist harmonious residential and business friendly environment development

NAME ANY BUSINESS, PROFESSIONAL, CIVIC OR FRATERNAL ORGANIZATIONS OF WHICH YOU ARE A MEMBER AND THE DATES OF MEMBERSHIP:

ARE YOU A RESIDENT OF WINTER GARDEN? YES NO IF YES, CONTINUOUS RESIDENT SINCE? 2010
 ARE YOU A REGISTERED VOTER OF ORANGE COUNTY? YES NO WHICH CITY DISTRICT? Fourth
 ARE YOU CURRENTLY SERVING ON ANY OTHER BOARDS? YES NO IF YES, PLEASE STATE NAME OF BOARD: _____

HAVE YOU EVER SERVED ON A GOVERNMENT BOARD? YES NO IF YES, PLEASE STATE NAME OF BOARD:
City of Creve Coeur Missouri City Council

REFERENCES:
Previous City Manager, Staff and Council Members and local resident details available on request

WHICH BOARD(S) ARE YOU INTERESTED?

- *CODE ENFORCEMENT BOARD
- *PLANNING & ZONING BOARD
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THANK YOU FOR YOUR INTEREST IN SERVING YOUR COMMUNITY.

Board Appointment Interest Form 06-10



CITY OF WINTER GARDEN
 CITY CLERK'S OFFICE
 300 WEST PLANT STREET
 WINTER GARDEN, FL 34787

P: 407.656.4111
 WWW.WINTERGARDEN-FL.GOV

BOARD APPOINTMENT INTEREST FORM

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FEEL FREE TO ATTACH A RESUME.

DATE: 05/15/2013

VERIFIED INTEREST ON: 05/15/2013

LAST NAME: Matin FIRST: Matthew MIDDLE: James
 HOME ADDRESS: 2143 Oakington Street, Winter Garden, FL 34787
 OFFICE ADDRESS: 121 South Orange Avenue, Suite 1200, Orlando, FL 32801
 HOME PHONE: N/A CELL PHONE: 321-948-5857 WORK PHONE: 407-487-0061 x130
 EMAIL: matt.matin@gmail.com FAX #: 407-487-0058
 CURRENT EMPLOYER: Renaissance Planning Group LENGTH: 6 mos.
 POSITION: Senior Transportation Planner
 EDUCATION: HIGH SCHOOL GRADUATE Yes No UNDERGRADUATE COLLEGE DEGREE IN: Urban Studies (University of Tennessee)
 ADVANCED COLLEGE DEGREE IN: _____ OTHER: _____

PLEASE STATE YOUR EXPERIENCE, INTERESTS OR ELEMENTS OF YOUR HISTORY THAT YOU THINK QUALIFY YOU FOR APPOINTMENT:

I am urban planner specializing in transportation, but have experience in all facets of the planning process. I feel that I would bring a good perspective and a passion to help the City of Winter Garden and its residents continue down the path of success that I have observed over the past 10 years living here.

COMMUNITY INVOLVEMENT: _____

INTERESTS/ACTIVITIES: _____

WHY DO YOU DESIRE TO SERVE ON THIS/THESE BOARDS? To help Winter Garden continue down the path of excellence.

NAME ANY BUSINESS, PROFESSIONAL, CIVIC OR FRATERNAL ORGANIZATIONS OF WHICH YOU ARE A MEMBER AND THE DATES OF MEMBERSHIP.

American Planning Association (Hold AICP license), Florida Planning & Zoning Association (FPZA)

ARE YOU A RESIDENT OF WINTER GARDEN? Yes No IF YES, CONTINUOUS RESIDENT SINCE? 2002

ARE YOU A REGISTERED VOTER OF ORANGE COUNTY? Yes No WHICH CITY DISTRICT? 4

ARE YOU CURRENTLY SERVING ON ANY OTHER BOARDS? Yes No IF YES, PLEASE STATE NAME OF BOARD:

Stoneybrook West Community Development District (CDD) - Vice-Chair, FPZA Central Florida Chapter - Executive Board Member

HAVE YOU EVER SERVED ON A GOVERNMENT BOARD? Yes No IF YES, PLEASE STATE NAME OF BOARD:

Stoneybrook West CDD Board of Supervisors

REFERENCES:

WHICH BOARD(S) ARE YOU INTERESTED?

- *CODE ENFORCEMENT BOARD
 *PLANNING & ZONING BOARD
 *COMMUNITY REDEVELOPMENT AGENCY
 *COMMUNITY REDEVELOPMENT ADVISORY BOARD - *CIRCLE ALL THAT APPLY TO YOU WITHIN THE CRA: RESIDE / OWN / OPERATE A BUSINESS / OTHER*
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THANK YOU FOR YOUR INTEREST IN SERVING YOUR COMMUNITY.

Board Appointment Interest Form 06-10

WINTER GARDEN • A charming little city with a juicy past.

Rec'd. 7-21-11



CITY OF WINTER GARDEN
 CITY CLERK'S OFFICE
 300 WEST PLANT STREET
 WINTER GARDEN, FL 34787

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WWW.WINTERGARDEN-FL.GOV

BOARD APPOINTMENT INTEREST FORM

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3-22-13

DATE: 7/18/2011

VERIFIED INTEREST ON: _____

LAST NAME: Dotson FIRST: Ryan MIDDLE: Matthew
 HOME ADDRESS: 1166 Priory Circle, Winter Garden, FL 34787-5568
 OFFICE ADDRESS: 4900 North World Drive, Lake Buena Vista, FL 32830
 HOME PHONE: 407-347-8673 CELL PHONE: 407-257-1168 WORK PHONE: 407-824-3873
 EMAIL: dotson.ryan@gmail.com FAX #: _____
 CURRENT EMPLOYER: Wat Disney Parks & Resorts LENGTH: 5 years
 POSITION: Resort Guest Service Manager
 EDUCATION: HIGH SCHOOL GRADUATE Yes No UNDERGRADUATE COLLEGE DEGREE IN: Communications
 ADVANCED COLLEGE DEGREE IN: _____ OTHER: _____

PLEASE STATE YOUR EXPERIENCE, INTERESTS OR ELEMENTS OF YOUR HISTORY THAT YOU THINK QUALIFY YOU FOR APPOINTMENT:

I have a great interest in history and city planning. As a resort manager, I am accustomed to handling complex situations which require compromise and creative solutions.

COMMUNITY INVOLVEMENT: _____

INTERESTS/ACTIVITIES: _____

WHY DO YOU DESIRE TO SERVE ON THIS/THESE BOARDS? I love living in Winter Garden and want to become more involved.

NAME ANY BUSINESS, PROFESSIONAL, CIVIC OR FRATERNAL ORGANIZATIONS OF WHICH YOU ARE A MEMBER AND THE DATES OF MEMBERSHIP.

ARE YOU A RESIDENT OF WINTER GARDEN? Yes No IF YES, CONTINUOUS RESIDENT SINCE? February 2009
 ARE YOU A REGISTERED VOTER OF ORANGE COUNTY? Yes No WHICH CITY DISTRICT? 4
 ARE YOU CURRENTLY SERVING ON ANY OTHER BOARDS? Yes No IF YES, PLEASE STATE NAME OF BOARD: _____

HAVE YOU EVER SERVED ON A GOVERNMENT BOARD? Yes No IF YES, PLEASE STATE NAME OF BOARD: _____

REFERENCES:

WHICH BOARD(S) ARE YOU INTERESTED?

- *CODE ENFORCEMENT BOARD
- *PLANNING & ZONING BOARD
- *COMMUNITY REDEVELOPMENT AGENCY
- *COMMUNITY REDEVELOPMENT ADVISORY BOARD - *CIRCLE ALL THAT APPLY TO YOU WITHIN THE CRA: RESIDE / OWN / OPERATE A BUSINESS / OTHER*
- *GENERAL EMPLOYEES PENSION BOARD
- *FIRE/POLICE PENSION BOARD
- *ARCHITECTURAL REVIEW AND HISTORIC PRESERVATION BOARD
CIRCLE ALL THAT APPLY TO YOU: ARCHITECT / LICENSED GENERAL CONTRACTOR / WG HERITAGE FOUNDATION BOARD MEMBER / OWN COMMERCIAL PROPERTY IN THE HISTORIC DISTRICT / OWN COMMERCIAL PROPERTY IN THE HISTORIC DISTRICT & RESIDE IN THE CITY / RESIDE IN THE CITY
- ELECTION CANVASSING BOARD

PLEASE NOTE: MEMBERS SERVING ON BOARDS WITH AN ASTERISK (*) ARE REQUIRED TO FILE AN ANNUAL FINANCIAL DISCLOSURE FORM WITH THE ORANGE COUNTY SUPERVISOR OF ELECTIONS OFFICE ON OR BEFORE JULY 1ST OF EACH YEAR. APPLICANTS FOR BOARD APPOINTMENT ARE REMINDED OF THE PROVISIONS OF THE FLORIDA STATUTES AS APPLICABLE TO CONFLICTS OF INTEREST. ALL BOARD APPLICATIONS ARE KEPT ON FILE FOR ONE YEAR AND ARE SUBMITTED TO THE CITY COMMISSION WHENEVER A VACANCY OCCURS. UPDATED INFORMATION SHOULD BE SUBMITTED AND MAY BE REQUESTED AT ANY TIME.

DIRECT INTEREST FORM AND QUESTIONS TO THE CITY CLERK'S OFFICE AT 407-656-4111 EXT. 2254

THANK YOU FOR YOUR INTEREST IN SERVING YOUR COMMUNITY.

Board Appointment Interest Form 06-10