



For More Information, Contact:

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PLANNING & ZONING BOARD AGENDA

To: James Gentry – Vice-Chairman
Jimmy Dunn
Kent Horsley
Mark Maciel
Mac McKinney
Rohan Ramlackhan
Eric Weiss

Copy to: Mike Bollhoefer
Dan Langley
Ed Williams
Tim Wilson
Laura Smith
Stephen Pash
Alejandra Fazekas

RE: Agenda – January 9, 2012 - 6:30 PM
Commission Chambers, City Hall
300 West Plant Street, Winter Garden

-
1. Call to Order
 2. Roll Call and Determination of Quorum
 3. Approval of minutes from the December 5, 2011 meeting – Attachment 1

Variance (Public Hearing)

4. 953 Glenmeadow Drive

Annexation, Rezoning and Future Land Use Amendments (Public Hearing)

5. 13501 W. Colonial Drive
6. 13036 Roper Road

PUD Rezonings (Public Hearing)

7. Oakland Park, PUD Amendment
8. Cantero Property, PUD

ADJOURN to a regular Planning and Zoning Board meeting on Monday, February 6, 2012 at 6:30 p.m. in City Hall Commission Chambers, 300 W. Plant Street, 1st floor.

Note: §286.0105, Florida Statutes, states that if a person decides to appeal any decision by a board, agency, or commission with respect to any matter considered at a meeting or hearing, he or she will need a record of the proceedings and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. In accordance with the Americans with Disabilities Act (ADA), if any person with a disability, as defined by the ADA, needs special accommodation to participate in this proceeding, then not later than two business days prior to the proceeding, he or she should contact the City Clerk's Office at 407-656-4111 extension 2254.



**A REGULAR MEETING MINUTES
PLANNING AND ZONING BOARD
DECEMBER 05, 2011**

City of Winter Garden

P: 407.656.4111

300 West Plant Street

Winter Garden, FL

34787

wintergarden-fl.gov

CALL TO ORDER

Chairman James Gentry called the meeting of the City of Winter Garden Planning and Zoning Board to order at 6:30 p.m. in the City Hall Commission Chambers. The invocation was given followed by the Pledge of Allegiance. The roll was called and a quorum was declared present.

MEMBERS PRESENT: Chairman James Gentry, Board Members: Eric Weiss, Kent Horsley, Mac McKinney, and Rohan Ramlackhan.

STAFF PRESENT: City Attorney Kurt Ardaman, Community Development Director Ed Williams, Senior Planner Laura Smith, Senior Planner Stephen Pash, Planner I Alejandra Fazekas, and Planning Technician Lorena Blankenship.

MEMBERS ABSENT: Mark Maciel (excused), and Jimmy Dunn (excused).

STAFF ABSENT: City Manager Mike Bollhoefer.

1. APPROVAL OF MINUTES

Approval of minutes from the regular meeting held November 07, 2011.

Mac McKinney pointed out that a correction needed be made to the minutes to indicate that Chairman James Gentry was the one who called the meeting to order.

Motion by Mac McKinney to approve the above minutes as amended, seconded by Rohan Ramlackhan, the motion carried unanimously 5-0.

VARIANCE

2. 953 Glenmeadow Drive

Planner I Alejandra Fazekas presented the Board with a request for approval of a variance to the 10' minimum side yard setback and 20% of the lot depth rear yard setback requirement for accessory structures over 160 square feet in size. If approved, this variance will allow the property owner to build a 14' X 24' shed. Ms. Fazekas added that this single family home is located on a 0.40 acre platted lot in the

Glenview Estates Second Addition plat book 18, page 48 recorded on September 11, 1986. The property is located west of Glensprings Avenue and was constructed in 1987. The surrounding neighborhood consists of single family residential homes. The subdivision does not have Homeowners Association to review any additional property improvements. The subject property has a screened enclosure pool. City staff would recommend adding landscaping to offset visual impact of the shed to the immediate single family residence. Staff recommends approval of a variance to Sections 118-1130 (c)(2)(a) and 118-308 of the City Code to allow the construction of a shed with 5 foot rear yard setback in lieu of 24.37 feet and 5 foot east side setback in lieu of 10 feet.

Mac McKinney noted that the property seems to have a lot of space on the rear of the property and asked if the shed could be relocated. Planner 1 Alejandra Fazekas responded that the home has a swimming pool on the rear of the property. Mr. McKinney stated that the survey provided in the agenda package does not include the swimming pool.

Motion by Kent Horsley to table the item to allow the applicant to submit a revised survey including the swimming pool. Seconded by Rohan Ramlackhan, the motion carried unanimously 5-0.

SPECIAL EXCEPTION PERMIT

3. 704 S. Dillard Street

Senior Planner Stephen Pash presented the Board with a request for approval of a Special Exception Permit to allow an Auto Sales and Service Facility in a C-2 zoning district. The owner is requesting Special Exception Permit to allow an Auto Sales and Service Facility to open in the existing building. The building was originally constructed as a gas station and service facility. The gas station stopped operation in the 1980's and the site was reopened as an Auto Sales and Service Facility. The current owner operated then leased the facility until 2008. The building has been vacant since and now the owner would like to lease the building to a new Auto Sales and Service Facility. Staff recommends approval of the Special Exception Permit with the conditions outlined in the staff report.

Motion by Rohan Ramlackhan to approve the Special Exception Permit with City Staff conditions (see attached). Seconded by Kent Horsley, the motion carried unanimously 5-0.

4. 13192 W. Colonial Drive

Community Development Director Williams presented the Board with a request for approval of a Special Exception Permit to allow an Auto Sales Facility in a C-2

zoning district. The owner/tenant is requesting Special Exception Permit to allow an Auto Sales Facility to remain in the existing building. The subject property was a new and used auto sales facility from 1996 through 2006. The existing property owner purchased the property in 2007 and demolished the dilapidated buildings to clean up the property. After demolishing the buildings, the owner purchased the modular building and had it moved onto this property. The owner has signed a lease with the applicant to operate the proposed used auto sales facility. Staff recommends approval of the Special Exception Permit with the conditions outlined in the staff report.

Motion by Kent Horsley to approve the Special Exception Permit with City Staff conditions (see attached). Seconded by Mac McKinney, the motion carried unanimously 5-0.

PUD Amendments and Plats

5. Avalon Reserve Village 1, PUD Amendment

Senior Planner Stephen Pash presented the Board with a request to amend the Avalon Reserve PUD requirements for Village 1 on 19.24 +/- Acres of land. The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation PUD. The subject property is designated Medium Density Residential on the Future Land Use Map of the Comprehensive Plan. City Staff recommend approval of the proposed Ordinance. Amending Ordinance 03-50 Section IV to change the development from townhomes to single-family. Amending the existing PUD is consistent with the City's Comprehensive Plan and the City of Winter Garden Code of Ordinances. The applicant proposes to develop the 19.24 ± acre site into a residential planned unit development containing 66 lots. The proposed neighborhood will be a private neighborhood, with a park and pedestrian trails around the pond. The proposed development is a reasonable and low intensity use of the land and is compatible with the surrounding area. Staff recommends approval of Ordinance 11-39, amending Section IV of Ordinance 03-50 to change the approved development from townhomes to single-family homes in Avalon Reserve Village 1.

Randy June, of June Engineering, 132 W. Plant Street, applicant for the project, approached the board to answer questions. No questions were asked to the applicant.

In response to Kent Horsley inquiry, City Attorney Ardaman pointed out that paragraph in page two (2) of ordinance 11-39 states: " In lieu of the front garage setback requirement as stated in the JPA (*Joint Planning Agreement*) design guidelines, a minimum of forty (40) percent of all residential units shall have the garage", should be corrected to state: "The JPA design guidelines front garage

setback requirements states that a minimum of forty (40) percent of all residential units shall have the garage

Motion by Mac McKinney to recommend approval of Ordinance 11-39, amending Section IV of Ordinance 03-50 to change the approved development from townhomes to single-family homes in Avalon Reserve Village 1. Seconded by Rohan Ramlackhan, the motion carried unanimously 5-0.

6. Avalon Reserve Village 1, Preliminary Plat

Senior Planner Stephen Pash presented the Board with a request of approval of a Preliminary Plat for Village 1 of the Avalon Reserve PUD to allow platting of 66 single-family lots. The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation PUD. The subject property is designated Medium Density Residential on the Future Land Use Map of the Comprehensive Plan. City Staff recommend approval of the proposed Preliminary Plat for 66 single-family lots. The proposed single-family subdivision is consistent with the City's Comprehensive Plan and the City of Winter Garden Code of Ordinances. The proposed development is a reasonable and low intensity use of the land and is compatible with the surrounding area. Staff recommends approval of the Preliminary Plat to pre-plat 66 single-family lots in Avalon Reserve Village 1.

Discussion took place among the Board Members and Community Development Director Williams regarding the impact that new development generates in the community. Topics of discussion included school concurrency, road impact, parks and recreational areas, and "Urban Village" guidelines.

Motion by Kent Horsley to recommend approval of the Preliminary Plat for Avalon Reserve Village 1. Seconded by Rohan Ramlackhan, the motion carried unanimously 5-0.

6. Tucker Oaks, PUD Amendment

Senior Planner Laura Smith presented the Board with a request to amend the PUD Plan for the Tucker Oaks Property which was adopted by Ordinance 04-34 (rezoning 78.5± acres of land from County A-1 to City PUD) to allow for the construction of two-unit townhomes in place of tri-plex condominiums. The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation PUD (Planned Unit Development) in the City of Winter Garden. The subject property is designated Medium Density Residential on the Future Land Use Map of the Comprehensive Plan. City Staff recommend approval of the proposed Ordinance. Amending the PUD Plan for the Tucker Oaks Property to allow for two-unit townhomes to be constructed in place of triplex condominiums on a 13.29± acre portion of the 78.5± acre site is consistent with the City's Comprehensive Plan and the City of Winter Garden Code of Ordinances. The PUD Plan adopted for the Tucker

Oaks Property in conjunction with the PUD rezoning of the property by Ordinance 04-34 allowed for the construction of 390 triplex condominium units, the applicant proposes to amend the approved PUD Plan to allow for a total of 345 units, which would be comprised of 255 triplex condominium units (which have been platted) and 90 two-unit townhomes. City Staff recommends approval of Ordinance 12-01, amending the Tucker Oaks PUD.

The Board Members, Community Development Director Williams, and City Attorney Ardaman discussed issues related to foreclosures and the current market for single family homes.

Motion by Mac McKinney to recommend approval of Ordinance 04-34, amending the Tucker Oaks PUD. Seconded by Kent Horsley, the motion carried unanimously 5-0.

7. Tucker Oaks, Villas at Tucker Oaks, Final Plat

Senior Planner Laura Smith presented the Board with a request to approval of Final Plat of the 13.29± acre property to be platted as the Villas at Tucker Oaks for 90 two-unit fee simple townhomes. The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation PUD (Planned Unit Development) in the City of Winter Garden. The subject property is designated Medium Density Residential on the Future Land Use Map of the Comprehensive Plan. City Staff recommend approval of the proposed Final Plat of 90 two-unit fee simple townhomes for the Villas at Tucker Oaks contingent upon approval and adoption of Ordinance 12-01 (Amendment to the Tucker Oaks PUD Plan). The Tucker Oaks Property has been approved for 390 triplex condominium units, the applicant has proposed to reduce the total number of units to accommodate 90 two-unit fee simple townhomes in place of 135 of the 390 planned triplex condominium units. Infrastructure in the form of roads, water, sewer, and reclaimed water systems has been installed to support the approved triplex condominiums. The applicant proposes to construct a townhome product with a similar footprint to the approved triplex condominium units and therefore will require little modification to the existing facilities on the property. Staff recommends approval of the Villas at Tucker Oaks Final Plat.

Dave Kelly and Raph Spano, applicants for the project, approached the Board and in response to Rohan Ramlackhan question, stated that they were planning on building four units a month.

In response to Kent Horsley inquiry, Senior Planner Laura Smith explained some of the standards regarding fire prevention and shared common yards in condominium developments.

Motion by Kent Horsley to recommend approval of the Villas at Tucker Oaks Final Plat. Seconded by Mac McKinney, the motion carried unanimously 5-0.

ORDINANCES

8. Ordinance 12-02, Chapter 118 Article V

Community Development Director Williams presented the Board with a request of approval to Ordinance 12-02, amending Chapter 118 Article V of the Code of Ordinances, creating Urban Village Planned Unit Development Zoning District. The comprehensive plan identifies the need for the Urban Village Planned Unit Development Zoning Designation in order to further the Goals, Objectives and Policies of the comprehensive plan. Staff recommends approval of Ordinance 12-02 (Urban Village PUD).

In response to several Board Member's inquiries, Community Development Director Williams further explained matters regarding the Urban Village concept and land use designation, the guidelines and design features, the pedestrian and vehicular connections, the commercial component, and the preservations of wetlands and other natural resources contained within the boundaries of the urban village planned unit development.

Motion by Mac McKinney to recommend approval of Ordinance 12-02, amending Chapter 18 Article V of the Code of Ordinances, creating Urban Village Planned Unit Development Zoning District. Seconded by Rohan Ramlackhan, the motion carried unanimously 5-0.

ADJOURNMENT

There being no further business, the meeting was adjourned at 7:48 p.m.

APPROVED:

ATTEST:

Chairman James Gentry

Planning Technician Lorena Blankenship

THE CITY OF WINTER GARDEN
PLANNING AND ZONING BOARD AGENDA ITEM

ITEM # 4 (Public Hearing)

DATE: JANUARY 5, 2012 **MEETING DATE:** JANUARY 9, 2012

SUBJECT: VARIANCE- ACCESSORY STRUCTURE SETBACK
PROJECT NAME 953 GLENMEADOW DRIVE
PARCEL ID# 12-22-27-3022-00-180

ISSUE: APPLICANT REQUESTS APPROVAL OF A VARIANCE TO THE 10 FOOT MINIMUM SIDE YARD SETBACK AND REAR YARD SETBACK OF 20% OF THE LOT DEPTH AS REQUIRED FOR ACCESSORY STRUCTURES OVER 160 SQUARE FEET IN THE R-1 ZONING DISTRICT.

SUPPLEMENTAL MATERIAL/ANALYSIS:

OWNER/APPLICANT: CHARLES TINCH

CURRENT ZONING: R-1 SINGLE FAMILY RESIDENTIAL DISTRICT

PROPOSED ZONING: N/A

CURRENT FLU: LOW DENSITY RESIDENTIAL

PROPOSED FLU: N/A

SUMMARY:

APPLICANT REQUESTS A 5 FOOT SIDE YARD SETBACK ON THE EAST SIDE OF THE PROPERTY AND A 5 FOOT REAR YARD SETBACK ON THE NORTH SIDE OF THE PROPERTY TO CONSTRUCT A 14' X 24' (336 SQUARE FOOT) SHED IN THE REAR YARD.

STAFF RECOMMENDATION(S):

STAFF RECOMMEND APPROVAL OF A VARIANCE TO SECTION 118-1130(C)(2)(A) AND SECTION 118-308 OF THE CITY CODE OF ORDINANCES TO ALLOW THE CONSTRUCTION OF A 14' X 24' (336 SQUARE FOOT) SHED WITH A 5 FOOT REAR YARD SETBACK IN LIEU OF THE 24.37 FOOT REAR YARD SETBACK REQUIRED, AND A 5 FOOT SIDE YARD SETBACK ON THE EAST SIDE OF THE PROPERTY IN LIEU OF THE 10 FOOT SIDE YARD SETBACK REQUIREMENT. CITY STAFF ALSO RECOMMEND THAT THE APPLICANT BE REQUIRED TO INSTALL LANDSCAPING TO OFFSET THE VISUAL IMPACT OF THE SHED TO THE ADJOINING PROPERTY OWNER ON THE EAST SIDE.

NEXT STEP(S):

IF APPROVED BY THE PLANNING AND ZONING BOARD, THEN APPLY FOR APPROPRIATE BUILDING PERMITS

ATTACHMENT(S):

STAFF REPORT
APPLICATION

CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

TO: PLANNING AND ZONING COMMITTEE
PREPARED BY: ALEJANDRA FAZEKAS, PLANNER I
DATE: JANUARY 3, 2012
SUBJECT: VARIANCE
953 Glenmeadow Drive (0.4+/- ACRES)
PARCEL ID # 12-22-27-3022-00-180

APPLICANT: CHARLES TINCH

INTRODUCTION

The purpose of this report is to evaluate the request of a 5 foot rear and side yard setbacks variance to allow the construction of an accessory structure of 14 feet x 24 feet.

The subject property, located on Glenmeadow Drive, west of Glensprings Ave in an approximately 0.40± acre lot in the Glenview Estates Second Addition plat book 18, page 48 recorded on September 11, 1986. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting a rear yard setback of 5 feet in lieu of 24.37 feet and a side yard (east) setback of 5 feet in lieu of 10 feet. The applicant is proposing to build a shed on the north east corner of the property. The applicant indicates that the north east corner of the property has less trees and it is a more sunny area. This location will allow enough space for the construction of a 14'x24' shed and will reduce the moist caused by the existing trees. The subject property carries the zoning designation R-1 Single-Family Residential District and is designated LR Low Density Residential (6 DUs per acre) on the Future Land Use Map of the Comprehensive Plan.

EXISTING USE

The subject property presently consists of one Single-Family Residential home with a screened enclosure pool surrounded by several trees along the property line of the subject property as well other trees planted on the adjacent properties. In addition, the property presently has several medium size planted trees dispersed on the back yard that the applicant would like to keep.

ADJACENT LAND USE AND ZONING

The adjacent properties to the north, south, east and west of the subject property are Single-Family Residential homes. The adjacent properties have the zoning designation R-1, Single-Family Residential District and the future land use designation of LR, Low Density Residential.

PROPOSED USE

The applicant proposes to build a shed of 336 square foot (14 x 24). The use remains R-1 Single-Family Residential District.

CODE REFERENCE

Sec. 118-1310 (c)(2)(a) of the City Code of Ordinances addresses accessory buildings and accessory structures. This section states in part that *“an accessory building greater than 160 square feet must comply with all the setback requirements of the principal structure.”*

Sec. 118-308 of the City Code of Ordinances addresses minimum yard requirements. This section states in part that the minimum yard requirements in the R-1 Single-Family Residential District are *“front: 30 feet, side: 10 feet each, rear: 20% of depth of lot.”*

The applicant is seeking a variance to the minimum rear and east side yard requirements for the proposed shed on the north east corner of the property. The applicant would like to keep all the existing planted trees in his property.

CODE REQUIREMENTS /CRITERIA

Sec. 118-131 of the City Code of Ordinances addresses the review criteria and states that, *“A variance may be granted from land development regulations by the planning and zoning board if the planning and zoning board concludes that literal enforcement of the provisions of land development regulations would result in either practical difficulties (for setback and parking provisions) or unnecessary hardships (for all other land development regulations) for the property at issue.”* The code also lists the following criteria that have to be addressed before a variance can be approved Underlined are Staff’s comments concerning this particular petition.

- (a) Granting the variance will not cause or allow interference with the reasonable enjoyment of adjacent or nearby property owners or negatively impact the standard of living of the citizens of the city;*

The request of 5 foot rear and side yard setbacks variance to build a shed is not out of character with other accessory structures in the area. Adjacent property owners should not be negatively affected by granting this variance.

- (b) The variance will allow a reasonable use of the property, which use is not out of character with other properties in the same zoning category;*

This accessory structure will allow reasonable use of the property and is not out of character with other properties in the R-1 zoning district. This type of shed is consistent with other accessory structures.

- (c) In the context presented, strict compliance with the land development regulation will not further any legitimate city objective or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under this criteria if the variance were denied;*

Strict compliance with the City's land development regulations will not further any legitimate city objective; and the requested variance will allow the property owner to construct a shed. This request does not encroach into any recorded easement and should not affect the drainage pattern for the subject property and/or adjacent properties.

- (d) The granting of the variance is consistent with the city's comprehensive plan; and*

The variance is consistent with the provisions of the City's Comprehensive Plan relating to single-family residential neighborhood character.

- (e) The variance requested is the minimum variance that will make reasonable use of the land, building, or structure or the benefits that would be achieved under the other variance criteria by the granting of the variance outweigh the benefits under these criteria if the variance were denied.*

The variance requested will make reasonable use of the land. Denying this variance does not benefit the property owner or the City.

SUMMARY

City Staff recommends approval of a variance to Sections 118-1310 (c)(2)(a) and 118-308 of the City Code to allow the construction of a shed with 5 foot rear yard setback in lieu of 24.37 feet and 5 foot east side setback in lieu of 10 feet on the proposed location at the north east corner of the property.

City Staff recommends that the property owner provide landscaping on the east side of the shed to offset visual impact to the immediate single family residence. Such landscaping shall include:

- A buffer yard of three feet in wide by 25 feet long. The buffer yard shall begin at the northeast corner of the property and extend along the east side of the shed. The buffer yard shall be a continuous hedge (Viburnum or similar) at least six feet in height at maturity.

NEXT STEP

Apply for appropriate Building Permit.

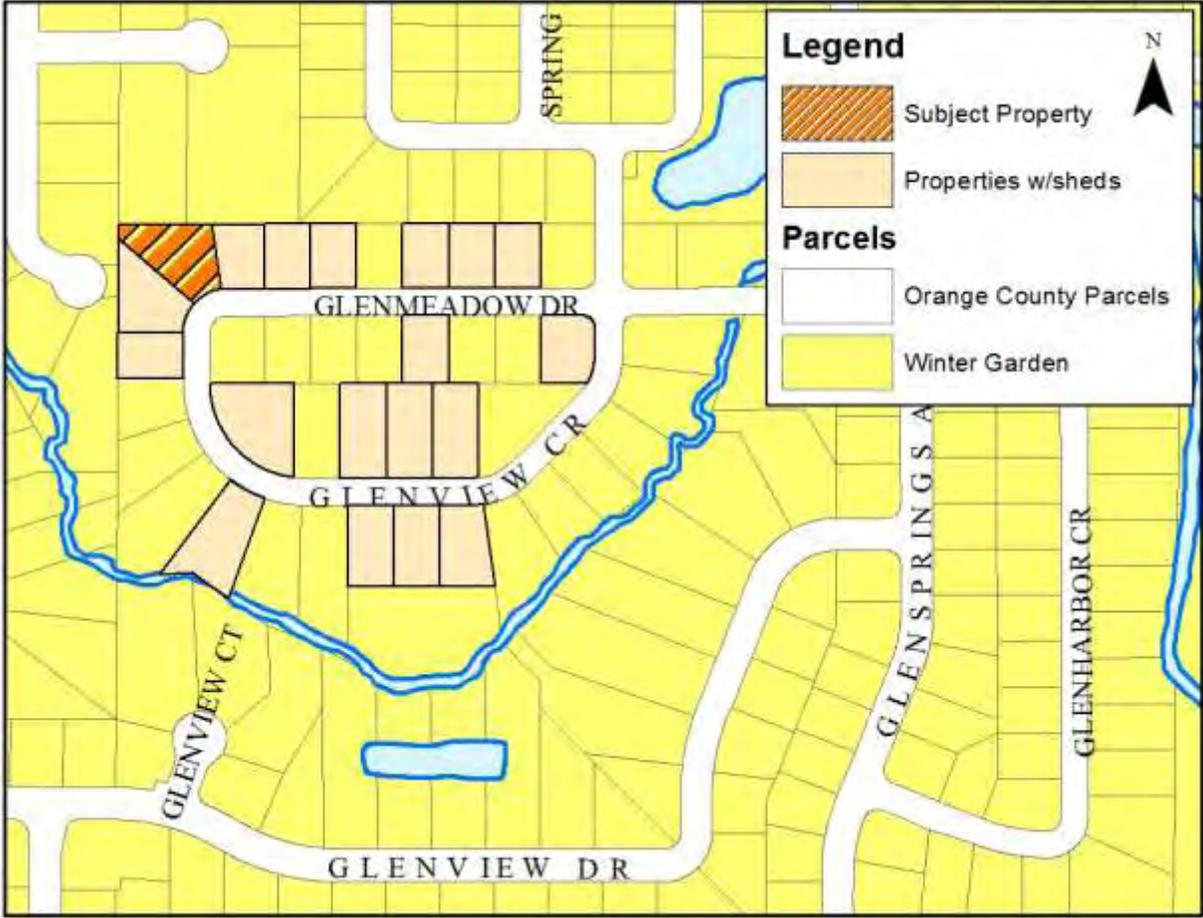
ATTACHMENTS

- Aerial Photo
- Zoning Map
- Map of Surrounding Properties with Sheds
- Survey
- Site Photos

ZONING MAP
953 Glenmeadow Drive



SURROUNDING PROPERTIES WITH SHEDS
953 Glenmeadow Drive



SITE PHOTOS
953 Glenmeadow Drive



North east corner of subject property.





North west corner of the subject property.





Backyard of the subject property.



END OF STAFF REPORT



CITY OF WINTER GARDEN
300 WEST PLANT STREET
WINTER GARDEN, FL 34787

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WINTER GARDEN • A charming little city with a juicy past.

PETITION FOR A VARIANCE

SECTION 118-130 OF THE CITY OF WINTER GARDEN CODE OF ORDINANCE REQUIRES THAT EACH APPLICANT FOR A VARIANCE(S) SUBMIT A WRITTEN PETITION PROVIDING CERTAIN INFORMATION AND CLEARLY DESCRIBING HOW THE VARIANCE REQUEST SATISFIES ALL THE SPECIFIC CONDITIONS NECESSARY FOR THE GRANTING OF THE VARIANCE. PLEASE PROVIDE THE INFORMATION REQUESTED IN SUFFICIENT DETAIL IN ORDER TO ASSIST THE PLANNING AND ZONING BOARD IN MAKING THEIR DETERMINATION AS TO THIS PETITION (USE ADDITIONAL SHEETS IF NECESSARY):

1. NAME & ADDRESS OF PETITIONER (OWNER OF RECORD):

NAME: CHARLES TINCH, Sr.
ADDRESS: 953 Glenmeadow Dr.
CITY: WINTER GARDEN STATE: FL ZIP: 34787
PHONE NUMBER: 407-656-8730 EXT: _____ FAX NUMBER: _____
EMAIL: _____

2. CONTACT PERSON/MAILING ADDRESS (IF DIFFERENT):

NAME: _____
ADDRESS: _____
CITY: _____ STATE: _____ ZIP: _____
PHONE NUMBER: _____ EXT: _____ FAX NUMBER: _____
EMAIL: _____

3. IF CORPORATION, NAMES OF PRESIDENT AND SECRETARY:

PRESIDENT: _____ SECRETARY: _____

4. PROPERTY ID NUMBER: 12-22-27-3022-00-180

5. NUMBER OF ACRES: _____

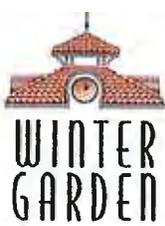
6. IS A FULL LEGAL DESCRIPTION ATTACHED? YES NO

7. IS A SURVEY ATTACHED? YES NO

8. IS THE SITE PLAN ATTACHED? YES NO

9. PROPERTY ADDRESS 953 Glenmeadow Dr.

Community Development
Planning & Zoning
11-048 OCT 25 2011
Received By: *C. Williams*



10. THE SPECIFIC VARIANCE REQUESTED AND REASON FOR THE VARIANCE (FOR SETBACK AND HEIGHT VARIANCE, BE SPECIFIC AS TO THE NUMBER OF FEET)

YOU MAY PROVIDE THIS ANSWER ON A SEPARATE SHEET OF PAPER IF YOU NEED ADDITIONAL SPACE.

REQUESTING SETBACK FOR 14' X 24' SHED BE
REDUCED TO 5.0' REAR AND SIDE LOT
SETBACKS.

THE PLANNING AND ZONING BOARD MAY GRANT APPROVAL OF THIS VARIANCE IF THEY DETERMINE THE FOLLOWING CONDITIONS EXIST. PLEASE PROVIDE JUSTIFICATION FOR THE FOLLOWING:

- A. GRANTING THE VARIANCE WILL NOT CAUSE OR ALLOW INTERFERENCE WITH THE REASONABLE ENJOYMENT OF ADJACENT OR NEARBY PROPERTY OWNERS OR NEGATIVELY IMPACT THE STANDARD OF LIVING OF THE CITIZENS OF WINTER GARDEN.

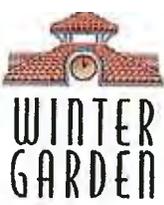
JUSTIFICATION:

THE SHED IS A MANUFACTURED SHED AND WILL MEET
THE BUILDING CODES. IT WILL NOT INTERFERE WITH
REASONABLE ENJOYMENT OF ADJACENT PROPERTY OWNERS,
MOST OF THEM HAVE SHEDS IN REAR YARDS.

- B. THE VARIANCE WILL ALLOW A REASONABLE USE OF THE PROPERTY WHICH USE IS NOT OUT OF CHARACTER WITH OTHER PROPERTIES IN THE SAME ZONING CATEGORY.

JUSTIFICATION:

ALLOWING THE 5.0' SETBACKS WILL ALLOW ME
MORE BENEFICIAL USE OF MY REAR YARD AND
NEIGHBORS ON BOTH SIDES OF MY PROPERTY HAVE
SHEDS.



- c. IN THE CONTEXT PRESENTED, STRICT COMPLIANCE WITH THE LAND DEVELOPMENT REGULATION WILL NOT FURTHER ANY LEGITIMATE CITY OBJECTIVE; OR, THE BENEFITS THAT WOULD BE ACHIEVED UNDER THE OTHER VARIANCE CRITERIA BY THE GRANTING OF THE VARIANCE OUTWEIGH THE BENEFITS UNDER THIS CRITERIA IF THE VARIANCE WERE DENIED.

JUSTIFICATION:

GRANTING OF THE VARIANCE WILL NOT FURTHER ANY LEGITIMATE CITY OBJECTIVES.

- d. THE GRANTING OF THE VARIANCE IS CONSISTENT WITH THE CITY OF WINTER GARDEN'S COMPREHENSIVE PLAN.

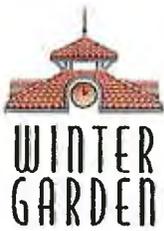
JUSTIFICATION:

THE GRANTING OF THE VARIANCE WOULD NOT BE INCONSISTENT WITH THE CITY OF WINTER GARDEN'S COMPREHENSIVE PLAN.

- e. THE VARIANCE REQUESTED IS THE MINIMUM VARIANCE THAT WILL MAKE REASONABLE USE OF THE LAND, BUILDING, OR STRUCTURE; OR, THE BENEFITS THAT WOULD BE ACHIEVED UNDER THE OTHER VARIANCE CRITERIA BY THE GRANTING OF THE VARIANCE OUTWEIGH THE BENEFITS UNDER THIS CRITERIA IF THE VARIANCE WERE DENIED.

JUSTIFICATION:

THE REQUESTED VARIANCE WILL ALLOW ME MORE REASONABLE USE OF MY BACK YARD BY HAVING THE SHED LOCATED CLOSER TO THE REAR AND SIDE LOT LINES.



CITY OF WINTER GARDEN
300 WEST PLANT STREET
WINTER GARDEN, FL 34787

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11. I UNDERSTAND THAT THE CITY OF WINTER GARDEN REQUIRES THAT THE APPLICANT BE RESPONSIBLE FOR REIMBURSING THE CITY FOR ALL ADVERTISING COSTS ASSOCIATED WITH THIS APPLICATION, INCLUDING POSTAGE FOR NOTICES TO ADJACENT PROPERTY OWNERS, AND FOR NEWSPAPER ADVERTISING AS REQUIRED BY THE FLORIDA STATUTES AND THE CITY CODE. I UNDERSTAND THAT I WILL BE BILLED FOR THESE COSTS AND WILL BE RESPONSIBLE FOR PAYING THEM, WHETHER OR NOT MY APPLICATION FOR A VARIANCE IS SUCCESSFUL.

IN ADDITION, IF THIS APPLICATION IS DEEMED TO REQUIRE REVIEW BY THE CITY ENGINEER, CITY SURVEYOR AND/OR CITY ATTORNEY, I UNDERSTAND THAT I OR MY COMPANY WILL BE RESPONSIBLE TO PAY FOR ANY AND ALL REASONABLE LEGAL, ENGINEERING, OR SURVEYING FEES INCURRED BY THE CITY OF WINTER GARDEN IN THE PROCESS OF REVIEWING THE ABOVE PROJECT. I ALSO UNDERSTAND THAT IF THIS PROJECT PROPERTY IS SOLD, I OR MY COMPANY WILL BE RESPONSIBLE TO ENSURE THAT THE NEW OWNER WRITES A SIMILAR LETTER ACCEPTING ALL THE RESPONSIBILITY TO PAY FOR ANY AND ALL REASONABLE LEGAL, ENGINEERING, OR SURVEYING FEES INCURRED BY THE CITY OF WINTER GARDEN IN THE PROCESS OF REVIEWING THIS PROJECT FROM THE DATE THE PROPERTY IS SOLD. AN APPLICANT SHALL PROVIDE PROMPT WRITTEN NOTICE TO THE CITY MANAGER IN THE EVENT OF A CHANGE IN OWNERSHIP OF ALL OR A PORTION OF A LOT, TRACT, OR PARCEL OF REAL PROPERTY WITH THE RESPECT TO WHICH AN APPLICATION, OR PROJECT IS PENDING BEFORE THE CITY.

PLEASE INITIAL RECOGNIZING YOUR AGREEMENT OF THE ABOVE REQUIREMENT. _____

ALL INVOICES FOR THE COSTS ASSOCIATED WITH THIS PROJECT SHOULD BE SENT TO:

PROJECT NAME OR ADDRESS: _____

NAME: CHARLES D. TINCEL, Sr.

MAILING ADDRESS: 953 GLENMEADOW DR.

CITY: WINTER GARDEN STATE: FL ZIP: 34787

PHONE: 407-656-8730 FAX: _____

I/WE HEREBY CERTIFY THAT I/WE ARE THE OWNER(S) OF THE REAL PROPERTY WHICH IS THE SUBJECT OF THIS PETITION AND THAT THE FOREGOING INFORMATION ON THIS PETITION IS TRUE AND COMPLETE.

SIGNATURE OF THE APPLICANT: [Signature]

PRINT NAME: CHARLES D. TINCEL, Sr. DATE: 10-24-11

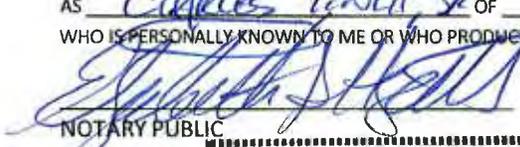


CITY OF WINTER GARDEN
300 WEST PLANT STREET
WINTER GARDEN, FL 34787

P: 407.656.4111
WWW.WINTERGARDEN-FL.GOV

STATE OF FLORIDA
COUNTY OF Orange

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 24 DAY OF October 2011, BY,
AS Charles Towell Sr OF _____
WHO IS PERSONALLY KNOWN TO ME OR WHO PRODUCED _____ AS IDENTIFICATION.


NOTARY PUBLIC
ELIZABETH S. HYATT
Comm# DD0752973
Expires 1/28/2012
Florida Notary Assn., Inc

NOTE: IF THE PETITIONER WISHES TO BE REPRESENTED BY AN AGENT, A LIMITED POWER OF ATTORNEY MUST BE PROPERLY EXECUTED AND PROVIDED TO THE CITY ALONG WITH THIS APPLICATION.

SUBMITTAL REQUIREMENTS:

1. COPY OF A SITE PLAN (IF LARGER THAN 11" X 17" PROVIDE 12 COPIES, **FOLDED NOT ROLLED**)
2. LEGAL DESCRIPTION
3. PROOF OF OWNERSHIP (I.E. A COPY OF THE DEED)
4. NON-REFUNDABLE FEE (PLEASE CHECK APPROPRIATE BOX):
 - SINGLE FAMILY RESIDENTIAL (FENCES, SHEDS, OTHER NON-HABITABLE STRUCTURES) - \$75.00
 - SINGLE FAMILY RESIDENTIAL (ADDITIONS, PORCHES, SUBSTANDARD LOTS) - \$100.00
 - ALL OTHERS - \$250.00
5. LIMITED POWER OF ATTORNEY (IF SIGNED BY AN AGENT OF THE OWNER)

RETURN THIS FORM AND THE ABOVE SUBMITTAL REQUIREMENTS TO THE PLANNING DIRECTOR AT THE ADDRESS ABOVE.

PROCEDURE:

THE PROCEDURE FOR A VARIANCE IS DEFINED IN SECTION 118-132 OF THE CITY'S CODE OF ORDINANCES. IN GENERAL, THE PETITION SHALL BE HEARD AND APPROVED, DENIED OR APPROVED WITH CONDITIONS BY THE PLANNING AND ZONING BOARD AT AN ADVERTISED PUBLIC HEARING.

CODE OF ORDINANCES:

THE CITY OF WINTER GARDEN'S CODE OF ORDINANCE CAN BE FOUND ON THE INTERNET AT /WWW.MUNICODE.COM. ACCESS TO THE INTERNET CAN BE OBTAINED AT ANY BRANCH OF THE ORANGE COUNTY LIBRARY.

THE CITY OF WINTER GARDEN
PLANNING AND ZONING BOARD AGENDA ITEM

ITEM # 5 (Public Hearing)

DATE: JANUARY 5, 2012 **MEETING DATE:** JANUARY 9, 2012

SUBJECT: ORDINANCE 12-04, ORDINANCE 12-05 & ORDINANCE 12-06
ANNEXATION, REZONE, FLU AMENDMENT
PROJECT NAME MINSUNG PARK – 13501 W COLONIAL DRIVE
PARCEL ID# 23-22-27-4036-00-162

ISSUE: APPLICANT REQUESTS TO VOLUNTARILY ANNEX INTO THE CITY OF WINTER GARDEN, REZONE THE PROPERTY, AND AMEND THE FUTURE LAND USE MAP OF THE CITY’S COMPREHENSIVE PLAN.

SUPPLEMENTAL MATERIAL/ANALYSIS:

OWNER/APPLICANT: LEE AND PARK LLC
CURRENT ZONING: C-1 (ORANGE COUNTY)
PROPOSED ZONING: C-2 (WINTER GARDEN)
CURRENT FLU: COMMERCIAL (ORANGE COUNTY)
PROPOSED FLU: COMMERCIAL (WINTER GARDEN)

SUMMARY:

THE APPLICANT IS REQUESTING TO ANNEX THE EXISTING GAS STATION INTO THE CITY, REZONE THE PROPERTY FROM C-1 (ORANGE COUNTY) TO C-2 (WINTER GARDEN), AND CHANGE THE LAND USE DESIGNATION FROM ORANGE COUNTY COMMERCIAL TO CITY OF WINTER GARDEN COMMERCIAL.

STAFF RECOMMENDATION(S):

STAFF RECOMMENDS APPROVAL OF ORDINANCE 12-04, ORDINANCE 12-05, AND ORDINANCE 12-06 WITH THE FIRST READING BY CITY COMMISSION SCHEDULED FOR JANUARY 12, 2012.

NEXT STEP(S):

FIRST READING BY CITY COMMISSION JANUARY 12, 2012

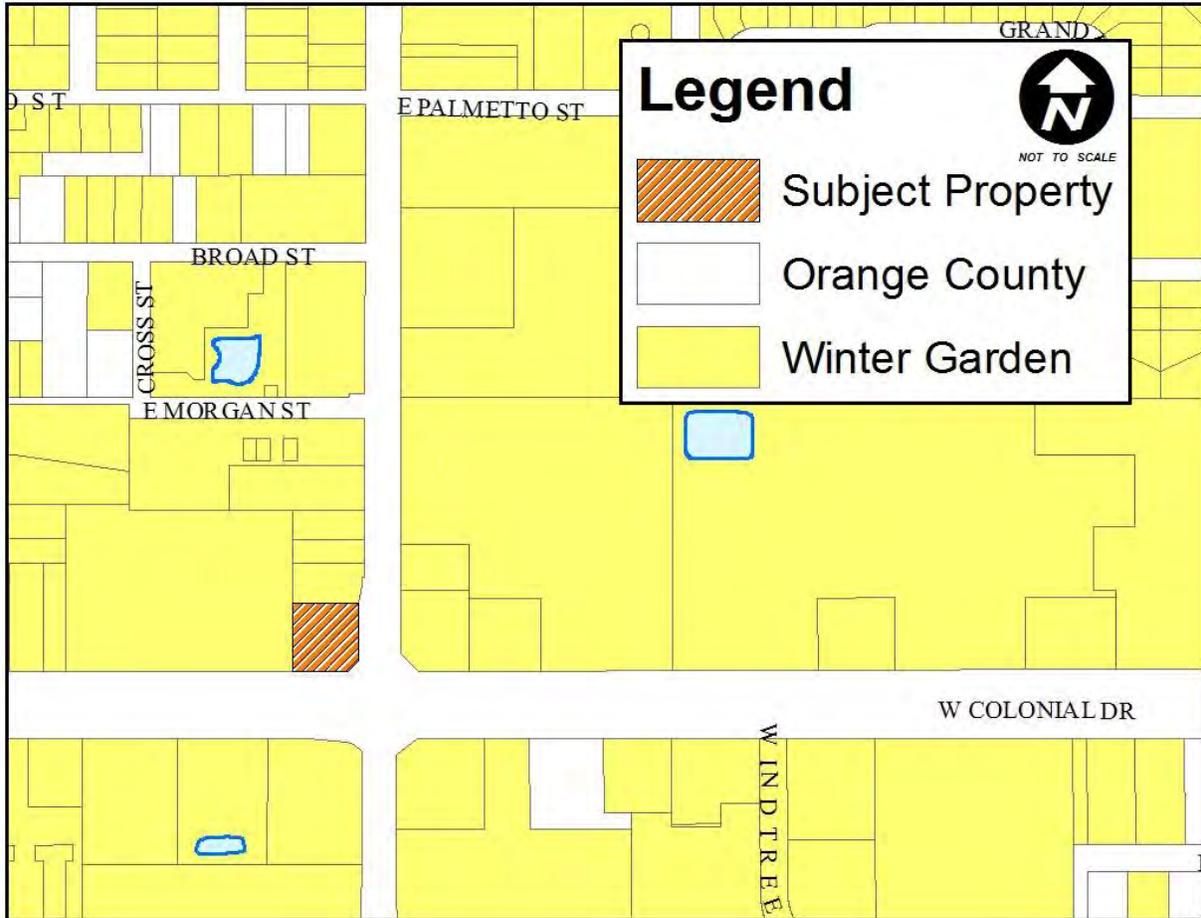
ATTACHMENT(S):

LOCATION MAP
ORDINANCE 12-04
ORDINANCE 12-05
ORDINANCE 12-06
STAFF REPORT

LOCATION MAP

Ordinance 12-04; 12- 05; and 12-06

13501 W. Colonial Drive



ORDINANCE 12-04

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA PROVIDING FOR THE ANNEXATION OF CERTAIN ADDITIONAL LANDS GENERALLY DESCRIBED AS APPROXIMATELY 0.50 ± ACRES LOCATED AT THE NORTHWEST CORNER OF WEST COLONIAL DRIVE AND SOUTH DILLARD STREET INTO THE CITY OF WINTER GARDEN FLORIDA; REDEFINING THE CITY BOUNDARIES TO GIVE THE CITY JURISDICTION OVER SAID PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner of the land, generally described as approximately 0.50 ± acres located at the northwest corner of West Colonial Drive and South Dillard Street and legally described in Section 2 of this Ordinance, which land is reasonably compact and contiguous to the corporate limits of the City of Winter Garden, Florida (“City”), has, pursuant to the prerequisites and standards set forth in § 171.044, Fla. Stat., petitioned the City Commission for voluntary annexation;

WHEREAS, the petition for voluntary annexation referenced herein bears the signatures of all owners of the property or properties described in Section 2 of this Ordinance (*i.e.*, the property or properties to be annexed); and

WHEREAS, the City has determined that the property described in Section 2 of this Ordinance is located in an unincorporated area of the County and that annexation of such property will not result in the creation of an enclave.

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: *Annexation.* That the City Commission through its Planning and Zoning Board has conducted an investigation to determine whether the described property meets the prerequisites and standards set forth in Chapter 171, Fla. Stat. and has held a public hearing and said petition and made certain findings.

SECTION 2: *Description of Area Annexed.* That, after said public hearing and having found such petition meets said prerequisites and standards, the property legally defined in ATTACHMENT “A” and graphically shown on the attached map shall be annexed into the City of Winter Garden, Florida.

SECTION 3: *Effect of Annexation.* That the City of Winter Garden, Florida, shall have all of the power, authority, and jurisdiction over and within the land as described in Section 2 hereof, and the inhabitants thereof, and property therein, as it does and have over its present corporate limits and laws, ordinances, and resolutions of said City shall apply and shall have equal force and effect as if all territory had been part of said City at

the time of the passage of such laws, ordinances, and resolutions.

SECTION 4: *Apportionment of Debts and Taxes.* Pursuant to § 171.061, Fla. Stat., the area annexed to the City shall be subject to all taxes and debts of the City upon the effective date of annexation. However, the annexed area shall not be subject to municipal ad valorem taxation for the current year if the effective date of the annexation falls after the City levies such tax.

SECTION 5: *Instructions to Clerk.* Within seven (7) days following the adoption of this Ordinance, the City Clerk or his/her designee is directed to file a copy of this ordinance, including ATTACHMENT "A" hereto, with the clerk of the circuit court and the chief administrative officer of Orange County as required by § 171.044(3), Fla. Stat.

SECTION 6: *Severability.* Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

SECTION 7: *Effective Date.* This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2012.

SECOND READING AND PUBLIC HEARING: _____, 2012.

ADOPTED this _____ day of _____, 2012, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

KATHY GOLDEN, City Clerk

ATTACHMENT "A"
LEGAL DESCRIPTION

PARCEL ID#: 23-22-27-4036-00-162

BEGIN AT THE NORTHWEST CORNER OF THE NORTH 150 FEET OF THE SOUTH 195 OF LOTS 16 AND 17, JOINER-REINER'S SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK Q, PAGE 116, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE N.89°35'53"E ALONG THE NORTH LINE OF SAID NORTH 150 FEET OF THE SOUTH 195 FOR A DISTANCE OF 145.21 FEET TO THE EAST RIGHT-OF-WAY LINE OF DILLARD STREET AS RECORDED IN OFFICIAL RECORDS BOOK 9004, PAGE 2598 OF THE PUBLIC RECORDS OF ORANGE COUNTY FLORIDA; THENCE RUN S.00°18'23"W., ALONG SAID WEST RIGHT-OF-WAY LINE OF DILLARD STREET FOR A DISTANCE OF 128.08 FEET; THENCE RUN S.45°16'45"W., FOR A DISTANCE OF 31.13 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF WEST COLONIAL DRIVE (SR 50); THENCE RUN S89°57'07"W., ALONG SAID NORTH RIGHT-OF-WAY LINE FOR A DISTANCE 124.68 FEET TO A POINT THE WEST LINE OF SAID LOT 16; THENCE RUN N.00°02'23"E., ALONG SAID WEST LINE FOR A DISTANCE OF 150.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 0.5008 ACRES, MORE OR LESS.

ORDINANCE 12-05

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS 0.50 ± ACRES OF LAND LOCATED AT THE NORTH WEST CORNER OF WEST COLONIAL DRIVE AND SOUTH DILLARD STREET FROM ORANGE COUNTY COMMERCIAL TO CITY COMMERCIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, on the 13th of June, 1991, the City Commission of the City of Winter Garden adopted Ordinance 91-16 which adopted a new Comprehensive Plan for the City of Winter Garden;

WHEREAS, the owner of that certain real property generally described as 0.50 ± acres of land located at the north west corner of West Colonial Drive and South Dillard Street, and legally described in ATTACHMENT "A" (the "Property") has petitioned the City to amend the Winter Garden Comprehensive Plan to change the Future Land Use classification from Orange County Commercial to City Commercial; and

WHEREAS, the City of Winter Garden's Local Planning Agency and City Commission have conducted the prerequisite advertised public hearings pursuant to Chapter 163, Florida Statutes, regarding the adoption of this ordinance; now, therefore,

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION I. *FLUM Amendment.* The City of Winter Garden hereby amends the Future Land Use Map of the City of Winter Garden Comprehensive Plan by designating the aforesaid Property to City Commercial within the West State Road 50 Commercial Activity Center as set forth in ATTACHMENT "B".

SECTION II. *Effective Date.* Provided that the Property described herein is annexed into the City of Winter Garden pursuant to Ordinance 12-04, this Ordinance shall become effective 31 days after adoption, unless the Ordinance is timely challenged pursuant to § 163.3187(5), Fla. Stat., in which case, the Ordinance shall not be effective until the state land planning agency or the Administrative Commission, respectively, issues a final order determining that the adopted Ordinance is in compliance.

SECTION III. *Severability.* Should any portion of this Ordinance be held invalid, then

such portions as are not declared invalid shall remain in full force and effect.

FIRST READING AND PUBLIC HEARING: _____, 2012.

SECOND READING AND PUBLIC HEARING: _____, 2012.

ADOPTED this _____ day of _____, 2012, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

KATHY GOLDEN, City Clerk

ATTACHMENT "A"
LEGAL DESCRIPTION

PARCEL ID#: 23-22-27-4036-00-162

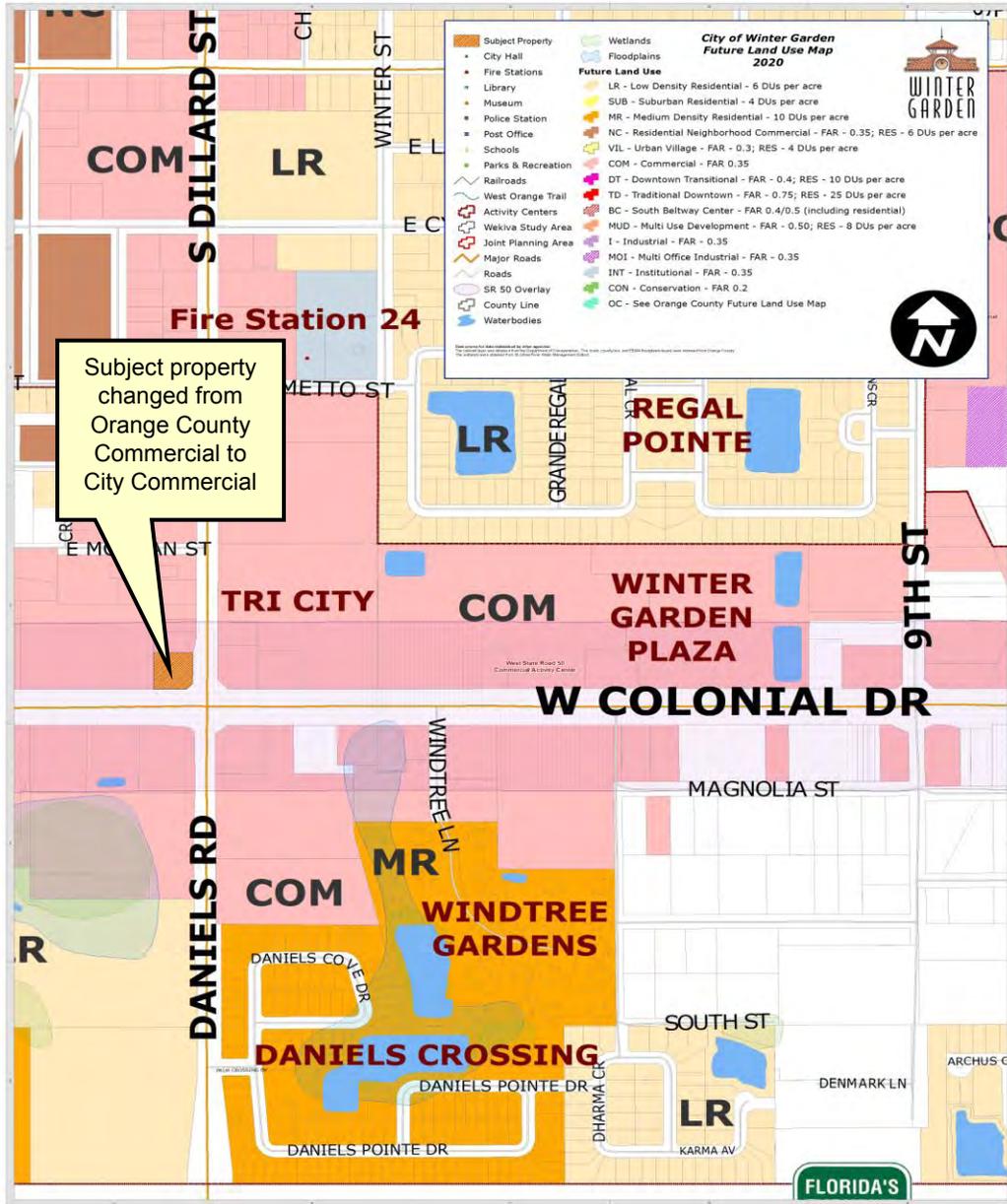
BEGIN AT THE NORTHWEST CORNER OF THE NORTH 150 FEET OF THE SOUTH 195 OF LOTS 16 AND 17, JOINER-REINER'S SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK Q, PAGE 116, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE N.89°35'53"E ALONG THE NORTH LINE OF SAID NORTH 150 FEET OF THE SOUTH 195 FOR A DISTANCE OF 145.21 FEET TO THE EAST RIGHT-OF-WAY LINE OF DILLARD STREET AS RECORDED IN OFFICIAL RECORDS BOOK 9004, PAGE 2598 OF THE PUBLIC RECORDS OF ORANGE COUNTY FLORIDA; THENCE RUN S.00°18'23"W., ALONG SAID WEST RIGHT-OF-WAY LINE OF DILLARD STREET FOR A DISTANCE OF 128.08 FEET; THENCE RUN S.45°16'45"W., FOR A DISTANCE OF 31.13 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF WEST COLONIAL DRIVE (SR 50); THENCE RUN S89°57'07"W., ALONG SAID NORTH RIGHT-OF-WAY LINE FOR A DISTANCE 124.68 FEET TO A POINT THE WEST LINE OF SAID LOT 16; THENCE RUN N.00°02'23"E., ALONG SAID WEST LINE FOR A DISTANCE OF 150.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 0.5008 ACRES, MORE OR LESS.

ATTACHMENT "B"

FUTURE LAND USE MAP

13501 W Colonial Drive



ORDINANCE 12-06

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA REZONING APPROXIMATELY 0.50 ± ACRES OF REAL PROPERTY GENERALLY LOCATED AT THE NORTHWEST CORNER OF WEST COLONIAL DRIVE AND SOUTH DILLARD STREET FROM ORANGE COUNTY C-1 COMMERCIAL DISTRICT TO CITY C-2 ATERIAL COMMERCIAL DISTRICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner of that certain real property generally described as 0.50 ± acres of land located at the northwest corner of West Colonial Drive and South Dillard Street, and legally described in Section 1 of this ordinance has petitioned the City to rezone said property from Orange County C-1 Commercial District to the City’s C-2 Arterial Commercial District zoning classification, therefore;

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: Rezoning. After due notice and public hearing, the zoning classification of real property legally described on ATTACHMENT “A,” is hereby rezoned from Orange County C-1 Commercial District to City C-2 Arterial Commercial District in the City of Winter Garden, Florida.

SECTION 2: Zoning Map. The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION 3: Non-Severability. Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 4: Effective Date. This Ordinance shall become effective simultaneously upon the effective date of Ordinance 12-05 which is an amendment to the Future Land Use Map of the City of Winter Garden Comprehensive Plan that allows the property described herein to be zoned as provided in this Ordinance.

FIRST READING AND PUBLIC HEARING: _____, 2012.

SECOND READING AND PUBLIC HEARING: _____, 2012.

ADOPTED this _____ day of _____, 2012, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

KATHY GOLDEN, City Clerk

ATTACHMENT "A"

LEGAL DESCRIPTION

PARCEL ID#: 23-22-27-4036-00-162

BEGIN AT THE NORTHWEST CORNER OF THE NORTH 150 FEET OF THE SOUTH 195 OF LOTS 16 AND 17, JOINER-REINER'S SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK Q, PAGE 116, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE N.89°35'53"E ALONG THE NORTH LINE OF SAID NORTH 150 FEET OF THE SOUTH 195 FOR A DISTANCE OF 145.21 FEET TO THE EAST RIGHT-OF-WAY LINE OF DILLARD STREET AS RECORDED IN OFFICIAL RECORDS BOOK 9004, PAGE 2598 OF THE PUBLIC RECORDS OF ORANGE COUNTY FLORIDA; THENCE RUN S.00°18'23"W., ALONG SAID WEST RIGHT-OF-WAY LINE OF DILLARD STREET FOR A DISTANCE OF 128.08 FEET; THENCE RUN S.45°16'45"W., FOR A DISTANCE OF 31.13 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF WEST COLONIAL DRIVE (SR 50); THENCE RUN S89°57'07"W., ALONG SAID NORTH RIGHT-OF-WAY LINE FOR A DISTANCE 124.68 FEET TO A POINT THE WEST LINE OF SAID LOT 16; THENCE RUN N.00°02'23"E., ALONG SAID WEST LINE FOR A DISTANCE OF 150.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 0.5008 ACRES, MORE OR LESS.

CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

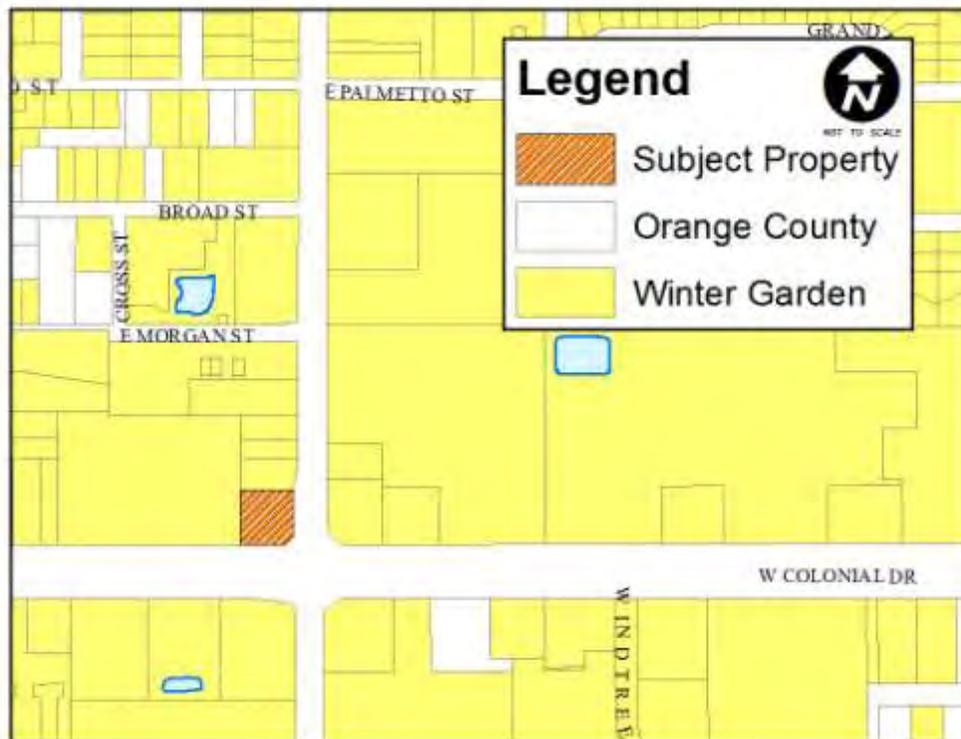
STAFF REPORT

TO: PLANNING AND ZONING BOARD
PREPARED BY: STEVE PASH, SENIOR PLANNER
DATE: DECEMBER 16, 2011
SUBJECT: ANNEXATION - REZONING - FLU AMENDMENT
13501 WEST COLONIAL DRIVE (0.50+/- ACRES)
PARCEL ID #: 23-22-27-4036-00-162
APPLICANT: MINSUNG PARK (SUNOCO GAS STATION)

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property, located at 13501 West Colonial Drive, and is approximately 0.50 ± acres. The map below depicts the proximity of the subject property to the City's jurisdictional limits:



The applicant has requested annexation into the City, amendment to the Future Land Use Map (FLUM) of the City's Comprehensive Plan to designate the property as Commercial, and rezoning

the property to C-2 Commercial Arterial District. This property is also within the West State Road 50 Overlay, which has additional development standards.

The subject property is located within the West State Road 50 Commercial Activity Center which allows for the following land use categories: Commercial, Medium Density Residential, Industrial, and Multi Use Development. The majority of the properties located within the West State Road 50 Commercial Activity Center are designated Commercial on the Future Land Use Map, with the only exceptions being several apartment complexes and a senior living facility on the south side of the road at the western edge of the city limits are designated Medium Residential on the Future Land Use Map totaling about 35 acres of land.

In accordance with the City's Comprehensive Plan, permitted uses within the Commercial land use include retail, service, and professional activities. The zoning classifications that are consistent with the Commercial land use designation include C-1, C-2, C-3, C-4, PCD, and INT.

The City endorses infill of its jurisdictional limits through voluntary annexation of enclaves. The elimination of enclaves through voluntary annexation furthers the goals, objectives, and policies of the City's Comprehensive Plan.

EXISTING USE

The subject property contains a 384 square foot gas station / convenience store, a 210 square foot building with restrooms, and a 342 square foot building with a window tinting business. The subject property is being used by the property owner primarily for the operation of the gas station / convenience store.

ADJACENT LAND USE AND ZONING

The property located to the north is a doctor's office and zoned C-2 in the City. The property located to the east is developed with a shopping center and zoned C-2 in the City. The properties to the south are developed as banks and a restaurant, zoned C-2 in the City. The property to the west is a motel with a restaurant and zoned C-2 in the City.

PROPOSED USE

There is no proposed change to the existing use of the property at this time. The existing gas station is permitted in the C-2 Arterial Commercial District, and the window tinting company would be allowed through a Special Exception for automobile services.

Outdoor storage of any materials, inoperable automobiles, trailers, mobile restaurants, and the like is prohibited in the C-2 District. The City also has different regulations for signage and the existing signage is not in compliance with City standards, any new signs or alterations to the existing signs will be required to follow the procedures set forth in the City of Winter Garden Code of Ordinances.

PUBLIC FACILITY ANALYSIS

The property currently has irrigation, potable water, and sewer accounts with the City of Winter Garden.

The City will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents including building permits. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department under the First Response System.

SUMMARY

City Staff recommends approval of the proposed Ordinances. Annexation will provide a more efficient delivery of services to the property and further the goals and objectives of the City of Winter Garden's Comprehensive Plan to eliminate enclaves. The property is developed and no change in use is proposed, therefore the adjacent property owners should not be negatively impacted.

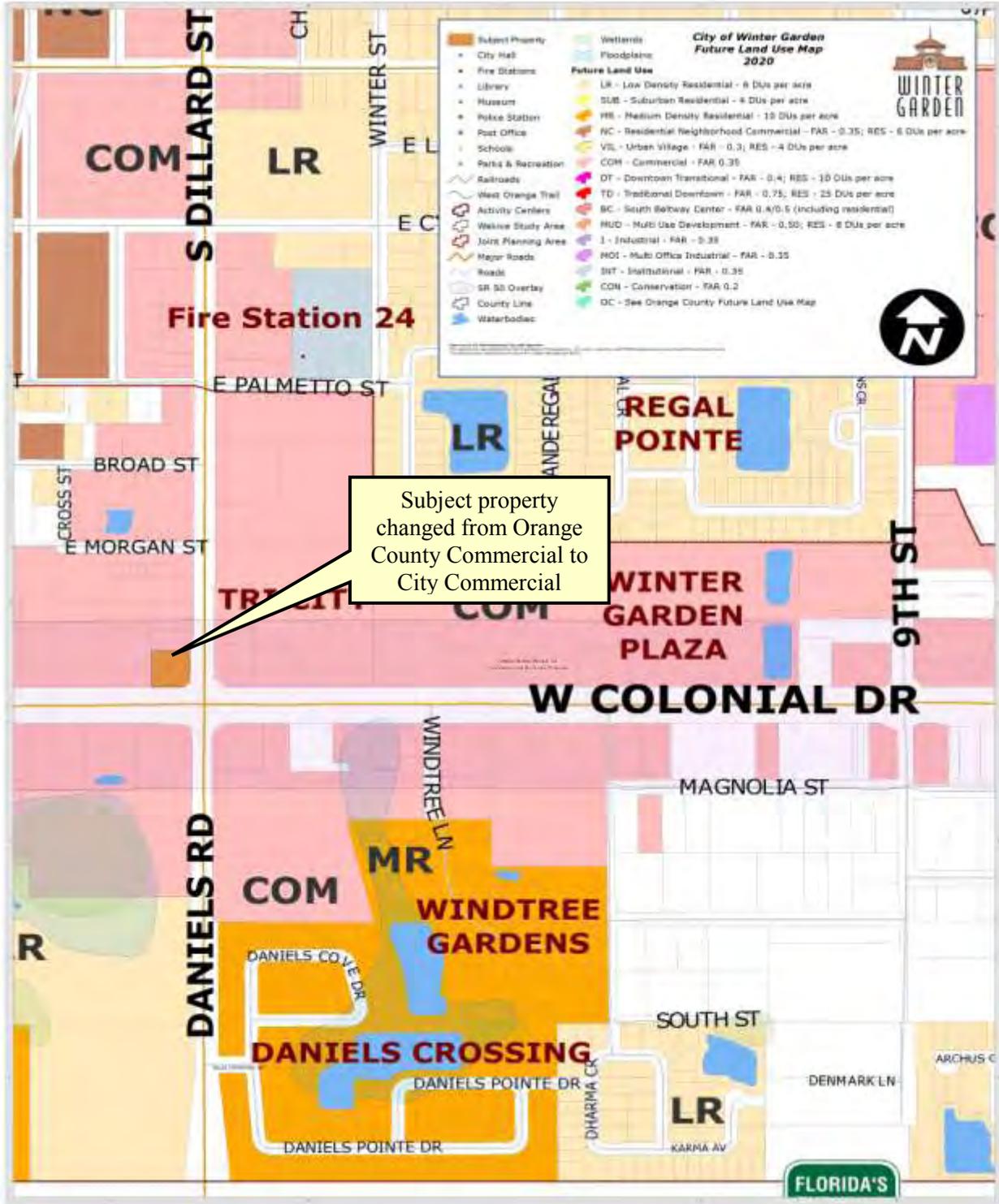
MAPS

AERIAL PHOTO

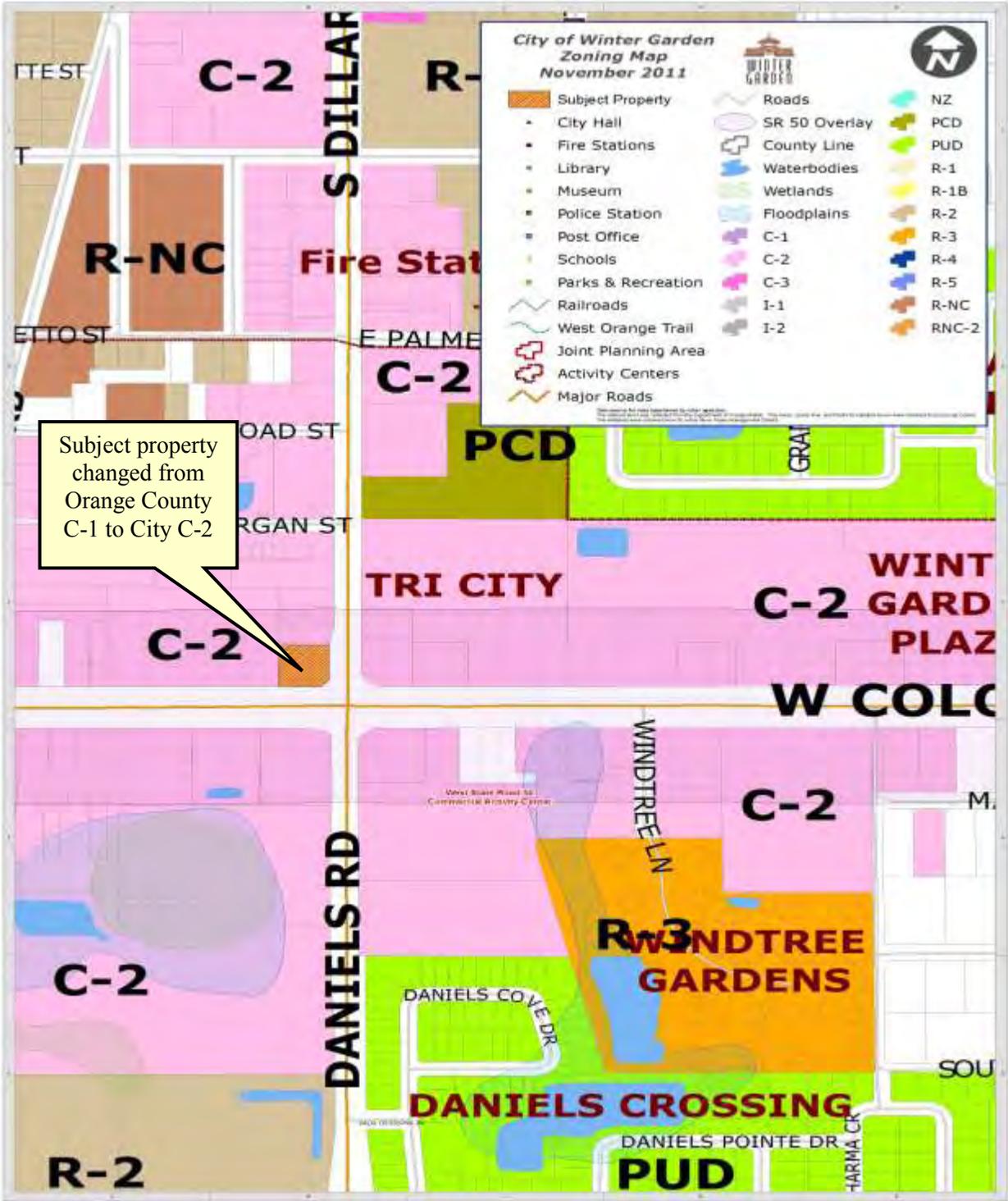
13501 W. Colonial Drive



**FUTURE LAND USE MAP
 13501 W. Colonial Drive**



ZONING MAP
13501 W. Colonial Drive



END OF STAFF REPORT

THE CITY OF WINTER GARDEN
PLANNING AND ZONING BOARD AGENDA ITEM

ITEM # 6 (Public Hearing)

DATE: JANUARY 5, 2012 **MEETING DATE:** JANUARY 9, 2012

SUBJECT: ORDINANCE 11-37 REZONING 40.29 +/- ACRES TO R-1
PROJECT NAME GRACE CHURCH OF ORLANDO
PARCEL ID# 35-22-27-2222-00-024

ISSUE: REZONING APPROXIMATELY 40.29 +/- ACRES OF REAL PROPERTY LOCATED AT 13036
ROPER ROAD FROM CITY NZ TO CITY R-1

SUPPLEMENTAL MATERIAL/ANALYSIS:

OWNER/APPLICANT: GRACE CHURCH OF ORLANDO, INC.

CURRENT ZONING: NZ (NOT ZONED)

PROPOSED ZONING: R-1 (SINGLE-FAMILY RESIDENTIAL DISTRICT)

CURRENT FLU: LR (LOW DENSITY RESIDENTIAL- 6 DU PER ACRE)

PROPOSED FLU: N/A

SUMMARY:

The applicant requests to rezone 40.29± acres of unimproved vacant land for the purpose of constructing a 22,100 square foot church.

STAFF RECOMMENDATION(S):

Staff recommends approval of Ordinance 11-37 (Rezoning of 40.29± acres located 13036 Roper Road from City NZ to City R-1).

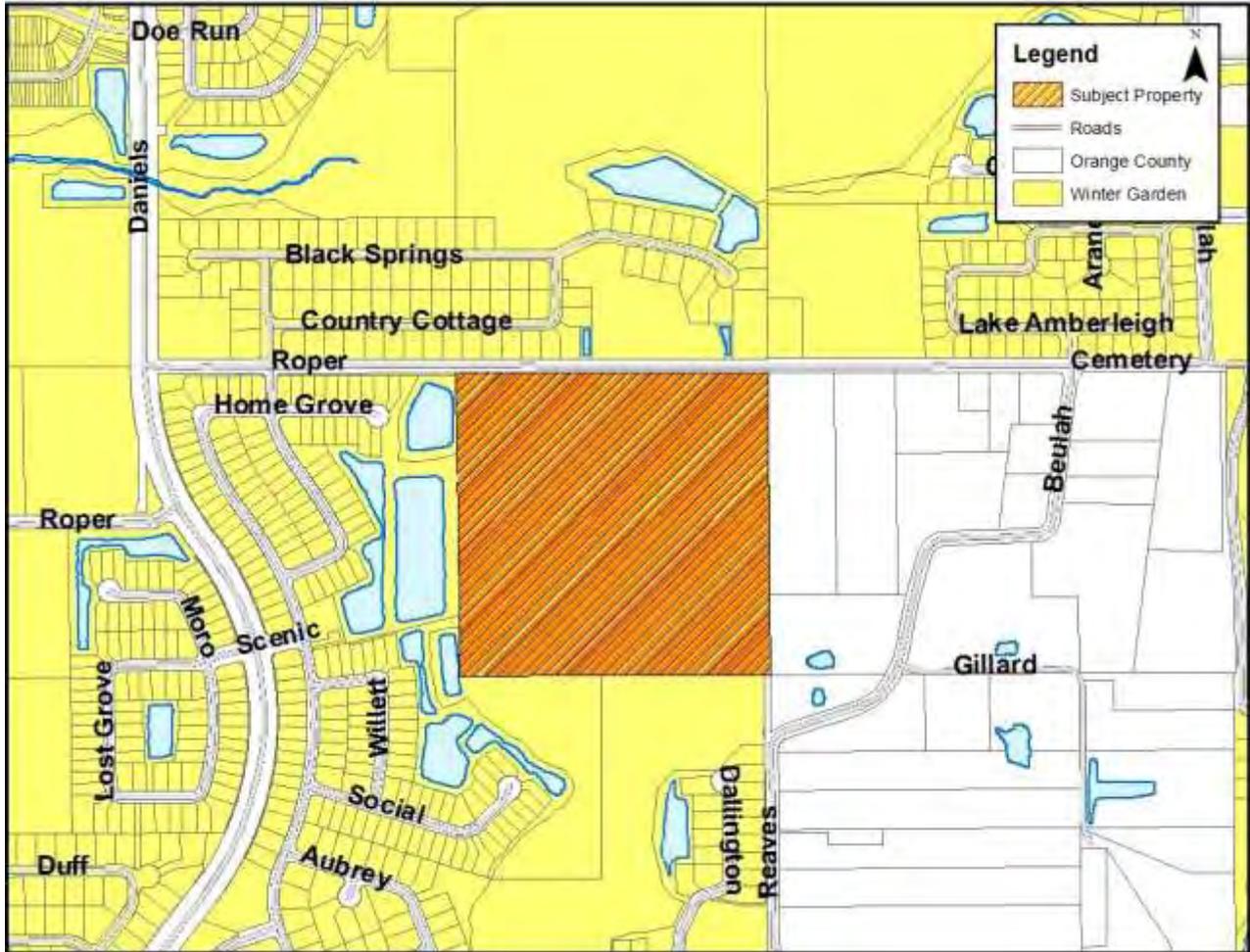
NEXT STEP(S):

A public hearing for the first reading of this Ordinance is scheduled for the City Commission on Thursday, January 12, 2012.

ATTACHMENT(S):

LOCATION MAP
ORDINANCE 11-37
STAFF REPORT

LOCATION MAP
13036 Roper Road
Ordinance 11-37



ORDINANCE 11-37

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA REZONING APPROXIMATELY 40.29 +/- ACRES OF REAL PROPERTY GENERALLY LOCATED ON ROPER ROAD EAST OF DANIELS ROAD AND WEST OF BEULAH ROAD FROM CITY NZ TO CITY R-1 SINGLE-FAMILY RESIDENTIAL DISTRICT; PROVIDING FOR NON-SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner(s) of real property generally described as approximately 40.29± acres of certain real property generally located on Roper Road east of Daniels Road and west of Beulah Road, being more particularly described on Exhibit "A" attached hereto and incorporated herein by this reference (the "Property"), desire to rezone their property from the City NZ and the City's R-1 Single Family Residential District; and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the adoption of this Ordinance is consistent with the City of Winter Garden Comprehensive Plan, and the City of Winter Garden Code of Ordinances, therefore;

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: *Rezoning.* After due notice and public hearing, the zoning classification of certain real property legally described on Exhibit "A" attached hereto, is hereby rezoned from City NZ to City R-1 Single Family Residential District in the City of Winter Garden, Florida. Churches and other places of worship are permitted only as special exceptions in the R-1 Single Family Residential District.

SECTION 2: *Zoning Map.* The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION 3: *Non-Severability.* Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 4: *Effective Date.* This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____ January 12 , 2012.

SECOND READING AND PUBLIC HEARING: _____ January 26 , 2012.

ADOPTED this _____ day of _____, 2012, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

KATHY GOLDEN, City Clerk

Exhibit "A"

Parcel ID # 35-22-27-0000-00-024

The Northeast 1/4 of the Northeast 1/4 of Section 35, Township 22 South, Range 27 East, Orange County, Florida. Less the following:

Begin at the Northwest corner of Section 36, Township 22 South, Range 27 East, Orange County, Florida, thence run South $00^{\circ} 23'14''$ East along the West line of the Northwest 1/4 of said Section 36, a distance of 30.00 feet; thence run North $89^{\circ} 57'38''$ West, a distance of 1344.33 feet to the West line of the Northeast 1/4 of the Northeast 1/4 of Section 35, Township 22 South, Range 27 East, Orange County, Florida; thence run North $00^{\circ} 32'11''$ West along said Northeast 1/4 of the Northeast 1/4 of Section 35, a distance of 30.00 feet to the Northwest corner of the Northeast 1/4 of the Northeast 1/4 of said Section 35; thence run South $89^{\circ} 57'38''$ East along the North line of aforesaid Northeast 1/4 of the Northeast 1/4 of Section 35, a distance of 1344.41 feet to the Point of Beginning.

CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

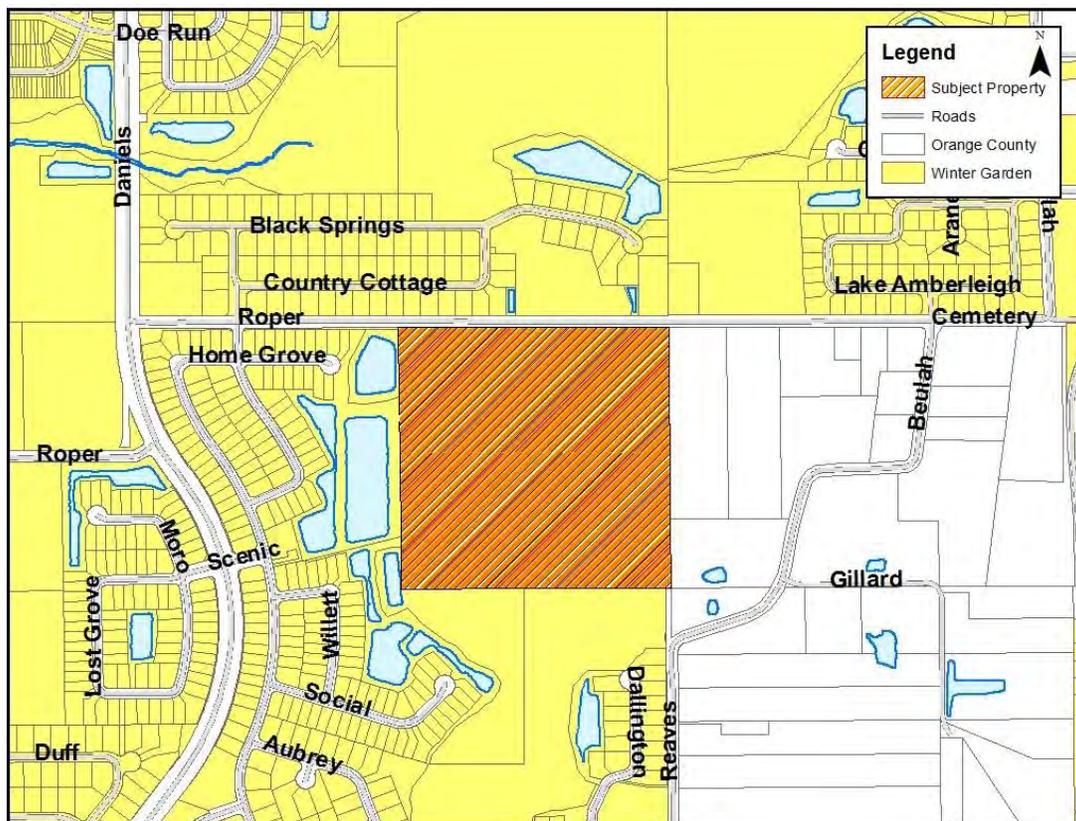
TO: PLANNING AND ZONING COMMITTEE
PREPARED BY: LAURA SMITH, SENIOR PLANNER
DATE: JANUARY 3, 2012
SUBJECT: REZONING
13036 Roper Road (GRACE CHURCH)
PARCEL ID # 35-22-27-0000-00-024

APPLICANT: GRACE CHURCH OF ORLANDO, INC.

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property, generally located on the south side of Roper Road, east of Daniels Road and west of Beulah Road at 13036 Roper Road, is approximately 40.29± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting to rezone 40.29± acres of unimproved vacant land which was annexed into the City of Winter Garden in October 2009 and assigned a Future Land Use Designation of LR (Low Density Residential) on the Future Land Use Map of the City's Comprehensive Plan in June 2010.

The subject property is made up of approximately 24.91 +/- acres of jurisdictional wetlands and contains several upland areas which encompass approximately 15.38 +/- acres.

The subject property is located within the City of Winter Garden municipal limits, and has not been assigned a zoning designation since annexation into the City.

EXISTING USE

The subject property is unimproved vacant land at this time.

ADJACENT LAND USE AND ZONING

The properties located to the north, south, and west of the subject property are developed residential subdivisions zoned PUD and R-1 within the City of Winter Garden. The properties located to the east of the subject property consist of a single family residence (A-1) located in Unincorporated Orange County and an agriculture use (A-1) Orange County owned property which is also located in Unincorporated Orange County.

PROPOSED USE

The applicant proposes to construct a 22,100 square foot church on the 40.29 +/- acre property. The R-1 zoning district does not allow for churches or other places of worship as permitted uses, however the R-1 zoning district does allow for churches and other places of worship as special exceptions. The applicant has submitted an application for a Special Exception Permit which is presently in review.

PUBLIC FACILITY ANALYSIS

The property does not have a point of transportation access at this time because it is unimproved vacant land. However, if the property is developed for a Church then access would be from Roper Road.

The property is not currently a water or sewer customer of the City of Winter Garden; however water and sewer are available along Roper Road. At such time that the property is developed and connection to City water and/or sewer is necessary the cost shall be borne by the property owner.

The City will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents including building permits. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department under the First Response System.

SUMMARY

City Staff recommend approval of the proposed Ordinance. Rezoning the subject property from City NZ to City R-1 is consistent with the City's Comprehensive Plan and surrounding property uses, and the adjacent property owners should not be negatively impacted south and west side of

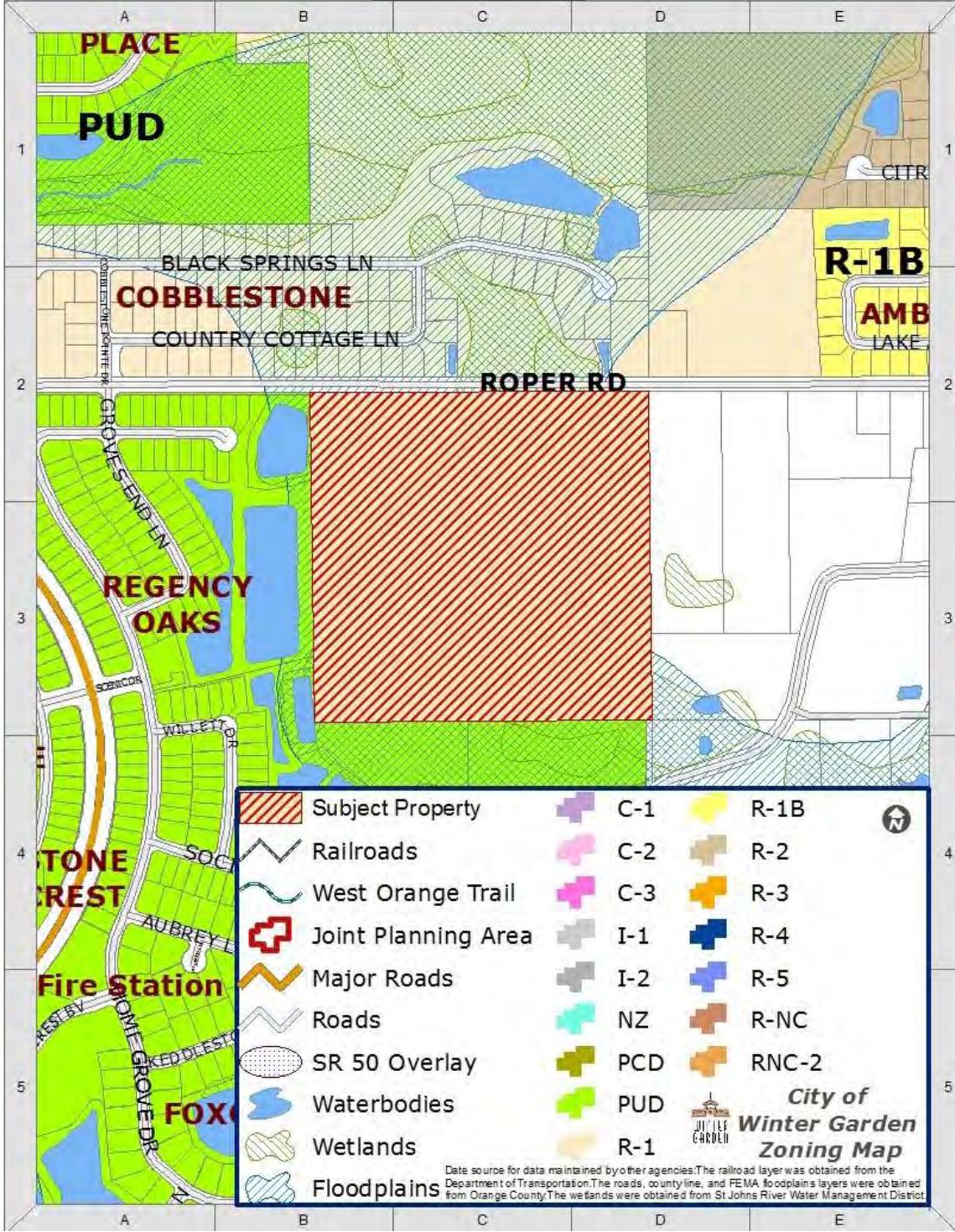
the property are bordered by retention areas for the surrounding residential subdivisions and the east side of the property is bordered by land zoned for agricultural use in Orange County. City Staff have coordinated with the applicant to ensure preservation of the jurisdictional wetland areas located on the subject property, and specified that any future development will be restricted to the greatest extent possible to preserve the wetlands.

MAPS

**AERIAL PHOTO
13036 Roper Road**



ZONING MAP
13036 Roper Road



END OF STAFF REPORT

THE CITY OF WINTER GARDEN
PLANNING AND ZONING BOARD AGENDA ITEM

ITEM # 7 (Public Hearing)

DATE: JANUARY 5, 2012 **MEETING DATE:** JANUARY 9, 2012

SUBJECT: ORDINANCE 12-08 OAKLAND PARK PUD AMENDMENT
PROJECT NAME OAKLAND PARK
PARCEL ID# 21-22-27-6090-00-001

ISSUE: AMENDING THE OAKLAND PARK PUD PLAN (ORDINANCE 05-26), SPECIFICALLY AMENDING THE LOT SIZE MIXTURE, PHASING AND AMENITY SCHEDULE, AND ALLOWING FOR AN ADDITIONAL 35 DWELLING UNITS.

SUPPLEMENTAL MATERIAL/ANALYSIS:

OWNER/APPLICANT: CASTLE & COOK E FLORIDA, LTD

CURRENT ZONING: PUD

PROPOSED ZONING: N/A

CURRENT FLU: SUB

PROPOSED FLU: N/A

SUMMARY:

Applicant requests to amend Section II & Section IV of Ordinance 05-26 Oakland Park PUD, amending the lot size mixture, phasing and amenity schedule and allowing for 35 additional dwelling units.

STAFF RECOMMENDATION(S):

Staff recommends approval of Ordinance 12-08 (Amending Ordinance 05-26 Oakland Park PUD)

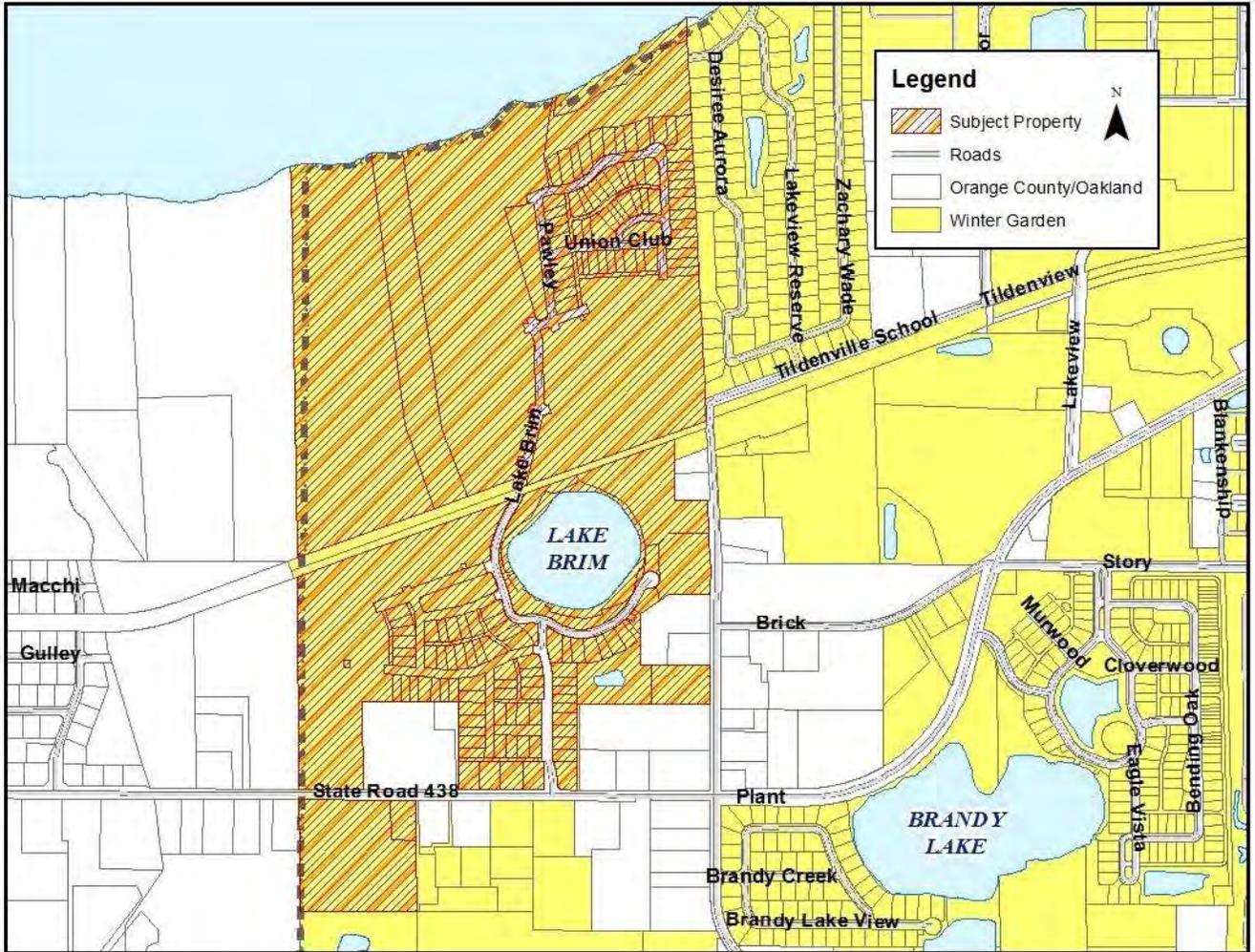
NEXT STEP(S):

A public hearing for the first reading of this Ordinance is scheduled for the City Commission on Thursday, January 12, 2012.

ATTACHMENT(S):

LOCATION MAP
ORDINANCE 12-08
STAFF REPORT
PUD PLAN

LOCATION MAP
Oakland Park Property
Ordinance 12-08



ORDINANCE 12-08

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING SECTION II AND SECTION IV OF ORDINANCE 05-26 OAKLAND PARK PUD; AMENDING THE LOT SIZE MIXTURE, PHASING AND AMENITY SCHEDULE AND ALLOWING FOR 35 ADDITIONAL DWELLING UNITS ON APPROXIMATELY 189.9 +/- ACRES OF CERTAIN REAL PROPERTY GENERALLY LOCATED WEST OF TILDENVILLE SCHOOL ROAD, SOUTH OF LAKE APOPKA, AND EAST OF THE TOWN OF OAKLAND; PROVIDING FOR CERTAIN PUD REQUIREMENTS; PROVIDING FOR NON SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE. (Oakland Park PUD)

WHEREAS, on May 26, 2005 the City Commission of the City of Winter Garden approved Ordinance 05-26, which rezoned approximately 189.9± acres of certain real property now commonly known as Oakland Park from City R-1 and County A-1 to City PUD, which such real property is generally described in Exhibit “A” attached hereto (sometimes herein referred to as the “Oakland Park PUD property” or “subject property”); and

WHEREAS, the property owner, Castle & Cooke, Florida, Ltd. has requested to amend the approved PUD Plan for the Oakland Park PUD, amending the lot mixture, phasing and amenity schedule and allowing for 35 additional dwelling units; and

WHEREAS, Ordinance 05-26 allows for amendments to the Ordinance to be achieved by Ordinance of the City Commission; and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the adoption of this Ordinance and the proposed amendment to the Oakland Park PUD Plan is consistent with the City of Winter Garden Comprehensive Plan, and the City of Winter Garden Code of Ordinances, therefore;

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: *Amendments to Ordinance 05-26*

- a. Exhibit “B” (the Conceptual Plan created by Glattig Jackson Kercher Anglin Lopez Rinehart, Inc.) referenced in Section 2a, Section 2d, Section 2h, Section 2i, and Section 2k of Ordinance 05-26 is deleted and replaced with the Oakland Park Planned Unit Development Amendment to the Approved PUD attached hereto as Exhibit “B.”

- b. Section 2k (Meadow Marsh Bed and Breakfast) of Ordinance 05-26 is deleted and replaced with the following:

The existing building (“Meadow Marsh”) located at 940 Tildenville School Road has historically existed as a Bed and Breakfast. In addition to a Bed and Breakfast, Meadow Marsh will be available for the permitted and special exception uses identified on page 57 of Exhibit “B”. A site plan must be submitted and approved by the City prior to the conversion from a Bed and Breakfast to any other land use. It is the intent of this PUD to continue the appearance, size, and architectural style of the existing building at in the same historical state as it exists at the date of this Ordinance. Any expansion of the Meadow Marsh building for additional square footage space or any major redesign of the site will require a Special Exception Permit and must comply with the R-NC setback requirements.

- c. Section 2m (Granny Flats) of Ordinance 05-26 is deleted and replaced with the following:

Granny Flats-Up to 35% of the residential units within each phase may be permitted to have accessory apartments or “granny flats” located above a garage. Accessory apartments will be limited to one floor above the garage, not exceeding 800 square feet. To be classified as a “granny flat” the unit must meet all of the following conditions:

- i. Accessory Apartments have an entry that is discrete and separate from the primary house, providing private access to the granny flat.
- ii. Accessory Apartments are metered separately from the primary house.
- iii. Accessory Apartments have a separate, full service kitchen.
- iv. An Accessory Apartment can be rented only if the owner lives in the primary house.
- v. A lot must have at least one additional parking space when the lot includes an Accessory Apartment.

SECTION 2: General Requirements. In addition to the conditions and requirements set forth in Ordinance 05-26 as amended by this Ordinance, the following are conditions and requirements for the development of the subject property:

- a. **Staff Conditions-** All development on the 189.9 ± acre Oakland Park PUD property must comply with the following staff conditions:

- (1) All construction shall conform to City of Winter Garden Standards, Specifications and Ordinances.

- (2) The Utilities Department will require separate water metering for the “Granny Flats” (or garage apartments) on the final plans that will include additional water/wastewater impact fees based on 1 ERU per “Granny Flat” or garage apartment.
- (3) Minimum width for drainage and utility easements between buildings shall be 30 feet. Narrower easement widths (20 foot minimum width) will be allowed for shallow drainage pipes 12 inch diameter or less. Additional drainage and utility easements will be required adjacent to the proposed rights-of-way for telephone, electrical power, gas and cable TV facilities (10 foot minimum width pursuant to Code).
- (4) Any off-site utilities required to serve the project shall be installed by the Owner with reimbursement by the City if upsizing is requested, as outlined in the Developer’s Agreement. All design and construction shall conform to City requirements for roadways, drainage and utilities including reclaimed water for irrigation.
- (5) Any irrigation on the development shall be designed and constructed to be supplied by reclaimed water – approvals will be required from City, FDEP and SJRWMD for any use of stormwater or water from Lake Apopka for irrigation. This will include installation of reuse water mains (purple pipe) and meters that will initially be supplied by domestic water via a jumper. Reuse mains shall be constructed along project frontage on Oakland Avenue per ordinance. Reuse connection point(s) shall be shown on construction plans; irrigation/reuse plans shall be submitted, reviewed and approved by the City prior to installation. Reuse mains, services and meters shall be required with the initial infrastructure as required by Code.
- (6) Permit approvals from the St. Johns River Water Management District and FDEP are required. The State of Florida shall provide approval for all crossings, etc. of the West Orange Trail prior to construction.

b. Amendment to Developer’s Agreement. An amendment to the Developer’s Agreement (recorded on February 22, 2006 in the Public Records of Orange County, Florida at Official Record Book 08492 Page 3431, et. seq.) shall be drafted, executed, approved, and recorded to address the following:

- (1) Improvements to the Plant Street/Oakland Avenue/Tildenville School Road intersection to be made in the future by the City of Winter Garden, with a proportionate share of the cost paid by the owner/developer of Oakland Park PUD property (or its successors and assigns), including the following improvements to such intersection:
 - i. Eastbound (two lane approach)
 - A. Combination Left/Thru Lane
 - B. Separate Right Turn Lane
 - ii. Southbound (single lane away)
 - A. One-way northbound away movement

- iii. Westbound (two lane approach)
 - A. Separate Left Turn Lane
 - B. Combination Right/Thru Lane
- iv. Northbound (two lane approach)
 - A. Combination Left/Through Lane
 - B. Separate Right Turn Lane

(2) The traffic signal at the central project access on Oakland Avenue shall be designed, permitted and constructed by the owner/developer prior to issuance of the 450th residential building permit or construction of 10,000 or more square feet of non-residential building area (total aggregate) south of Oakland Avenue, whichever occurs first.

SECTION 3: *Non-Severability.* Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 4: *Effective Date.* This Ordinance shall become effective upon adoption at its second reading and the occurrence of the execution and recording of an amendment to the Developer's Agreement required by SECTION 2 b. of this Ordinance.

FIRST READING AND PUBLIC HEARING: _____, 2012.

SECOND READING AND PUBLIC HEARING: _____, 2012.

ADOPTED this _____ day of _____, 2012, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

 JOHN REES, Mayor/Commissioner

ATTEST:

 KATHY GOLDEN, City Clerk

Exhibit "B"

COVER PAGE

OAKLAND PARK PLANNED UNIT DEVELOPMENT AMENDMENT TO THE APPROVED PUD

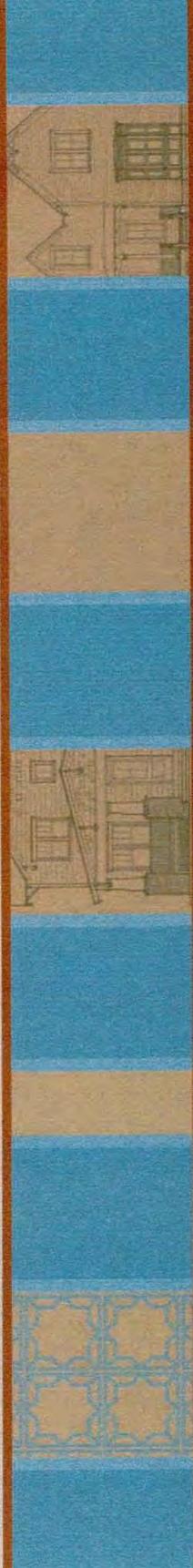
DECEMBER 14, 2011

(72 PAGES - ATTACHED)

PLANNED UNIT DEVELOPMENT
AMENDMENT TO THE APPROVED PUD

SUBMITTED TO THE CITY OF WINTER GARDEN
NOVEMBER, 2009

REVISION DECEMBER, 2011
REVISION DECEMBER 14, 2011



OAKLAND
EST. 1844
P.A.R.K.

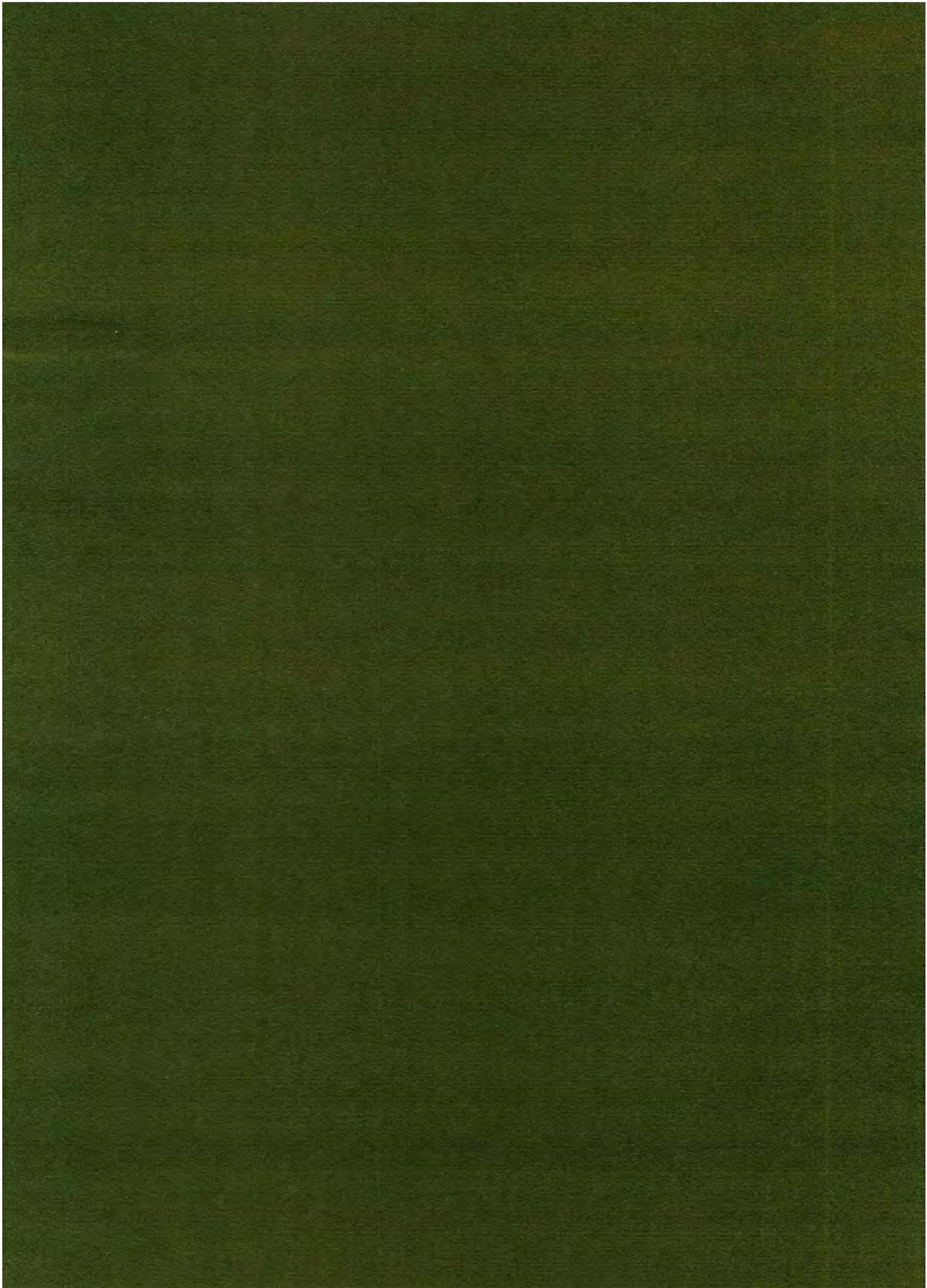
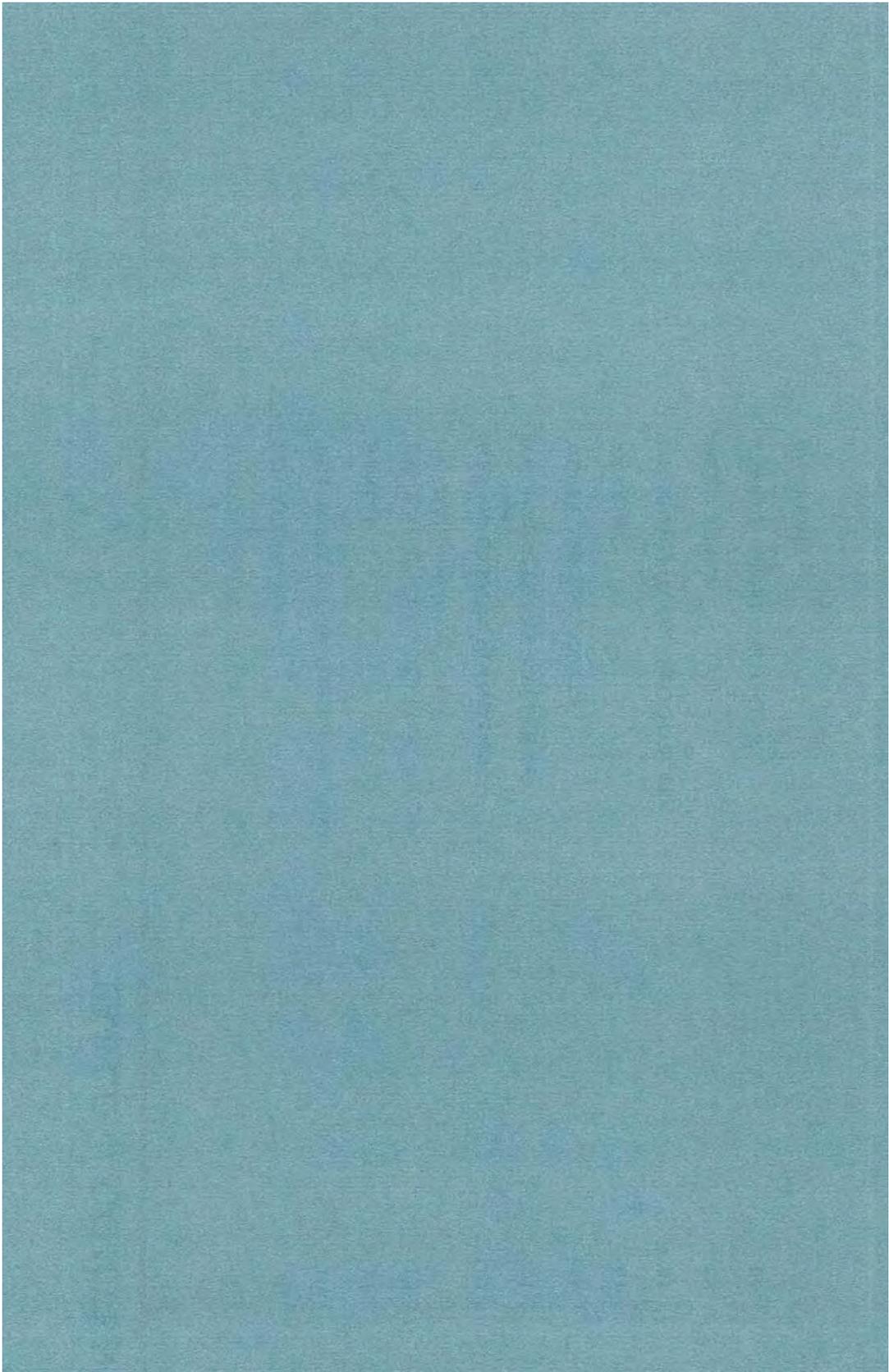


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DEVELOPMENT TEAM

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TOWN FOUNDER

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Winter Garden, Florida 34787
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jrinehart@castlecooke.com

- **DOVER KOHL & PARTNERS**
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agroves@doverkohl.com

- **DONALD W. MCINTOSH ASSOCIATES**
CIVIL ENGINEER

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- **BREEDLOVE DENNIS & ASSOCIATES**
ECOLOGIST

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Winter Park, Florida 32789
407-677-1872
mike@bda-inc.com

- **MORRISSEY DESIGN STUDIO**
TOWN ARCHITECT

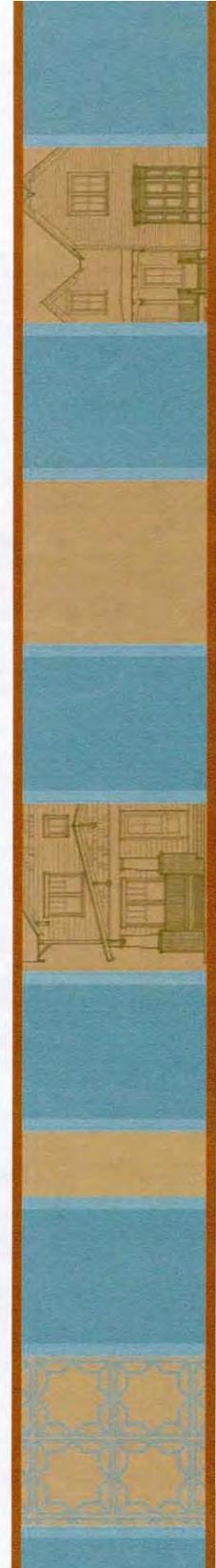
Michael Morrissey
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Winter Garden, Florida 34777
407-616-7770
michael@morrisseydesign.net

- **BISHMAN SURVEYING**
SURVEYOR

Aron Bishman
132 West Plant Street
Winter Garden, Florida 34787
407-905-8877
aron@bishmansurveying.com

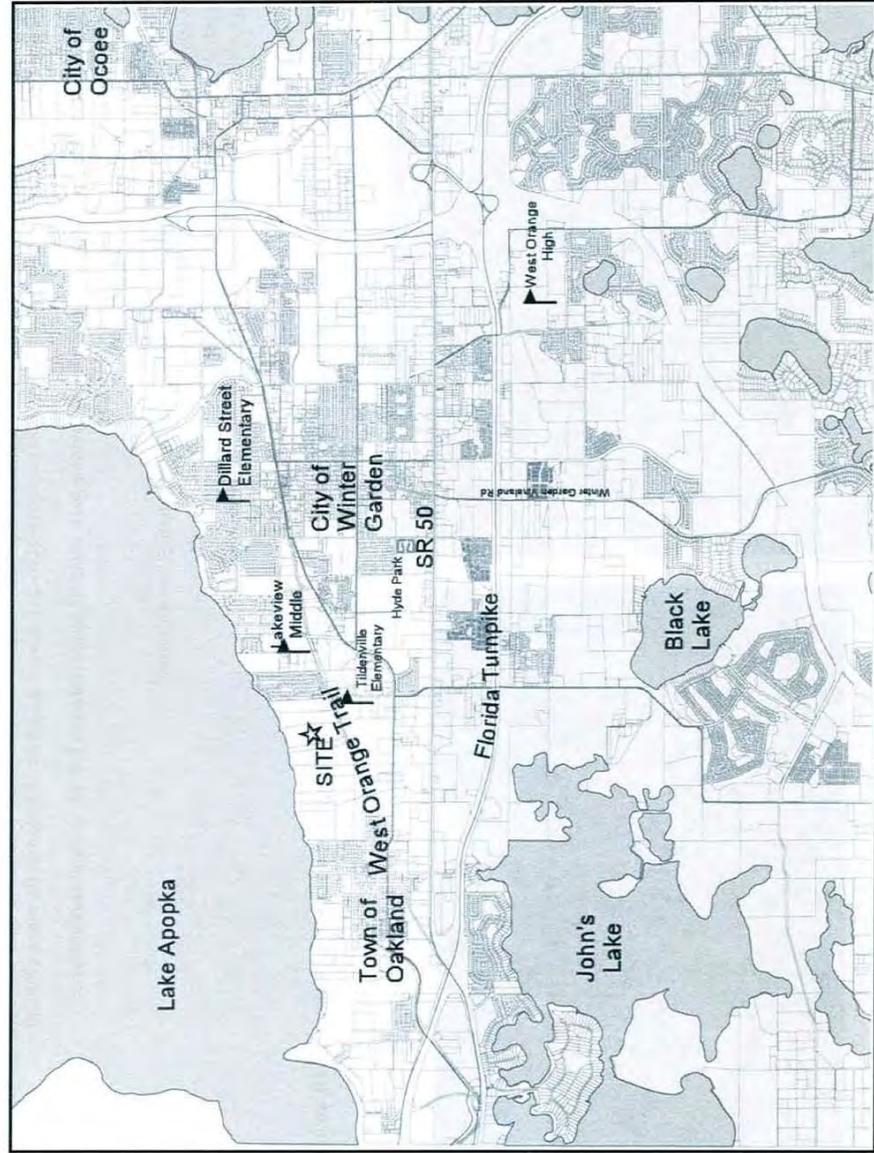
- **AECOM, INC.**
LANDSCAPE ARCHITECTURE

Donald Wishart
120 N. Orange Avenue
Orlando, Florida 32801
407-843-6552
donaldwishart@aecom.com





LOCATION MAP



THE VISION *for* OAKLAND PARK

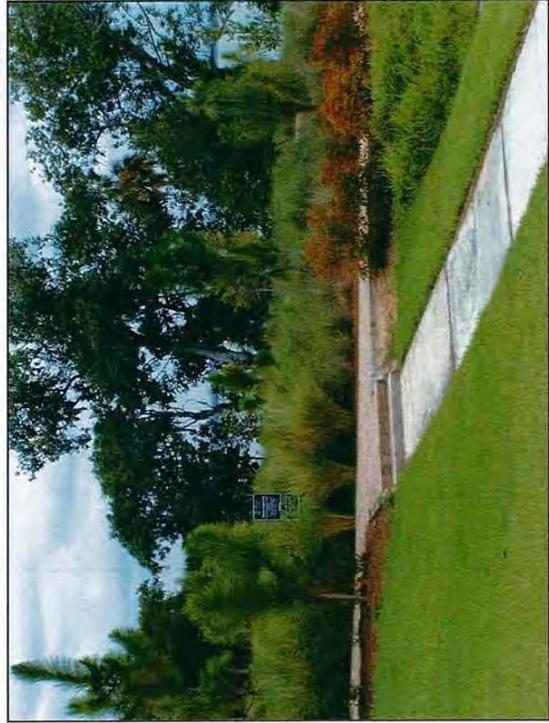
The Planned Unit Development for Oakland Park was first submitted to the City of Winter Garden in 2004. Since preparation of the initial PUD submittal for Oakland Park, traditional neighborhoods have undergone a renaissance that has recognized that the value of traditional neighborhoods goes far beyond merely their aesthetics. Done well, traditional neighborhoods foster civic pride, encourage a healthier lifestyle and conserve resources. We also have seen the need to hone the Oakland Park plan in response to the changing economic crisis that is forcing all of us to be smarter in how we make our housing choices. This application is to amend the currently approved Oakland Park PUD to accomplish this as well as adjust the plan to be more efficient.

The changes to the plan remain consistent with the vision for Oakland Park which is enumerated in the six original cornerstones:

- Sensitivity Relate to Neighborhood Communities
- Embrace Lake Apopka's Environmental Restoration
- Provide Connectivity, Both Within Oakland Park and to the Surrounding Street Network
- Celebrate the West Orange Trail
- Provide a Broad, Diverse Mixture of Housing Types
- Build buildings True to the Architectural patterns of Oakland and Winter Garden

SENSITIVELY RELATE TO NEIGHBORING COMMUNITIES

Oakland Park is nestled between the historic towns of Oakland and Winter Garden. Sharing in the life of these two existing communities is an important aspect of Oakland Park, manifested in the sensitive blending of the community into the existing context.



NATIVE PLANTS ARE USED THROUGHOUT THE COMMUNITY
THE NEIGHBORING COMMUNITY OF LAKEVIEW RESERVE IS TIED INTO EAST
SHORE PARK VIA PEDESTRIAN CONNECTION.



OAKLAND PARK 1844 SALES CENTER IS ARCHITECTURALLY IN KEEPING WITH
THE CHARACTER OF OTHER HOMES ON OAKLAND AVENUE

THE VISION *for* OAKLAND PARK

EMBRACE LAKE APOPKA'S ENVIRONMENTAL RESTORATION

Lake Apopka, the fourth largest lake in the State of Florida and a former bass fishing mecca for the United States, is on the way to recovery. When complete, Oakland Park will have restored approximately one half of a mile of shoreline to its native state as part of the community's park system.



RESTORATION OF THE FIRST PHASE OF SHORELINE INVOLVED REMOVING ALL EXOTICS AND REPLANTING WITH THOUSANDS OF NATIVE PLANTS.



LAKE APOPKA ENVIRONMENTAL RESTORATION IN THE FIRST PHASE INCLUDES EAST SHORE PARK.

AMENDMENT TO THE APPROVED PLAN | OAKLAND PARK

PROVIDE CONNECTIVITY, BOTH WITHIN OAKLAND PARK AND TO THE SURROUNDING STREET NETWORK

With multiple street and pathway connections to surrounding neighborhoods in Winter Garden and in Oakland, Oakland Park is part of the community fabric that creates West Orange County. Alternate ways to come into and out of the community minimizes traffic congestion at intersections and offers safe routes for children and adults alike to interact with their neighbors, take advantage of community and neighborhood amenities.



ENTERING FROM OAKLAND AVENUE: ONE OF SEVERAL EVENTUAL CONNECTIONS TO THE EXTERNAL STREET NETWORK.

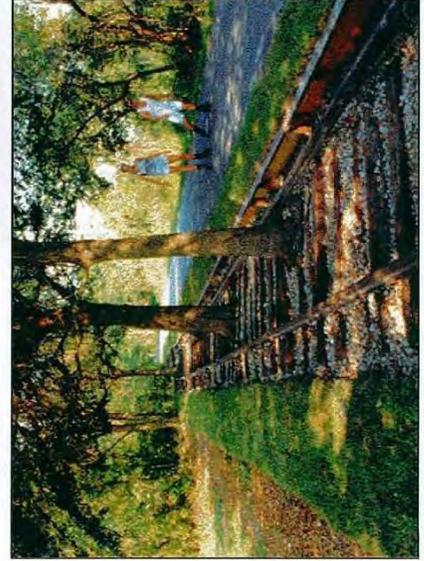
THE VISION *for* OAKLAND PARK

CELEBRATE THE WEST ORANGE TRAIL

The West Orange Trail is now approximately 35 miles long, passing through the heart of Oakland Park. The community embraces the trail as a connection to three neighboring schools, downtown Winter Garden and other parks and activities that are within easy walking and biking distance for residents in the community.



THE QUESINBERRY OAK DEDICATED IN NOVEMBER 2008 IS ADJACENT TO THE WEST ORANGE TRAIL.



THE WEST ORANGE TRAIL AS IT ENTERS OAKLAND PARK.

PROVIDE A BROAD, DIVERSE MIXTURE OF HOUSING TYPES

A diversity of housing types meant to appeal to families large and small and to a cross section of the community is a key principle of traditional neighborhood design (TND). Oakland Park offers an array of home types including single family homes, townhomes, and cottages.



ALL HOMES LIKE THIS FOLK VICTORIAN HOME ARE REQUIRED TO BE CERTIFIED GREEN BY THE FLORIDA GREEN BUILDING COALITION.



HOMES OVERLOOKING RECIPROCITY PARK ARE A DIVERSE MIXTURE OF DETACHED AND ATTACHED HOMES.

THE VISION FOR OAKLAND PARK

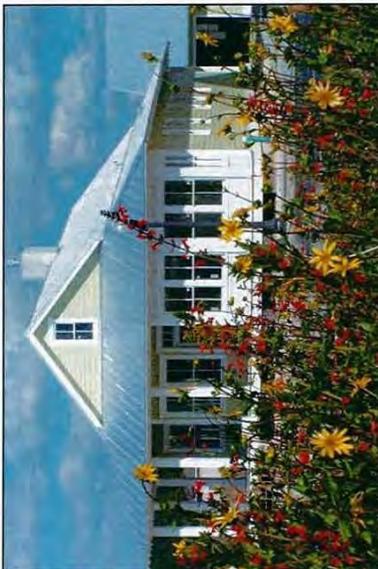
GREEN AND SUSTAINABLE

Back in 2004 and 2005 when the first plans were approved they incorporated sustainable concepts that have become much more mainstream today. In fact we had not conceived of a green certified community at the outset, but are proud today that Oakland Park is the only community in Orange County certified as a Green Development by the Florida Green Building Coalition. We believe the economic downturn of the past two years makes an even stronger case for sustainable development in the pattern of Oakland Park. While the initial start of Oakland Park has been slower than desired the community has already received significant recognition for both the community and the initial construction of housing product including the following:

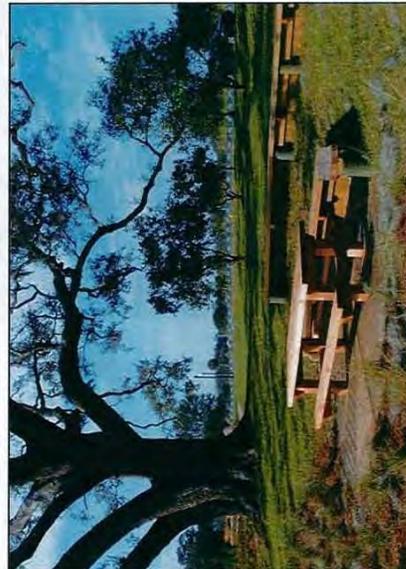
- US Dept. of Energy Builders Challenge - Home Advantage Energy Star Premium Builder
- 2008 Aurora Award – Audubon Park, green construction new production built spec/model
- 2008 Aurora Award – Audubon Park, Energy efficient Home detached single family
- 2008 Aurora Award – Green construction residential development/mixed use development
- 2008 Parade of Homes – Merit Award Ivanhoe Park Model
- 2008 Parade of Homes – First Place Delaney Park Model
- Trees Florida 2008 – Outstanding Tree Preservation Project for the State of Florida
- Florida Green Building Coalition – Green Development Designation
- American Society of Landscape Architects – Award of Excellence for the Oakland Park pattern book, *Patterns of the Past: A foundation for the Future. A Guide for Place Making.*
- 2010 Grand Aurora Award - Landscape Design / Lake Brim restoration, Lake Apopka restoration
- 2010 Grand Aurora Award - Residential Community Site Plan
- 2010 Florida Association of Realtors - ENVY Award - Outstanding Environmental Community of the Year

BUILD BUILDINGS TRUE TO THE ARCHITECTURAL PATTERNS OF OAKLAND PARK AND WINTER GARDEN

Architectural patterns in Oakland Park have been inspired by historic local neighborhoods. Five distinct residential architectural patterns will characterize the community. The Oakland Park Town Architect will oversee and approve all architectural design for purity and consistency of pattern.



FLORIDA VERNACULAR STYLE ARCHITECTURE



AN OUTDOOR CLASSROOM IN THE RESTORED NATIVE LANDSCAPE FOR BOTH FORMAL AND INFORMAL DISCUSSIONS.

AMENDMENT TO THE APPROVED PUD | OAKLAND PARK

AERIAL



LAND USE *and* REGULATING PLAN

LEGEND/LAND USE

	ACRES
Special District	8.6
T4-O (Neighborhood General-Open)	2.2
T4-R (Neighborhood General-Restricted)	27.1
T3 (Neighborhood Edge)	63.6
T2 (Open Space)	27.8
Retention	22.9
-- Right-of-way	50.7
ST-24/50 Street type	37.7
TOTAL ACRES	
	189.9



Full size Land Use and Regulating Plan is located in the back cover pocket.



URBAN DESIGN STANDARDS

TRANSECT STANDARDS

Great neighborhoods have a wide cross section of building types that vary in intensity from center to edge. The center of a neighborhood is usually developed in a mixed-use manner with more intense uses than the edge area. This delicate gradient provides visual variety as well as a variety of housing and commercial options. In an infill project like Oakland Park the transect gradients must respect the already built adjoining land.

The TRANSECT is a categorization system that organizes all elements of the urban environment on a scale from rural to urban. Any lot in the manmade environment belongs to a certain transect zone, which will describe the character and intensity of construction upon that lot. The *Transect Standards* regulate the permitted lot types for each block, as identified on the Regulating Plan.

Land use and Regulating Plan.....	Page 15
T4-O (Neighborhood General - Open).....	Page 18
T4-R (Neighborhood General - Restricted).....	Page 19
T3 (Neighborhood Edge).....	Page 20
T2 (Open Space).....	Page 21
SD (Special District).....	Page 22

Permitted Uses

Following is a general description of the permitted uses in each of the transect zones; a chart containing specific uses may be found on page 57.

- T4-O (Neighborhood General - Open)**
Transect Zone:
 - Residential, including:
 - Dwelling, single family (attached)
 - Dwelling unit, multi-family
 - Dwelling unit, accessory
 - Neighborhood-Oriented Commercial
 - Civic uses, including:
 - Churches
 - Schools
 - Community facilities, including pavilions, public restrooms, and utility structures

- T4-R (Neighborhood General - Restricted)**
Transect Zone:
 - Residential, including:
 - Dwelling, single family (attached and detached)
 - Dwelling unit, multi-family
 - Dwelling unit, accessory
 - Civic uses, including:
 - Community facilities, including pavilions, public restrooms, and utility structures

- T3 (Neighborhood Edge)**
Transect Zone:
 - Residential, including:
 - Dwelling, single family (detached)
 - Dwelling unit, multi-family
 - Dwelling unit, accessory
 - Civic uses, including:
 - Community facilities, including pavilions, public restrooms, and utility structures

- T2 (Open Space) Transect Zone:**
 - Civic uses, including:
 - Community facilities, including pavilions, public restrooms, and utility structure

- SD (Special District):**
 - Special District designation is used for areas which do not conform to one of the Transect Zones due to location or historical significance. Permitted uses shall be determined for each unique district; see page 22.

As an interim use agricultural uses are permitted in any transect until time of final development.

URBAN DESIGN STANDARDS

T4 (NEIGHBORHOOD GENERAL)

PURPOSE:

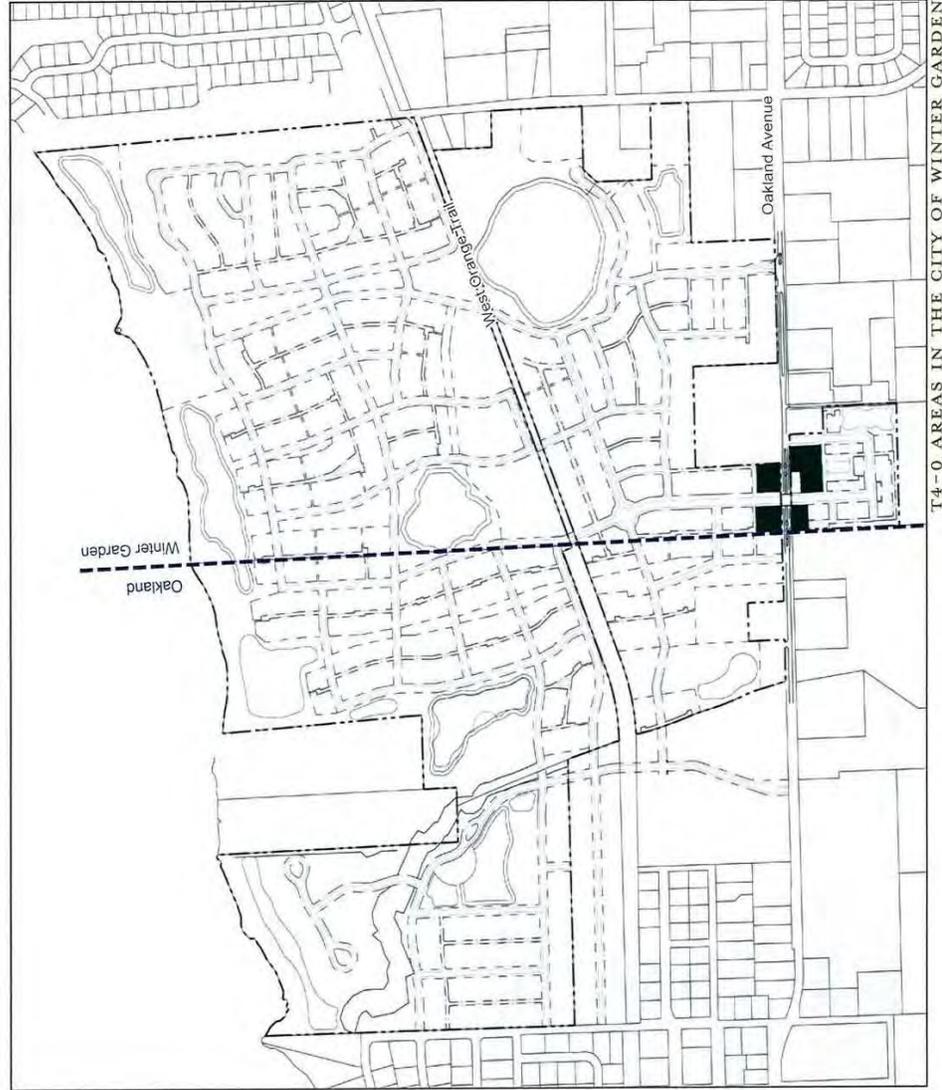
The T4 (Neighborhood General) areas include a mixture of uses and building types. Residential units include detached single-family homes, attached homes, and apartments. Homes are normally set back from the front property line to allow a small front yard with a porch or stoop, and a private rear yard; street plantings are generally formal.

At Oakland Park the T4 zone has been divided into two sub-zones: T4-O (Open) which permits a wider range of uses; and T4-R (Restricted) which is primarily residential in character. T4-O (Neighborhood General-Open)

PERMITTED LOT TYPES T4-O (OPEN)

Within the T4-O zone, land shall be subdivided into one of the following lot types:

- *Townhouse Lot*
- *Live/Work Lot*
- *Apartment House Lot*
- *Retail Building Lot*



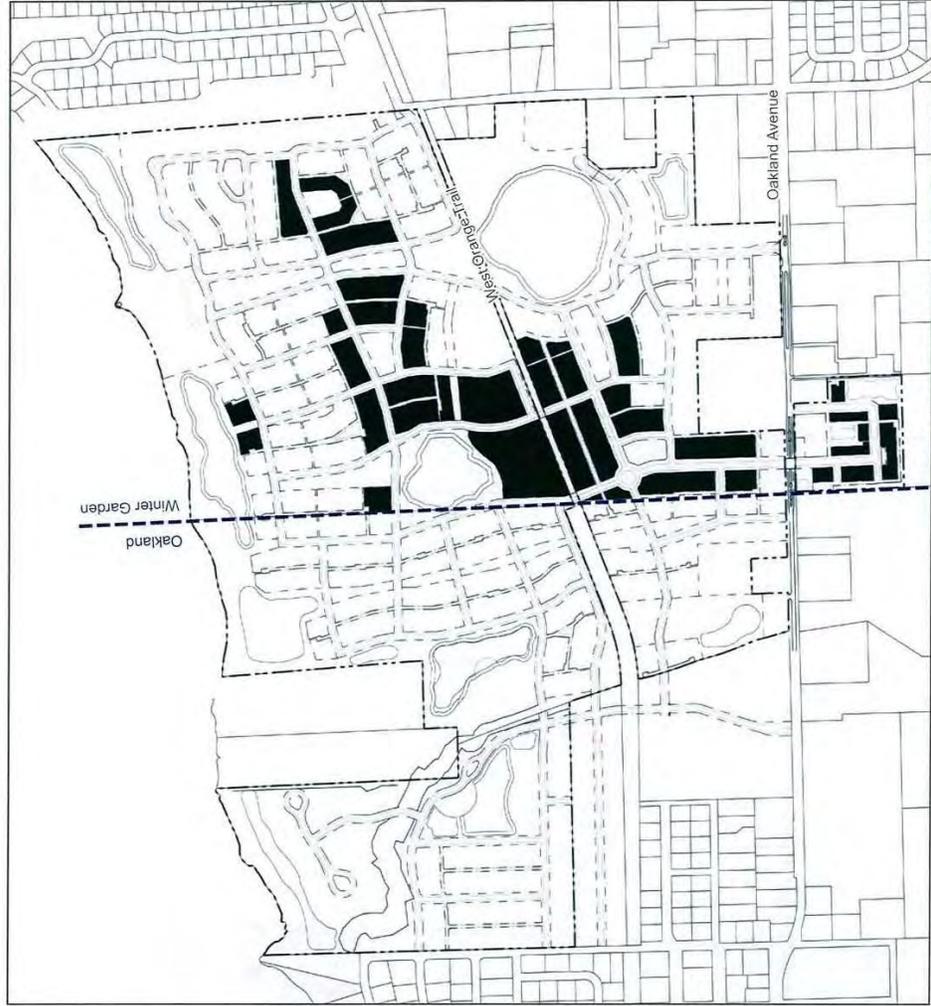
URBAN DESIGN STANDARDS

T4-R (NEIGHBORHOOD GENERAL - RESTRICTED)

PERMITTED LOT TYPES: T4-R (RESTRICTED)

Within the T4-R zone, land shall be subdivided into one of the following lot types:

- Large House Lot
- House Lot
- Manor House Lot
- Cottage Common Lot
- Tandem House Lot
- Townhouse Lot
- Live/Work Lot
- Apartment House Lot
(by special exception North of the West Orange Trail; by right south of the West Orange Trail)



URBAN DESIGN STANDARDS

T3 (NEIGHBORHOOD EDGE)

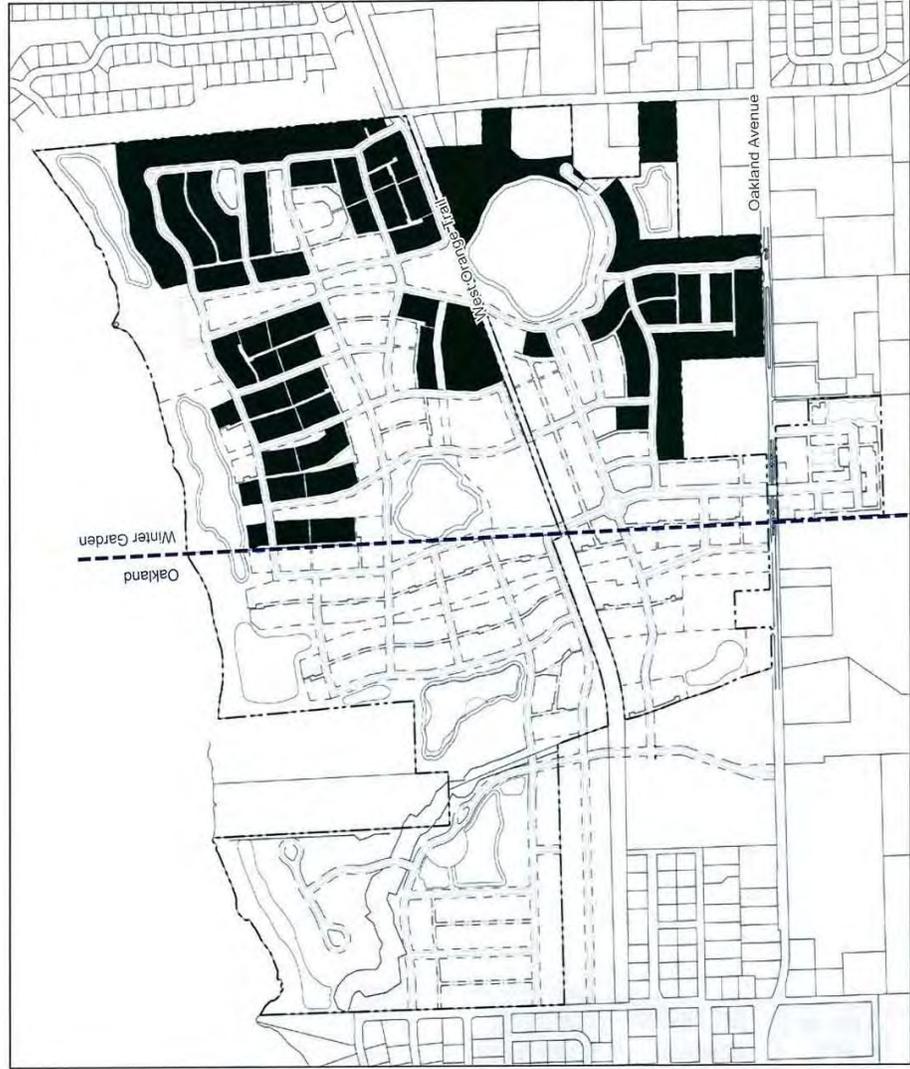
PURPOSE:

The T3 (Neighborhood Edge) areas are single-family residential in character, with a lower density. Street plantings may be naturalistic, and there are normally deeper setbacks.

PERMITTED LOT TYPES:

Within the T3 zone, land shall be subdivided into one of the following lot types:

- *Oakland Avenue Lot*
- *Lake front House Lot*
- *Estate House Lot*
- *Large House Lot*
- *Manor House Lot*
- *Cottage Common Lot*
- *Tandem House Lot*



T3 AREAS IN THE CITY OF WINTER GARDEN

URBAN DESIGN STANDARDS

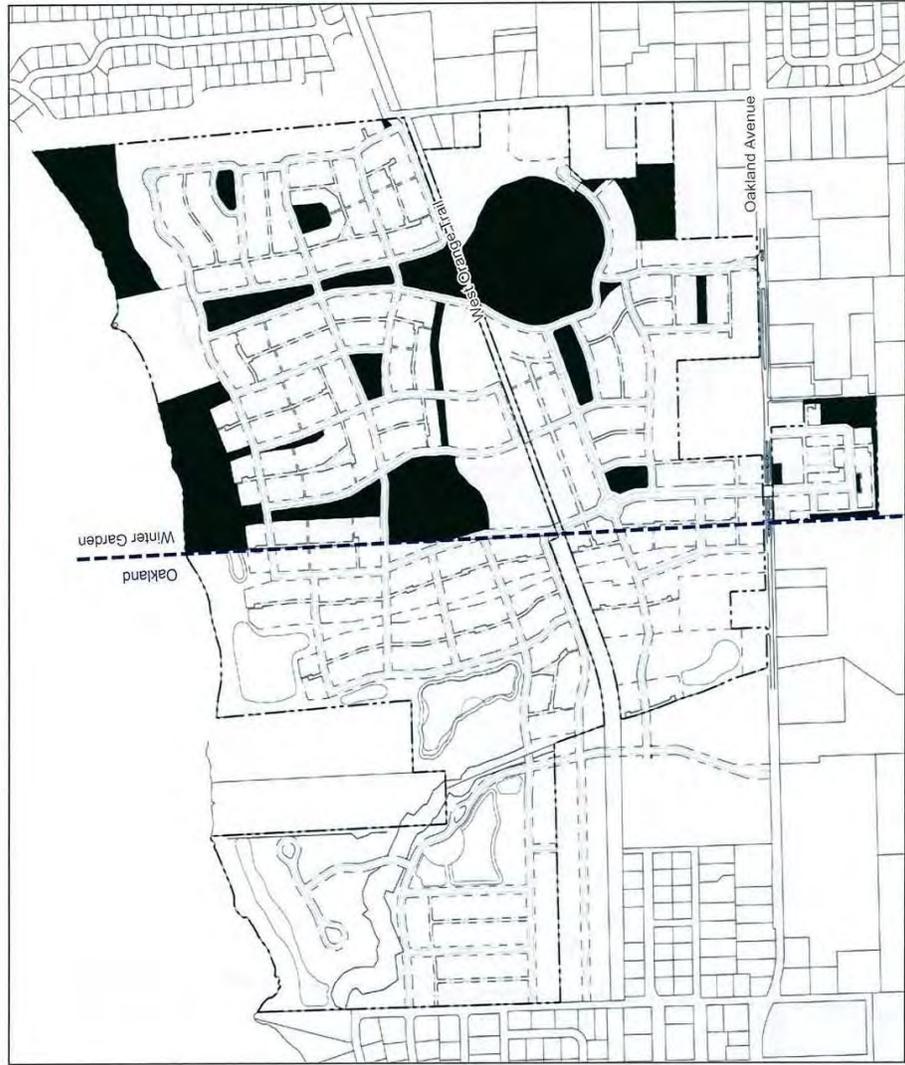
T2 (OPEN SPACE)

PURPOSE:

The open space zone is intended to provide areas for active and passive recreation, site drainage and water retention, and natural vegetation. Civic Buildings may be permitted within this zone. Other structures built within the open space zone are intended to be those accessory to the recreational uses, such as pavilions, restrooms, and utility buildings.

PERMITTED LOT TYPES:

Within the open space zone, land may be allocated for Civic structures at the discretion of the Town Architect. No other lot / building types are permitted.



T2 AREAS IN THE CITY OF WINTER GARDEN

URBAN DESIGN STANDARDS

SD (SPECIAL DISTRICT)

PURPOSE & PERMITTED USES:

Special Districts are places that don't fit within the T2, T3, or T4 categories. They are special in light of location, historical significance or other compelling attributes. The lot type regulations (*pages 24-37*) do not apply in the Special Districts.

Meadowmarsh Special District

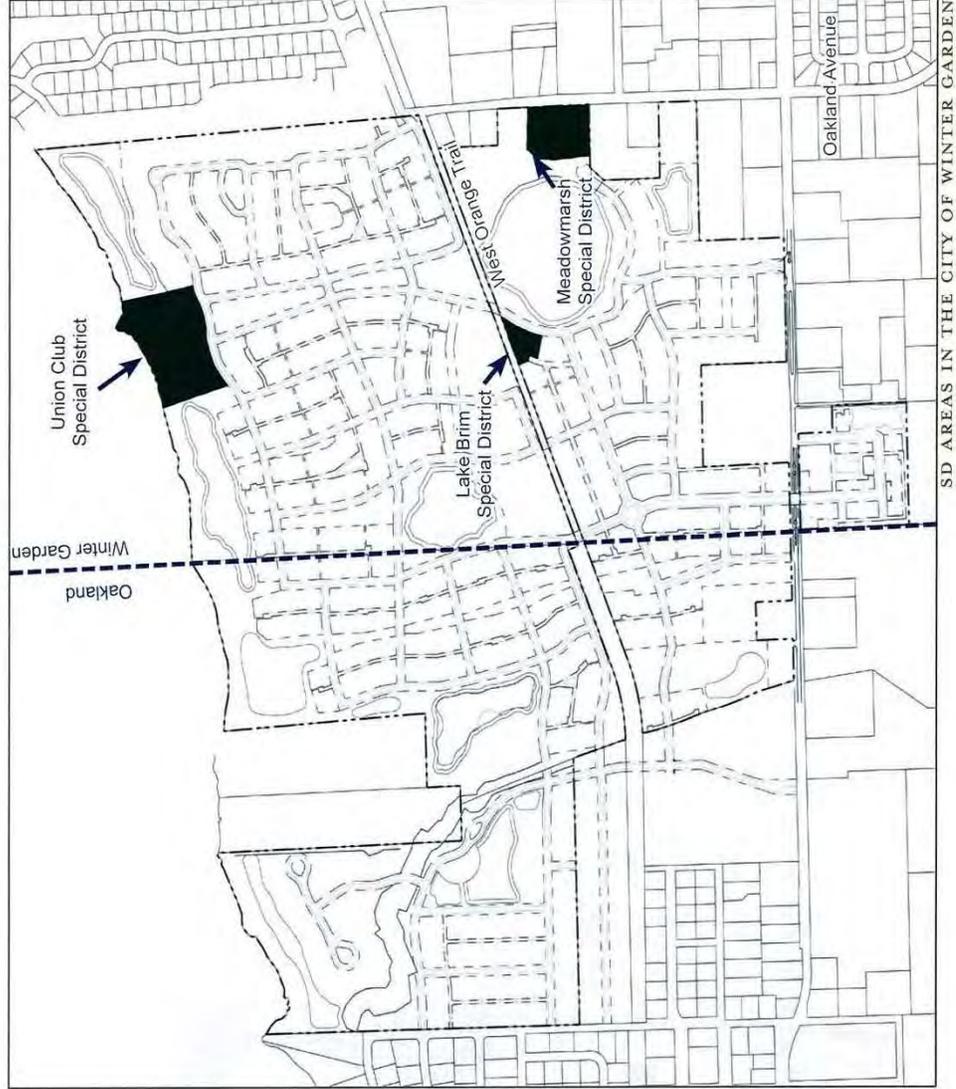
The centerpiece of the Meadowmarsh Special District is the Tilden Estate Home built in 1877 by Luther Tilden. This home is listed on the National Register of Historic Places. The house is in excellent condition and has been used by a number of community groups over the past several years for special functions. No change is proposed to the currently approved uses for this area which include single family residence, recreation facility, bed and breakfast, eating and drinking establishment, office, and private club. A school is permitted by special exception.

Union Club Special District

Located on Lake Apopka the Union Club Special District is at the foot of the North Lawn. To the west of the district is an area identified as a potential archaeological site of historic and cultural significance. No changes to the currently approved uses are proposed for the Union Club parcel. Permitted uses include public parks, playground and recreational facilities, marinas, cultural facilities, retail, eating and drinking establishments, office, private clubs and outdoor sales displays.

Lake Brim Special District

Located on the West Orange Trail, the Lake Brim Special District is permitted by right for a single family residence, bed & breakfast, nursery, child care; school by special exception.



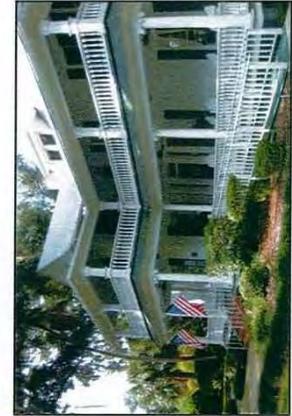
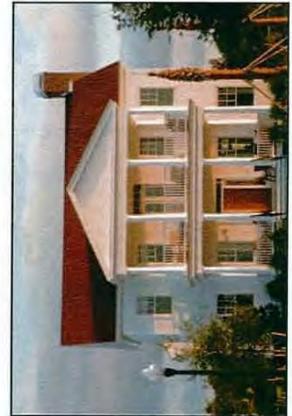


URBAN DESIGN STANDARDS

URBAN STANDARDS

The Urban Standards establish the physical and functional relationships between buildings. They regulate the rules related to building placement (setbacks, build-to lines, lot frontage, height, and parking location). The intent of these standards is to shape high-quality public spaces by using buildings to form a valuable neighborhood for its inhabitants.

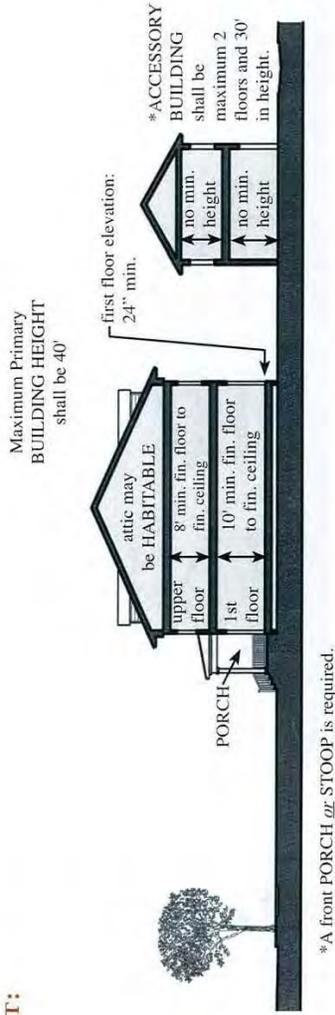
In case of contradiction with local safety codes, these regulations shall be adjusted in collaboration with the Town Architect.



URBAN DESIGN STANDARDS

(OA): OAKLAND AVENUE LOT

HEIGHT:



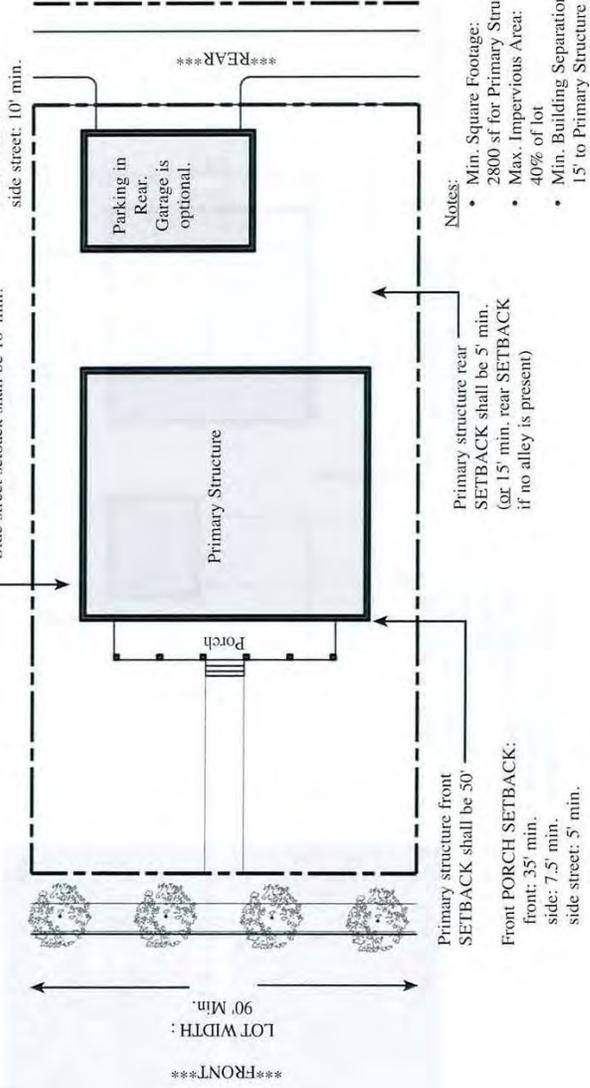
*A front PORCH or STOOP is required.

T4-O GENERAL / OPEN
T4-R GENERAL / RESTRICTED
T3 NEIGHBORHOOD EDGE
T2 OPEN SPACE

BUILDING PLACEMENT:

Primary structure side SETBACK shall be 7.5/7.5' or 5/10' (15' building separation shall be maintained). Side street setback shall be 10' min.

ACCESSORY BUILDING SETBACK:
rear: 5' or >20'
side: 5' min.
side street: 10' min.



PRECEDENT EXAMPLES:

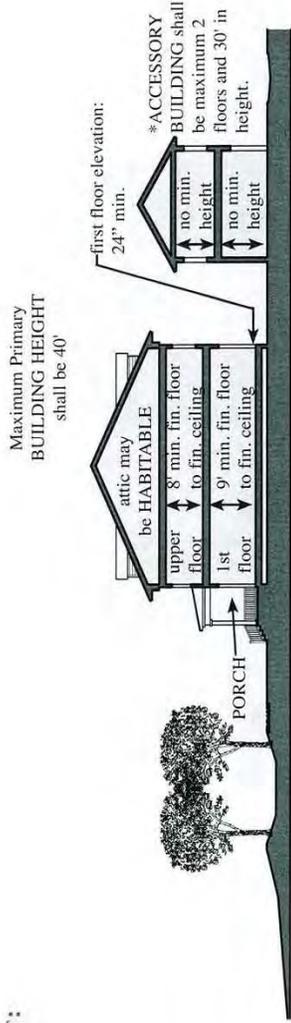


URBAN DESIGN STANDARDS

(LF): LAKEFRONT HOUSE LOT

HEIGHT:

T4-O GENERAL/ OPEN
T4-R GENERAL/ RESTRICTED
T3 NEIGHBORHOOD EDGE ●
T2 OPEN SPACE



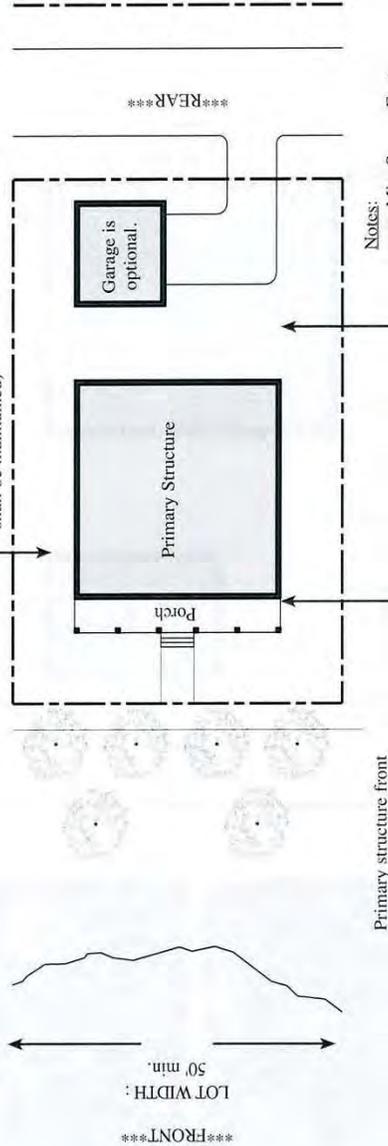
*A front PORCH or STOOP is required.

ACCESSORY BUILDING

SETBACK:
rear: 10' min.
side: 5' min.

BUILDING PLACEMENT:

Primary structure side SETBACK shall be 7.5/7.5' or 5/10' (15' building separation shall be maintained)



Primary structure front BUILD-TO ZONE shall be 12' - 25'

Primary structure rear SETBACK shall be 5' min. (or 15' min. rear SETBACK if no alley is present)

Front PORCH SETBACK:

front: 5' min.
side: 5' min.

Notes:

- Min. Square Footage: 2000 sf for Primary Structure
- Max. Impervious Area: 70% of lot
- Min. Building Separation: 15' to Primary Structure on adjacent lot
- Garage must be side loaded

PRECEDENT EXAMPLES:

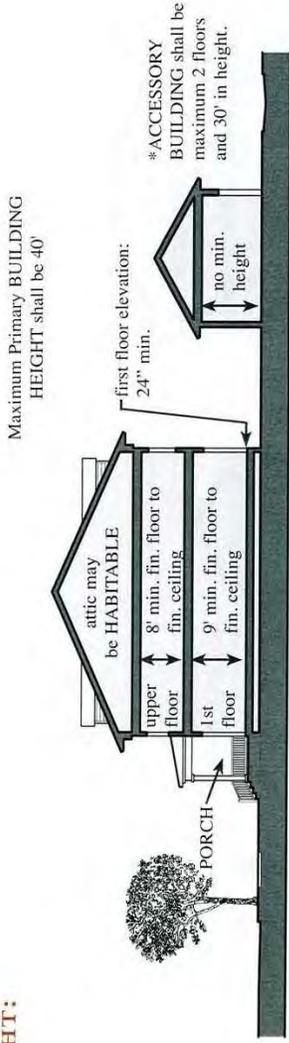


URBAN DESIGN STANDARDS

(EH): ESTATE HOUSE LOT

HEIGHT:

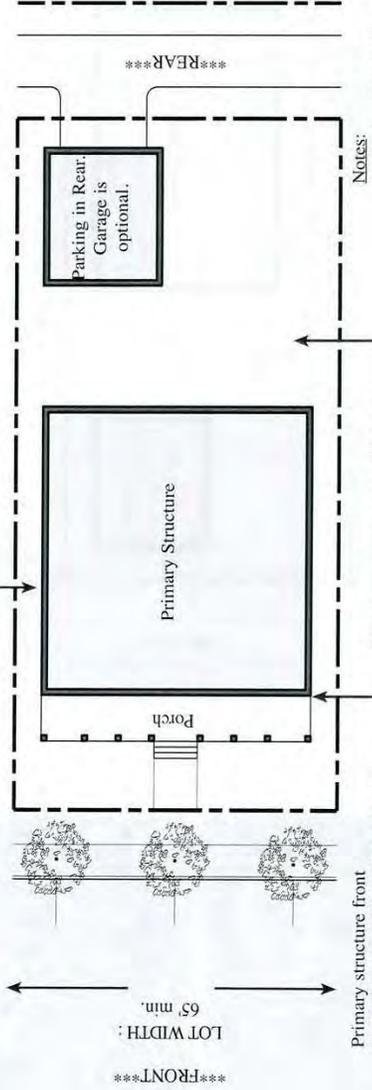
T4-O GENERAL/ OPEN
T4-R GENERAL/ RESTRICTED
T3 NEIGHBORHOOD EDGE ●
T2 OPEN SPACE



*A front PORCH or STOOP is required.

BUILDING PLACEMENT:

Primary structure side SETBACK shall be 7.5/7.5' or 5/10' (15' building separation shall be maintained). Side street setback shall be 10' min.



Front PORCH SETBACK:
Front: 5' min.
side: 5' min.
side street: 5' min.

Primary structure rear SETBACK shall be 5' min. (or 15' min. rear SETBACK if no alley is present)

Notes:

- Min. Square Footage: 2000 sf for Primary Structure
- Max. Impervious Area: 60% of lot
- Min. Building Separation: 15' to Primary Structure on adjacent lot

PRECEDENT & CHARACTER EXAMPLES:

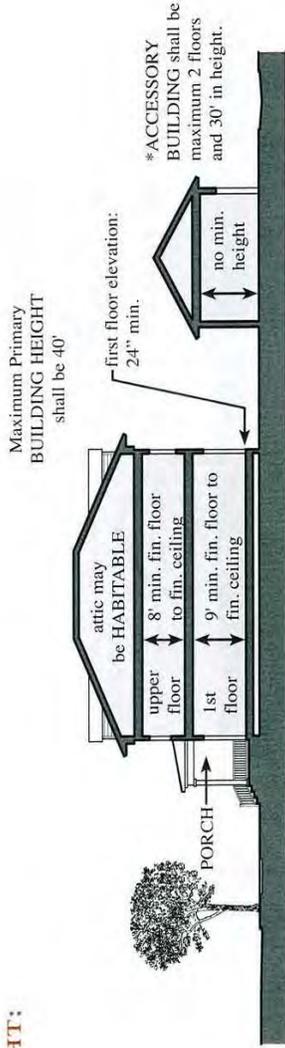


URBAN DESIGN STANDARDS

(LH): LARGE HOUSE LOT

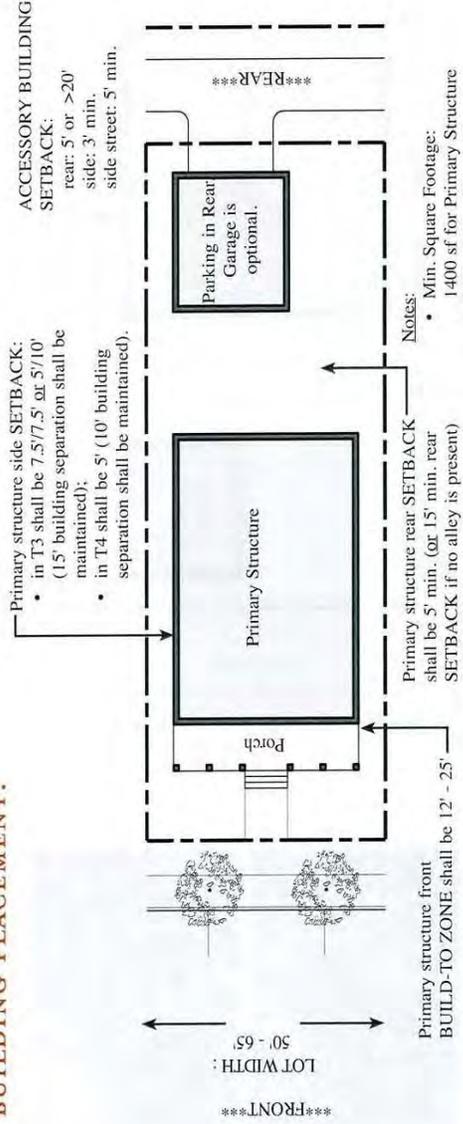
HEIGHT:

T4-O GENERAL/ OPEN	
T4-R GENERAL/ RESTRICTED	●
T3 NEIGHBORHOOD EDGE	●
T2 OPEN SPACE	



*A front PORCH or STOOP is required.

BUILDING PLACEMENT:



PRECEDENT & CHARACTER EXAMPLES:

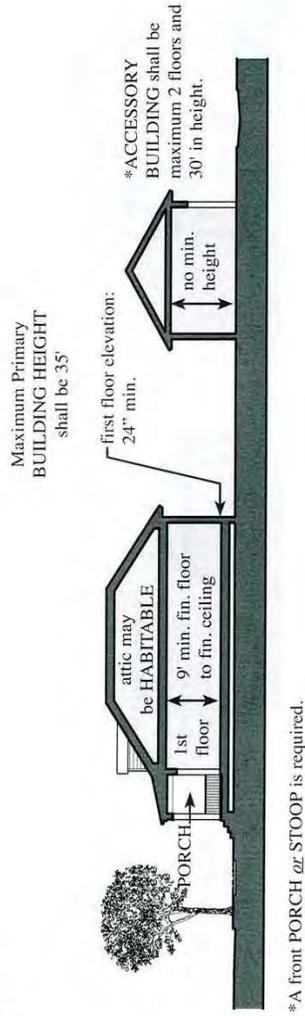


URBAN DESIGN STANDARDS

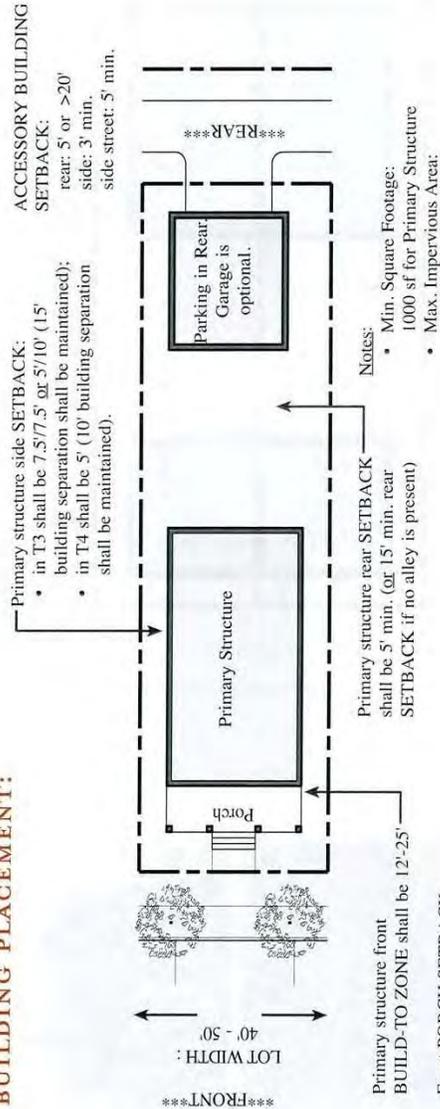
(H): HOUSE LOT

HEIGHT:

T4-O GENERAL/ OPEN	
T4-R GENERAL/ RESTRICTED	●
T3 NEIGHBORHOOD EDGE	●
T2 OPEN SPACE	



BUILDING PLACEMENT:



PRECEDENT EXAMPLES:

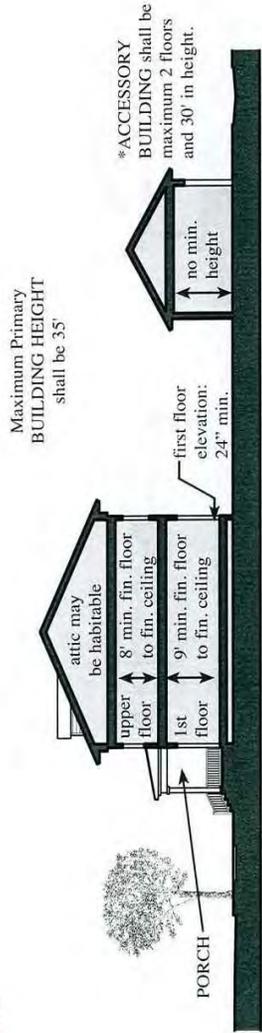


URBAN DESIGN STANDARDS

(MA-A): MANOR HOUSE LOT (ATTACHED)

HEIGHT:

T4-O GENERAL/ OPEN	
T4-R GENERAL/ RESTRICTED	●
T3 NEIGHBORHOOD EDGE	●
T2 OPEN SPACE	

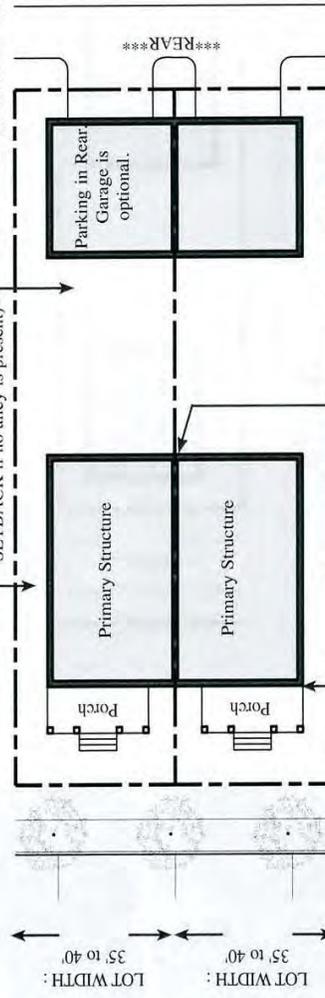


*A front PORCH or STOOP is required.

BUILDING PLACEMENT:

ACCESSORY BUILDING SETBACK:

rear: 5' or >20' side: 3' min. side street: 5' min.



Notes:

- Min. Square Footage: 1000 sq' for Primary Structure
- Max. Impervious Area: 80% of lot
- Min. Building Separation: 10' to Primary Structure on adjacent lot

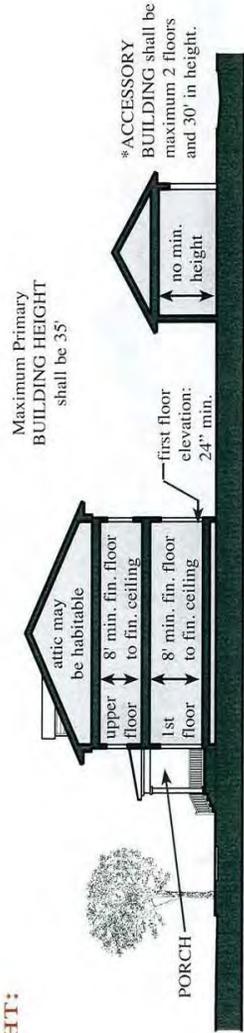
PRECEDENT & CHARACTER EXAMPLES:



URBAN DESIGN STANDARDS

(MA-D): MANOR HOUSE LOT (DETACHED)

HEIGHT:



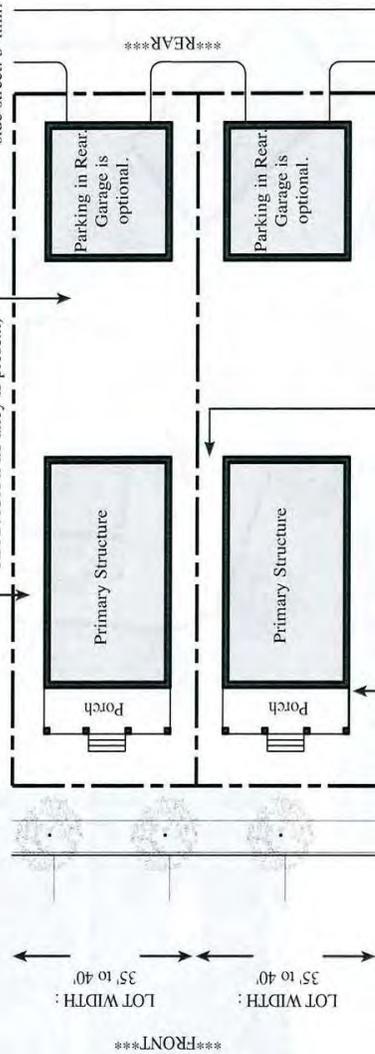
* A front PORCH or STOOP is required.

BUILDING PLACEMENT:

ACCESSORY BUILDING

SETBACK:
rear: 5' or >20'
side: 3' min.
side street: 5' min.

Primary structure side and rear SETBACK shall be 5' min. (or 15' min. rear SETBACK if no alley is present)



Notes:

- Min. Square Footage: 1000 sf for Primary Structure
- Max. Impervious Area: 80% of lot
- Min. Building Separation: 10' to Primary Structure on adjacent lot, unless adjacent Primary Structure requirement is greater (*which shall then prevail*)

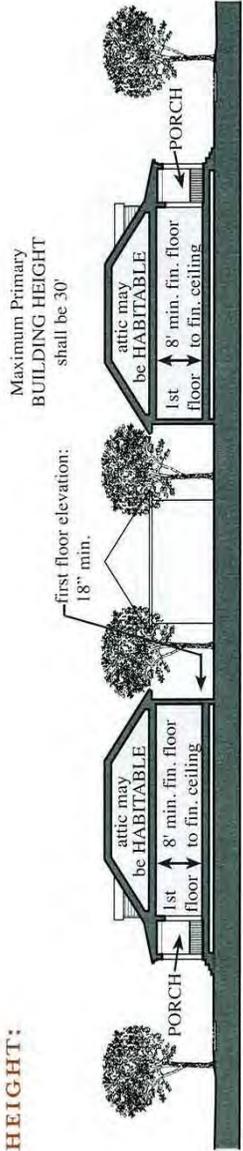
PRECEDENT & CHARACTER: EXAMPLES:



URBAN DESIGN STANDARDS

(CC): COTTAGE COMMON LOT

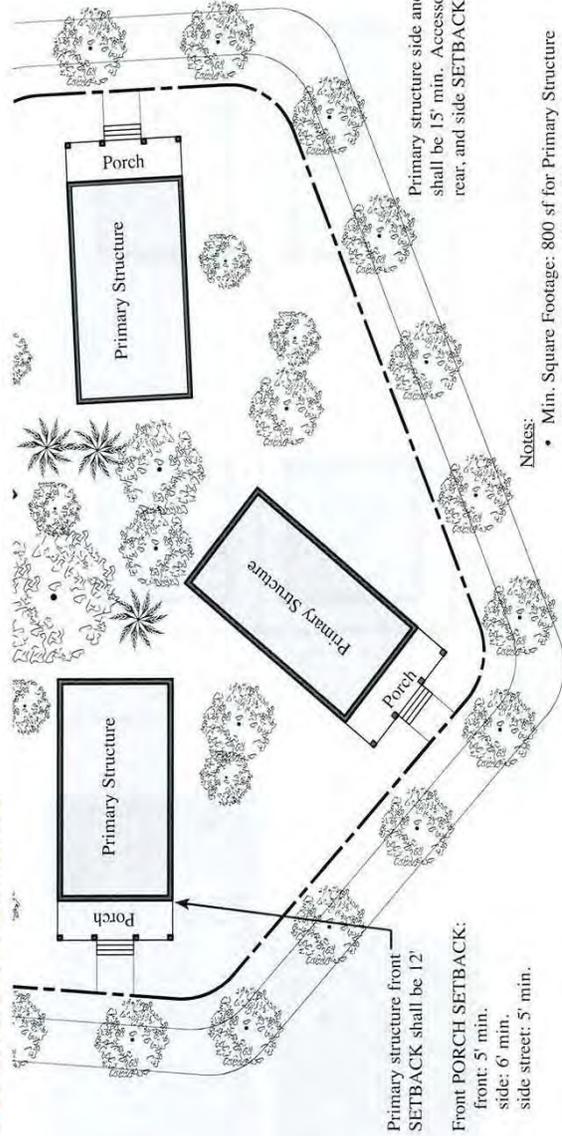
HEIGHT:



*A front PORCH or STOOP is required.

*The Cottage Common lot has been created to maximize the preservation of specimen trees and provide a parklike setting next to the West Orange Trail. Cottages will be sited in a manner that preserves tree canopy; ownership of each cottage will be condominium style.

BUILDING PLACEMENT:



Notes:

- Min. Square Footage: 800 sf for Primary Structure
- Max. Impervious Area: 50% of lot
- Min. Building Separation: 15' between Primary Structures
- Cottages are in a condominium-style ownership and therefore setbacks listed are to the perimeter of the parcel.

T4-O GENERAL/ OPEN
T4-R GENERAL/ RESTRICTED
T3 NEIGHBORHOOD EDGE
T2 OPEN SPACE

PRECEDENT EXAMPLES:

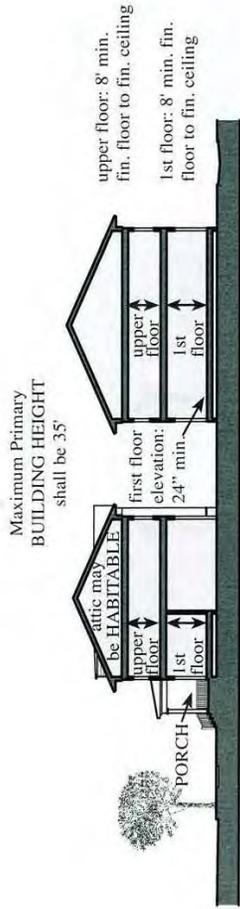


URBAN DESIGN STANDARDS

(TD): TANDEM HOUSE LOT

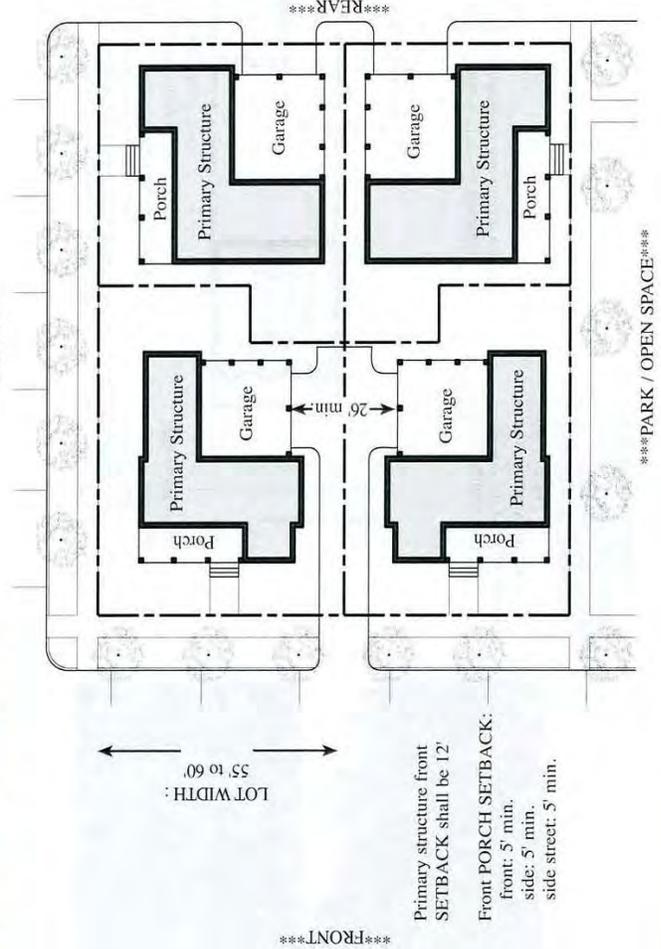
HEIGHT:

T4-O GENERAL/ OPEN	
T4-R GENERAL/ RESTRICTED	●
T3 NEIGHBORHOOD EDGE	●
T2 OPEN SPACE	



*A front PORCH or STOOP is required.

BUILDING PLACEMENT:



PRECEDENT EXAMPLES:



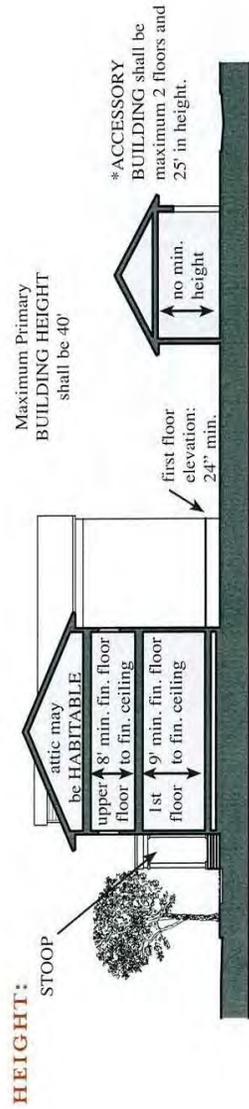
Primary structure side and rear SETBACK shall be 5' min.

Notes:

- Min. Square Footage: 800 sf for Primary Structure
- Max. Impervious Area: 80% of lot
- Min. Building Separation: 10' between Primary Structures

URBAN DESIGN STANDARDS

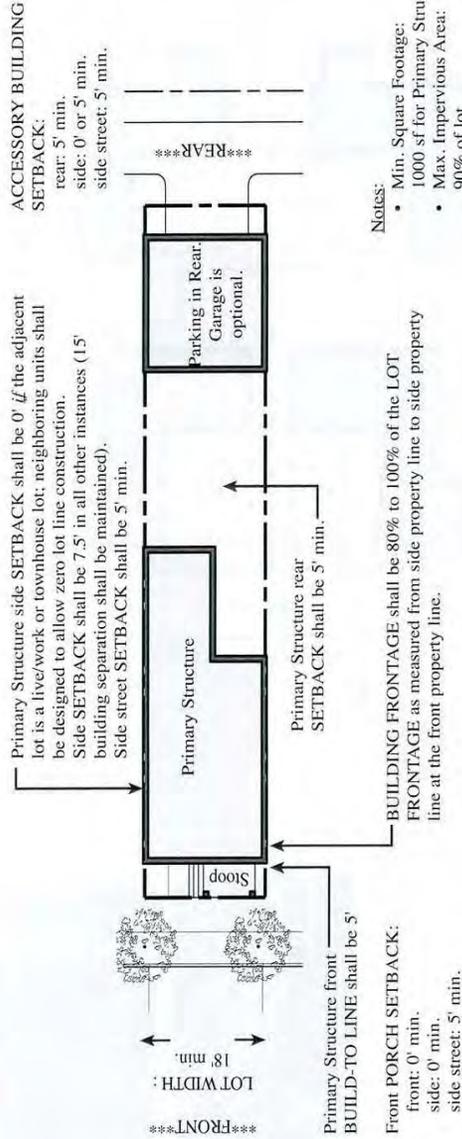
(TH): TOWNHOUSE LOT



* A front PORCH or STOOP is required.

T4-O GENERAL/ OPEN	●
T4-R GENERAL/ RESTRICTED	●
T3 NEIGHBORHOOD EDGE	
T2 OPEN SPACE	

BUILDING PLACEMENT:



Notes:

- Min. Square Footage: 1000 sf for Primary Structure
- Max. Impervious Area: 90% of lot
- Min. Building Separation: 15' to Primary Structure on adjacent lot (up to 6 attached townhouse units permitted before separation)

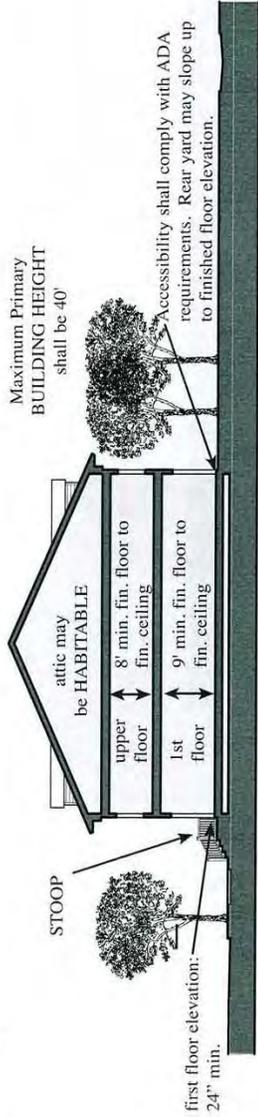
PRECEDENT & CHARACTER EXAMPLES:



URBAN DESIGN STANDARDS

(AH): APARTMENT HOUSE LOT

HEIGHT:



*A front PORCH or STOOP is required.

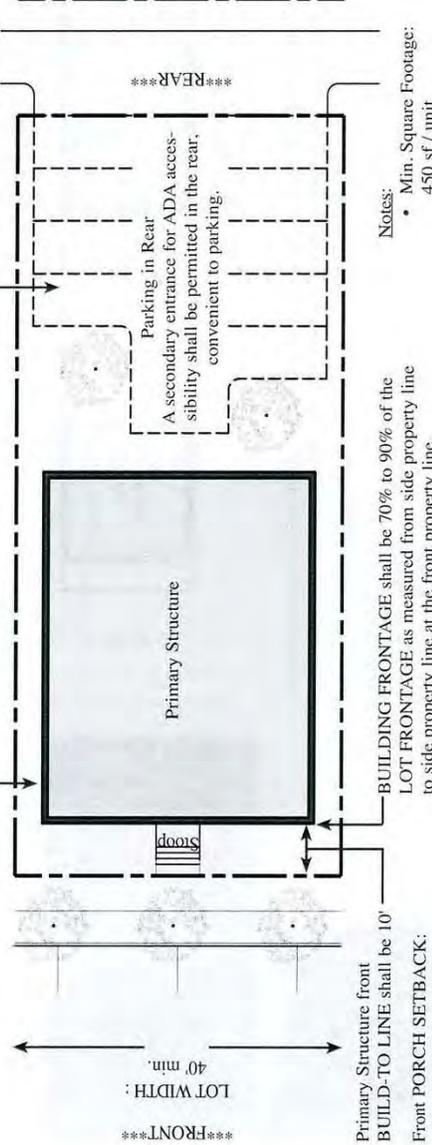
BUILDING PLACEMENT:

ACCESSORY BUILDING SETBACK:

Primary structure rear SETBACK shall be 10' min.

Primary structure side SETBACK shall be 7.5' (15' building separation shall be maintained). Side SETBACK along streets shall be 5' min., 15' max.

rear: 5' min.
side: 5' min.
side street: 5' min.

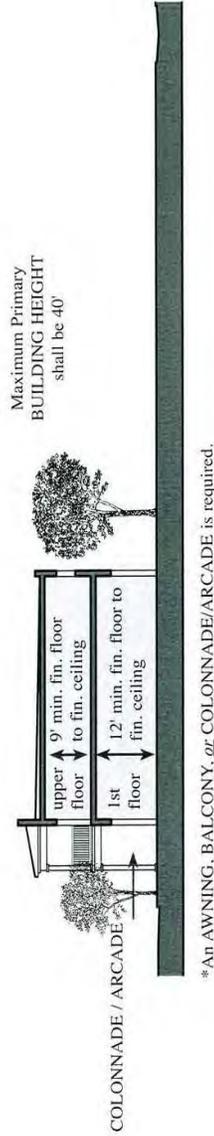


PRECEDENT EXAMPLES:



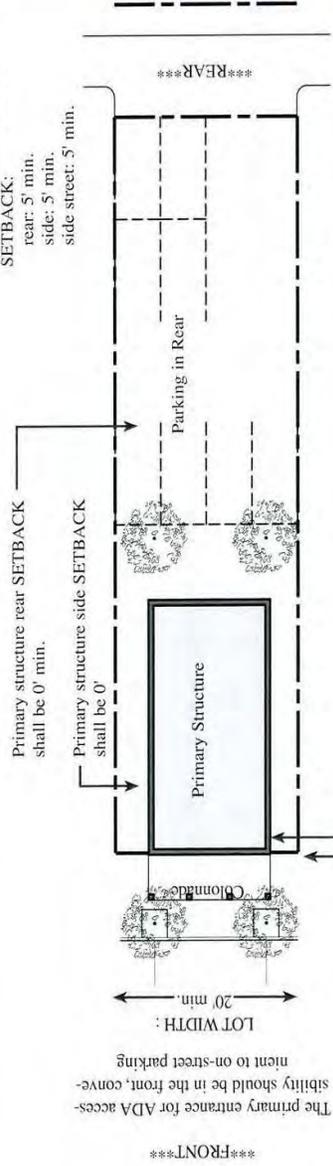
URBAN DESIGN STANDARDS

(RB): RETAIL BUILDING LOT HEIGHT:



T4-O GENERAL / OPEN	●
T4-R GENERAL / RESTRICTED	
T3 NEIGHBORHOOD EDGE	
T2 OPEN SPACE	

BUILDING PLACEMENT:



PRECEDENT & CHARACTER EXAMPLES:



- Notes:
- Min. Square Footage: N/A
 - Max. Impervious Area: 100% of lot
 - Min. Building Separation: 0'

URBAN DESIGN STANDARDS

DEFINITIONS

ACCESSORY BUILDING: A building or structure subordinate to the principal building or lot and used for purposes customarily incidental to the main or principal building and located on the same lot therewith.

APURTENANCES: Architectural features not used for human occupancy, consisting of spires, belfries, cupolas or dormers; parapet walls, and cornices without windows; chimneys, ventilators, skylights, and antennas.

ARCADE: A colonnade composed of a series of arches supported on piers or columns.

AWNING: An architectural projection roofed with flexible material supported entirely from an exterior wall of a building.

BALCONY: An open habitable portion of an upper floor extending beyond a building's exterior wall that is not supported from below by vertical columns or piers but is instead supported by either a cantilever or brackets.

BUILD-TO LINE: A build-to line identifies the precise horizontal distance from a street right-of-way that the building shall be built to, in order to create a uniform line of buildings along the street.

BUILD-TO-ZONE: A build-to zone is a range of allowable distances from a street right-of-way that the building shall be built to in order to create a moderately uniform line of buildings along the street.

BUILDING FRONTAGE: The side of a building which faces the frontage street.

BUILDING HEIGHT: The maximum building height shall be measured from the midpoint of a line connecting the front and rear property lines drawn diagonally from opposing corners, to the peak of the roof, exclusive of appurtenances.

CIVIC BUILDING: Structure used primarily for public education, cultural performances, gatherings and displays administered by non-profit cultural, educational, governmental, and religious organizations.

COLONNADE: A roofed structure, extending over the sidewalk, open to the street except for supporting columns or piers. Upper levels may contain habitable space.

CUPOLA: A dome-like structure surmounting a roof or dome, often used as a lookout or to admit light and air.

FRONTAGE LINE: The property line or lines of a lot which coincide with a right-of-way or other public open space.

FRONTAGE STREET: The public right-of-way which serves as primary access to a property.

URBAN DESIGN STANDARDS

DEFINITIONS

GRANNY FLAT: An accessory residential unit located above the garage. To be classified a granny flat the unit must have an entry that is discrete and separate from the primary house providing private access to the "granny flat", must be metered separately from the main house, and must have a full service kitchen.

HABITABLE SPACE: Building space whose use involves human presence. Habitable space excludes parking garages, self-service storage facilities, warehouses, and display windows separated from retail activity.

LOT FRONTAGE: The property line adjacent to the frontage street.

LOT WIDTH: The length of a property line along the frontage street.

MARQUEE: A permanently roofed architectural projection whose sides are vertical; marquees are intended for the display of signs, and are supported entirely from an exterior wall of a building.

PORCH: A roofed area, attached at the ground floor level or first floor level, and to the front of a building, open except for railings and support columns.

PRINCIPAL FAÇADE (For purposes of placing buildings along build-to lines or build-to zones): The front plane of a building not including stoops, porches, or other attached architectural features.

PRIMARY ENTRANCE: The entrance to a structure which is located along the frontage street.

SETBACK: Minimum distance between the building face and the lot boundary line.

STOOP: A small platform and / or entrance stairway at a house door, commonly covered by a secondary roof or awning.

STORY: A floor level within a building.

TRANSECT: A categorization system that organizes all elements of the urban environment on a scale from rural to urban. Any lot in the manmade environment belongs to a certain transect zone, which will describe the character and intensity of construction upon that lot.



SOUTHERN LIVING HOME IN HABERSHAM, SC.

ARCHITECTURAL PATTERNS

MASSING

The Oakland Park house is made up of human scaled forms combined to provide an ordered and proportioned composition. Historically, homes did not utilize the entire footprint of the lot to construct the home. Rather, the "main body," provided the root massing with added elements, such as subordinate wings and porches to make up the composition that is so pleasing to the eye. The following information is universal, although each style may have specific elements that may deviate from the general massing principles.

The main house and all accessory structures shall be of the same architectural style within any given lot. Mixing of styles within a lot is not permitted.

The Rear Yard shall be screened from an adjacent side street by the house, garage, hedge, or fencing. Sixty percent of the length of the property line shall be screened from view on Corner Lot and Public view conditions. The elevation of the house facing the side street zone shall have an undulating facade.

Smaller massed forms attached to the Main Body are referred to as "add on elements" (e.g. porches, connectors, or wings). The main body roof line should not run continuously over the add on elements. Each add-on form typically has an independent roof as appropriate to the style. The add on element roof pitch never exceeds the Main Body roof pitch.

GENERAL CONSIDERATIONS

1. The front Main Body of a house shall be the dominant form on the lot.
2. Over-scaled Main Bodies are not allowed. See Diagrams for details.
3. All massing components of the house shall be one or two story. Extended rooflines are not allowed. Style specific exception is the bungalow variation of the Craftsman style.
4. Wings and connectors protruding from main body shall step in from any corner a minimum of 1'-0".
5. Consider the "Golden Rectangle" (1.618: 1) in house forms, plan and elevation.

The following Architectural Pattern section is excerpted from the Oakland Park Design Code. Implementation of the Code is the responsibility of the Town Architect whose responsibilities are described in the recorded Declaration of Covenants, Conditions and Restrictions for Oakland Park. The Town Architect interprets the Design Code and from time to time may revise the Code. Oakland Park has established an Architectural Review Committee which reviews plans for all new construction within Oakland Park for consistency with the Code. The Founder recommends that the City require the application for a building permit to include the approval letter from the Architectural Review Committee.

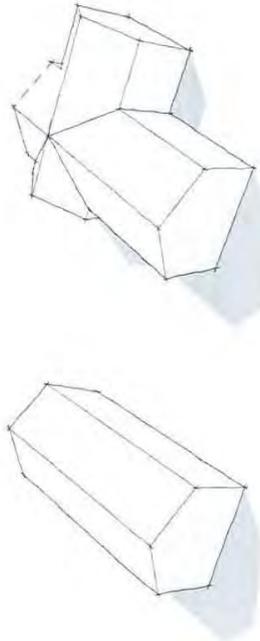
The architecture of Oakland Park est.1844 draws inspiration from historic homes in Oakland and Winter Garden. This involves original designs and a 360-degree approach to detail, not merely facing the home with historically appropriate trappings. Most homes will be sited fairly close to the street. Generous front porches will allow ample opportunity for interaction with neighbors and a feeling of emotional investment in, and connection to, the whole of this small town community. Homes are to be serviced by a rear alley or garage contributing to the aesthetic and pedestrian friendly nature of Oakland Park. Exceptional attention to detail and authenticity of design are an integral part of the vision to recreate in Oakland Park est. 1844 what the original settlement might be like now.

Architecture within Oakland Park should fit one of five patterns described in this section. The code includes information and detail on those major architectural elements that define each pattern. As designs are prepared for submittal to the Oakland Park Architectural Review Committee (ARC) it is important to note that variation is possible as long as it is related to and consistent with the respective pattern.

ARCHITECTURAL PATTERNS

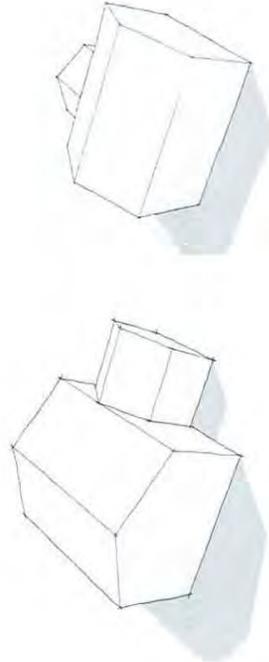
THE SINGLE BAY

The single bay is one room in width or between 14' and 18'. This can be introduced as the main body as well as subordinating wings.



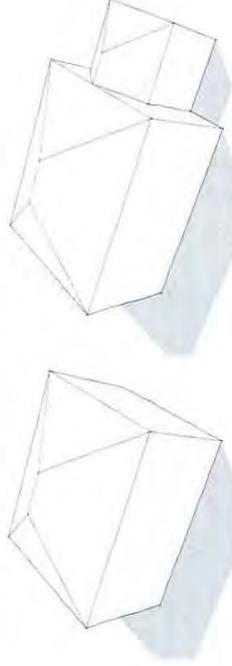
THE DOUBLE BAY

The Double bay is two rooms in width or between 24' and 28'. This can be introduced as the main body. Wings can be one or two stories and protrude from the sides and rear of the main body in a single bay form.



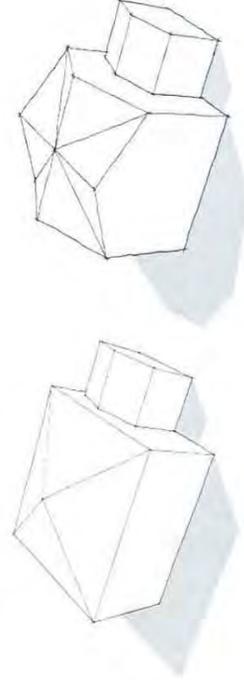
THE DOUBLE BAY (VARIATION)

The narrow dimension of the main body should not extend beyond 28' where a gable roof is desired. The maximum narrow dimension of the main body should not be more than 32'. In cases where the dimension is between 28' and 32', a hip roof is required. This can be introduced as the main body. Wings can be one or two stories and protrude from the sides and rear of the main body in a single bay form. Roof types should be consistent.



THE FOURSQUARE

The Main Body is two rooms in width and depth or between 24' and 32' square. This can be introduced as the main body. In most cases a hip roof is considered, accentuating the simple form. Certain styles are accomplished with a cross gable roof. Wings can be one or two stories and protrude from the sides and rear of the main body in a single bay form.



ARCHITECTURAL PATTERNS

WALLS

Architectural details and exterior finish materials shall be the same on all elevations of the Main Body of the house so that the Main Body provides a consistent palette of materials, finishes, colors.

Material and finish changes may occur on appendages, add-on elements, ancillary structures, dormer or gable end accent elements as consistent with the Architectural Style Guidelines and as listed in the Architectural Matrix.

Chimneys and fireplace flue enclosures shall be constructed of non-combustible materials. Siding shall not be used as an exterior finish for these elements.

Exterior materials shall consist of a balance of siding, board and batten, brick, and stucco. Where no one material, other than siding, is predominant on the street. (See Street Pattern Code for more information)

MATERIALS SPECIFIC TO THE HOUSE:

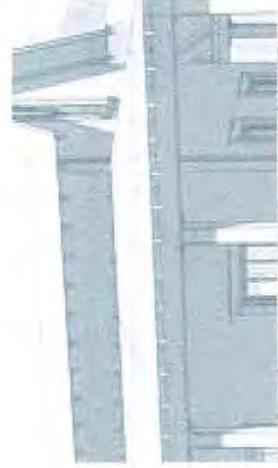
1. Any one material shall be consistent on all 4 sides of the massing. Connectors and minor wings can have an alternate material.
2. All trim elements shall be proud of any siding or stucco and be painted the trim color on all edges.
3. Any masonry over 4" in height shall have a stucco finish.
4. Some Architectural Styles have specific siding requirements. Please consult Town Architect for further details.

EAVES

Eave conditions vary per Architectural Style. Two of the common eave types are a 'Closed Soffit' and 'Open Soffit' or 'Open Rafter Tail'. True Florida Vernacular, Folk Victorian, and Craftsman Styles are 'Open Rafter Tail', while the remaining styles can achieve either condition.



Closed Soffit: Material to be paintable trim for fascia, soffit, and frieze. Overhang depth is style specific varying from 1'-0" to 2'-8".



Open Soffit: Material is considered finished framing and should be constructed in a manner projecting craftsmanship in the home. Rafters may have a scroll cut tail in the Folk Victorian Style. Tails may be terminated by a fascia or left completely exposed. Overhangs are a minimum of 2'-0".

ARCHITECTURAL PATTERNS

PORCHES

All covered porches shall be a minimum of 8 feet in depth. Ten feet is encouraged. The additional 2'-0" provides for furniture to be in a room setting.

The porch shall extend a minimum of 40% of the length of the main body.

Screen framing members and compositions, if visible from the street, shall be comparable to traditional wood framing (for example, 1x2, 2x2, etc.)

The screening shall be located and installed in a manner that does not obscure the architectural elements that define the style of the principle structure.

Enclosed porches are allowed given the surface area of the front facade is 70% window within the column bay with the window casing being adjacent to the column. Enclosure shall be located and installed in a manner that does not obscure the architectural elements that define the style of the principle structure.

All porch enclosure material shall be trim color

porch beam: The width of the porch beam shall be equal to the column at the column neck, exclusive of the capital.

Pilasters or half columns, when used, shall be the width of porch beam and column neck. Pilasters shall be used when the porch is appended to the main body of the house. When the porch roof is integral with the main body roof, pilasters are optional.

HEIGHT

With the exception of the Spanish Colonial style and the Cottage Common Lot, the first floor finished floor elevation shall be a minimum of 24 inches above the adjacent finished grade. Adjacent finished grade shall be measured at the midpoint of the front façade.

WINDOWS

All windows are to punctuate the wall plane of the home. Double hung windows and casement windows sitting within a frame are preferred options as they provide the necessary relief. If the glazing of a window does not punctuate the wall plane one inch or greater then the window must be inset. All windows both first and second floor shall have the same inset.

Double hung or single hung windows are to be equal sash with a vertical proportion of 2:1

Specialty windows are discouraged. When necessary 2'-0" wide by 2'-4" tall "cube" windows can be accepted when in an appropriate composition.

All windows are to have casing at a minimum of a nominal 4" wide.

Muntins shall be 5/8" to 7/8" wide and shall project out from the glass. Muntins shall give the appearance of true divided lites.

Clear glass shall be used in all the windows and doors. Stained glass is an allowable material in special windows. Colored, applied tinted, or reflective glass is not permitted. Clear low-emissivity glass is encouraged.

Painting the inside face of the glass is not acceptable.

WINDOW RHYTHM

The composition of windows is a critical part of the homes integrity. Windows shall be oriented in a pattern along a facade. Windows shall be aligned vertically when located in two story facades. Windows are encouraged to be positioned at least one window width away from any corner.



ARCHITECTURAL PATTERNS

SHUTTERS

Shutter height shall be equal to the window sash height. Each flanking shutter shall be one-half the width of the window so that the shutters can completely cover the window if in a closed position.

Shutters shall be of materials and hardware to be operable or appear to be operable.

Louvered shutters should be installed so as to shed water away from the house when shutters are in a "closed" position

Hinges and a shutter dog shall be provided on each shutter.

DORMERS

Dormer windows, are used only for habitable interior space or future habitable interior space, must have appropriate window treatment including, but not limited to, blinds or curtains on the inside of the window. Painting the inside of the glass is not acceptable.

Doghouse or single window dormers shall be no wider than the window plus required casing. Refer to the Architectural Style Matrix.

DOORS

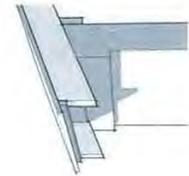
Doors should fit into the same guidelines and rhythm as windows. Entry doors should express importance through added casing detail and or color. Entry doors can include sidelights and all doors are to be 6'-8" tall and have transoms. Door slabs shall remain traditional. All glazing in doors, transoms, or sidelights to be clear. (Double doors are not allowed as entry doors)

ROOFING

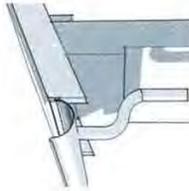
Asphalt dimensional shingles and metal are the predominant roofing material for most Architectural Styles with the exception of Spanish Colonial which is clay/concrete barrel tile. In all other styles, porch roofs are encouraged to be metal.

EAVE CONDITIONS WITH GUTTER OPTIONS

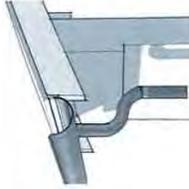
OPEN EAVES



without gutter
open rafter tails with mill finish drip edge and 1x2 trim

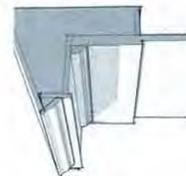


standard
half round 6" to 7" gutter
anodized aluminum
coordinate color with trim
round downspout

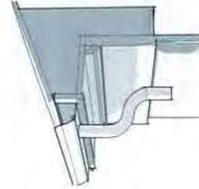


better
half round 6" to 7" gutter mill finish
galvanized or copper
round downspout

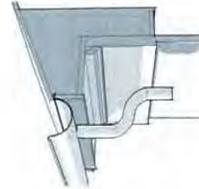
CLOSED EAVES



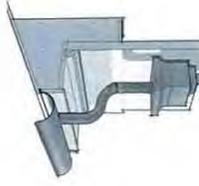
without gutter
vertical fascia with crown and mill finish drip edge



standard
K style 5" to 6" gutter
anodized aluminum
coordinate color with trim
round downspout



better
half round 6" to 7" gutter anodized aluminum
coordinate color with trim
round downspout



best
half round 6" to 7" gutter mill finish
galvanized or copper
round downspout
leader head

ARCHITECTURAL PATTERNS

GARAGES

Street-facing doors are permitted only on those lots requiring front access.

Street-facing garage doors shall be no wider than 16'-0" and shall be of a design that appears to replicate double doors.

Street-facing garages shall be located behind the Main Body of the house as appropriate to the architectural style and scale of the house. In no case shall the garage be more than 20'-0" from the rear property line. Waterfront lots with a carriage house located at the front are to have side facing garage doors.

On alleys, two car garages are permitted with a single garage door.

All garage doors shall be a minimum 7'-0" in height.

PARKING

The required parking may be met by use of a garage, driveway or on-street parking as defined in the PUD Development Standards, page 58.

OUTBUILDINGS

Outbuildings shall not exceed one story and shall be similar in architectural style to the primary structure. For purposes of this code requirement, detached garages are not considered outbuildings.

STREET PATTERN CODE

Two of the objectives for Planned Unit Developments in the City of Winter Garden code are particularly important objectives for Oakland Park in providing a mixture of housing types in a viable complex environment.

"Creation of a variety of housing types and compatible neighborhood arrangements that gives the homebuyer greater choice in selecting types of environment and living units," and

"Allowance of sufficient freedom for the developer to take a creative approach to the use of land and related physical development, as well as utilizing innovative techniques to enhance the visual character of the city."

Smaller lots have historically been viewed as an attempt to only increase density. However, they can be an important component to provide diversity of housing product. Housing of various price ranges is a known healthy condition in viable neighborhoods. This cannot be readily achieved with monotonous rows of similar sized lots and homes whether large or small. In order to

successfully carry this off attention must be paid to not only the architecture of the homes but the street patterns that are implemented within the community. In an effort to create a harmonious neighborhood without becoming sterile or monotonous, the following guidelines for street patterning are incorporated in the Oakland Park Design Code.

To avoid repetition the Design Code identifies five key components of a house including:

- Massing
- Style
- Materials
- Porch
- Color

PARAMETERS FOR PLAN DIVERSITY

Massing and Style are articulated in detail in the Design Codes. Materials, porch requirements and color are also contained within the Design Code. What is required in street patterning is diversity in the exterior appearance of housing product. Identical floor plans may occur at a minimum of 2 lot separations given 3 of the 4 components, massing, style, materials and porch are significantly altered. Similar colors cannot occur side by side.

Significant material changes include a change from horizontal lap siding to brick to stucco, where no single material on the street is dominant.

Significant porch changes include a change in design from a full façade front porch to a wrapping porch, second floor porch or portico.

PARAMETERS FOR ARCHITECTURAL PLAN DIVERSITY

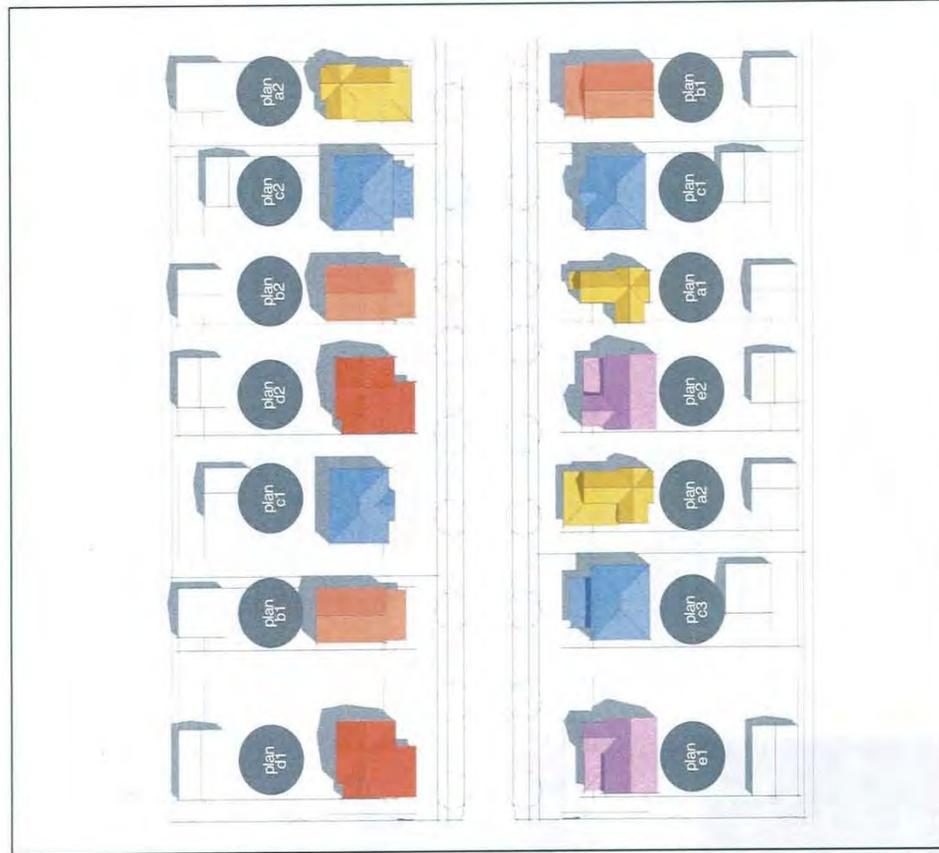
Winter Garden has a predominant mix of Colonial Revival, Craftsman, and Florida Vernacular. Secondary is Folk Victorian with a small percentage of Spanish Colonial. Oakland Park's street patterns wish to respect this historic blend of Architecture with the following:

Colonial Revival, Craftsman, and Florida Vernacular may be mixed into the block without restrictions on lot separation given that Plan Diversity parameters are met.

Folk Victorian shall be separated by a minimum of 3 lots on either side of the same street.

Spanish Colonial shall be separated by a minimum of 10 lots on either side of the same street.

ARCHITECTURAL PATTERNS



STREET PATTERN CODE EXAMPLE

Plan types with varying key components:

- Plan a1: Colonial Revival, horizontal siding, portico entry
- Plan a2: Folk Victorian, board & batten, front porch
- Plan a3: Florida Vernacular, horizontal siding, wrapping porch
- Plan b1: Craftsman, horizontal siding, front porch
- Plan b2: Florida Vernacular, horizontal siding, two story front porch
- Plan c1: Colonial Revival, horizontal siding, pediment front - no porch
- Plan c2: Florida Vernacular, horizontal siding, 3 bay front porch
- Plan c3: Spanish Colonial, stucco, front loggia
- Plan d1: Craftsman, horizontal siding, wrapping porch
- Plan d2: Folk Victorian, board & batten, wrapping porch
- Plan e1: Fl. Vern. (asymmetrical massing), horizontal siding, 3 bay front porch
- Plan e2: Folk Vict. (asymmetrical massing), horizontal siding, 3 bay front porch

ARCHITECTURAL PATTERNS

The following description of permissible Architectural styles are excerpted from the Oakland Park Pattern Book, *Patterns of the Past: A Foundation for the Future*.

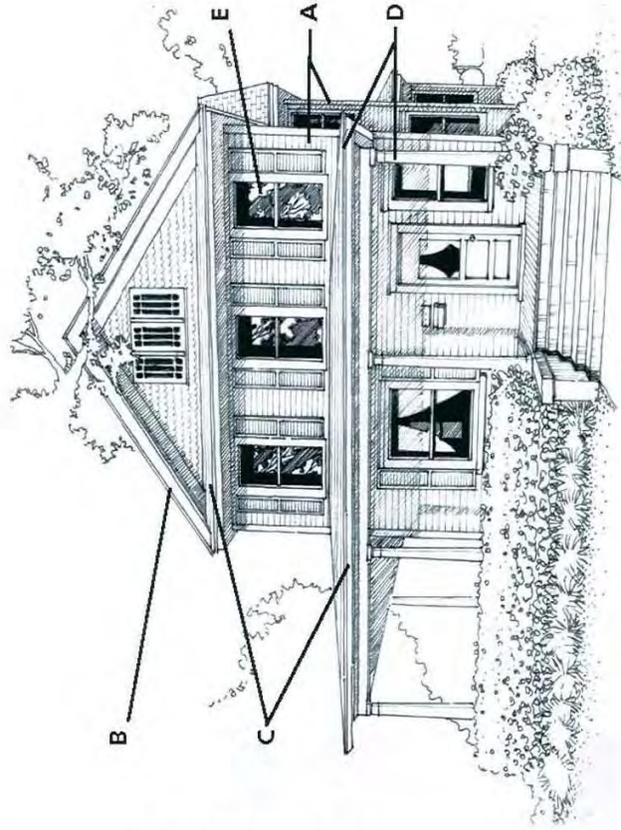
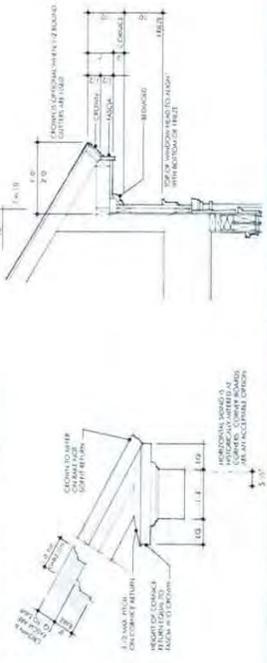
COLONIAL REVIVAL

FUNDAMENTALS

During the earliest part of the 20th Century, much like today, there was a resurgence of the values and traditions of Colonial architecture. Colonial Revival is one of the most predominant styles in the area. The strong presence of the Colonial Revival home is defined by the homes main body symmetrical facade, a well detailed entry portico or full facade porch, and side wings that buttress the main body of the home. The typical condition for an Oakland Park Colonial Revival will be a street facing gable end no more than 28 feet wide with a front porch extending across the front facade. Other less common versions will be a side gable main body no more than 42 feet wide with an entry portico or full facade front porch that may be one or two story in height, or an asymmetrical form where a porch terminates into a street facing gable end protruding from the main body.

- A. Simple rectangular volumes are combined to create a main body and side wings
- B. Roofs are simple gables and hips with pitches ranging from 2:12 for porches to 6:12 through 10:12 pitch for main body and wings.
- C. The eave or cornice is finished with elements such as a frieze, bedmold at the intersection of the frieze and soffit, and fascia with crown molding.
- D. Porches and entries are detailed to the same level or at a higher level than the main body. Porch foundations, columns, railings, eaves, and ceiling treatment are all elements that define the style.
- E. Windows are double hung and are vertical in proportion. Typical windows have muntin patterns of 6 over 1. Other options include 3 and 4 over 1.

TYPICAL CORNICE RETURN



Please refer to Oakland Park pattern book for additional details and exceptions to general architectural patterns.



ARCHITECTURAL PATTERNS

CRAFTSMAN FUNDAMENTALS

The Craftsman style's finish framing, unique massing, and colorful palette provide our community with diversity and character. The typical condition for an Oakland Park Craftsman home will be a foursquare home where the main body width and depth are no more than 32 feet. The square volume of the main body may be capped with a simple hip roof, gable, or a four sided gable. A front porch extends across the front façade. Other versions will be a bungalow with a full façade front porch that is incorporated with the main body roof. All of these forms are defined by the following details that are specific to Craftsman style.

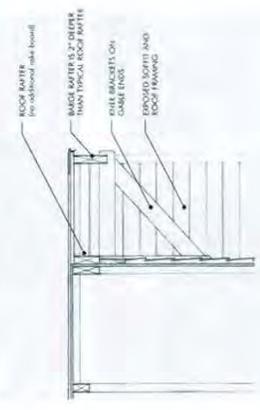


- A. Simple square and rectangular volumes are combined to create a main body and side wings.
- B. Roofs are simple gables and hips with pitches ranging from 2:12 for porches to 6:12 through 9:12 pitch for main body and wings.
- C. The eave is simply detailed. Most have no fascia with plumb or square cut rafter tails. Other eaves will still have exposed rafters with a simple plumb or square fascia.
- D. Porches and entries are detailed to the same level as the main body. Porch foundations, square columns, tapered columns with tall column bases, unique railings, eaves, and ceiling treatment are all elements that define the style.
- E. Windows are double hung and are vertical in proportion. Typical windows have muntin patterns of 3 over 1. Other options include 2 over 1, and 1 over 1 (No muntins).

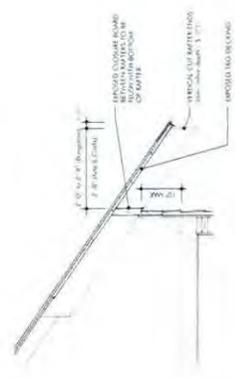
Please refer to Oakland Park pattern book for additional details and exceptions to general architectural patterns



GABLE END DETAIL



TYPICAL EAVE CONDITION

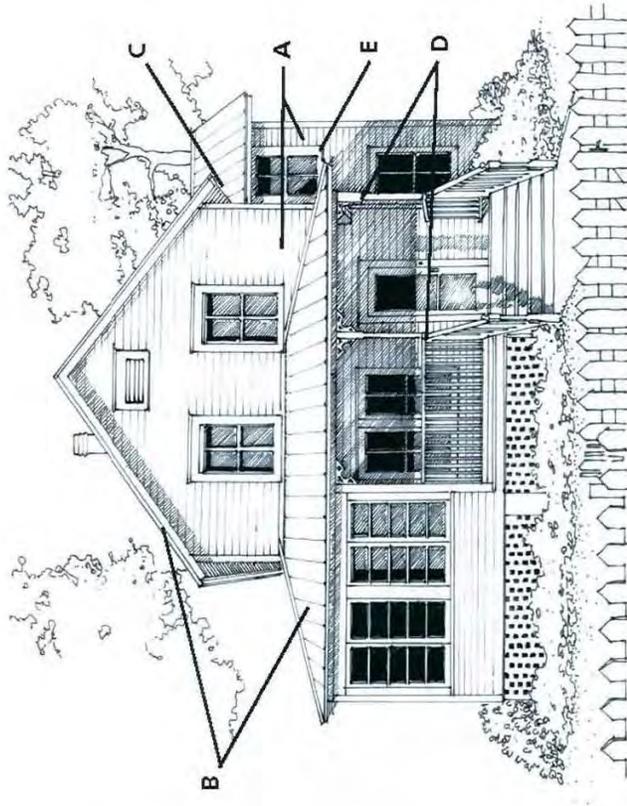


ARCHITECTURAL PATTERNS

FLORIDA VERNACULAR FUNDAMENTALS

The Florida Vernacular style is an adaptation of the national style known for its practical details and construction. This style is the best suited for our warm sub-tropic climate with its broad overhangs and deep porches allowing for shade and accepting of slight breezes. The typical condition for an Oakland Park Florida Vernacular will be a street facing gable end no more than 28 feet wide with a front porch extending across the front facade. Other less common versions will be a side gable main body no more than 38 feet wide with a full facade front porch that may be one or two story in height, or an asymmetrical form where a porch terminates into a street facing gable end protruding from the main body. All of these main body forms are defined by the following details that are specific to Florida Vernacular.

- A. Simple rectangular volumes are combined to create a main body and side wings.
- B. Roofs are simple gables and hips with pitches ranging from 2:12 for porches to 6:12 through 10:12 pitch for main body and wings.
- C. The eave is simply detailed. Most have no fascia with plumb or square cut rafter tails. Other eaves will still have exposed rafters with a simple plumb or square fascia.
- D. Porches and entries are detailed to the same level as the main body. Porch foundations, square columns, simple railings, eaves, and ceiling treatment are all elements that define the style.
- E. Windows are double hung and are vertical in proportion. Typical windows have muntin patterns of 3 over 1. Other options include 2 over 1, and 1 over 1 (no muntins).



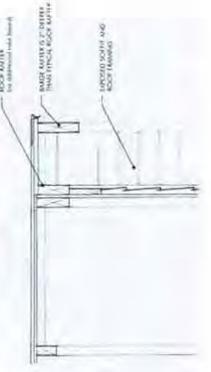
Please refer to Oakland Park pattern book for additional details and exceptions to general architectural patterns.



TYPICAL EAVE CONDITION



GABLE END DETAIL

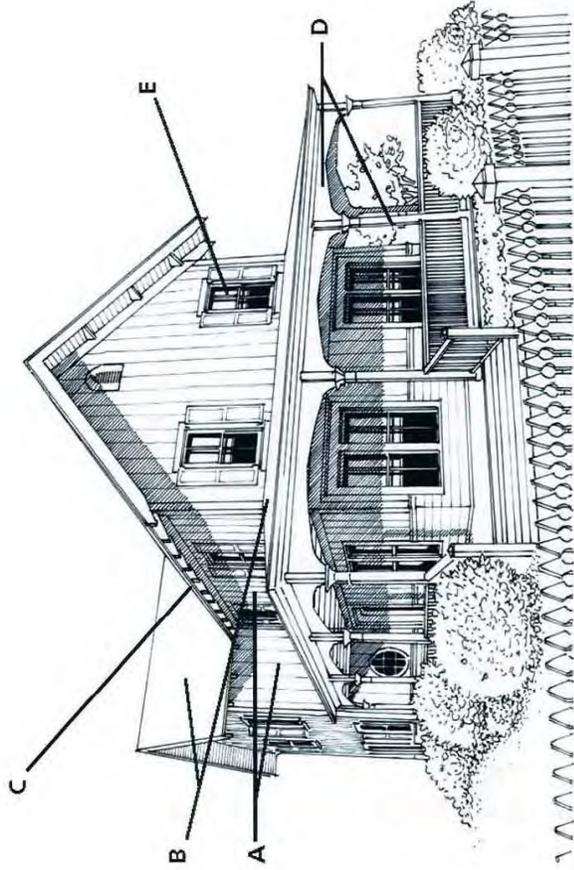


ARCHITECTURAL PATTERNS

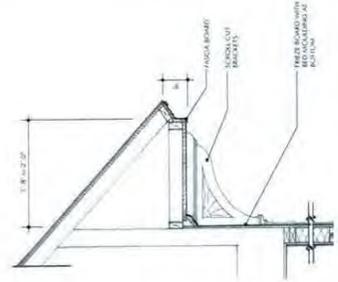
FOLK VICTORIAN FUNDAMENTALS

In Central Florida the Folk Victorian style is a refinement of the Florida Vernacular style. This style utilizes the same massing and forms as Florida Vernacular with additional detail and ornamentation. The typical condition for an Oakland Park Folk Victorian will be a street facing gable end no more than 28 feet wide with a front porch extending across the front façade. Other common version will be a side gable main body no more than 28 feet wide with a full facade front porch that may be one or two story in height, or an asymmetrical form where a porch terminates into a street facing gable end more than 18 feet wide protruding from the main body. All of these main body forms are defined by the following details that are specific to Folk Victorian.

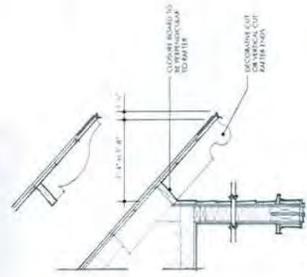
- A. Simple rectangular volumes are combined to create a main body and side wings.
- B. Roofs are simple gables and hips with pitches ranging from 2:12 for porches to 8:12 through 14:12 pitch for main body and wings.
- C. The eaves are either simply detailed with no fascia with plumb or square cut rafter tails or have a closed soffit with a frieze and modillions or brackets.
- D. Porches and entries are detailed to the same level as the main body. Porch foundations, square or turned columns, simple or ornate railings, eaves, and ceiling treatment are all elements that define the style.
- E. Windows are double hung and are vertical in proportion. Typical windows have muntin patterns of 3 over 1. Other options include 2 over 1, and 1 over 1 (no muntins).



Please refer to Oakland Park pattern book for additional details and exceptions to general architectural patterns.



TYPICAL CORNICE BRACKET



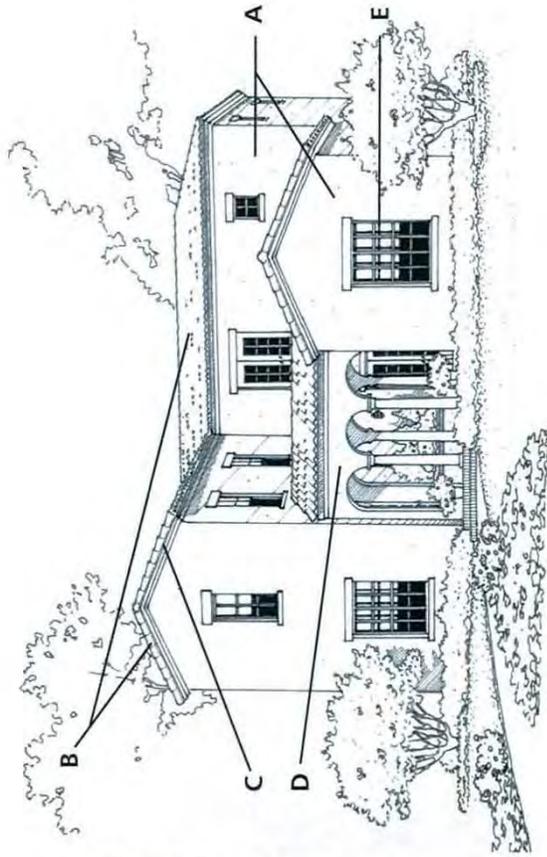
TYPICAL RAFTER CONDITION

ARCHITECTURAL PATTERNS

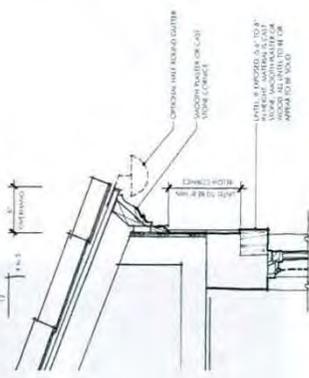
SPANISH COLONIAL FUNDAMENTALS

As the popularity of the Colonial Revival style increased during the early part of the century, the Spanish Colonial style became an attractive alternative in southeast Florida. Central Florida has many examples of this robust style ranging from small bungalows to lakefront estates. In some cases, the buildings would utilize elements from Mission and more formal European (Mediterranean) styles establishing architecture unique to our area.

- A. Simple symmetrical rectangular volumes and asymmetrical vertical volumes are typical of the Spanish Colonial style. Spanish Colonial homes either have a large mass for a main body with loggias integral with the mass or have narrow volumes forming an asymmetrical composition.
- B. Roofs are low pitch (4:12 to 5:12), clay barrel tile in natural tones of red, orange, and brown. Gables, when used, do not span more than 16'-0" in width. Wider volumes utilize hip roofs.
- C. Very little or no eaves are utilized and the gable end consists only of one barrel tile on edge. Exceptions are open rafter tails with 1'-4" to 2'-0" overhang.
- D. Porches or Loggias can be incorporated with an entry or almost anywhere a view may be taken of an outside place of interest. Loggias are additive elements as well as being integral with the home. Most examples utilize classical columns (Doric, Corinthian) with full arches.
- E. Windows are a crucial element in these homes. A minimum 3" recess from face of stucco to window frame is required to show the mass of this minimally detailed facade. Casement windows are used in the Spanish Colonial style home.



Please refer to Oakland Park pattern book for additional details and exceptions to general architectural patterns.



Architectural Style Matrix

	Colonial Revival	Craftsman	Fl. Vernacular	Folk Victorian	Spanish Colonial	Notes
Massing						
Ceiling Height						
Elevation above grade	24"	24"	24"	24"	12"	
1st Floor Ceiling Height	9'-0" - 10'-0"	9'-0" - 10'-0"	9'-0" - 10'-0"	9'-0" - 10'-0"	9'-0" - 10'-0"	8'-0" for Cottage Common, Detached Manor, & Tandem lots
2nd Floor Ceiling Height	8'-0" - 9'-0"	8'-0" - 9'-0"	8'-0" - 9'-0"	8'-0" - 9'-0"	8'-0" - 9'-0"	
Main Body St. facing gable	●	●	●	●	●	
Main Body Side facing gable	●	●	●	●	●	
Roof type						
Hip	●	●	●	●	●	
Gable	●	●	●	●	●	30'-0" Maximum span
Roof						
Pitch - Main						
2:12 - 4:12						
4:12 - 6:12						
6:12 - 8:12	●	●	●	●	●	
8:12 - 10:12	●	●	●	●	●	
10:12 - 14:12						
Pitch - Porch						
Flat	●	●	●	●	●	
2:12 - 4:12	●	●	●	●	●	
Material						
Metal - 5v	●	●	●	●	●	All front porch roof material to be metal
Metal - standing seam	●	●	●	●	●	
Dimensional shingle	●	●	●	●	●	
Clay					●	
Eave						
Closed Box Horizontal Soffit	●	●	●	●	●	
Closed Box Sloped Soffit			● see note			Permitted for Fl. Vernacular w/ horizontal siding or 5v mtl. roof
Open Rafter Tail - No Fascia	●	●	●	●	●	
Open Rafter Tail - Fascia	●	●	●	●	●	
Overhang						
	10" - 2'-0"	2'-0" - 3'-0"	2'-0" - 3'-0"	2'-0" - 3'-0"	8" - 3'-0"	No overhang with crown is acceptable for Spanish Colonial

Architectural Style Matrix		Colonial Revival	Craftsman	Fl. Vernacular	Folk Victorian	Spanish Colonial	Notes
Dormers	Gable	●	●	●	●		Dormers are approved only in habitable space
	Shed		●	●	●		
	Doghouse (single window)	●					
Wall Surface Main Body	Board & Batten			●			
	Brick	●					
	Horizontal Siding	●	●	●	●		
	Shingle	●	●	●			
	Stucco	●				●	Stucco may be allowed on 1st floor only in Fl. Vernacular
Appendages	Board & Batten	●	●	●			
	Brick	●					
	Horizontal Siding	●	●	●	●		
	Shingle	●	●	●			
	Stucco	●				●	
Porch Columns	Square			●	●		columns may be chamfered
	Doric Square	●					
	Doric Round	●				●	
	Ionic, Corinthian Round	●				●	
	Tapered		●				
Balusters	Square	●		●			Max 3" apart
	Turned				●		Max 3" apart
	Solid Wall		●				
	Wrought Iron					●	
Base	Stucco					●	
	Stucco w/ Full Brick Edge	●	●	●	●		
	Wood Frame on Piers	●	●	●	●		
	Full Brick Stemwall	●					

Architectural Style Matrix

	Colonial Revival	Craftsman	Fl. Vernacular	Folk Victorian	Spanish Colonial	Notes
Floor Surface						
Concrete (stained, shell, salt)	●	●	●	●	●	Acrylic not allowed
Brick	●	●	●	●	●	Salttilo tile for Spanish Colonial
Wood	●	●	●	●	●	
Windows						
Type						Note: 1 over 1 is permitted with horizontal siding or 5v mtl. roof
DH or SH (2 over 1)	●	●	●	●	●	
DH or SH (2 over 2)	●	●	●	●	●	
DH or SH (3 over 1)	●	●	●	●	●	
DH or SH (6 over 1)	●	●	●	●	●	
Casement (3 Light)	●	●	●	●	●	
Casement (6 Light)	●	●	●	●	●	
Shutters						
Louvered	●	●	●	●	●	
Paneled	●	●	●	●	●	
Board	●	●	●	●	●	
Doors						
Entry						
2 Panel with Transom	●	●	●	●	●	Full Light French and Double Doors are not allowed as Entry
4 Panel with Transom	●	●	●	●	●	Upper panels may be glazing
6 Panel with Transom	●	●	●	●	●	
2 Panel with Transom w/ sl.	●	●	●	●	●	
4 Panel with Transom w/ sl.	●	●	●	●	●	
6 Panel with Transom w/ sl.	●	●	●	●	●	
Personnel						
French with Transom	●	●	●	●	●	
3/4 light with Transom	●	●	●	●	●	
1/2 light with Transom	●	●	●	●	●	
2 Panel	●	●	●	●	●	
4 Panel	●	●	●	●	●	
6 Panel	●	●	●	●	●	
Garage						
Carriage dr 16' x 7', 16' x 8'	●	●	●	●	●	
Carriage dr 9' x 7', 9' x 8'	●	●	●	●	●	
● Primary Selection						
● Secondary and alternative selection						

DEVELOPMENT NOTES

Project Description: This community is a traditional neighborhood design, including a mixture of residential unit types, a neighborhood center, a regional trail and many civic spaces. The design includes TND development standards in the Planned Unit Development, including reduced building setbacks, porches, rear garages and alleyways, community open space and a focus on walkability. Oakland Park is connected by multiple streets and pathways to the surrounding neighborhoods in Winter Garden and Oakland.

SITE DATA

	Wetlands and Waterbodies (acres)	Net Developable (acres)	Gross Acreage
City of Winter Garden	23.6	166.3	189.9

FUTURE LAND USE AND ZONING

	Future Land Use	Current Zoning	Proposed Zoning
City of Winter Garden	SUB, LR	PUD	PUD

DEVELOPMENT SUMMARY

Proposed - City of Winter Garden			
Land Use		Acres	Dwelling Units
Special Districts		8.6	
T4-O (Neighborhood General-Open)		2.2	610
T4-R (Neighborhood General-Restricted)		27.1	
T3 (Neighborhood Edge)		64.3	
T2 (Open Space)		50	
Retention			
Right of Way		37.7	
	<i>Total</i>	<i>189.9</i>	

DEVELOPMENT NOTES

Housing Type	Maximum Percentages Allowed by Transect Zone					
	T-3	T-4R	T-4O	Total	T-4O	Total
Large House Lot ¹	22% or 134	8% or 50		30% or 184 ¹		30%
Estate House Lot ²	15% or 91			15% or 91 ²		15%
Lakefront House ³	5% or 30			5% or 30 ³		5%
Manor Homes	3% or 18			3% or 18		3%
Cottage Common Lots	7% or 45	4% or 25		11% or 70		11%
Oakland Avenue Lots ⁴	1% or 5			1% or 5 ⁴		1%
Tandem House Lot		12% or 73		12% or 73		12%
House Lot	13% or 81	22% or 134		35% or 215		35%
Live Work Units	5% or 30	1% or 6		6% or 36		6%
Townhomes	15% or 91	8% or 48	2% or 12	15% or 91		15%
Apartment House Lot				10% or 60		10%

¹Minimum Large House Lots required shall be 22% or 134.
²Minimum Estate House Lots required shall be 10% or 60.
³Minimum Lakefront House Lots required shall be 3% or 18.
⁴Minimum Oakland Avenue Lots shall be 5.
 *Maximum number of single or multifamily housing units that can be built is 610 or 187 respectively.

MAXIMUM RESIDENTIAL UNITS BY TYPE AND SIZE AT BUILDOUT

In order to insure diversity, each lot type will be limited to a maximum percent of the approved total number of units. The Gross Density of Oakland Park based on a maximum of 610 units on 189.9 acres is 3.21 DU/AC.

PERMITTED USES BY RIGHT AND BY SPECIAL EXCEPTION

Housing Type	T2 District	T3 District	T4-R District	T4-O District	Union Club Special District	Meadowmarsh Special District	Lake Brim Special District
Single Family Detached Residential ¹		P	P			P	P
Attached two and three unit residences		P	P				
Townhomes with more than 3 attached units			P				
Apartments			P ²		SE		
Live-work units			P				
Accessory residential units over garages			P				
Public parks, playgrounds and recreational facilities and related structures	P		P		P		
Schools					SE	SE	SE
Churches and other places of worship, parish houses							
Kindergartens, nurseries and child day care facilities			SE				
Marinas and boat basins operated as private clubs					P	SE	SE
Bed and Breakfast lodging facilities			SE		P	P	SE
Governmental institutions and cultural facilities					P	P	
Medical and dental clinics, excluding animal clinics					SE		
Retail establishments					P	P	
Eating and drinking establishments					P	P	
Office, studios					P	P	
Financial institutions					P	P	
Hotels					SE	SE	
Private clubs and lodges					P	P	
Personal services					P	P	
Public buildings					P	P	
Retail stores and shops of a neighborhood convenience, such as convenience foodstores, dry cleaning and laundry facilities, bakeries, drug and sundries, barbershops and beauty shops and the like.							
Outdoor sales displays							
Agricultural uses including groves and gardens	P						
Filling or service stations			P				

¹ For specific single family lot products permitted in the T3 and T4-R districts refer to the Urban Standards section and each individual lot sheet

² apartments in T4-R north of the West Orange Trail permitted by Special Exception; permitted by right South of the West Orange Trail.

P=Permitted SE=Special Exception

DEVELOPMENT NOTES

Lot Type	Minimum Lot Width or Range	Square Foot Range ¹⁸	Required Parking Spaces ¹⁹	% Impervious ¹⁷	Maximum Height ¹⁴	Minimum Front/Back Setbacks ¹²			Minimum Primary Structure Setbacks ¹³			Minimum Garage Setbacks ¹²						
						Front	Side	Side Street	Front ²¹	Side Street	Side	Front ²²	Side Street	Side				
Minor House Lot Attached	35'	1,000-3,800	2	80%	35'	5'	5'	N/A	12'-25'	5'	5'	5'	10'	20'	N/A	5' or >20'	3'	5'
Minor House Lot Detached	35' to 40'	1,000-3,800	2	80%	35'	5'	5'	N/A	12'-25'	5'	5'	5'	10'	20'	N/A	5' or >20'	3'	5'
Tandem House Lot	55' - 60'	800-2,000	2	80%	35'	5'	5'	5'	12'	5'	5'	5'	10'	20'	10' N/A	5'	5'	5'
House Lot	40' to 50'	1,000-2,800	3	80%	35'	5'	5'	N/A	12'-25'	5'	5'	5'	10'	20'	N/A	5' or >20'	3'	5'
Large House Lot	50' to 65'	1,400-4,000	3	70%	40'	5'	5'	5'	12'-25'	5'	5'	5'	10'	20'	N/A	5' or >20'	3'	5'
Estate House Lot	65'	2,000-6,500	3	60%	40'	5'	5'	5'	12'-25'	5'	5'	5'	10'	20'	N/A	5' or >20'	5'	10'
Oakland Avenue Lot	90'	2,400-7,600	3	40%	40'	35'	7.5'	5'	50'	5'	5'	5'	10'	20'	N/A	5' or >20'	5'	10'
Lakefront Home Lot	50'	2,000-6,500	3	70%	40'	5'	5'	N/A	12'-25'	15'	15'	15'	15'	20'	N/A	10'	5'	N/A
Cottage Common Lot ¹	N/A	800-2,400	1.5	50%	30'	5'	6'	5'	12'	15'	15'	15'	15'	20'	10'	10'	10'	10'
Townhome Lot	18'	1,000-3,800	2	90%	40'	0'	0'	5'	5'	5'	5'	5'	N/A	15' ¹⁶	N/A	5'	0 or 5'	5'
Live/Work Lot	18'	1,000-3,800	3	90%	40'	0'	0'	5'	5'	5'	5'	5'	N/A	15' ¹⁸	N/A	5'	5'	5'
Apartment House Lot	40'	450 - 800 ¹¹	1 - 2 ¹⁵	90%	40'	5'	7.5'	5'	10'	10'	7.5'	7.5'	N/A	15'	N/A	5'	5'	5'
Retail Building Lot	20'	N/A		100%	40'	0'	0'	0'	0'	0'	0'	0'	N/A	0'	N/A	N/A	N/A	5'

¹ The maximum building height shall be measured from the highest of lines connecting the front and rear property lines diagonally from opposing corners, to the peak of the roof, exclusive of chimneys and cupolas.
² 5/15' denotes 5' if alley located; 15' for standard lots.
³ Guest parking is not included except in the case of the Cottage Common Lot.
⁴ Garages are either alley-located or when front located located at the rear of the lot, behind the primary structure. Lotfront lots face the lake, so the garage will in these instances be at the front of the lot nearest the street.
⁵ 3' or >30" requires the garage to be setback 5' from the rear of line or more than 20' but not between 5' and 20'.
⁶ Chimney lots are permitted as a second floor rise above the garage.
⁷ Setbacks are in a corner-to-corner ownership and therefore setbacks listed are to the perimeter of the parcel.
⁸ Minimum setbacks are 5' for all setbacks of homes on lots forming the West Orange Trail may be up to 35 feet from the adjacent lot right-of-way.
⁹ Minimum setbacks are 5' for all setbacks of homes on lots forming the West Orange Trail may be up to 35 feet from the adjacent lot right-of-way.
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DEVELOPMENT NOTES

GENERAL DEVELOPMENT NOTES

- 1. Phasing.** A phasing plan is included with this submittal on page 61. The phasing plan identifies all phases, including those currently under construction. The applicant reserves the right to modify proposed future phases based on future demand. In no case will a phase be proposed that cannot along with previous phases stand alone as an independent project.
- 2. Common Open Space.** Common open space may include community recreation, parks, wetlands, water bodies, upland buffers, retention, and landscape buffers. There will be in excess of 45 acres of common open space in Oakland Park. No more than 50 percent of the required open space may be retention. Detailed open space calculations will be provided with the subdivision plan. Common and recreation open space will be owned and maintained by either the Home Owners' Association or a Community Development District. The applicant reserves the right to form a community development district.
- 3. Recreation Open Space.** Usable recreation and open space may include community parks, neighborhood parks, community clubhouses, active recreation, passive recreation, trails, marina, community recreation/athletic facilities and associated facilities. There will be in excess of 45 acres of usable recreation and open space in Oakland Park.
- 4. Street Trees and Landscaping.** Street trees will be an integral part of the landscape of Oakland Park. They will be permitted to occur in the street right-of-way, as long as they do not conflict with underground utilities. Oakland Park shall provide the quantity, size, and type of landscape required by the controlling jurisdiction.
- 5. Pedestrian Circulation.** Oakland Park will include minimum 5' sidewalks along sides of all streets with the exception of Rear Lanes. There will be 5' sidewalks adjacent to the West Orange Trail, only when fronted by residential lots. The West Orange Trail, accommodating users from all over the region, transverse the development and there will be an 8' internal trail beginning in the neighborhood center and looping through the development. Please see the street cross sections for details on sidewalk locations.
- 6. Stormwater Management.** Stormwater management will be provided consistent with the requirements of the St. Johns River Water Management District Master stormwater facilities will be designed to provide the pre-post difference for the 25 year/24 hour storm event for the developed site and will meet the requirements of the Lake Apopka Rule.
- 7. Sanitary Sewer and Potable Water.** Potable water, central sewer, and reuse water will be provided by the City of Winter Garden.
- 8. Vehicular Circulation.** A street network plan and street types are identified on the Land Use and Regulating Plan.
- 9. School Capacity Analysis.** The Applicant has executed a Capacity Reservation Agreement with Orange County Public Schools (OCPS) for 750 dwelling units.
- 10. Solid Waste.** Solid waste services will be provided by the City of Winter Garden.
- 11. Parking Requirements.** All uses in Oakland Park shall meet the City of Winter Garden's parking requirements found in Section T18-1386 except that on street parking can be counted as available spaces for non residential uses when within a convenient walking distance.
A parking plan will be submitted prior to or concurrently with a pre-plot submittal providing required parking per PUD Development Standards chart on page 58. The Parking Plan will show available onsite and on street parking. Up to one space per unit may be on street with the exception of the Cottage Common Lots. If a lot also includes a "Granny Flat" by definition that lot will be required to have one additional space on site. Every single-family lot will be required to accommodate a garage or carport whether built during initial construction or not. Every front-loaded home will be required to have a garage or carport.

DEVELOPMENT NOTES

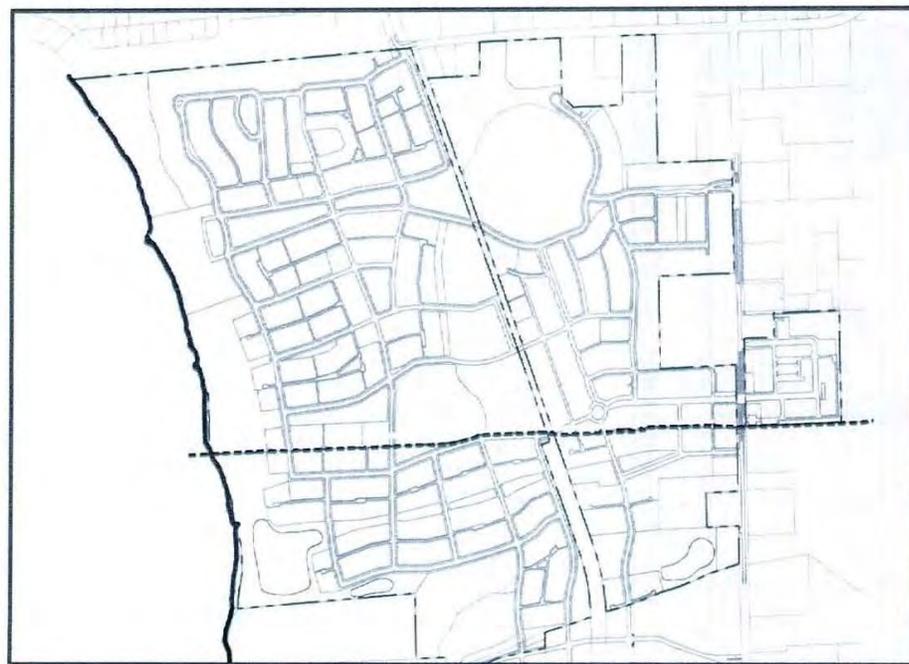
GENERAL DEVELOPMENT NOTES

12. **Granny Flats.** In Winter Garden up to 35% of the residential units in each phase will be permitted to have "granny flats." "Granny Flats" will be limited to one floor above the garage not to exceed 800 square feet. To be classified as a "Granny Flat" the unit must meet all of the following conditions:
 - "Granny Flats" have an entry that is discrete and separate from the primary house, providing private access to the "granny flat"
 - "Granny Flats" are metered separately from the primary house
 - "Granny Flats" have a separate full service kitchen
 - A "Granny Flat" can be rented only if the owner lives in the primary house.
13. **Union Club.** The Union Club is the Oakland Park community recreation facility located on Lake Apopka. It will include a swimming pool, tennis court, and children's playground.
14. **Meadowmarsh Park.** Meadowmarsh Park is the community recreation facility South of the West Orange Trail, opposite Lake Brim. It will include a swimming pool and children's playground.
15. **Applicability.** This amendment to the Oakland Park PUD shall supercede the Oakland Park PUD in affect at the time of adoption and shall apply to the entire development without exception.

FLOODPLAIN and PHASING



Phasing. The phasing plan identifies potential phases, including those constructed or currently under construction. The applicant reserves the right to modify proposed future phases based on future demand. In no case will a phase be proposed that cannot stand alone with previous phases stand alone as an independent project.



— Floodplain Line

COMMUNITY OPEN SPACE



The community will provide a minimum of five (5) percent of the gross site acreage as usable recreation/open space (189.9 acres x .05 = 9.5 acres) and a minimum of twenty (20) percent of the gross site acreage as common open space (189.9 x .20 = 38.0 acres). The proposed development will exceed the minimum requirements for usable recreation/open space and common open space in the City of Winter Garden.

Usable recreation and open space may include community parks, neighborhood parks, active recreation, passive recreation, trails, community recreation/athletic facilities and associated facilities. There will be in excess of 25 acres of usable recreation and open space in Oakland Park.

Common open space may include community recreation, parks, wetlands, water bodies, upland buffers, retention, and landscape buffers. There will be in excess of 45 acres of common open space in Oakland Park. No more than 50 percent of the required open space may be retention. Detailed open space calculations will be provided with each subdivision plan. Common and recreation open space will be owned and maintained by the Home Owners' Association. All ponds will have a drainage easement to the City. The Oakland Park Parks and Open Space Inventory identifies the proposed parks and community open space that will be provided. The acreages are estimates and may have minor variances as a result of final engineering, subject to compliance with provision of a minimum 20 percent Common Open Space (38.0 +/- acres) and a minimum five (5) percent of usable recreation area

Oakland Park Parks and Open Space Inventory (in acres)					
Current or Proposed Name	Phase	Park Facility	Dry Retention	Lake or Wet Retention	Total
1 Union Club	6	5.5			5.5
2 Tract K	1A	1.2		0.7	1.9
3 Pocket Park	4	0.8			0.8
4 North Lawn	1A	1.8			1.8
5 South Lawn	2	2.6			2.6
6 Lake Brim	1A	1.9		10.3	12.2
7 Central Park	3	0.7			0.7
8 Meadowmarsh Park	1B1	1.2			1.2
9 Median Parks	various	0.5			0.5
10 Hammock Preserve	7	1.6		3.8	5.4
11 Village Center Park	9	0.4		0.7	1.1
12 McKinnon Square	9	0.2			0.2
13 Lakeview Park	7	1.6			1.6
14 Plinth Park	2	0.6			0.6
15 Reciprocity Park	1A	0.5			0.5
16 East Shore Park	1A	2.9	2.9		5.8
17 West Shore Park	4	3.9		3.8	7.6
		27.8	2.9	19.3	50.0

AMENITY



CONCEPTUAL PLAN FOR MEADOWMARSH PARK

The Open Space Plan for Oakland Park includes a diversity of amenities for the benefit of the community. Completion of the first phase of construction included completion of East Shore Park, Lake Brim Park and the majority of the North Lawn. All three parks are actively used by residents of Oakland Park and the surrounding community. This includes residents of nearby subdivisions that were built without usable open space.

To insure that the provision of parks and facilities keeps pace with development of the community, as phases are developed the associated parks within that phase will be substantially complete prior to the issuance of the building permit for over 50% of the units to be constructed in that phase. The adjacent sketches show the current conceptual plan for Meadowmarsh Park and the amenities for the Union Club. Each will contain a swimming pool. The pool in Meadowmarsh Park will be constructed as part of Phase 1B1. The pool in the Union Club will be constructed as the Meadowmarsh Park pool reaches design capacity.



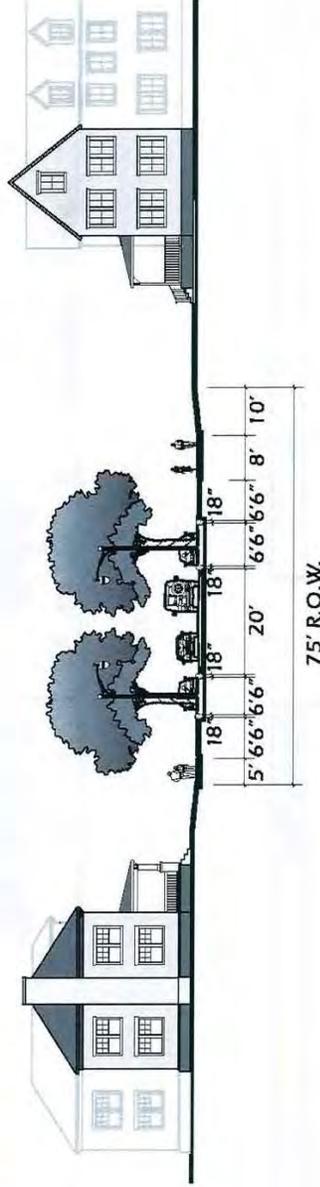
CONCEPTUAL ILLUSTRATIONS OF UNION CLUB AMENITIES



STREET NETWORK PLAN

The Street Network Plan includes a variety of Avenues, Streets, and Lanes. These are identified on the Land Use and Regulating Plan, page 15 and full size in rear pocket. Rear lanes shown on the Land Use and Regulating Plan may in some cases be eliminated and those lots front loaded.

AVENUE 'A' (AV-20/75)

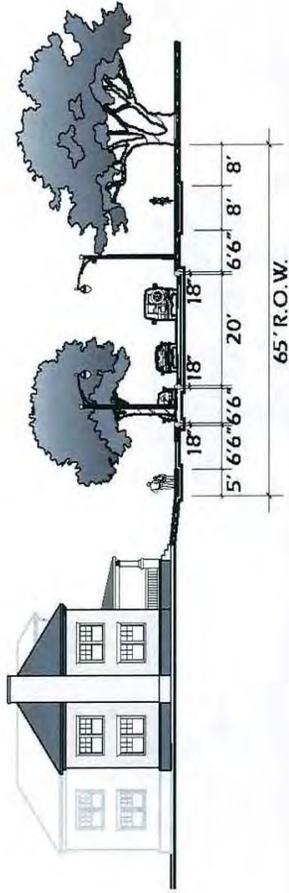


Movement	Slow
Design Speed	25
R.O.W. Width	75'
Pavement Width	20'
Traffic Flow	Two-way
Number of Parking Lanes	Two sides protected with bulb-outs
Curb Types	6" vertical curb with 12" gutter
Curb Radius	15'

Bikeway Type	Bike Path (one side)
Bikeway Width	8' (shared with pedestrians)
Sidewalks	One Side
Sidewalk Width	5'
Planter Width	6'6" - 14'6"
Planter Type	Continuous Grass or Groundcover
Planting Pattern	Informal Spacing
Tree Type	Predominant Live Oaks, with others

STREET NETWORK PLAN

AVENUE 'B' (AV-20/65)

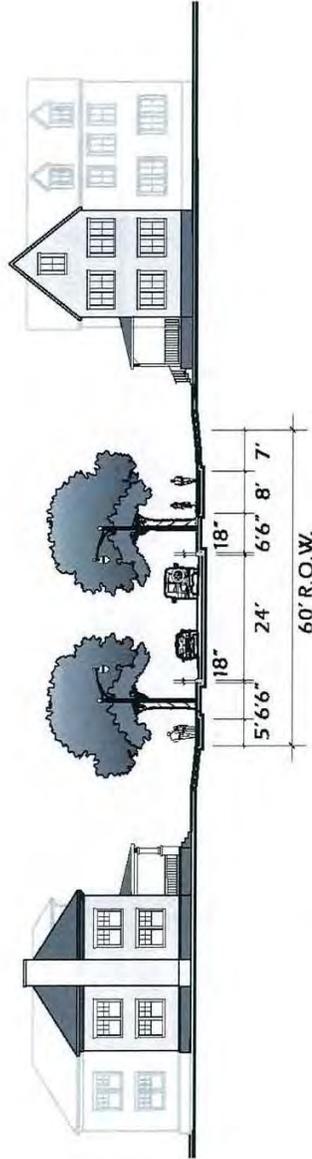


Movement	Slow
Design Speed	25
R.O.W. Width	65'
Pavement Width	20'
Traffic Flow	Two-way
Number of Parking Lanes	One side protected with bulb-outs
Curb Types	6" vertical curb with 12" gutter
Curb Radius	15'

Bikeway Type	Bike Path (one side)
Bikeway Width	8' (shared with pedestrians)
Sidewalks	One Side
Sidewalk Width	5'
Planter Type	Continuous Grass or Groundcover
Planting Pattern	Informal Spacing
Tree Type	Predominant Live Oaks, with others

STREET NETWORK PLAN

AVENUE 'C' (AV-24/60)

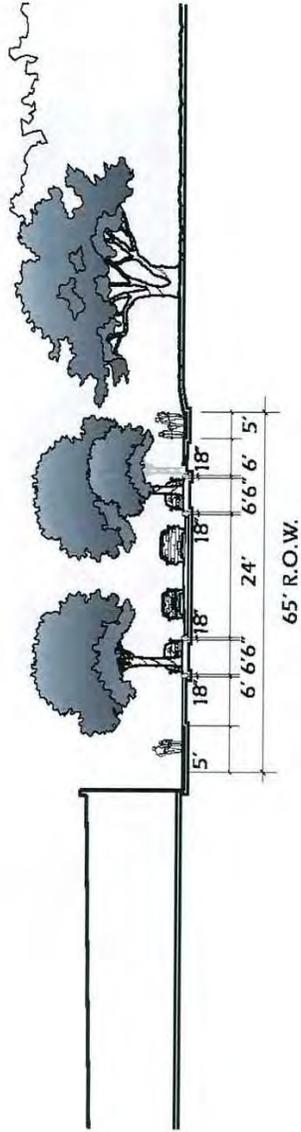


Movement	Slow
Design Speed	25
R.O.W. Width	60'
Pavement Width	24'
Traffic Flow	Two-way
Number of Parking Lanes	None. Parking allowed one side.
Curb Types	6" vertical curb with 12" gutter
Curb Radius	15'

Bikeway Type	Bike Path (one side)
Bikeway Width	8' (shared with pedestrians)
Sidewalks	One Side
Sidewalk Width	5'
Planter Width	6'6"
Planter Type	Continuous Grass or Groundcover
Planting Pattern	Informal Spacing
Tree Type	Predominant Live Oaks, with others

STREET NETWORK PLAN

NEIGHBORHOOD CENTER STREET (NC-24/65)

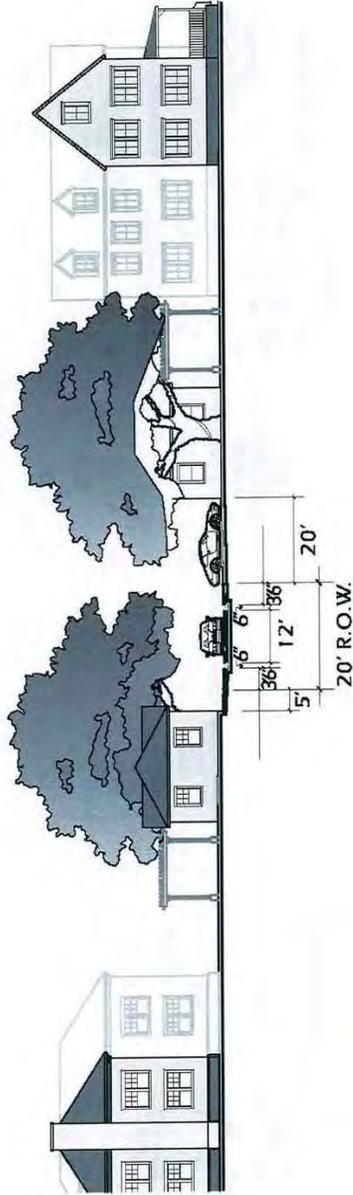


Movement	Slow
Design Speed	5
R.O.W. Width	65'
Pavement Width	24'
Traffic Flow	Two-way
Number of Parking Lanes	Two sides protected with bulb-outs
Curb Types	6" vertical curb with 12" gutter
Curb Radius	15'

Bikeway Type	N/A
Bikeway Width	N/A
Sidewalks	Each Side
Sidewalk Width	5'
Planter Width	6'6" - 14'0"
Planter Type	Continuous Grass or Groundcover
Planting Pattern	Informal Spacing
Tree Type	Predominant Live Oaks, with others

STREET NETWORK PLAN

REAR LANE (RL-12/20)***



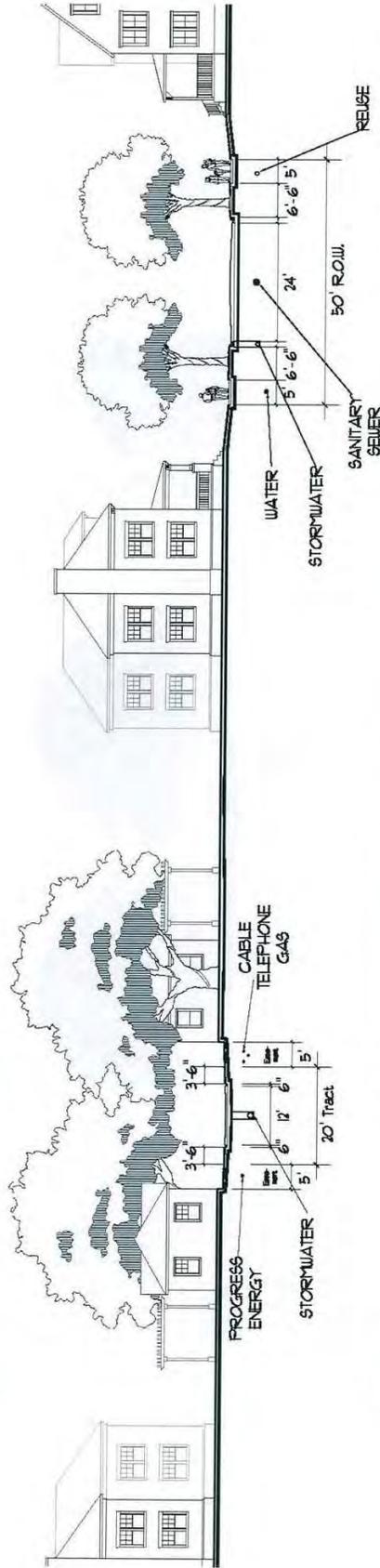
Movement	Slow
Design Speed	10
R.O.W. Width	20'
Pavement Width	12'
Traffic Flow	One-way
Number of Parking Lanes	N/A
Curb Types	6" Ribbon Curb if asphalt
Curb Radius	15'

***Rear Lanes will be in a tract owned by the HOA

Bikeway Type	N/A
Bikeway Width	N/A
Sidewalks	N/A
Sidewalk Width	N/A
Planter Width	N/A
Planter Type	N/A
Planting Pattern	N/A
Tree Type	N/A

STREET NETWORK PLAN

STREET (ST-24/50) WITH ALLEY



Movement	Slow
Design Speed	25
R.O.W. Width	50'*
Pavement Width	24'***
Traffic Flow	Two-way
Number of Parking Lanes	None. Parking allowed one side.
Curb Types	6" vertical curb with 12" gutter
Curb Radius	15'

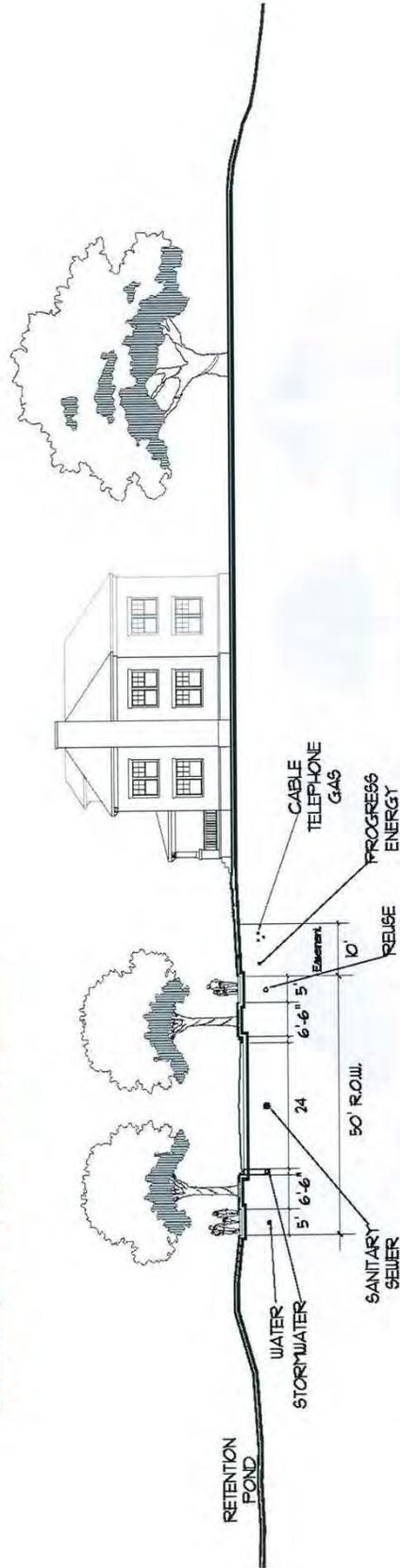
* 40' right-of-way width if one way

** 16' pavement width if one way

Bikeway Type	N/A
Bikeway Width	N/A
Sidewalks	Each Side
Sidewalk Width	5'
Planter Width	6'6"
Planter Type	Continuous Grass or Groundcover
Planting Pattern	Informal Spacing Predominant Live Oaks,
Tree Type	with others

STREET NETWORK PLAN

STREET (ST-24/50) WITHOUT ALLEY



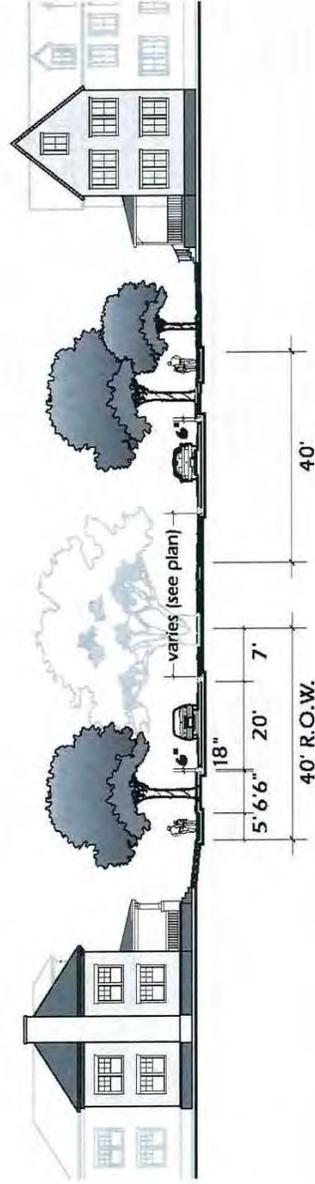
Movement	Slow
Design Speed	25
R.O.W. Width	50'
Pavement Width	24' **
Traffic Flow	Two-way
Number of Parking Lanes	None. Parking allowed one side.
Curb Types	6" vertical curb with 12" gutter
Curb Radius	15'

* 40' right-of-way width if one way
 ** 16' pavement width if one way

Bikeway Type	N/A
Bikeway Width	N/A
Sidewalks	Each Side
Sidewalk Width	5'
Planter Width	6'6"
Planter Type	Continuous Grass or Groundcover
Planting Pattern	Informal Spacing
Tree Type	Predominant Live Oaks, with others

STREET NETWORK PLAN

STREET (ST-20/40)

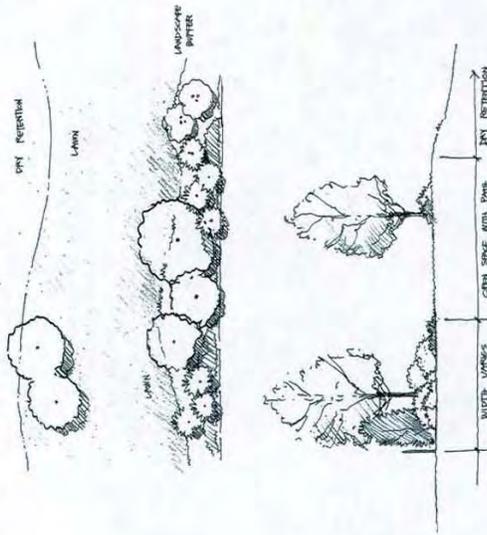


Movement	Slow
Design Speed	25
R.O.W. Width	40'
Pavement Width	20'
Traffic Flow	One-way
Number of Parking Lanes	Parking allowed one side
Curb Types	6" vertical curb with 12" gutter
Curb Radius	15'

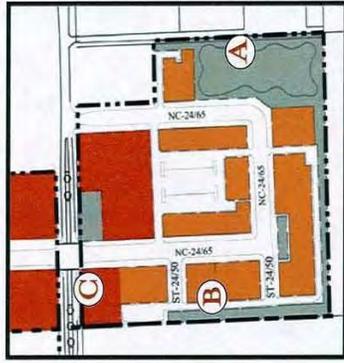
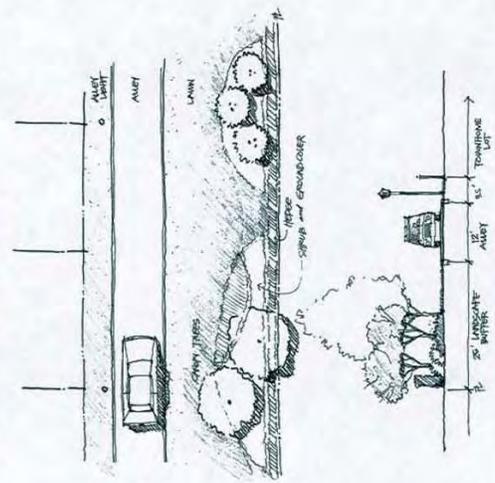
Bikeway Type	N/A
Bikeway Width	N/A
Sidewalks	Outside only (trail within park)
Sidewalk Width	5'
Planter Width	6'6"
Planter Type	Continuous Grass or Groundcover
Planting Pattern	Informal Spacing
Tree Type	Predominant Live Oaks, with others

VILLAGE CENTER BUFFER COMMITMENTS

A. ADJACENT BUFFER

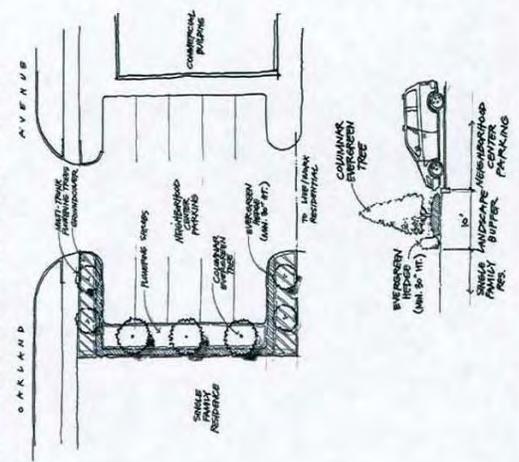


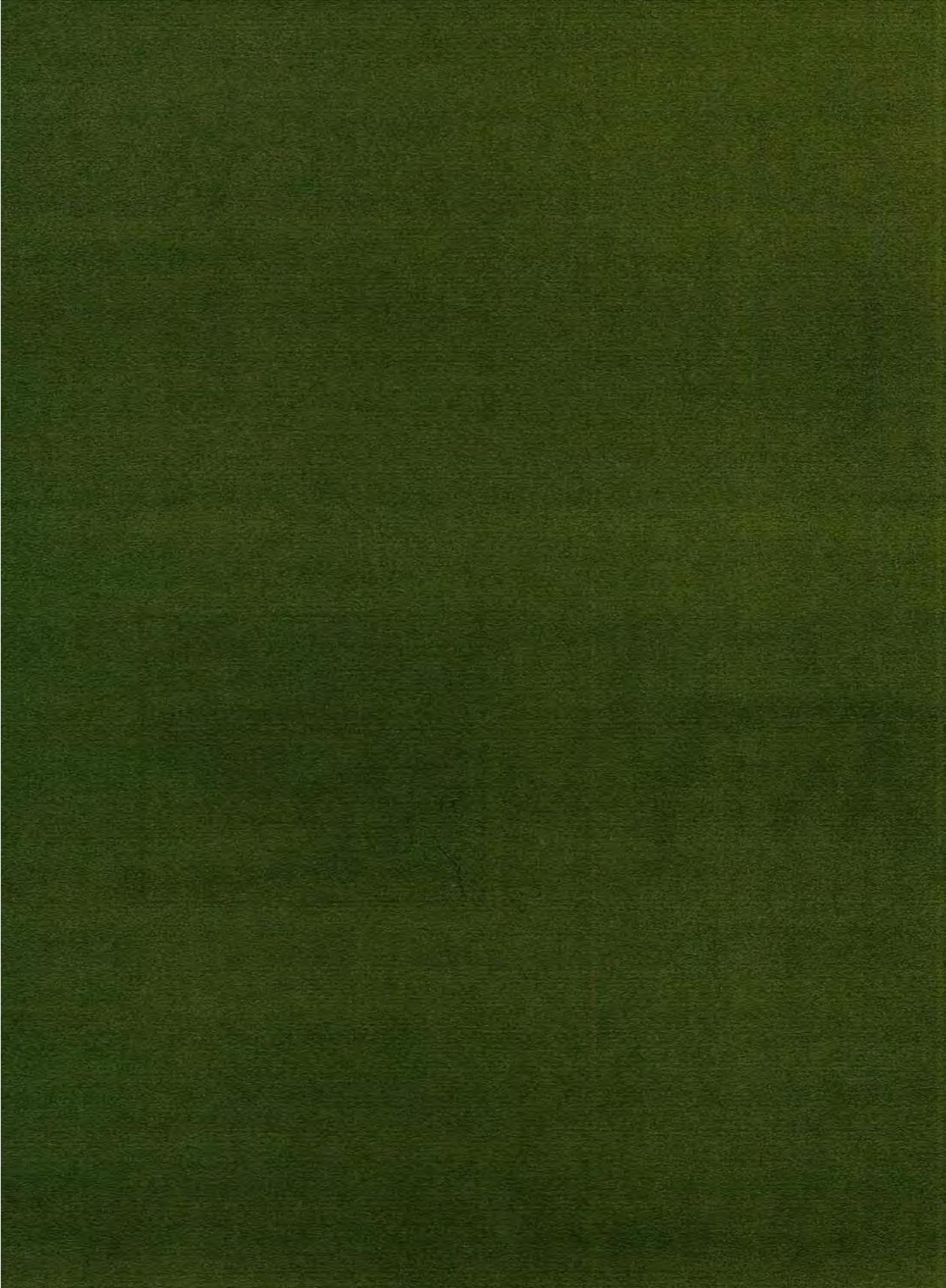
B. WEST BUFFER



VILLAGE CENTER KEY PLAN

C. VILLAGE CENTER BUFFER





CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

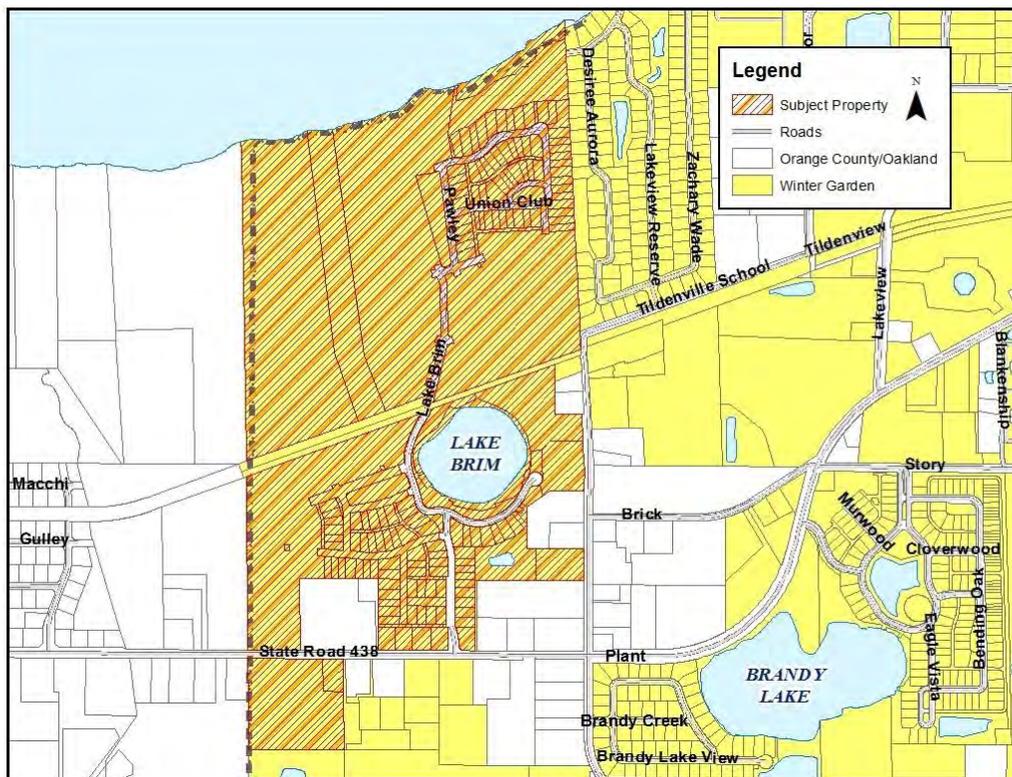
TO: PLANNING AND ZONING COMMITTEE
PREPARED BY: LAURA SMITH, SENIOR PLANNER
DATE: JANUARY 3, 2012
SUBJECT: AMENDMENT TO PLANNED UNIT DEVELOPMENT (PUD)
Oakland Park (189.9 +/- ACRES)
PARCEL ID # 21-22-27-6090-00-001

APPLICANT: CASTLE & COOKE FLORIDA, LTD

INTRODUCTION

The purpose of this report is to evaluate the proposed PUD Amendment for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is generally located west of Tildenville School Road, south of Lake Apopka and east of the Town of Oakland, commonly known as Oakland Park within the City of Winter Garden. The map below depicts the location of the subject property within the City of Winter Garden municipal limits:



The applicant is requesting to amend the PUD Plan for the Oakland Park Property which was adopted by Ordinance 05-26 (rezoning 191.2 ± acres of land from County A-1 and City R-1 to City PUD) to allow for alteration of the mixture of lot sizes and revisions to the phasing and amenity schedule from those approved by Ordinance 05-26 and to allow for an additional 35 dwelling units to be constructed within the project. The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation PUD (Planned Unit Development) in the City of Winter Garden. The subject property is designated Suburban Residential and Low Density Residential on the Future Land Use Map of the City's Comprehensive Plan.

EXISTING USE

At present, three phases of the 189.9± acre Oakland Park Property have been platted for a total of 137 residential lots, approximately 15 units have been constructed.

ADJACENT LAND USE AND ZONING

The Oakland Park Property is bordered on the north by Lake Apopka, the properties located to the east are made up of a single family residential subdivision (R-1) and a commercial warehousing facility (R-1) within the City of Winter Garden, and Tildenville Elementary School (A-1) and several single family residences (A-1) located in Unincorporated Orange County. The Oakland Park Property abuts property on the west side, which they also own, located within the Town of Oakland municipal limits. The properties located to the south of the Oakland Park Property consist of single family residential properties (R-1) and vacant unimproved commercial properties along SR 50 (PCD & C-2) within the City of Winter Garden, and single family residential properties (A-1 & A-2) within Unincorporated Orange County.

PROPOSED USE

The applicant proposes to amend the approved PUD Plan for the 189.9 ± acre Oakland Park Property to allow for a modification to the mixture of lot sizes, which introduces new lot types to accommodate more house types and divides the PUD into “transect zones” providing the developer greater flexibility when siting homes within each zone. The amendment further revises the phasing of the project to maintain consistency with the “transect zones” methodology and amends the amenity schedule to apply one uniform standard to the completion requirements for amenities within each platted phase. Finally, the amendment to the PUD Plan would allow for an additional 35 dwelling units to be constructed within the Oakland Park Project which changes the total maximum number of dwelling units from 575 dwelling units to 610 dwelling units.

PUBLIC FACILITY ANALYSIS

Infrastructure in the form of roads, water, sewer, and reclaimed water systems have been installed to support the platted phases of the project. All requirements for installation of infrastructure will be restated and in some capacities amended when the Developer's Agreement is amended to reflect the amendment to the PUD Plan.

The Developer's Agreement will be amended prior to the amendment to the PUD Plan becoming effective. Amending the Developer's Agreement will require approval of the City Commission.

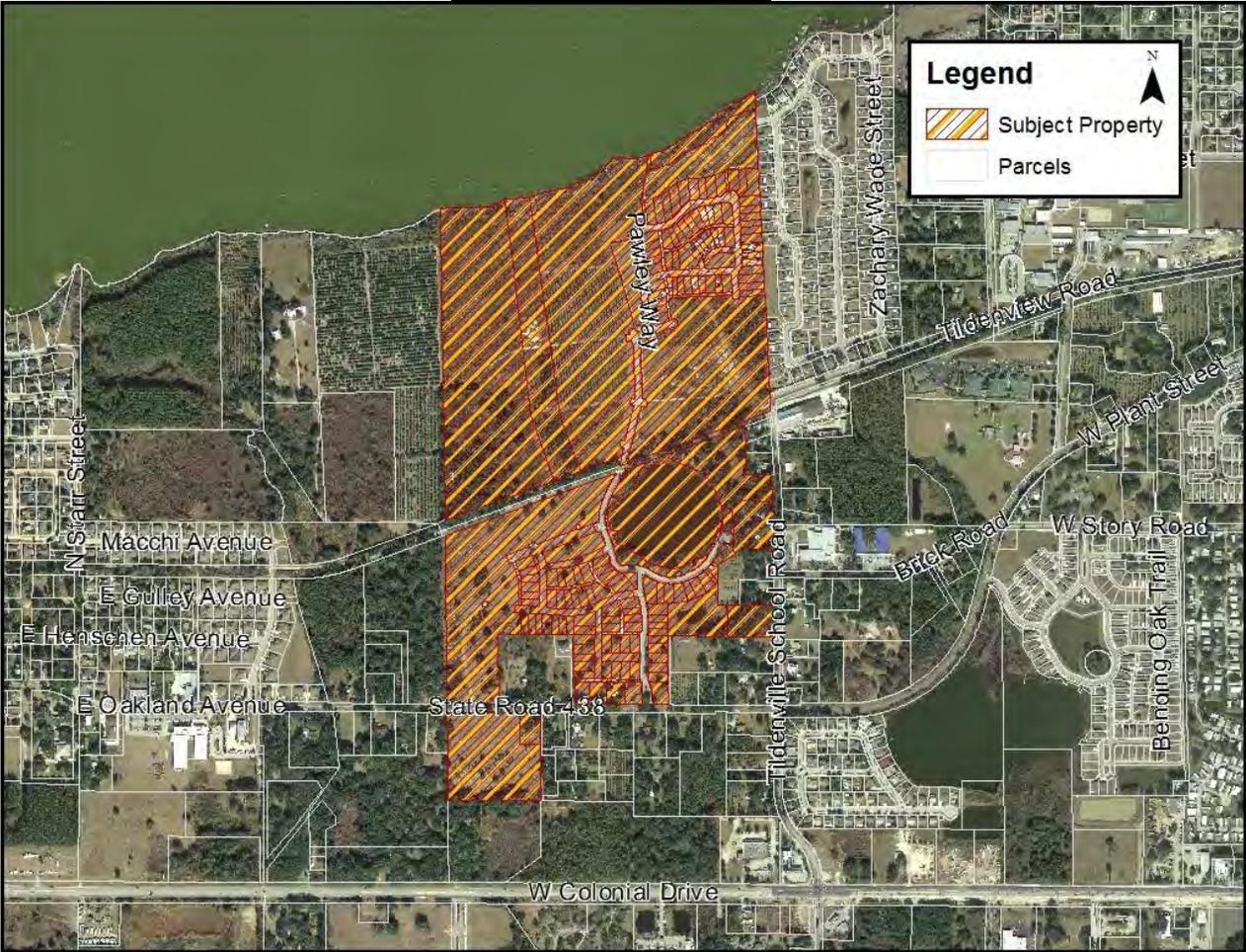
SUMMARY

City Staff recommend approval of the proposed Ordinance. Amending the PUD Plan for the Oakland Park Property to allow for an additional 35 dwelling units, modification to the mixture of lot types, and revision to the phasing and amenity schedule for the 189.9± acre project is consistent with the City's Comprehensive Plan and the City of Winter Garden Code of Ordinances. The proposed amendment to the approved PUD Plan is a reasonable use of the land which should not result in any negative impact on the surrounding property owners, further the proposed amendment would not generate an increase in traffic volume or demand on public facilities beyond that which was approved for the property.

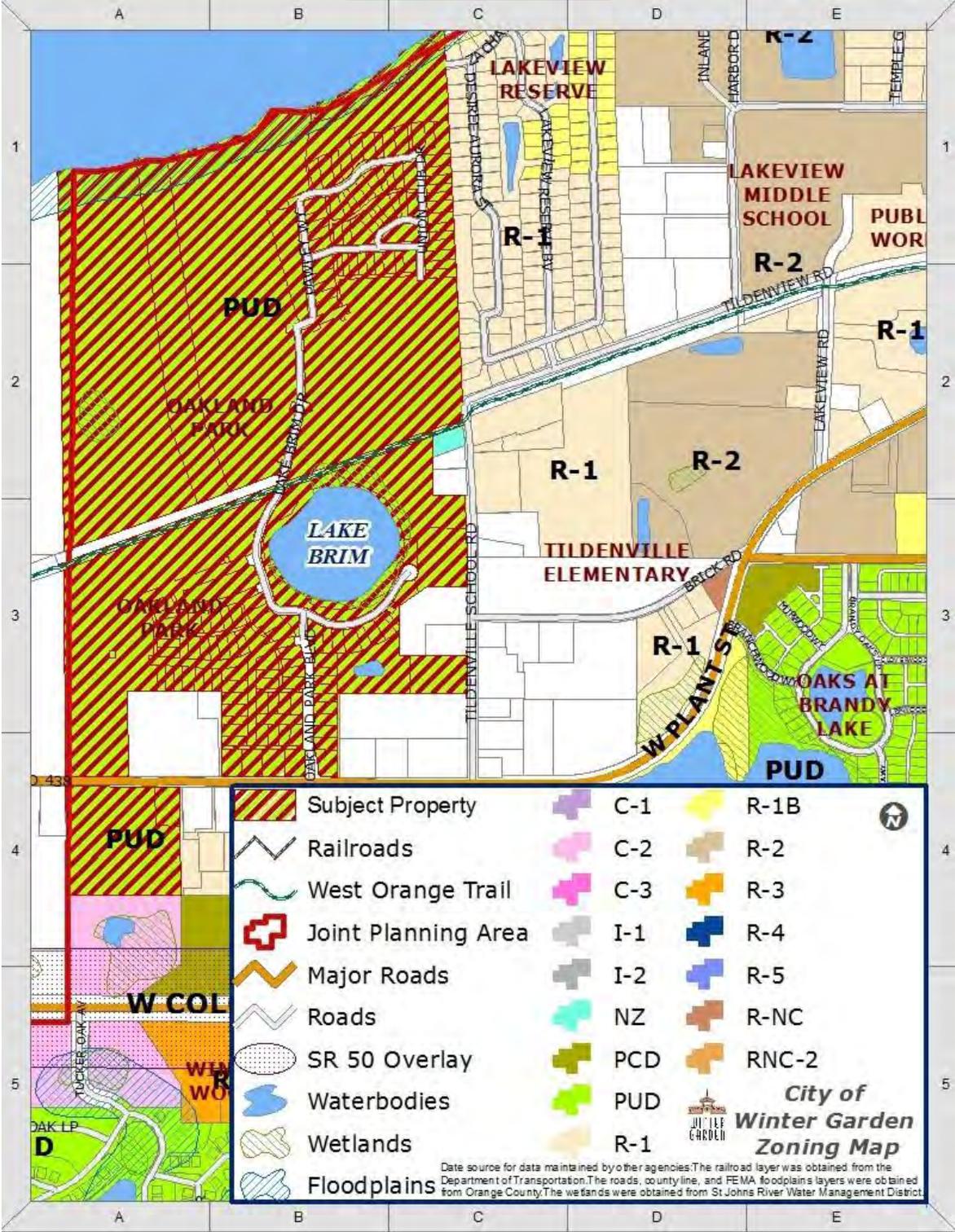
Staff has coordinated with the applicant to ensure that the amendment to the PUD Plan will be consistent with the residential units which have already been constructed both in the scale and architectural style and design of the buildings as well as substantially conforming to the layout and patterns which were approved for the project previously.

MAPS

**AERIAL PHOTO
Oakland Park Property**



ZONING MAP
Oakland Park Property

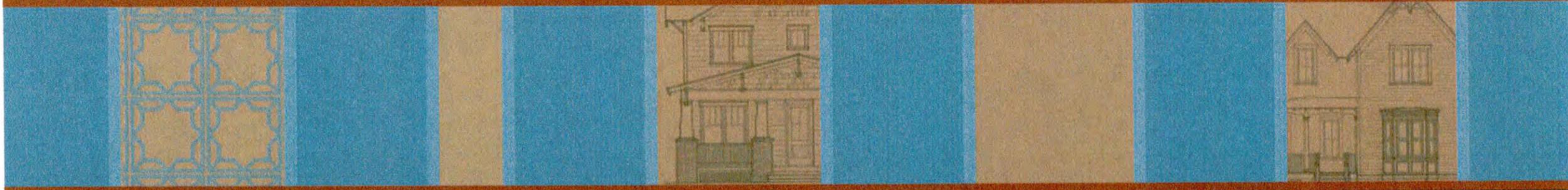


END OF STAFF REPORT

PLANNED UNIT DEVELOPMENT
AMENDMENT TO THE APPROVED PUD

SUBMITTED TO THE CITY OF WINTER GARDEN
NOVEMBER, 2009

REVISION DECEMBER, 2011
REVISION DECEMBER 14, 2011



Community Development
Planning & Zoning

DEC 21 2011

Received By: _____

Oakland Park - (Final DRC Approved)
PUD AMENDMENT - 12/14/2011
Castle & Cooke Florida, LTD
Oakland Avenue
21-22-27-6090-00-001

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SURVEYOR

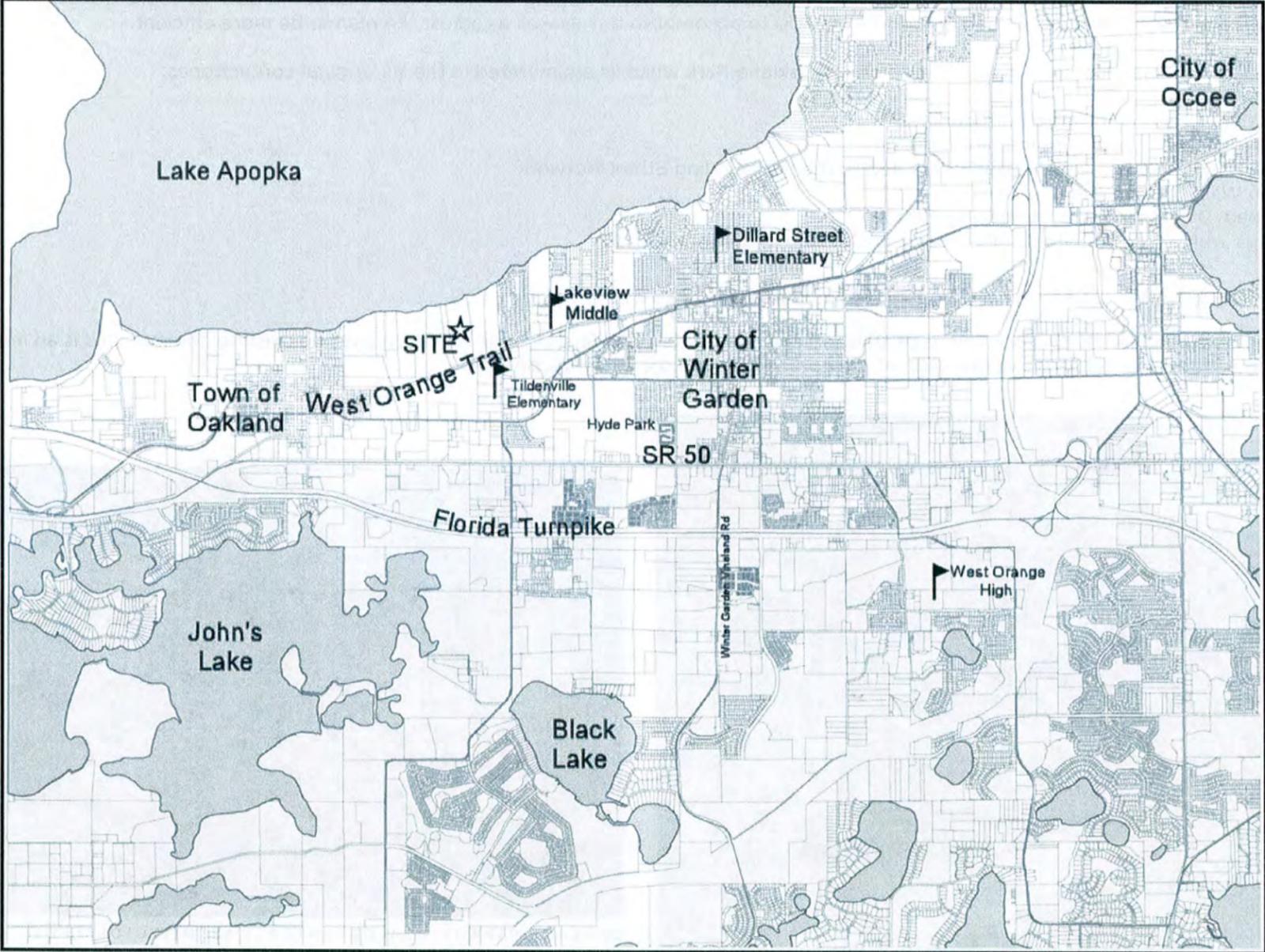
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LOCATION MAP



THE VISION *for* OAKLAND PARK

The Planned Unit Development for Oakland Park was first submitted to the City of Winter Garden in 2004. Since preparation of the initial PUD submittal for Oakland Park, traditional neighborhoods have undergone a renaissance that has recognized that the value of traditional neighborhoods goes far beyond merely their aesthetics. Done well, traditional neighborhoods foster civic pride, encourage a healthier lifestyle and conserve resources. We also have seen the need to hone the Oakland Park plan in response to the changing economic crisis that is forcing all of us to be smarter in how we make our housing choices. This application is to amend the currently approved Oakland Park PUD to accomplish this as well as adjust the plan to be more efficient.

The changes to the plan remain consistent with the vision for Oakland Park which is enumerated in the six original cornerstones:

- Sensitivity Relate to Neighborhood Communities
- Embrace Lake Apopka's Environmental Restoration
- Provide Connectivity, Both Within Oakland Park and to the Surrounding Street Network
- Celebrate the West Orange Trail
- Provide a Broad, Diverse Mixture of Housing Types
- Build buildings True to the Architectural patterns of Oakland and Winter Garden

SENSITIVELY RELATE TO NEIGHBORING COMMUNITIES

Oakland Park is nestled between the historic towns of Oakland and Winter Garden. Sharing in the life of these two existing communities is an important aspect of Oakland Park, manifested in the sensitive blending of the community into the existing context.



NATIVE PLANTS ARE USED THROUGHOUT THE COMMUNITY
THE NEIGHBORING COMMUNITY OF LAKEVIEW RESERVE IS TIED INTO EAST
SHORE PARK VIA PEDESTRIAN CONNECTION.



OAKLAND PARK 1844 SALES CENTER IS ARCHITECTURALLY IN KEEPING WITH
THE CHARACTER OF OTHER HOMES ON OAKLAND AVENUE

THE VISION *for* OAKLAND PARK

EMBRACE LAKE APOPKA'S ENVIRONMENTAL RESTORATION

Lake Apopka, the fourth largest lake in the State of Florida and a former bass fishing mecca for the United States, is on the way to recovery. When complete, Oakland Park will have restored approximately one half of a mile of shoreline to its native state as part of the community's park system.



RESTORATION OF THE FIRST PHASE OF SHORELINE INVOLVED REMOVING ALL EXOTICS AND REPLANTING WITH THOUSANDS OF NATIVE PLANTS.



LAKE APOPKA ENVIRONMENTAL RESTORATION IN THE FIRST PHASE INCLUDES EAST SHORE PARK.

PROVIDE CONNECTIVITY, BOTH WITHIN OAKLAND PARK AND TO THE SURROUNDING STREET NETWORK

With multiple street and pathway connections to surrounding neighborhoods in Winter Garden and in Oakland, Oakland Park is part of the community fabric that creates West Orange County. Alternate ways to come into and out of the community minimizes traffic congestion at intersections and offers safe routes for children and adults alike to interact with their neighbors, take advantage of community and neighborhood amenities.



ENTERING FROM OAKLAND AVENUE: ONE OF SEVERAL EVENTUAL CONNECTIONS TO THE EXTERNAL STREET NETWORK.

THE VISION *for* OAKLAND PARK

CELEBRATE THE WEST ORANGE TRAIL

The West Orange Trail is now approximately 35 miles long, passing through the heart of Oakland Park. The community embraces the trail as a connection to three neighboring schools, downtown Winter Garden and other parks and activities that are within easy walking and biking distance for residents in the community.



THE QUESINBERRY OAK DEDICATED IN NOVEMBER 2008 IS ADJACENT TO THE WEST ORANGE TRAIL.



THE WEST ORANGE TRAIL AS IT ENTERS OAKLAND PARK.

PROVIDE A BROAD, DIVERSE MIXTURE OF HOUSING TYPES

A diversity of housing types meant to appeal to families large and small and to a cross section of the community is a key principle of traditional neighborhood design (TND). Oakland Park offers an array of home types including single family homes, townhomes, and cottages.



ALL HOMES LIKE THIS FOLK VICTORIAN HOME ARE REQUIRED TO BE CERTIFIED GREEN BY THE FLORIDA GREEN BUILDING COALITION.



HOMES OVERLOOKING RECIPROCITY PARK ARE A DIVERSE MIXTURE OF DETACHED AND ATTACHED HOMES.

THE VISION FOR OAKLAND PARK

BUILD BUILDINGS TRUE TO THE ARCHITECTURAL PATTERNS OF OAKLAND PARK AND WINTER GARDEN

Architectural patterns in Oakland Park have been inspired by historic local neighborhoods. Five distinct residential architectural patterns will characterize the community. The Oakland Park Town Architect will oversee and approve all architectural design for purity and consistency of pattern.



FLORIDA VERNACULAR STYLE ARCHITECTURE



AN OUTDOOR CLASSROOM IN THE RESTORED NATIVE LANDSCAPE FOR BOTH FORMAL AND INFORMAL DISCUSSIONS.

GREEN AND SUSTAINABLE

Back in 2004 and 2005 when the first plans were approved they incorporated sustainable concepts that have become much more mainstream today. In fact we had not conceived of a green certified community at the outset, but are proud today that Oakland Park is the only community in Orange County certified as a Green Development by the Florida Green Building Coalition. We believe the economic downturn of the past two years makes an even stronger case for sustainable development in the pattern of Oakland Park. While the initial start of Oakland Park has been slower than desired the community has already received significant recognition for both the community and the initial construction of housing product including the following:

- US Dept. of Energy Builders Challenge - Home Advantage Energy Star Premium Builder
- 2008 Aurora Award - Audubon Park, green construction new production built spec/model
- 2008 Aurora Award - Audubon Park, Energy efficient Home detached single family
- 2008 Aurora Award - Green construction residential development/mixed use development
- 2008 Parade of Homes - Merit Award Ivanhoe Park Model
- 2008 Parade of Homes - First Place Delaney Park Model
- Trees Florida 2008 - Outstanding Tree Preservation Project for the State of Florida
- Florida Green Building Coalition - Green Development Designation
- American Society of Landscape Architects - Award of Excellence for the Oakland Park pattern book, *Patterns of the Past: A foundation for the Future. A Guide for Place Making.*
- 2010 Grand Aurora Award - Landscape Design / Lake Brim restoration, Lake Apopka restoration
- 2010 Grand Aurora Award - Residential Community Site Plan
- 2010 Florida Association of Realtors - ENVY Award - Outstanding Environmental Community of the Year

AERIAL

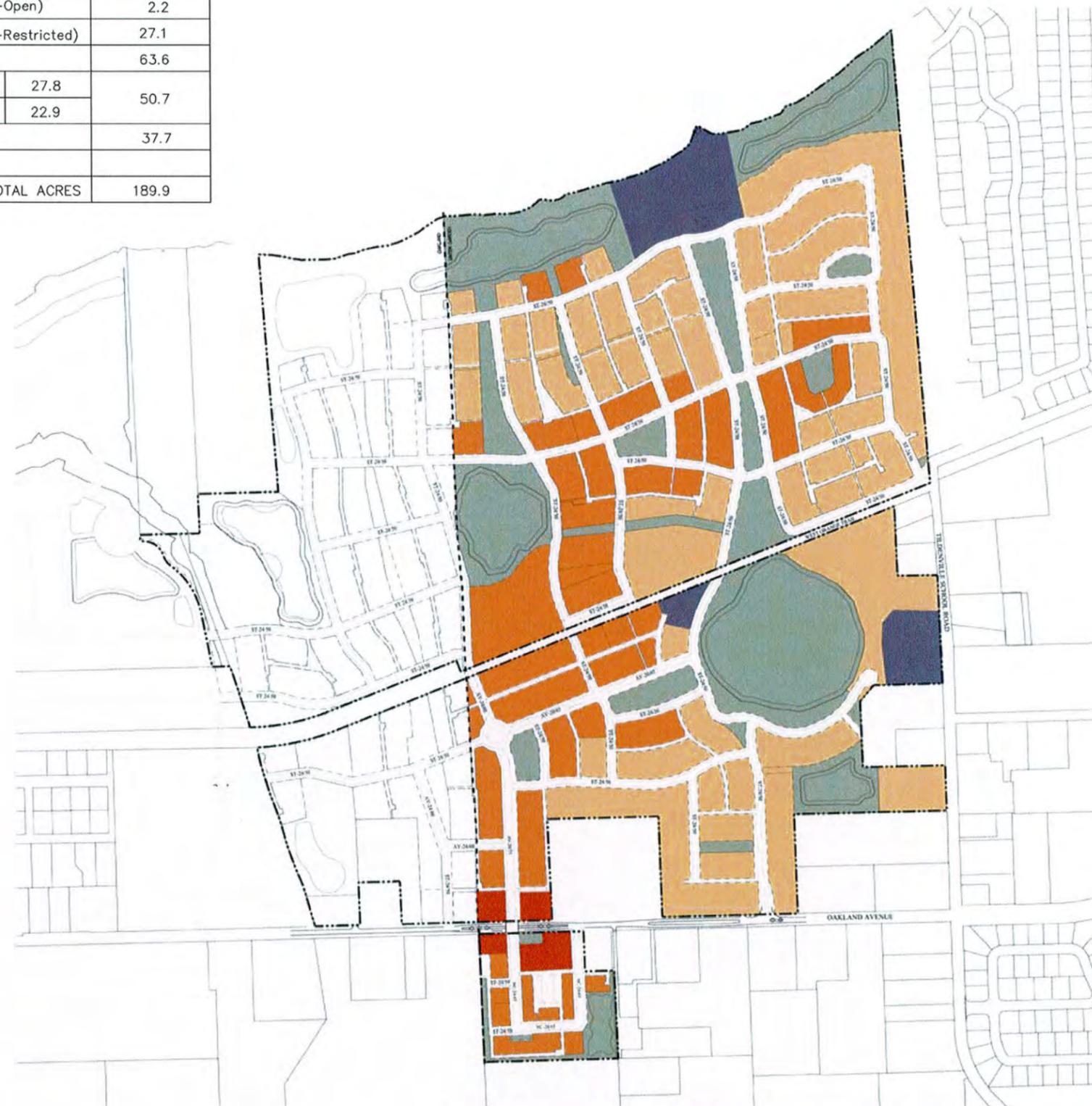


Source: Aerials Express Photography (Mar. 2006)

LEGEND/LAND USE ACRES

	Special District	8.6
	T4-O (Neighborhood General-Open)	2.2
	T4-R (Neighborhood General-Restricted)	27.1
	T3 (Neighborhood Edge)	63.6
	T2 (Open Space)	27.8
	Retention	22.9
- - -	Right-of-way	37.7
ST-24/50	Street type	
TOTAL ACRES		189.9

LAND USE *and* REGULATING PLAN



Full size Land Use and Regulating Plan is located in the back cover pocket.

TRANSECT STANDARDS

Great neighborhoods have a wide cross section of building types that vary in intensity from center to edge. The center of a neighborhood is usually developed in a mixed-use manner with more intense uses than the edge area. This delicate gradient provides visual variety as well as a variety of housing and commercial options. In an infill project like Oakland Park the transect gradients must respect the already built adjoining land.

The TRANSECT is a categorization system that organizes all elements of the urban environment on a scale from rural to urban. Any lot in the manmade environment belongs to a certain transect zone, which will describe the character and intensity of construction upon that lot. The *Transect Standards* regulate the permitted lot types for each block, as identified on the Regulating Plan.

Land use and Regulating Plan..... Page 15

T4-O (Neighborhood General - Open)..... Page 18

T4-R (Neighborhood General - Restricted)..... Page 19

T3 (Neighborhood Edge)..... Page 20

T2 (Open Space)..... Page 21

SD (Special District)..... Page 22

Permitted Uses
 Following is a general description of the permitted uses in each of the transect zones; a chart containing specific uses may be found on page 57.

T4-O (Neighborhood General - Open) Transect Zone:

- Residential, including:
 - Dwelling, single family (attached)
 - Dwelling unit, multi-family
 - Dwelling unit, accessory
- Neighborhood-Oriented Commercial
- Civic uses, including:
 - Churches
 - Schools
 - Community facilities, including pavilions, public restrooms, and utility structures

T4-R (Neighborhood General - Restricted) Transect Zone:

- Residential, including:
 - Dwelling, single family (attached and detached)
 - Dwelling unit, multi-family
 - Dwelling unit, accessory
- Civic uses, including:
 - Community facilities, including pavilions, public restrooms, and utility structures

T3 (Neighborhood Edge) Transect Zone:

- Residential, including:
 - Dwelling, single family (detached)
 - Dwelling unit, multi-family
 - Dwelling unit, accessory
- Civic uses, including:
 - Community facilities, including pavilions, public restrooms, and utility structures

T2 (Open Space) Transect Zone:

- Civic uses, including:
 - Community facilities, including pavilions, public restrooms, and utility structure

SD (Special District):

- Special District designation is used for areas which do not conform to one of the Transect Zones due to location or historical significance. Permitted uses shall be determined for each unique district; see page 22.

As an interim use agricultural uses are permitted in any transect until time of final development.

URBAN DESIGN STANDARDS

T4 (NEIGHBORHOOD GENERAL)

PURPOSE:

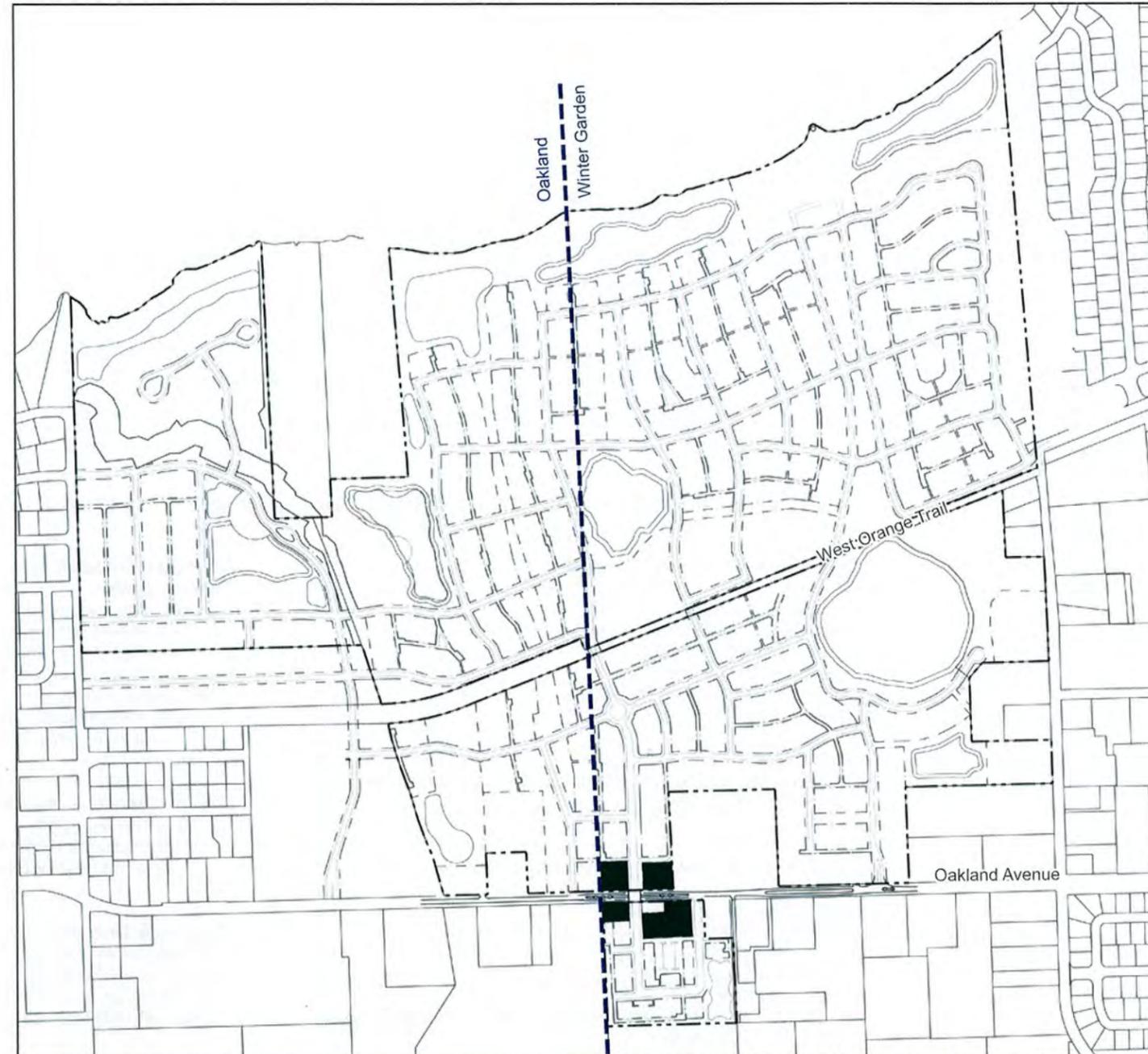
The T4 (Neighborhood General) areas include a mixture of uses and building types. Residential units include detached single-family homes, attached homes, and apartments. Homes are normally set back from the front property line to allow a small front yard with a porch or stoop, and a private rear yard; street plantings are generally formal.

At Oakland Park the T4 zone has been divided into two sub-zones: T4-O (Open) which permits a wider range of uses; and T4-R (Restricted) which is primarily residential in character. T4-O (Neighborhood General-Open)

PERMITTED LOT TYPES T4-O (OPEN)

Within the T4-O zone, land shall be subdivided into one of the following lot types:

- *Townhouse Lot*
- *Live/Work Lot*
- *Apartment House Lot*
- *Retail Building Lot*



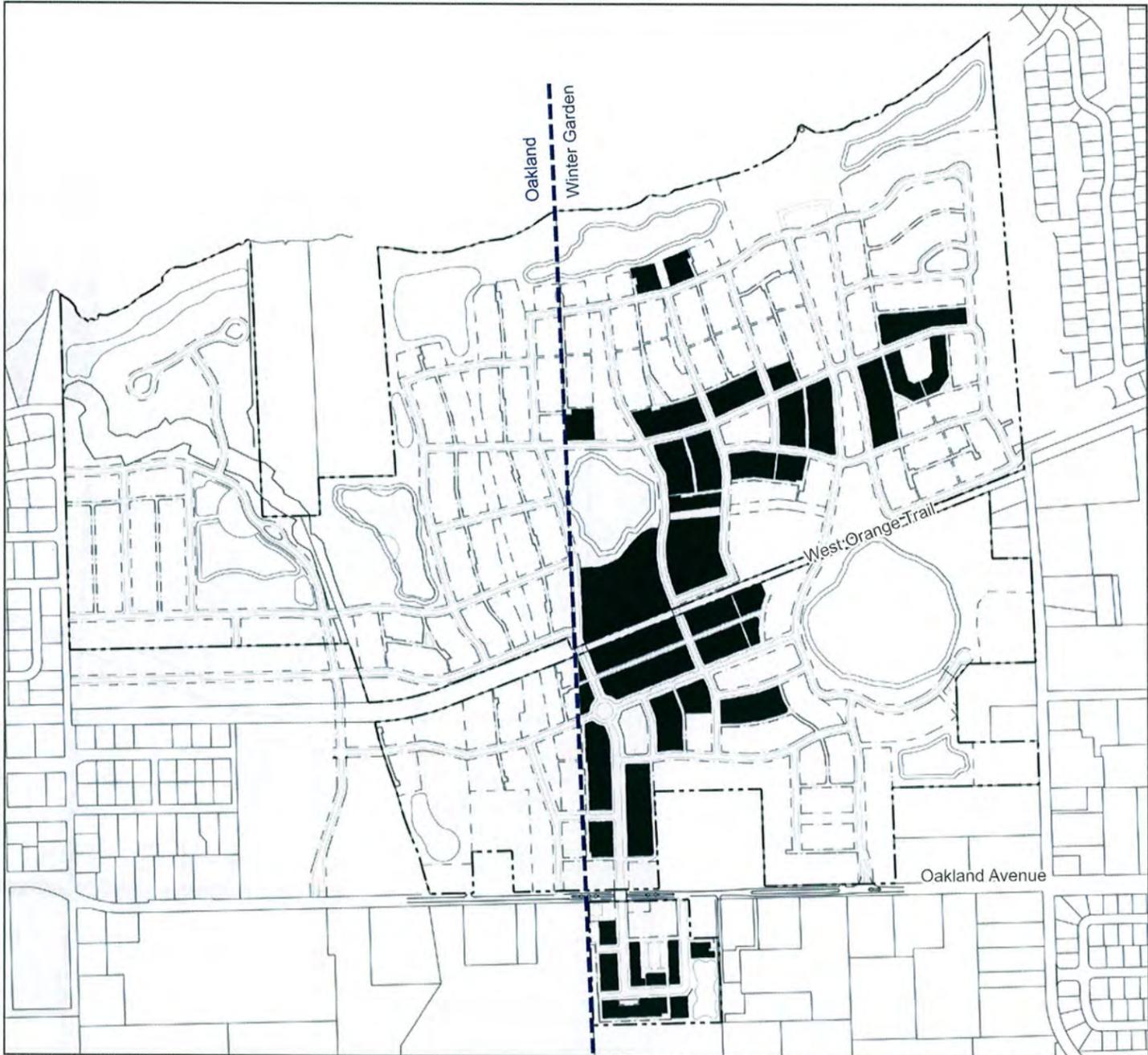
T4-O AREAS IN THE CITY OF WINTER GARDEN

T4-R (NEIGHBORHOOD GENERAL - RESTRICTED)

**PERMITTED LOT TYPES:
T4-R (RESTRICTED)**

Within the T4-R zone, land shall be subdivided into one of the following lot types:

- Large House Lot
- House Lot
- Manor House Lot
- Cottage Common Lot
- Tandem House Lot
- Townhouse Lot
- Live/Work Lot
- Apartment House Lot
(by special exception North of the West Orange Trail; by right south of the West Orange Trail)



T4-R AREAS IN THE CITY OF WINTER GARDEN

URBAN DESIGN STANDARDS

T3 (NEIGHBORHOOD EDGE)

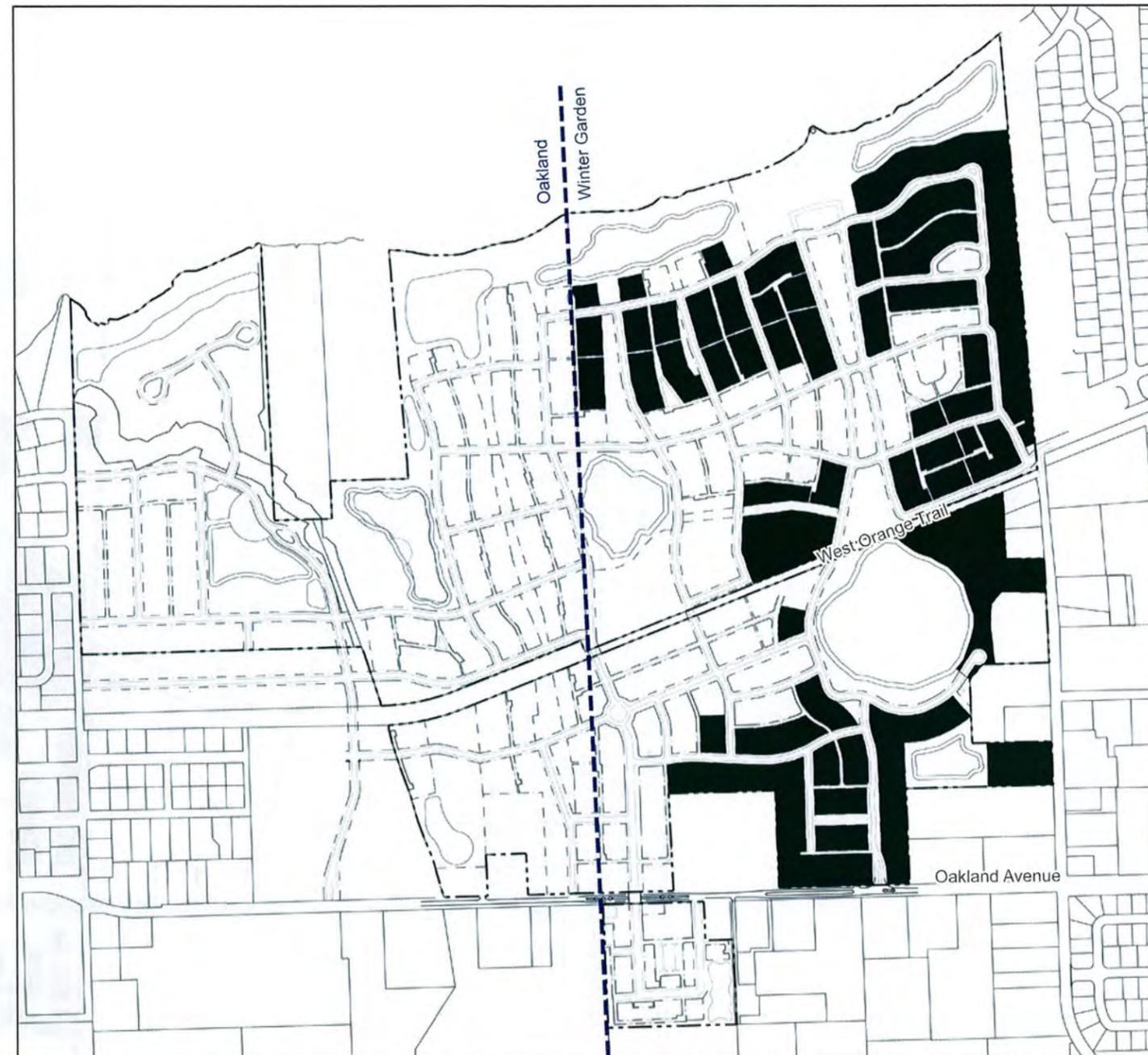
PURPOSE:

The T3 (Neighborhood Edge) areas are single-family residential in character, with a lower density. Street plantings may be naturalistic, and there are normally deeper setbacks.

PERMITTED LOT TYPES:

Within the T3 zone, land shall be subdivided into one of the following lot types:

- *Oakland Avenue Lot*
- *Lake front House Lot*
- *Estate House Lot*
- *Large House Lot*
- *Manor House Lot*
- *Cottage Common Lot*
- *Tandem House Lot*



T3 AREAS IN THE CITY OF WINTER GARDEN

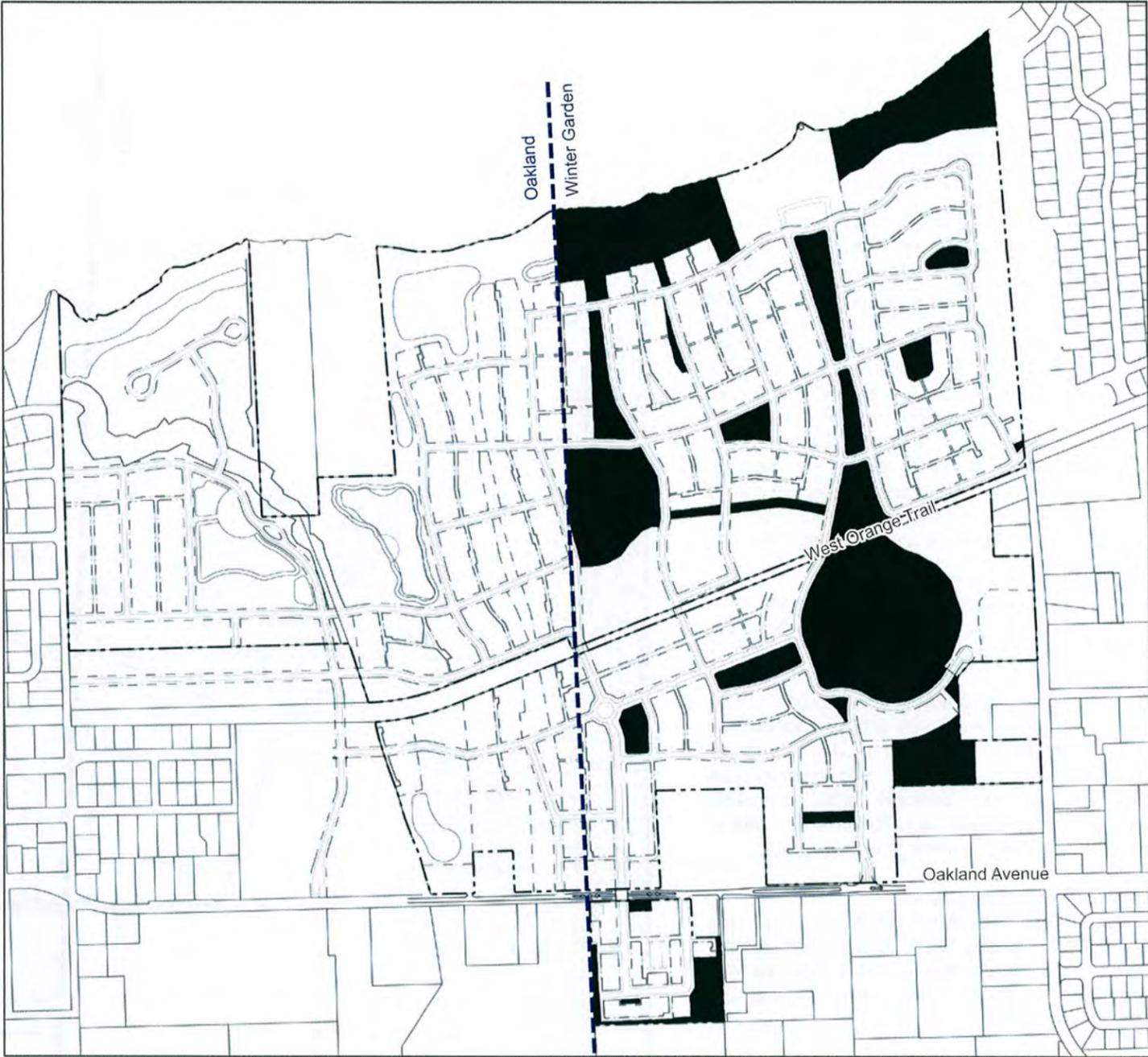
T2 (OPEN SPACE)

PURPOSE:

The open space zone is intended to provide areas for active and passive recreation, site drainage and water retention, and natural vegetation. Civic Buildings may be permitted within this zone. Other structures built within the open space zone are intended to be those accessory to the recreational uses, such as pavilions, restrooms, and utility buildings.

PERMITTED LOT TYPES:

Within the open space zone, land may be allocated for Civic structures at the discretion of the Town Architect. No other lot / building types are permitted.



T2 AREAS IN THE CITY OF WINTER GARDEN

URBAN DESIGN STANDARDS

SD (SPECIAL DISTRICT)

PURPOSE & PERMITTED USES:

Special Districts are places that don't fit within the T2, T3, or T4 categories. They are special in light of location, historical significance or other compelling attributes. The lot type regulations (*pages 24-37*) do not apply in the Special Districts.

Meadowmarsh Special District

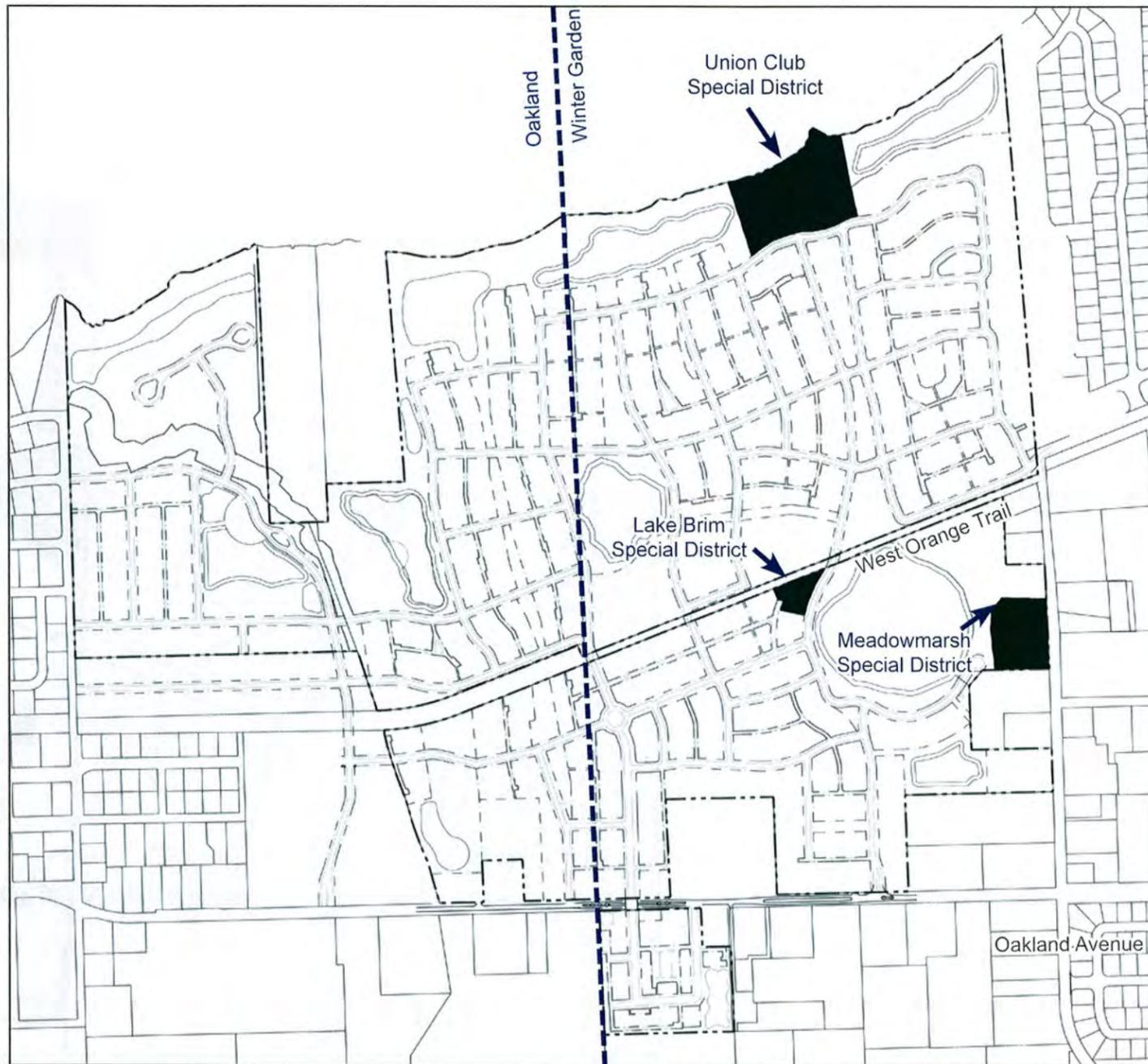
The centerpiece of the Meadowmarsh Special District is the Tilden Estate Home built in 1877 by Luther Tilden. This home is listed on the National Register of Historic Places. The house is in excellent condition and has been used by a number of community groups over the past several years for special functions. No change is proposed to the currently approved uses for this area which include single family residence, recreation facility, bed and breakfast, eating and drinking establishment, office, and private club. A school is permitted by special exception.

Union Club Special District

Located on Lake Apopka the Union Club Special District is at the foot of the North Lawn. To the west of the district is an area identified as a potential archaeological site of historic and cultural significance. No changes to the currently approved uses are proposed for the Union Club parcel. Permitted uses include public parks, playground and recreational facilities, marinas, cultural facilities, retail, eating and drinking establishments, office, private clubs and outdoor sales displays.

Lake Brim Special District

Located on the West Orange Trail, the Lake Brim Special District is permitted by right for a single family residence, bed & breakfast, nursery, child care; school by special exception.



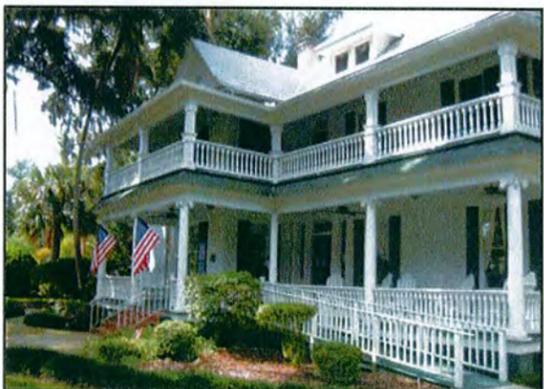
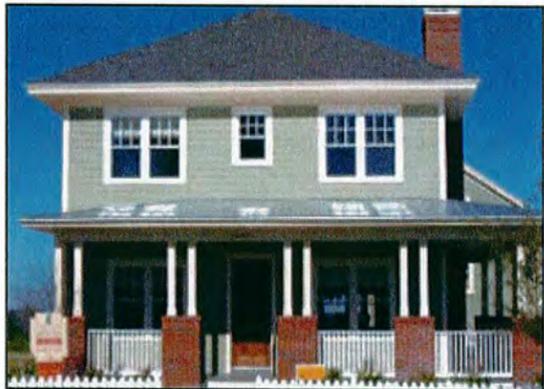
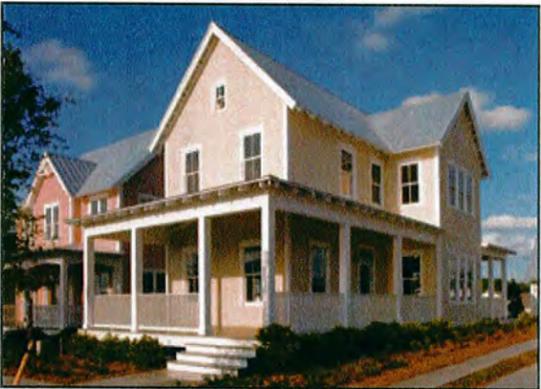
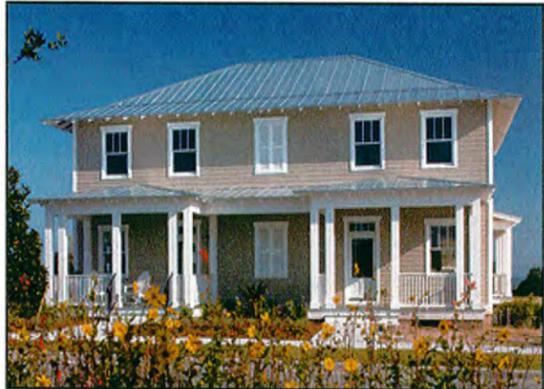
SD AREAS IN THE CITY OF WINTER GARDEN

URBAN DESIGN STANDARDS

URBAN STANDARDS

The Urban Standards establish the physical and functional relationships between buildings. They regulate the rules related to building placement (setbacks, build-to lines, lot frontage, height, and parking location). The intent of these standards is to shape high-quality public spaces by using buildings to form a valuable neighborhood for its inhabitants.

In case of contradiction with local safety codes, these regulations shall be adjusted in collaboration with the Town Architect.



URBAN DESIGN STANDARDS

THE OAKLAND PARK URBAN STANDARDS CONTAIN REGULATIONS FOR THE FOLLOWING LOT TYPES:

(OA): Oakland Avenue Lot.....Page 25

(LF): Lakefront House Lot.....Page 26

(EH): Estate House Lot.....Page 27

(LH): Large House Lot.....Page 28

(H): House Lot.....Page 29

(MA-A): Manor House Lot (attached).....Page 30

(MA-D): Manor House Lot (detached).....Page 31

(CC): Cottage Common LotPage 32

(TA): Tandem House Lot.....Page 33

(TH): Townhouse Lot.....Page 34

(LW): Live/Work Lot.....Page 35

(AP): Apartment House Lot.....Page 36

(RB): Retail Building Lot.....Page 37

LOT COMPATIBILITY MATRIX:

The Lot Compatibility Matrix identifies the lot types that are permitted within each of the TRANSECT Zones identified on the Land Use and Regulating Plans.

		← LOT TYPES →													
↑ TRANSECT ZONES ↓															T4-O (Neighborhood General - Open)
															T4-R (Neighborhood General - Restricted)
															T3 (Neighborhood Edge)
															T2 (Open Space)*
		Oakland Avenue Lot	Lakefront House Lot	Estate House Lot	Large House Lot	House Lot	Manor House Lot	Cottage Common Lot	Tandem House Lot	Townhouse Lot	Live/Work Lot	Apartment House Lot	Retail Building Lot		

*civic structures shall be permitted in all transect zones, including areas designated T2 (Open Space)

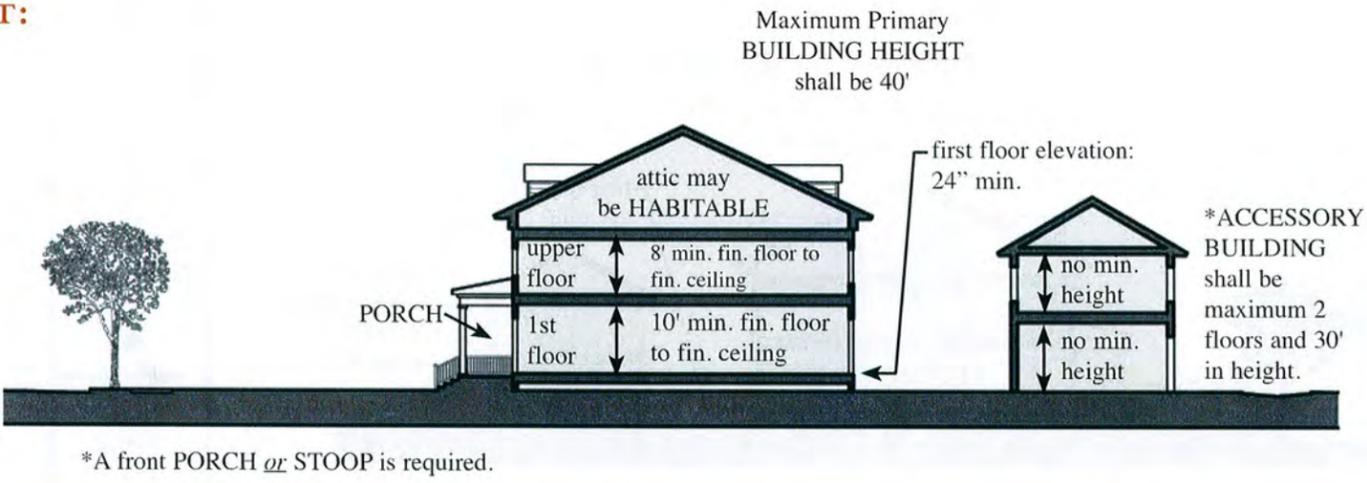
GENERAL NOTES:

- Permitted lot types on each block within the Oakland Park plan shall be determined by Transect Zone, as described on page 17.
- Terms in ALL CAPS are defined in the definitions (page 38).
- Precedent images are for illustrative purposes only, with no regulatory effect. They are provided as examples, and shall not imply that every element in the photograph is permitted.

URBAN DESIGN STANDARDS

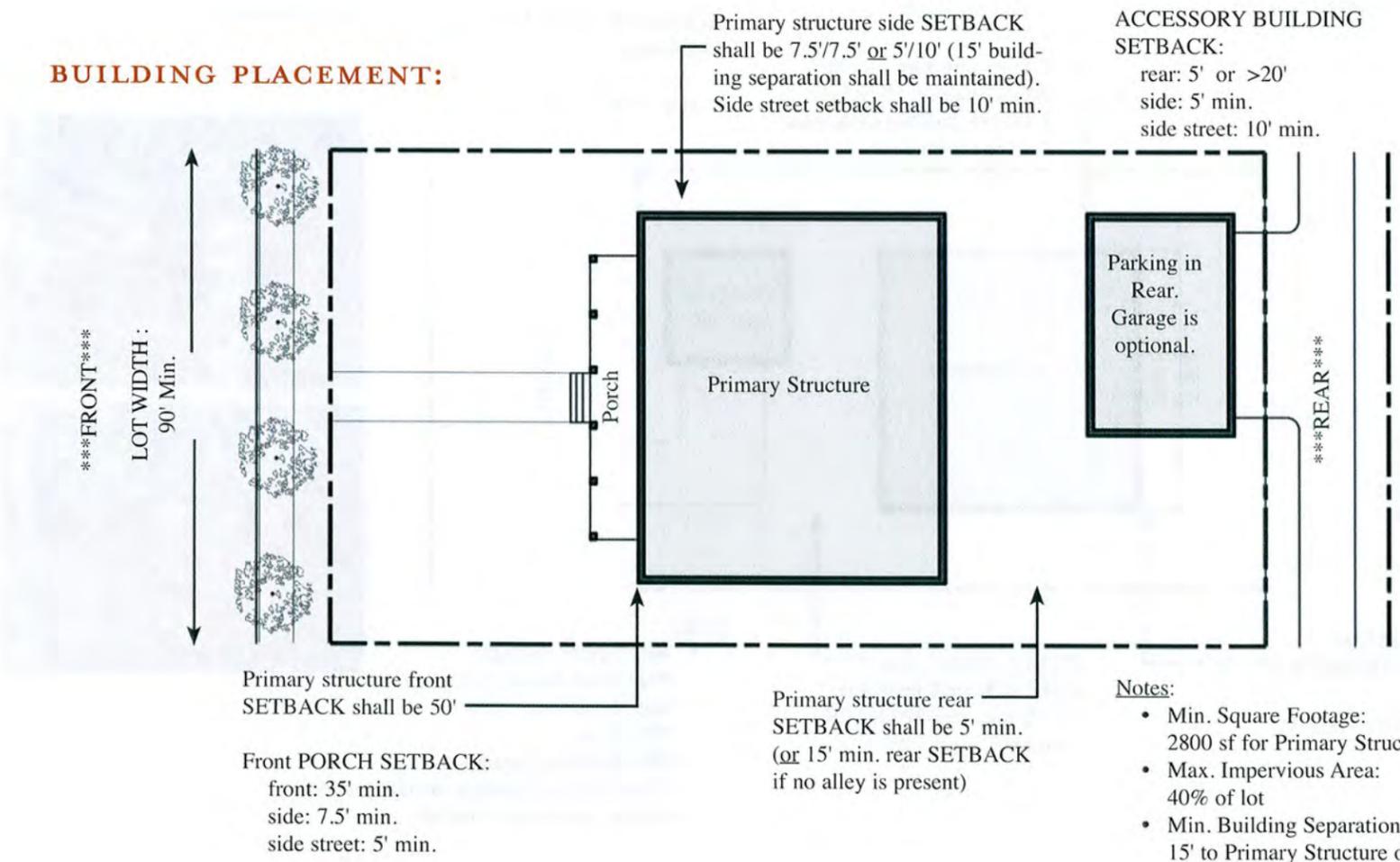
(OA): OAKLAND AVENUE LOT

HEIGHT:



T4-O GENERAL / OPEN
T4-R GENERAL / RESTRICTED
T3 NEIGHBORHOOD EDGE
T2 OPEN SPACE

BUILDING PLACEMENT:



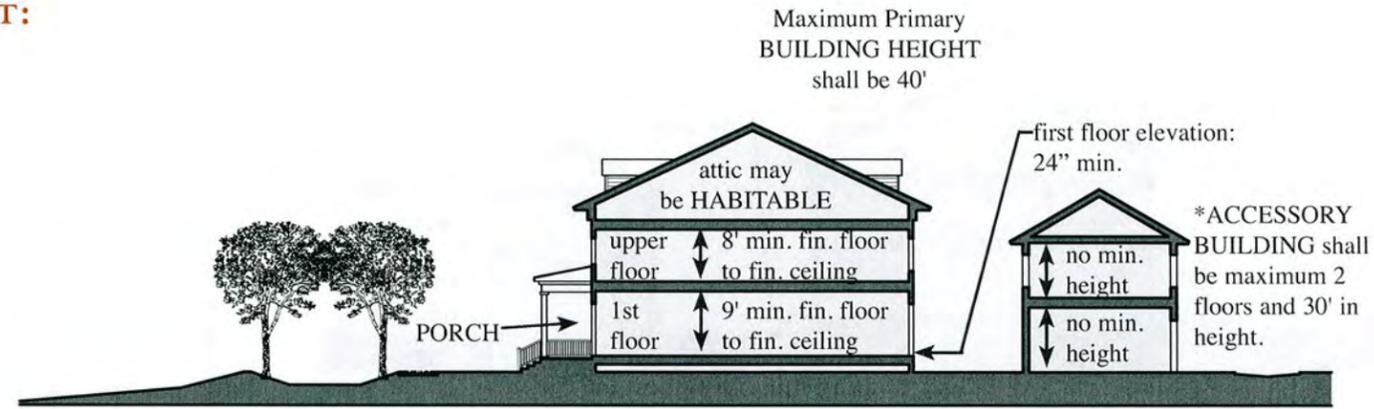
PRECEDENT EXAMPLES:



URBAN DESIGN STANDARDS

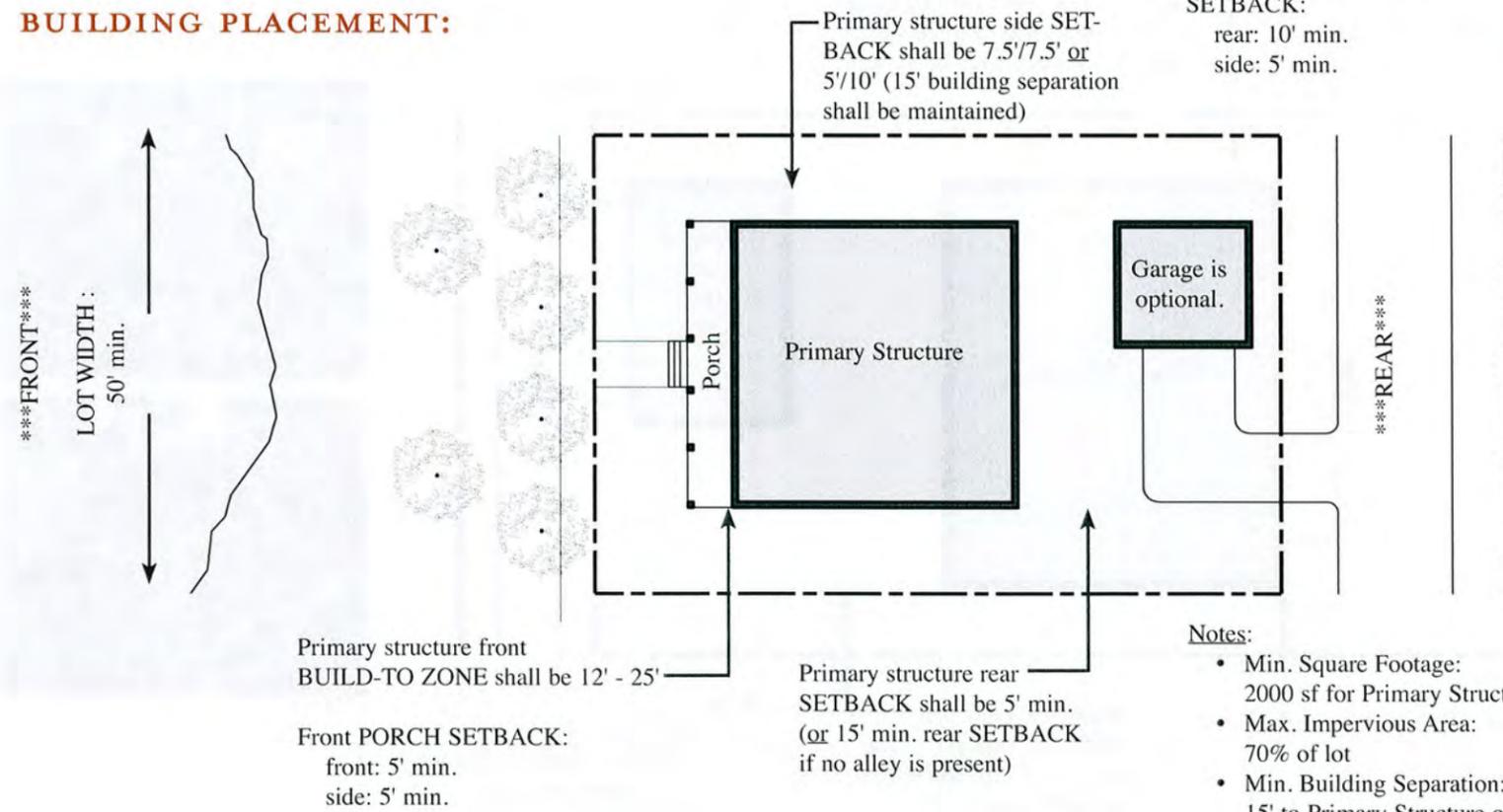
(LF): LAKEFRONT HOUSE LOT

HEIGHT:



*A front PORCH or STOOP is required.

BUILDING PLACEMENT:



Notes:

- Min. Square Footage: 2000 sf for Primary Structure
- Max. Impervious Area: 70% of lot
- Min. Building Separation: 15' to Primary Structure on adjacent lot
- Garage must be side loaded

T4-O GENERAL/ OPEN
T4-R GENERAL/ RESTRICTED
T3 NEIGHBORHOOD EDGE
T2 OPEN SPACE

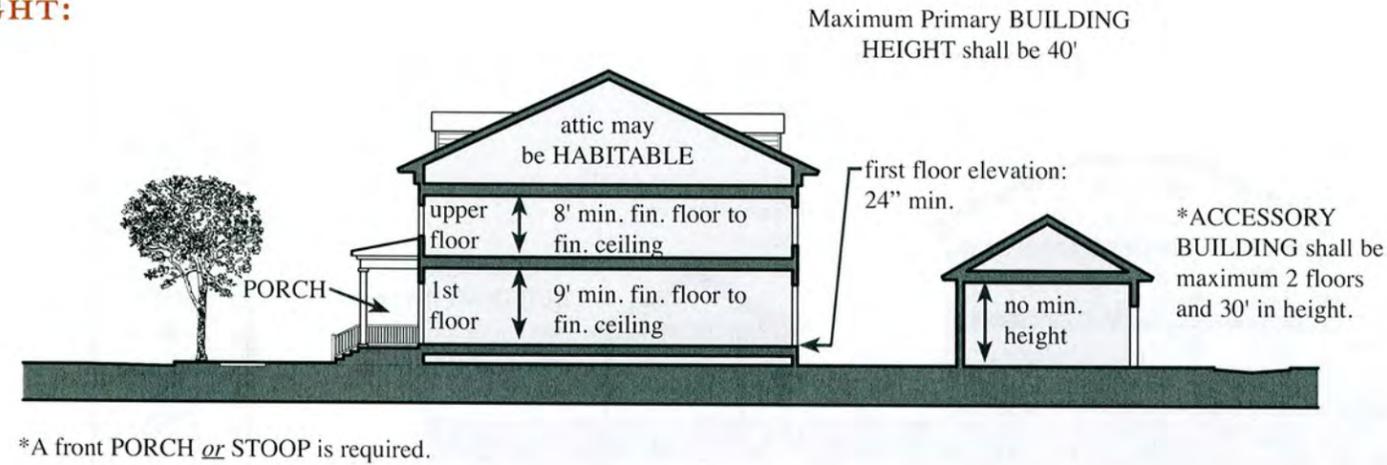
PRECEDENT EXAMPLES:



URBAN DESIGN STANDARDS

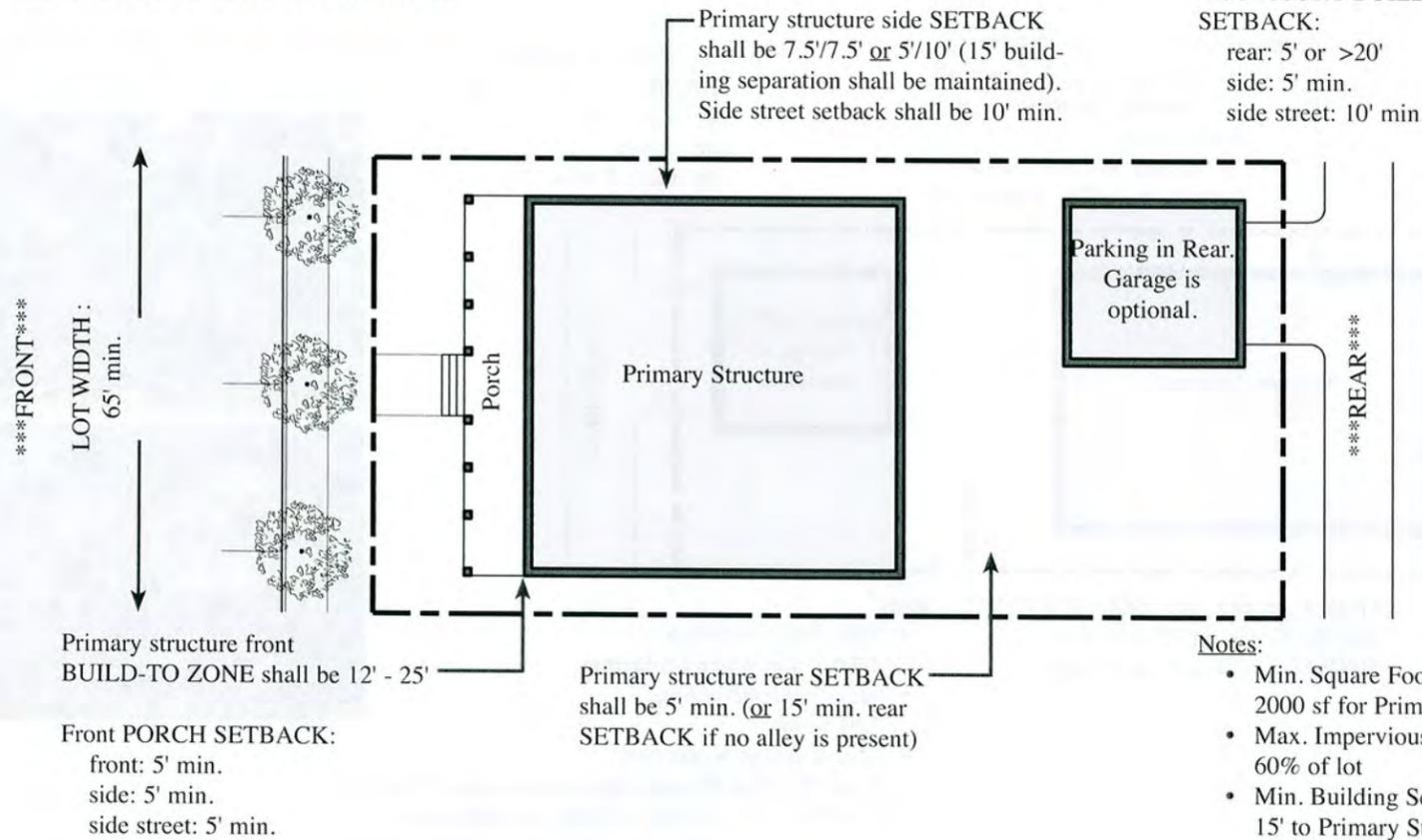
(EH): ESTATE HOUSE LOT

HEIGHT:



T4-O GENERAL / OPEN
T4-R GENERAL / RESTRICTED
T3 NEIGHBORHOOD EDGE ●
T2 OPEN SPACE

BUILDING PLACEMENT:



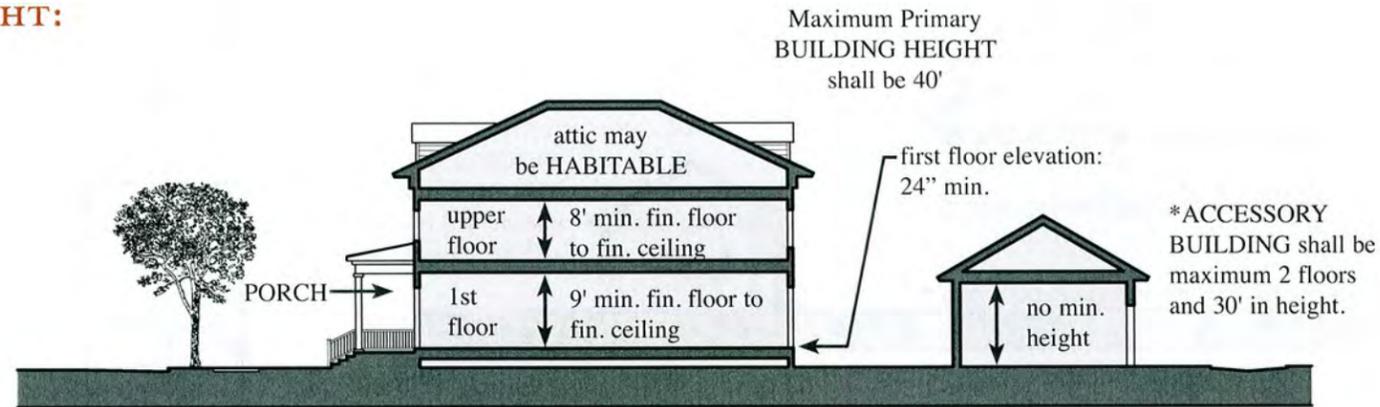
PRECEDENT & CHARACTER EXAMPLES:



URBAN DESIGN STANDARDS

(LH): LARGE HOUSE LOT

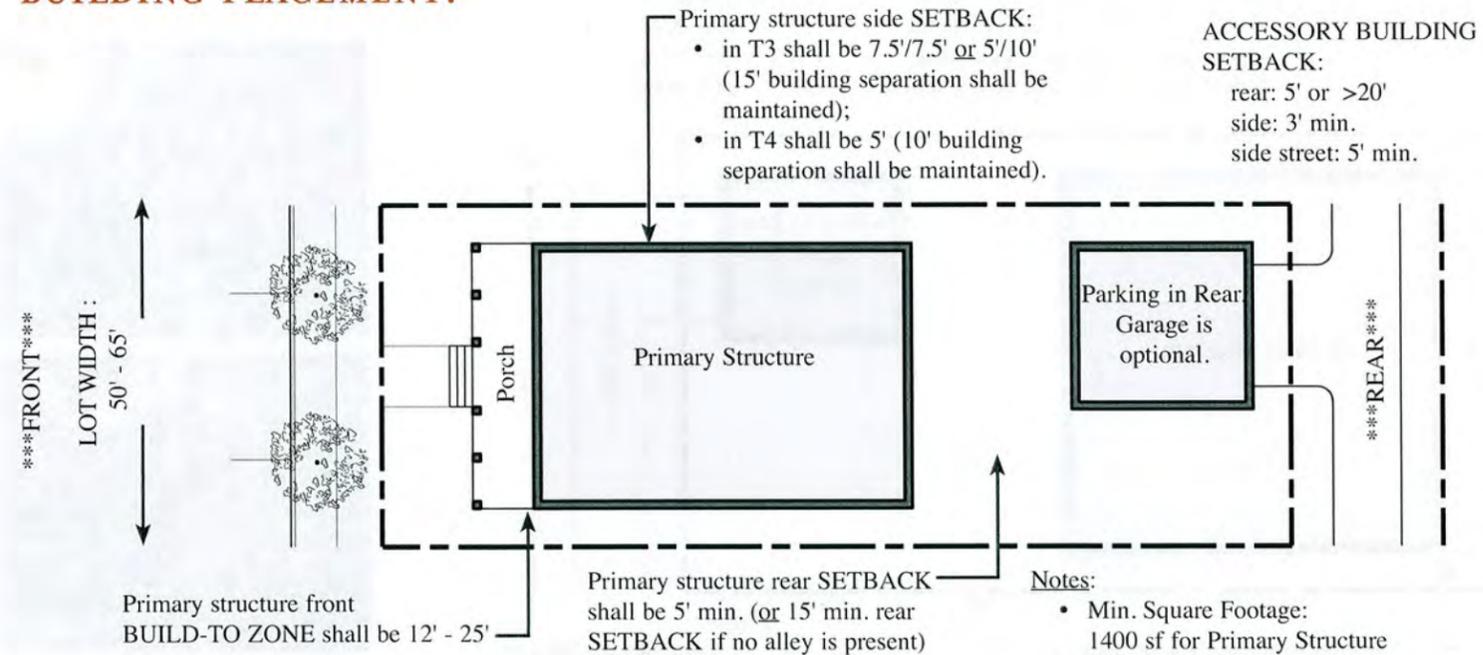
HEIGHT:



*A front PORCH or STOOP is required.

T4-O GENERAL/ OPEN
T4-R GENERAL/ RESTRICTED
T3 NEIGHBORHOOD EDGE
T2 OPEN SPACE

BUILDING PLACEMENT:



FRONT
LOT WIDTH :
50' - 65'

Primary structure front
BUILD-TO ZONE shall be 12' - 25'

Front PORCH SETBACK:
front: 5' min.
side: 5' min.
side street: 5' min.

Primary structure rear SETBACK
shall be 5' min. (or 15' min. rear
SETBACK if no alley is present)

Notes:

- Min. Square Footage: 1400 sf for Primary Structure
- Max. Impervious Area: 70% of lot
- Min. Building Separation:
 - in T3: 15' to Primary Structure on adjacent lot;
 - in T4: 10' to Primary Setback on adjacent lot, unless adjacent Primary Structure requirement is greater (which shall then prevail).

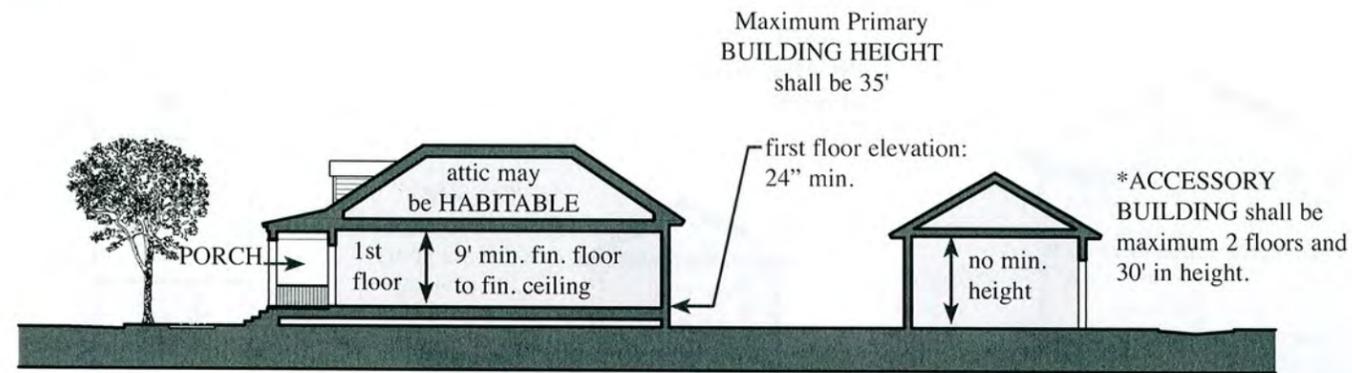
PRECEDENT & CHARACTER EXAMPLES:



URBAN DESIGN STANDARDS

(H): HOUSE LOT

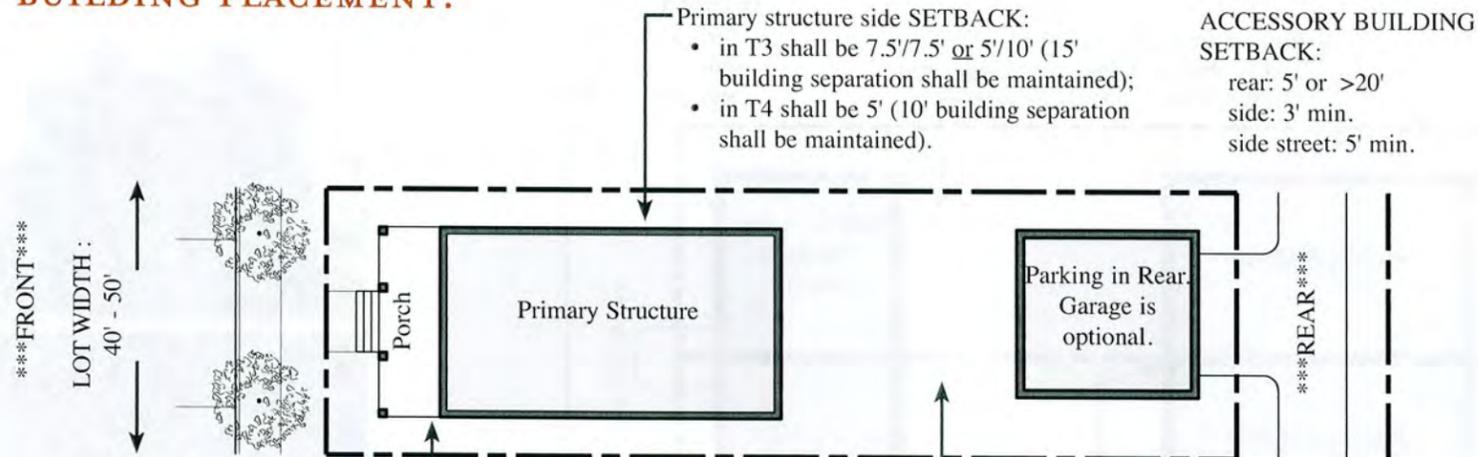
HEIGHT:



*A front PORCH *or* STOOP is required.

T4-O GENERAL / OPEN
T4-R GENERAL / RESTRICTED ●
T3 NEIGHBORHOOD EDGE ●
T2 OPEN SPACE

BUILDING PLACEMENT:



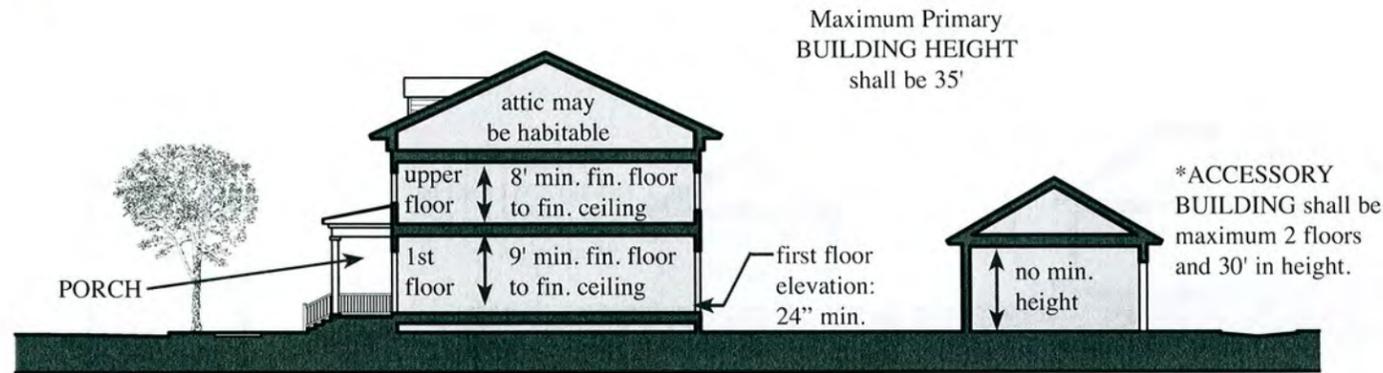
PRECEDENT EXAMPLES:



URBAN DESIGN STANDARDS

(MA-A): MANOR HOUSE LOT (ATTACHED)

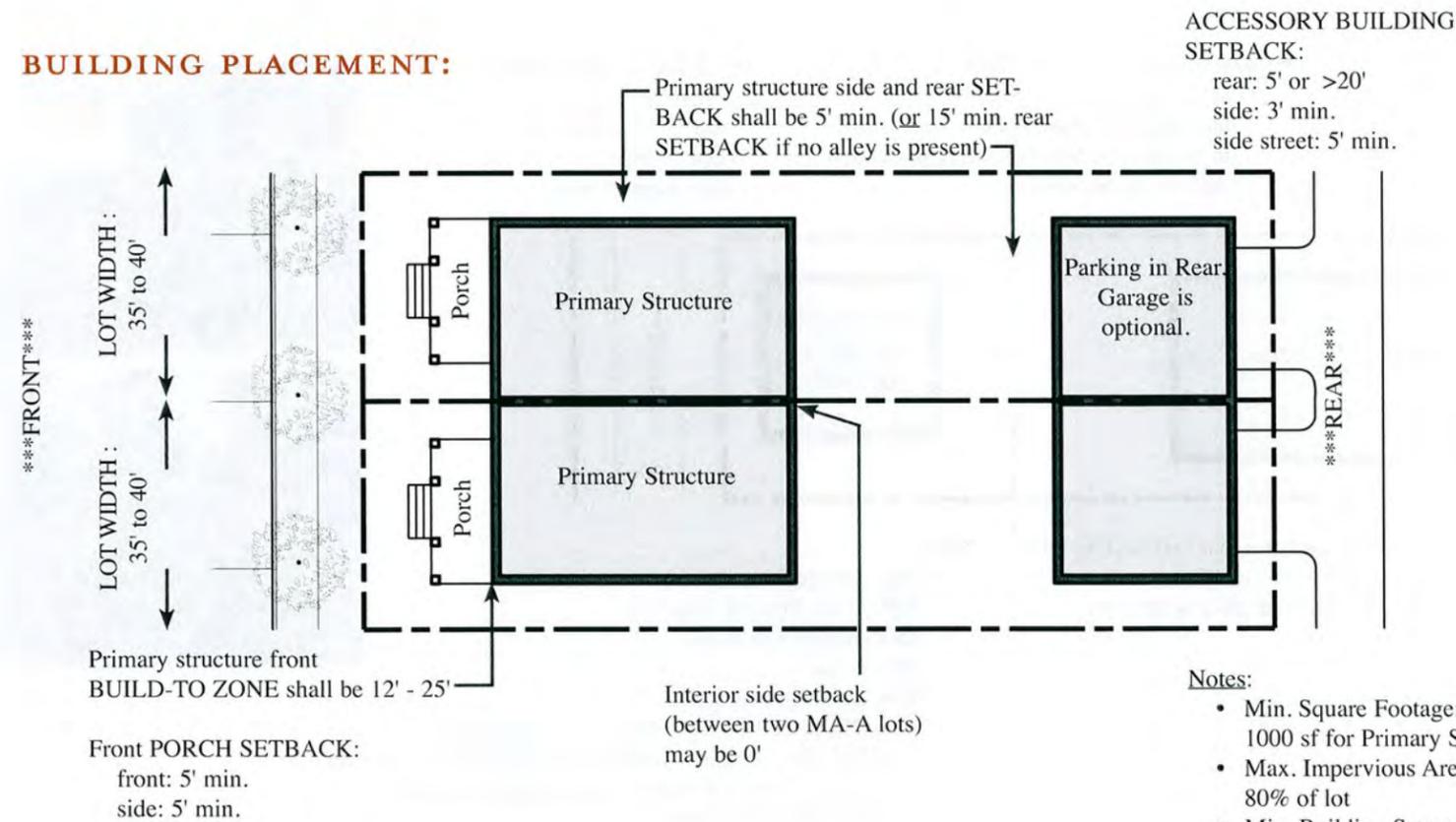
HEIGHT:



*A front PORCH or STOOP is required.

T4-O GENERAL / OPEN
T4-R GENERAL / RESTRICTED
T3 NEIGHBORHOOD EDGE
T2 OPEN SPACE

BUILDING PLACEMENT:



PRECEDENT & CHARACTER EXAMPLES:

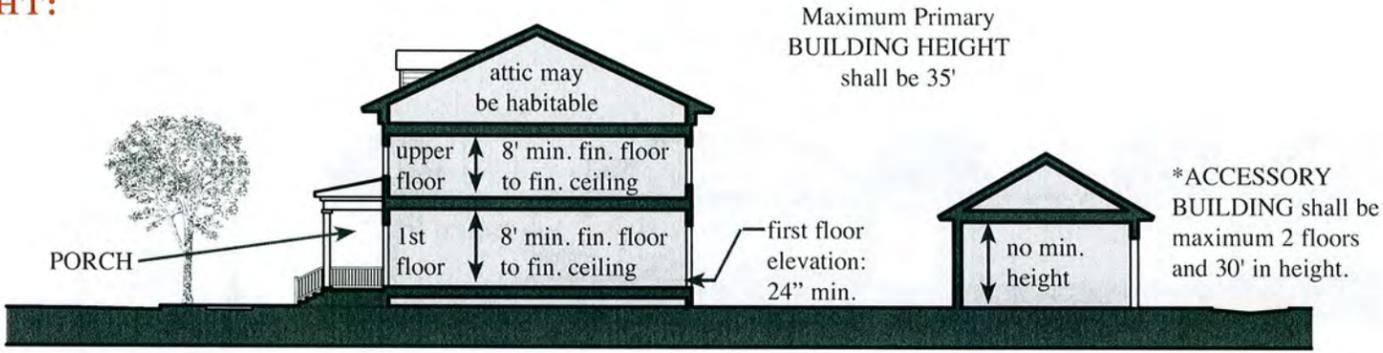


- Notes:
- Min. Square Footage: 1000 sf for Primary Structure
 - Max. Impervious Area: 80% of lot
 - Min. Building Separation: 10' to Primary Structure on adjacent lot

URBAN DESIGN STANDARDS

(MA-D): MANOR HOUSE LOT (DETACHED)

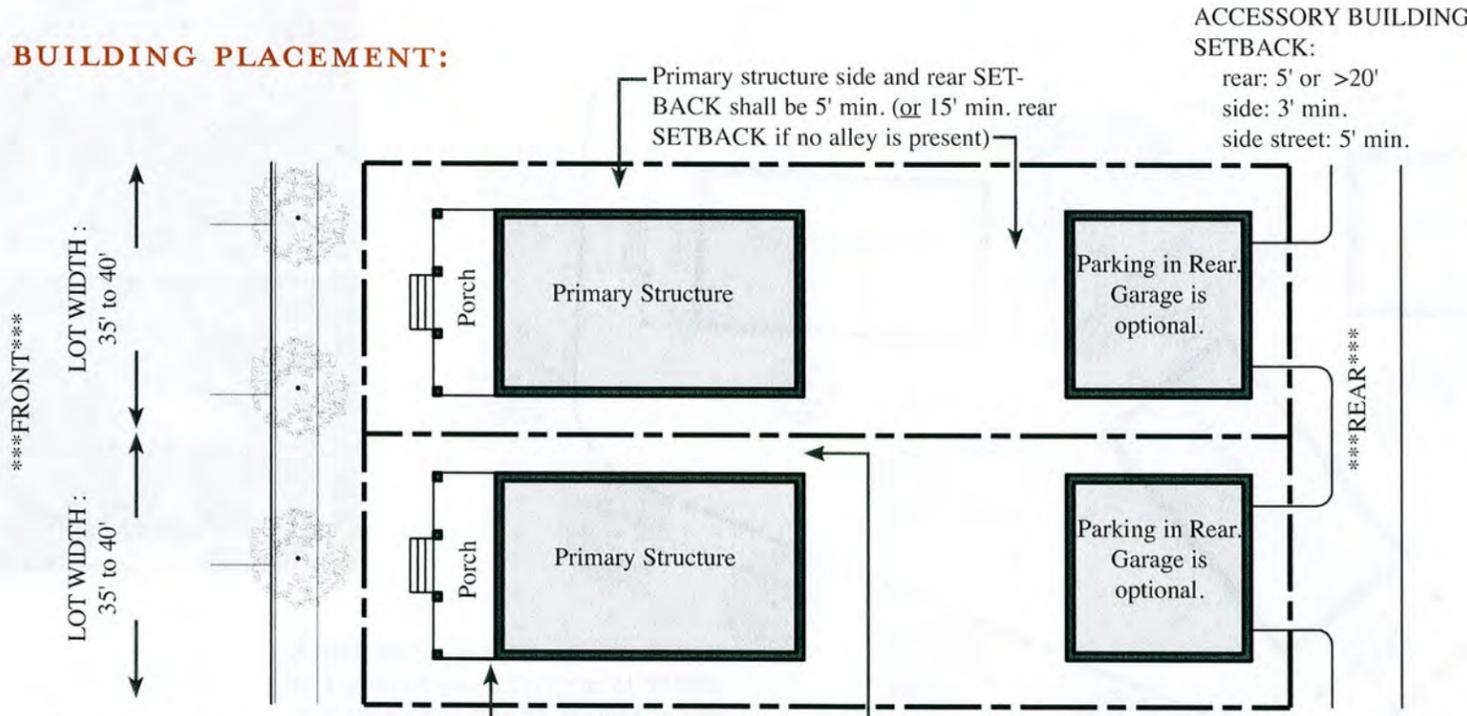
HEIGHT:



*A front PORCH or STOOP is required.

T4-O GENERAL / OPEN
T4-R GENERAL / RESTRICTED ●
T3 NEIGHBORHOOD EDGE ●
T2 OPEN SPACE

BUILDING PLACEMENT:



PRECEDENT & CHARACTER EXAMPLES:

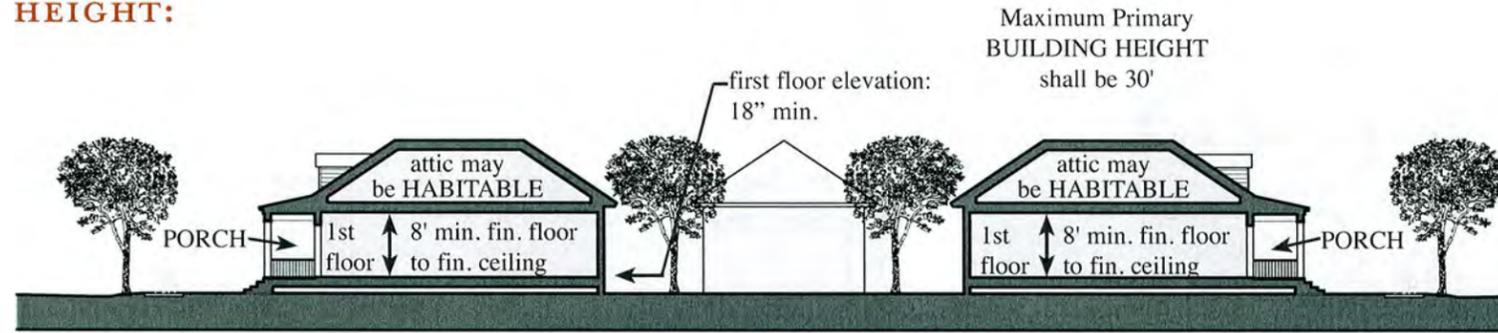


- Notes:
- Min. Square Footage: 1000 sf for Primary Structure
 - Max. Impervious Area: 80% of lot
 - Min. Building Separation: 10' to Primary Structure on adjacent lot, unless adjacent Primary Structure requirement is greater (which shall then prevail)

URBAN DESIGN STANDARDS

(CC): COTTAGE COMMON LOT

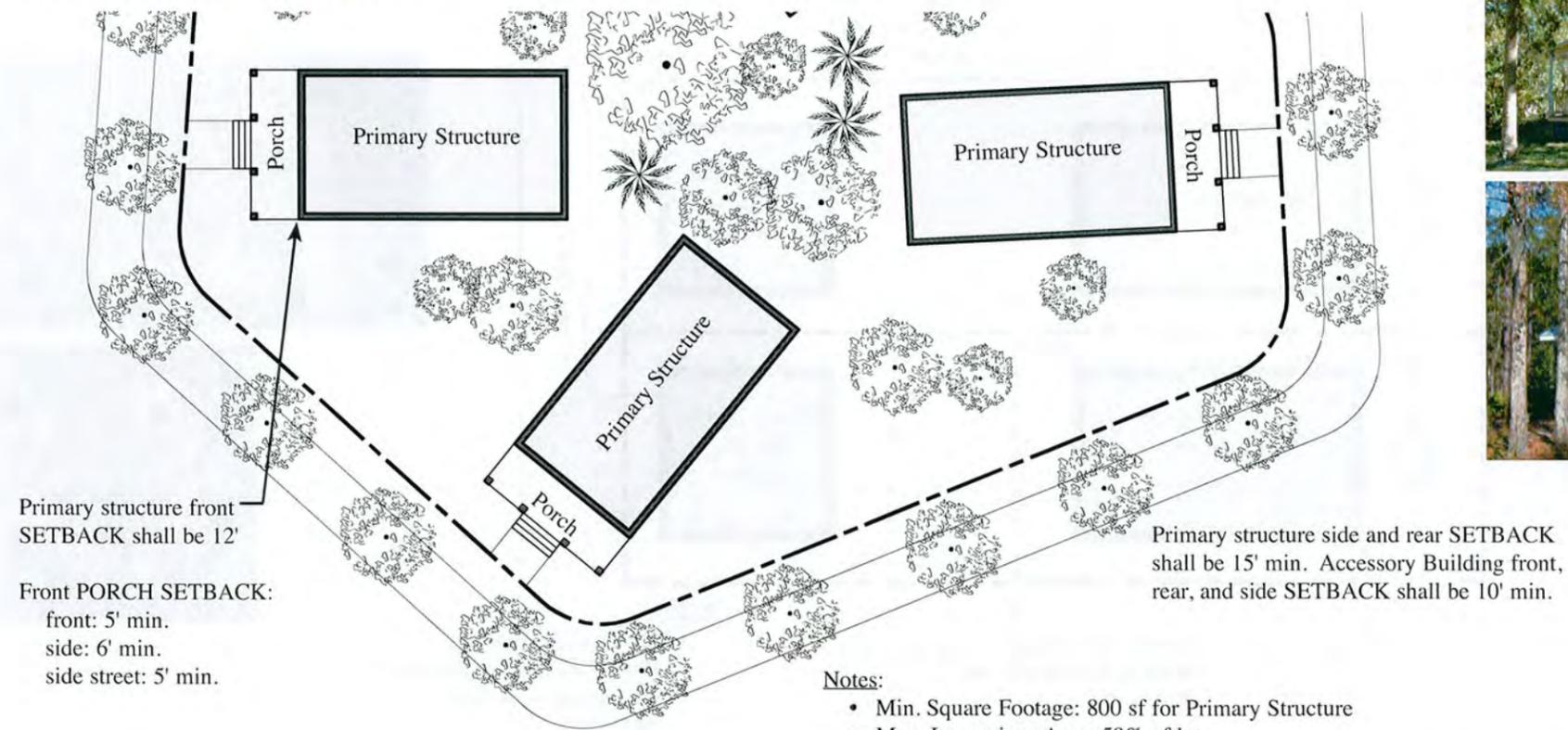
HEIGHT:



*A front PORCH or STOOP is required.

*The Cottage Common lot has been created to maximize the preservation of specimen trees and provide a parklike setting next to the West Orange Trail. Cottages will be sited in a manner that preserves tree canopy; ownership of each cottage will be condominium style.

BUILDING PLACEMENT:



Notes:

- Min. Square Footage: 800 sf for Primary Structure
- Max. Impervious Area: 50% of lot
- Min. Building Separation: 15' between Primary Structures
- Cottages are in a condominium-style ownership and therefore setbacks listed are to the perimeter of the parcel.

T4-O GENERAL/ OPEN
T4-R GENERAL/ RESTRICTED ●
T3 NEIGHBORHOOD EDGE ●
T2 OPEN SPACE

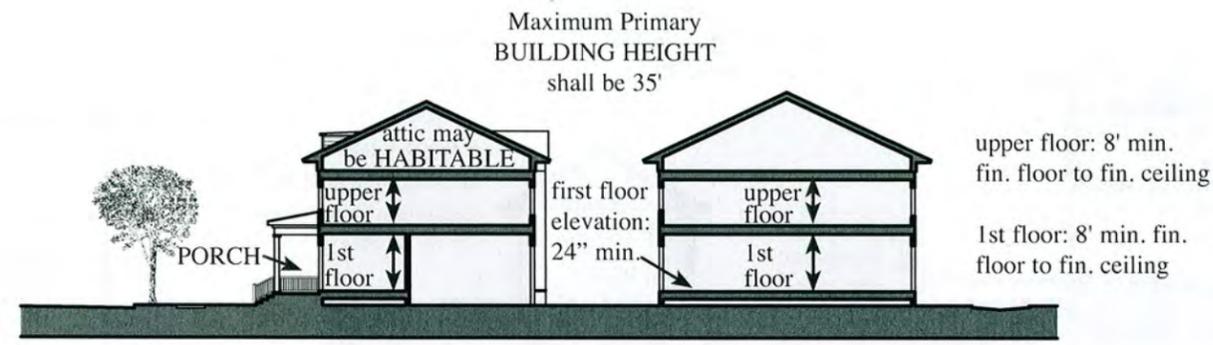
PRECEDENT EXAMPLES:



URBAN DESIGN STANDARDS

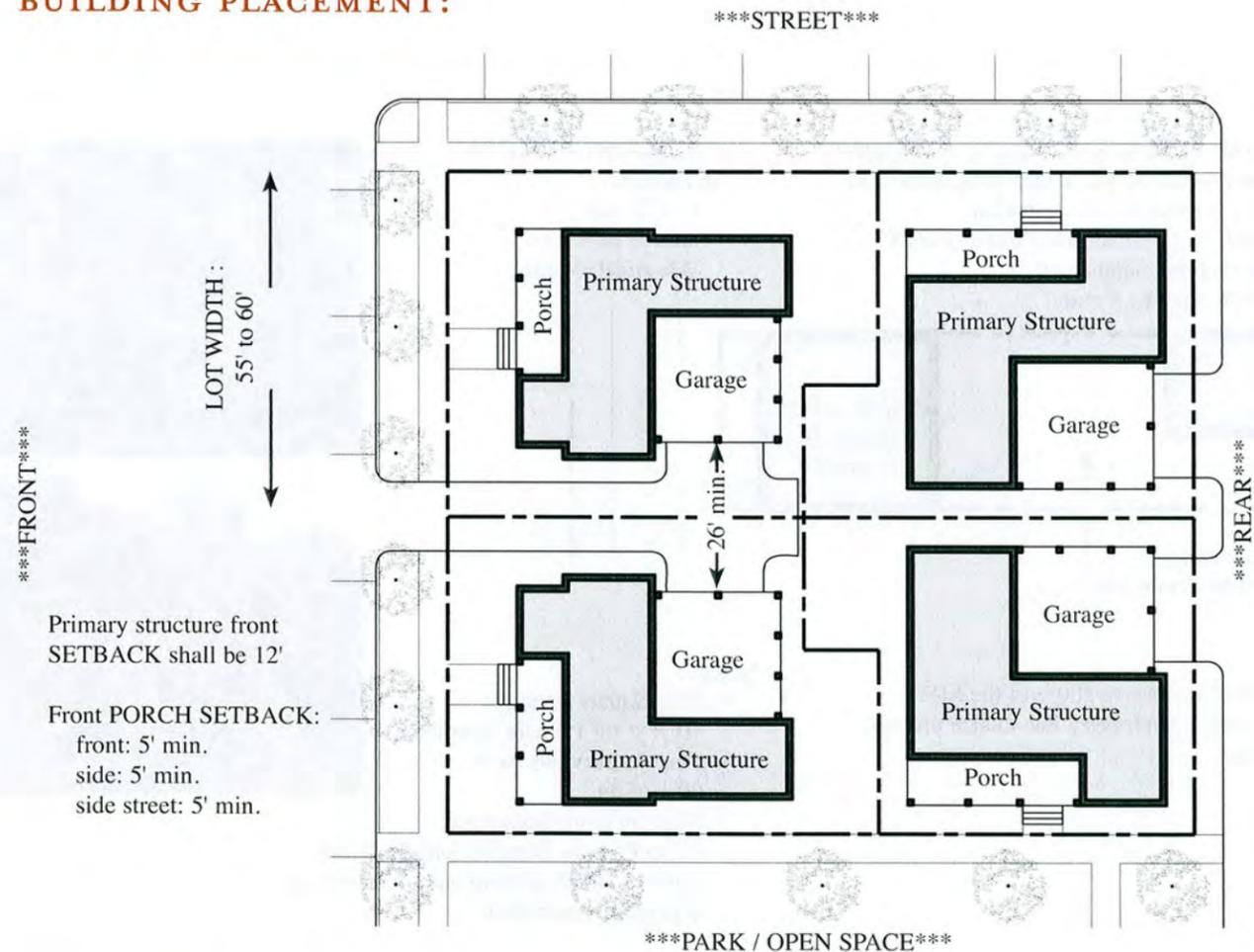
(TD): TANDEM HOUSE LOT

HEIGHT:



*A front PORCH or STOOP is required.

BUILDING PLACEMENT:



T4-O GENERAL / OPEN
T4-R GENERAL / RESTRICTED ●
T3 NEIGHBORHOOD EDGE ●
T2 OPEN SPACE

PRECEDENT EXAMPLES:



Primary structure side and rear SETBACK shall be 5' min.

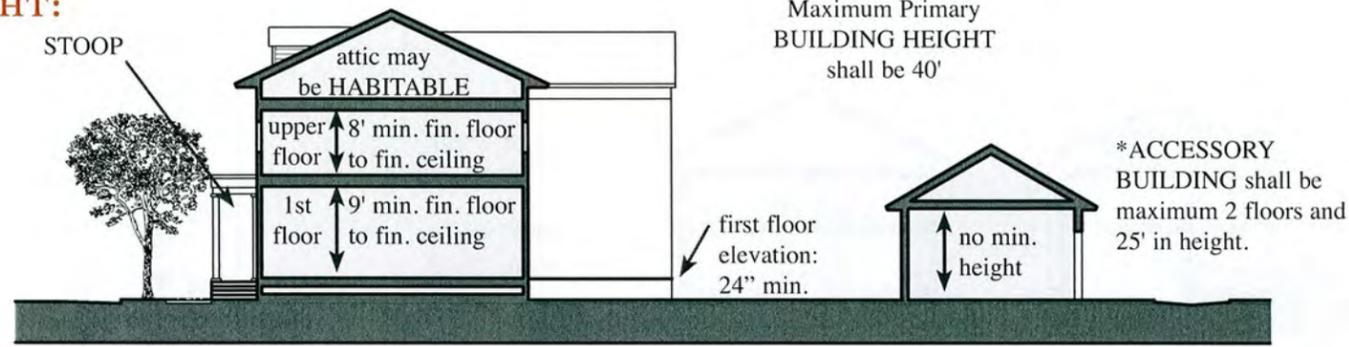
Notes:

- Min. Square Footage: 800 sf for Primary Structure
- Max. Impervious Area: 80% of lot
- Min. Building Separation: 10' between Primary Structures

URBAN DESIGN STANDARDS

(TH): TOWNHOUSE LOT

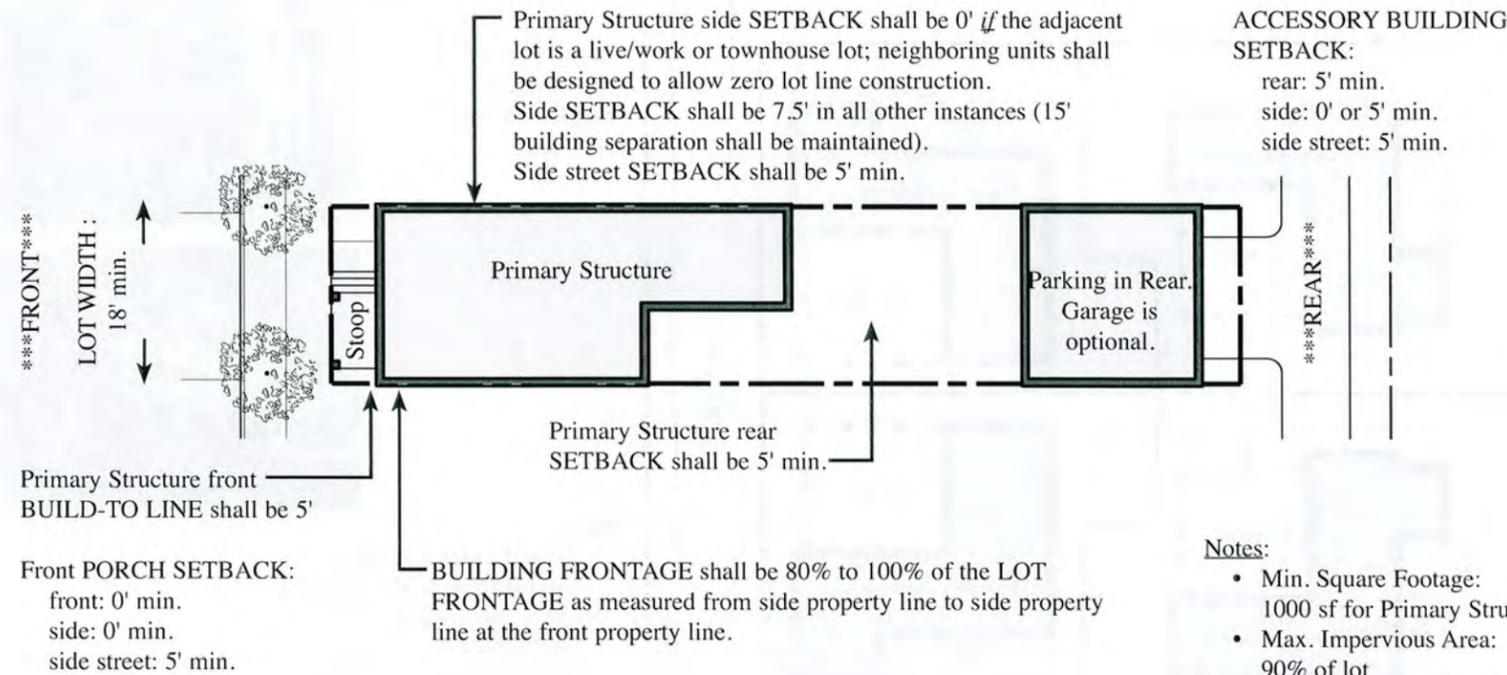
HEIGHT:



*A front PORCH or STOOP is required.

T4-O GENERAL/ OPEN	●
T4-R GENERAL/ RESTRICTED	●
T3 NEIGHBORHOOD EDGE	
T2 OPEN SPACE	

BUILDING PLACEMENT:



- Notes:
- Min. Square Footage: 1000 sf for Primary Structure
 - Max. Impervious Area: 90% of lot
 - Min. Building Separation: 15' to Primary Structure on adjacent lot (up to 6 attached townhouse units permitted before separation)

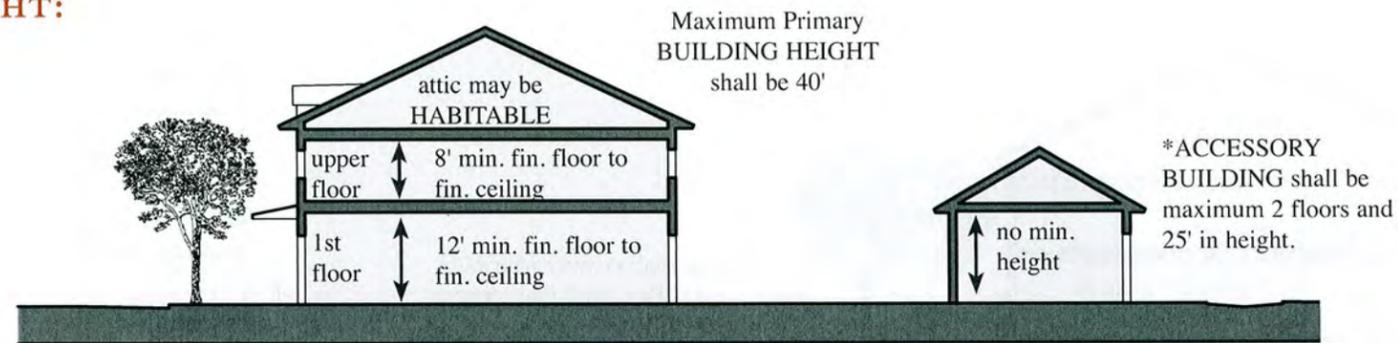
PRECEDENT & CHARACTER EXAMPLES:



URBAN DESIGN STANDARDS

(LW): LIVE/WORK LOT

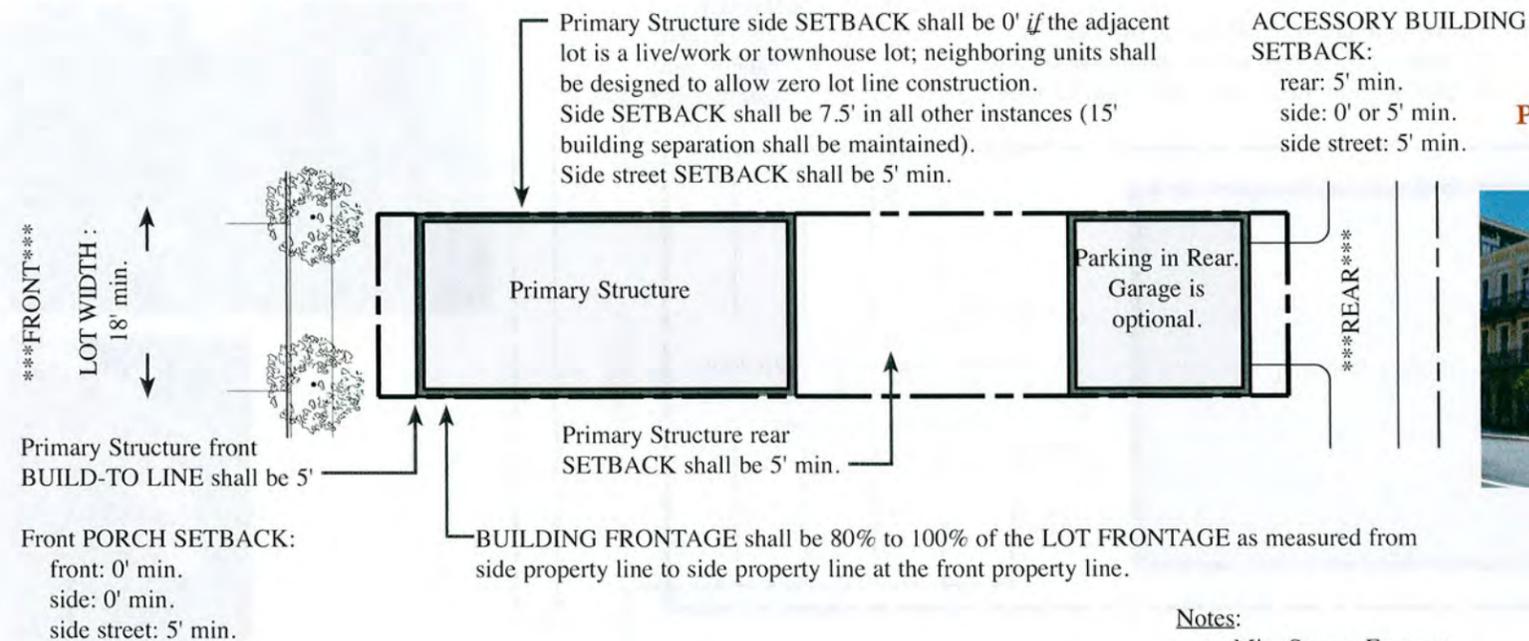
HEIGHT:



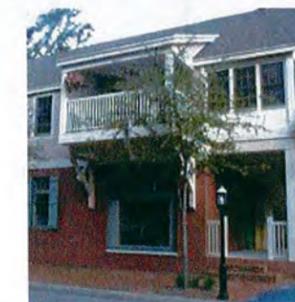
*If 1st floor is **residential**: A front PORCH *or* STOOP is required.
 *If 1st floor is **commercial**: An AWNING/ MARQUEE, BALCONY, *or* COLONNADE/ ARCADE is required

T4-O GENERAL / OPEN	●
T4-R GENERAL / RESTRICTED	●
T3 NEIGHBORHOOD EDGE	
T2 OPEN SPACE	

BUILDING PLACEMENT:



PRECEDENT & CHARACTER EXAMPLES:

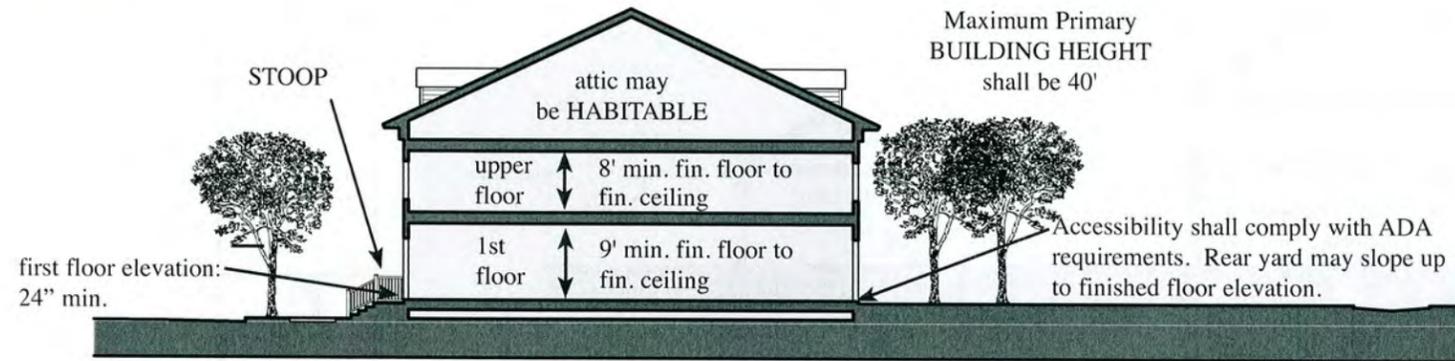


- Notes:
- Min. Square Footage: 1000 sf for Primary Structure
 - Max. Impervious Area: 90% of lot
 - Min. Building Separation: 15' to Primary Structure on adjacent lot (up to 6 attached live/work units permitted before separation)

URBAN DESIGN STANDARDS

(AH): APARTMENT HOUSE LOT

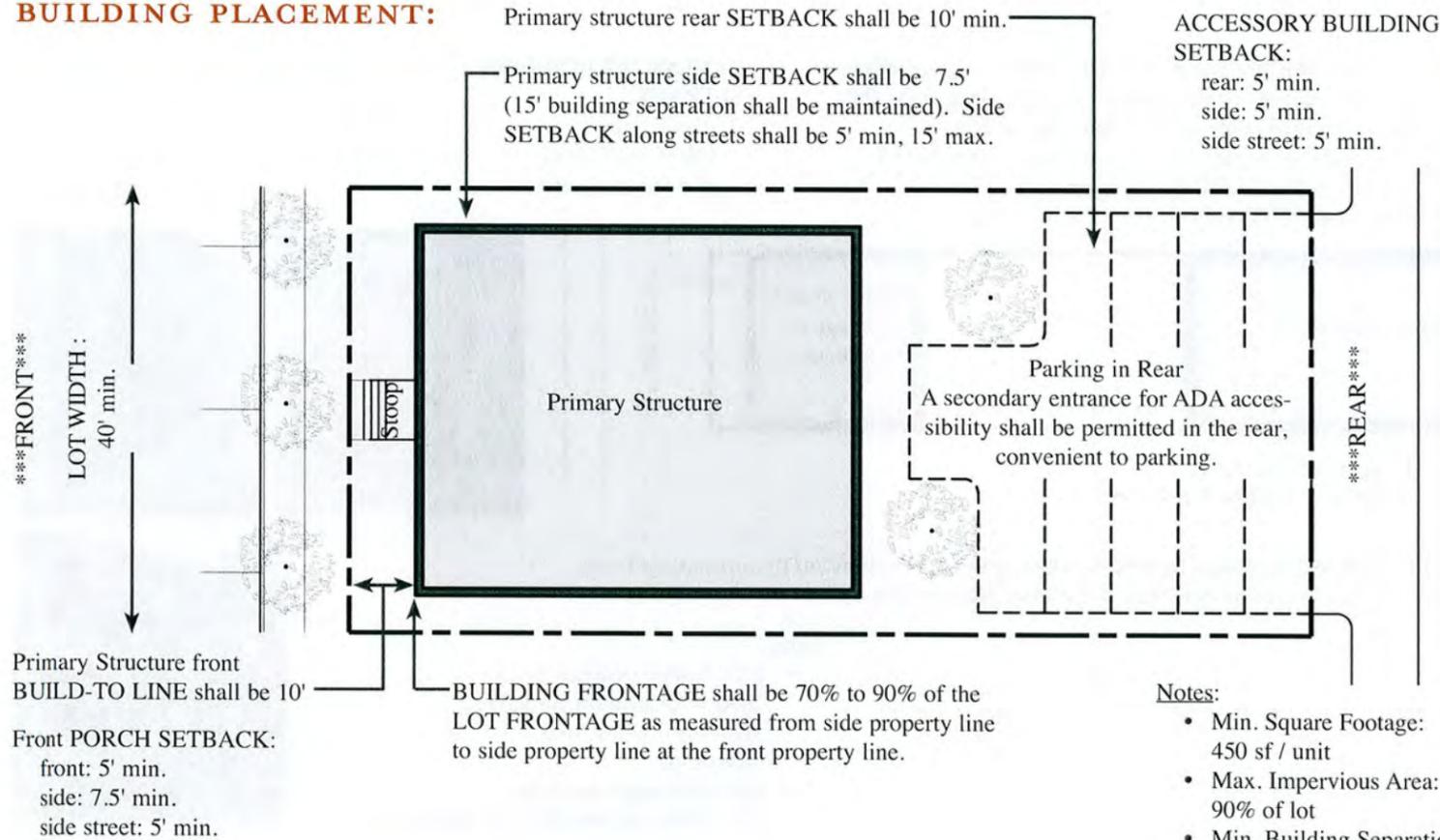
HEIGHT:



*A front PORCH or STOOP is required.

T4-O GENERAL/ OPEN	●
T4-R GENERAL/ RESTRICTED	●
T3 NEIGHBORHOOD EDGE	
T2 OPEN SPACE	

BUILDING PLACEMENT:



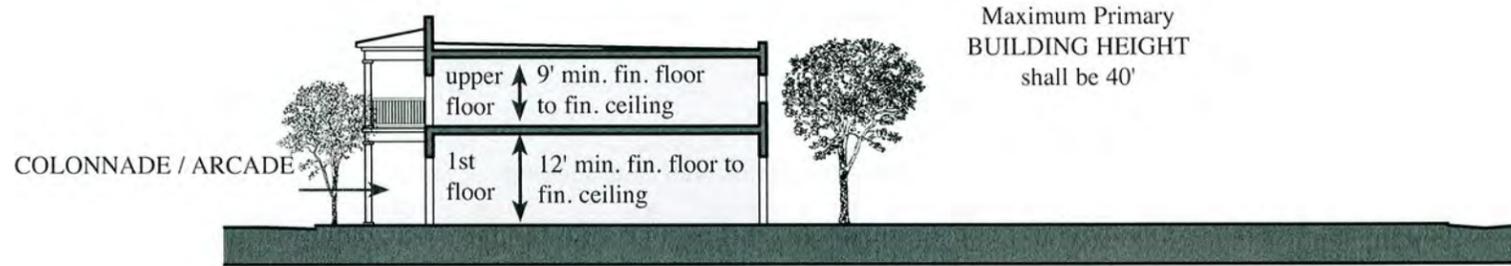
PRECEDENT EXAMPLES:



URBAN DESIGN STANDARDS

(RB): RETAIL BUILDING LOT

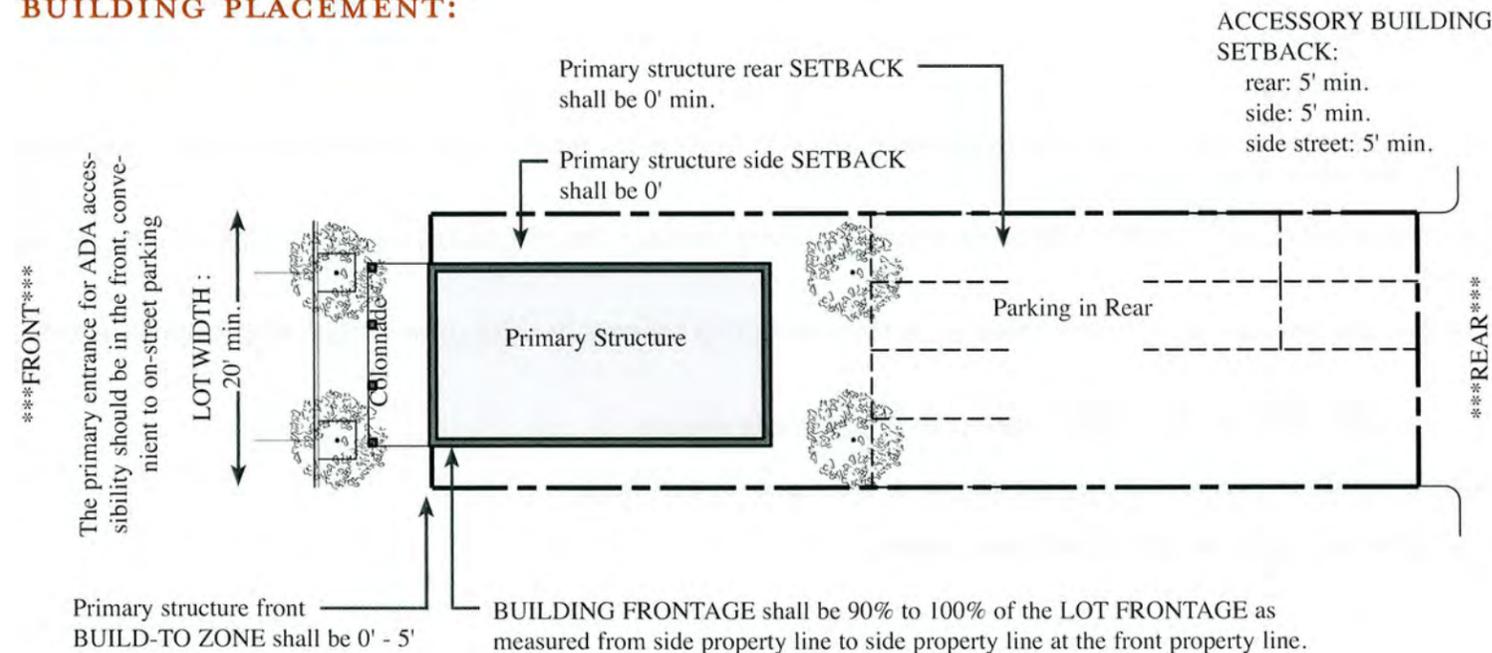
HEIGHT:



*An AWNING, BALCONY, or COLONNADE/ARCADE is required.

T4-O GENERAL / OPEN ●
T4-R GENERAL / RESTRICTED
T3 NEIGHBORHOOD EDGE
T2 OPEN SPACE

BUILDING PLACEMENT:



Front PORCH SETBACK:
front: 0' min.
side: 0' min.
side street: 0' min.

Notes:

- Min. Square Footage: N/A
- Max. Impervious Area: 100% of lot
- Min. Building Separation: 0'

PRECEDENT & CHARACTER EXAMPLES:



URBAN DESIGN STANDARDS

DEFINITIONS

ACCESSORY BUILDING: A building or structure subordinate to the principal building or lot and used for purposes customarily incidental to the main or principal building and located on the same lot therewith.

APPURTENANCES: Architectural features not used for human occupancy, consisting of spires, belfries, cupolas or dormers; parapet walls, and cornices without windows; chimneys, ventilators, skylights, and antennas.

ARCADE: A colonnade composed of a series of arches supported on piers or columns.

AWNING: An architectural projection roofed with flexible material supported entirely from an exterior wall of a building.

BALCONY: An open habitable portion of an upper floor extending beyond a building's exterior wall that is not supported from below by vertical columns or piers but is instead supported by either a cantilever or brackets.

BUILD-TO LINE: A build-to line identifies the precise horizontal distance from a street right-of-way that the building shall be built to, in order to create a uniform line of buildings along the street.

BUILD-TO-ZONE: A build-to zone is a range of allowable distances from a street right-of-way that the building shall be built to in order to create a moderately uniform line of buildings along the street.

BUILDING FRONTAGE: The side of a building which faces the frontage street.

BUILDING HEIGHT: The maximum building height shall be measured from the midpoint of a line connecting the front and rear property lines drawn diagonally from opposing corners, to the peak of the roof, exclusive of appurtenances.

CIVIC BUILDING: Structure used primarily for public education, cultural performances, gatherings and displays administered by non-profit cultural, educational, governmental, and religious organizations.

COLONNADE: A roofed structure, extending over the sidewalk, open to the street except for supporting columns or piers. Upper levels may contain habitable space.

CUPOLA: A domelike structure surmounting a roof or dome, often used as a lookout or to admit light and air.

FRONTAGE LINE: The property line or lines of a lot which coincide with a right-of-way or other public open space.

FRONTAGE STREET: The public right-of-way which serves as primary access to a property.

URBAN DESIGN STANDARDS

DEFINITIONS

GRANNY FLAT: An accessory residential unit located above the garage. To be classified a granny flat the unit must have an entry that is discrete and separate from the primary house providing private access to the “granny flat”, must be metered separately from the main house, and must have a full service kitchen.

HABITABLE SPACE: Building space whose use involves human presence. Habitable space excludes parking garages, self-service storage facilities, warehouses, and display windows separated from retail activity.

LOT FRONTAGE: The property line adjacent to the frontage street.

LOT WIDTH: The length of a property line along the frontage street.

MARQUEE: A permanently roofed architectural projection whose sides are vertical; marquees are intended for the display of signs, and are supported entirely from an exterior wall of a building.

PORCH: A roofed area, attached at the ground floor level or first floor level, and to the front of a building, open except for railings and support columns.

PRINCIPAL FAÇADE (For purposes of placing buildings along build-to lines or build-to zones): The front plane of a building not including stoops, porches, or other attached architectural features.

PRIMARY ENTRANCE: The entrance to a structure which is located along the frontage street.

SETBACK: Minimum distance between the building face and the lot boundary line.

STOOP: A small platform and / or entrance stairway at a house door, commonly covered by a secondary roof or awning.

STORY: A floor level within a building.

TRANSECT: A categorization system that organizes all elements of the urban environment on a scale from rural to urban. Any lot in the manmade environment belongs to a certain transect zone, which will describe the character and intensity of construction upon that lot.



SOUTHERN LIVING HOME IN HABERSHAM, SC.

ARCHITECTURAL PATTERNS

The following Architectural Pattern section is excerpted from the Oakland Park Design Code. Implementation of the Code is the responsibility of the Town Architect whose responsibilities are described in the recorded Declaration of Covenants, Conditions and Restrictions for Oakland Park. The Town Architect interprets the Design Code and from time to time may revise the Code. Oakland Park has established an Architectural Review Committee which reviews plans for all new construction within Oakland Park for consistency with the Code. The Founder recommends that the City require the application for a building permit to include the approval letter from the Architectural Review Committee.

The architecture of Oakland Park est.1844 draws inspiration from historic homes in Oakland and Winter Garden. This involves original designs and a 360-degree approach to detail, not merely facing the home with historically appropriate trappings. Most homes will be sited fairly close to the street. Generous front porches will allow ample opportunity for interaction with neighbors and a feeling of emotional investment in, and connection to, the whole of this small town community. Homes are to be serviced by a rear alley or garage contributing to the aesthetic and pedestrian friendly nature of Oakland Park. Exceptional attention to detail and authenticity of design are an integral part of the vision to recreate in Oakland Park est. 1844 what the original settlement might be like now.

Architecture within Oakland Park should fit one of five patterns described in this section. The code includes information and detail on those major architectural elements that define each pattern. As designs are prepared for submittal to the Oakland Park Architectural Review Committee (ARC) it is important to note that variation is possible as long as it is related to and consistent with the respective pattern.

MASSING

The Oakland Park house is made up of human scaled forms combined to provide an ordered and proportioned composition. Historically, homes did not utilize the entire footprint of the lot to construct the home. Rather, the “main body” provided the root massing with added elements, such as subordinate wings and porches to make up the composition that is so pleasing to the eye. The following information is universal, although each style may have specific elements that may deviate from the general massing principles.

The main house and all accessory structures shall be of the same architectural style within any given lot. Mixing of styles within a lot is not permitted.

The Rear Yard shall be screened from an adjacent side street by the house, garage, hedge, or fencing. Sixty percent of the length of the property line shall be screened from view on Corner Lot and Public view conditions. The elevation of the house facing the side street zone shall have an undulating facade.

Smaller massed forms attached to the Main Body are referred to as “add on elements” (e.g. porches, connectors, or wings). The main body roof line should not run continuously over the add on elements. Each add-on form typically has an independent roof as appropriate to the style. The add on element roof pitch never exceeds the Main Body roof pitch.

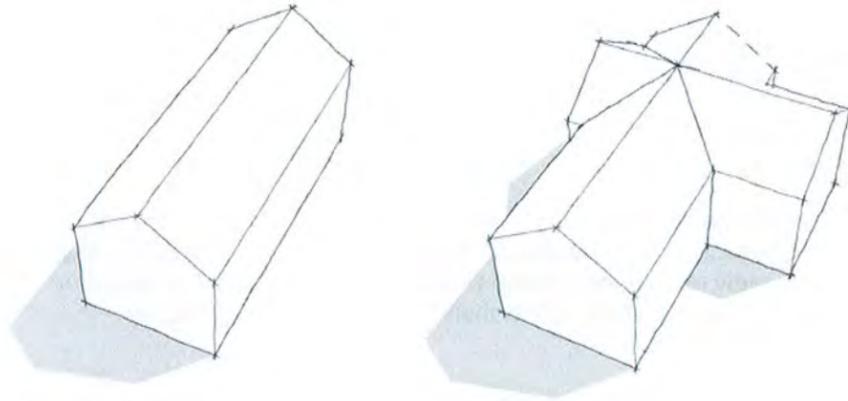
GENERAL CONSIDERATIONS

1. The front Main Body of a house shall be the dominant form on the lot.
2. Over-scaled Main Bodies are not allowed. See Diagrams for details.
3. All massing components of the house shall be one or two story. Extended rooflines are not allowed. Style specific exception is the bungalow variation of the Craftsman style.
4. Wings and connectors protruding from main body shall step in from any corner a minimum of 1'-0”.
5. Consider the “Golden Rectangle” (1.618: 1) in house forms, plan and elevation.

ARCHITECTURAL PATTERNS

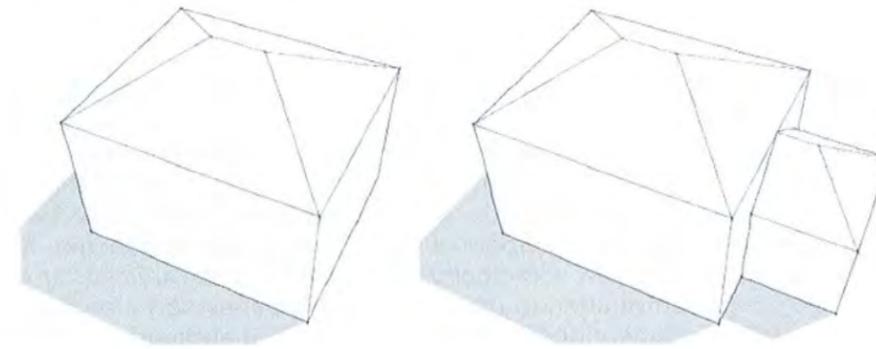
THE SINGLE BAY

The single bay is one room in width or between 14' and 18'. This can be introduced as the main body as well as subordinating wings.



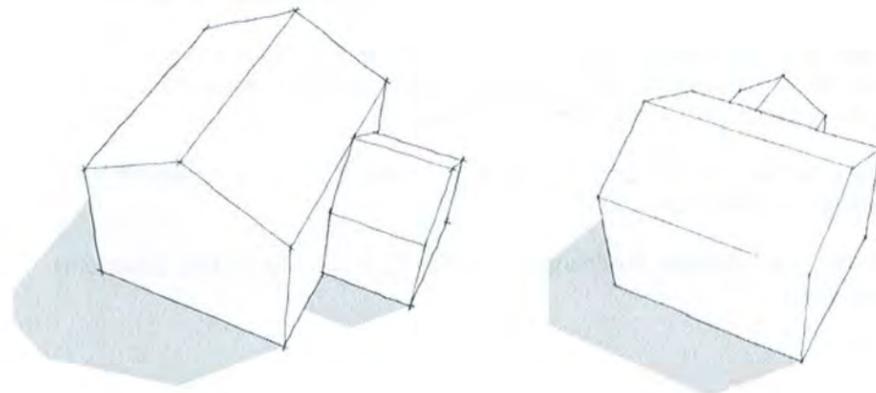
THE DOUBLE BAY (VARIATION)

The narrow dimension of the main body should not extend beyond 28' where a gable roof is desired. The maximum narrow dimension of the main body should not be more than 32'. In cases where the dimension is between 28' and 32', a hip roof is required. This can be introduced as the main body. Wings can be one or two stories and protrude from the sides and rear of the main body in a single bay form. Roof types should be consistent.



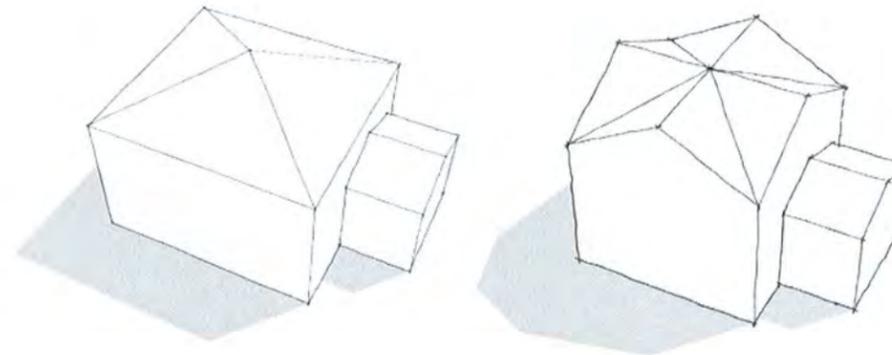
THE DOUBLE BAY

The Double bay is two rooms in width or between 24' and 28'. This can be introduced as the main body. Wings can be one or two stories and protrude from the sides and rear of the main body in a single bay form.



THE FOURSQUARE

The Main Body is two rooms in width and depth or between 24' and 32' square. This can be introduced as the main body. In most cases a hip roof is considered, accentuating the simple form. Certain styles are accomplished with a cross gable roof. Wings can be one or two stories and protrude from the sides and rear of the main body in a single bay form.



ARCHITECTURAL PATTERNS

WALLS

Architectural details and exterior finish materials shall be the same on all elevations of the Main Body of the house so that the Main Body provides a consistent palette of materials, finishes, colors.

Material and finish changes may occur on appendages, add-on elements, ancillary structures, dormer or gable end accent elements as consistent with the Architectural Style Guidelines and as listed in the Architectural Matrix.

Chimneys and fireplace flue enclosures shall be constructed of non-combustible materials. Siding shall not be used as an exterior finish for these elements.

Exterior materials shall consist of a balance of siding, board and batten, brick, and stucco. Where no one material, other than siding, is predominant on the street. (See Street Pattern Code for more information)

MATERIALS SPECIFIC TO THE HOUSE:

1. Any one material shall be consistent on all 4 sides of the massing. Connectors and minor wings can have an alternate material.
2. All trim elements shall be proud of any siding or stucco and be painted the trim color on all edges.
3. Any masonry over 4" in height shall have a stucco finish.
4. Some Architectural Styles have specific siding requirements. Please consult Town Architect for further details.

EAVES

Eave conditions vary per Architectural Style. Two of the common eave types are a 'Closed Soffit' and 'Open Soffit' or 'Open Rafter Tail'. True Florida Vernacular, Folk Victorian, and Craftsman Styles are 'Open Rafter Tail', while the remaining styles can achieve either condition.



Closed Soffit: Material to be paintable trim for fascia, soffit, and frieze. Overhang depth is style specific varying from 1'-0" to 2'-8".



Open Soffit: Material is considered finished framing and should be constructed in a manner projecting craftsmanship in the home. Rafters may have a scroll cut tail in the Folk Victorian Style. Tails may be terminated by a fascia or left completely exposed. Overhangs are a minimum of 2'-0".

ARCHITECTURAL PATTERNS

PORCHES

All covered porches shall be a minimum of 8 feet in depth. Ten feet is encouraged. The additional 2'-0" provides for furniture to be in a room setting.

The porch shall extend a minimum of 40% of the length of the main body.

Screen framing members and compositions, if visible from the street, shall be comparable to traditional wood framing (for example, 1x2, 2x2, etc.)

The screening shall be located and installed in a manner that does not obscure the architectural elements that define the style of the principle structure.

Enclosed porches are allowed given the surface area of the front facade is 70% window within the column bay with the window casing being adjacent to the column. Enclosure shall be located and installed in a manner that does not obscure the architectural elements that define the style of the principle structure.

All porch enclosure material shall be trim color

Porch beam: The width of the porch beam shall be equal to the column at the column neck, exclusive of the capital.

Pilasters or half columns, when used, shall be the width of porch beam and column neck. Pilasters shall be used when the porch is appended to the main body of the house. When the porch roof is integral with the main body roof, pilasters are optional.

HEIGHT

With the exception of the Spanish Colonial style and the Cottage Common Lot, the first floor finished floor elevation shall be a minimum of 24 inches above the adjacent finished grade. Adjacent finished grade shall be measured at the midpoint of the front façade.

WINDOWS

All windows are to punctuate the wall plane of the home. Double hung windows and casement windows sitting within a frame are preferred options as they provide the necessary relief. If the glazing of a window does not punctuate the wall plane one inch or greater then the window must be inset. All windows both first and second floor shall have the same inset.

Double hung or single hung windows are to be equal sash with a vertical proportion of 2:1

Specialty windows are discouraged. When necessary 2'-0" wide by 2'-4" tall "cube" windows can be accepted when in an appropriate composition.

All windows are to have casing at a minimum of a nominal 4" wide.

Muntins shall be 5/8" to 7/8" wide and shall project out from the glass. Muntins shall give the appearance of true divided lites.

Clear glass shall be used in all the windows and doors. Stained glass is an allowable material in special windows. Colored, applied tinted, or reflective glass is not permitted. Clear low-emissivity glass is encouraged.

Painting the inside face of the glass is not acceptable.

WINDOW RHYTHM

The composition of windows is a critical part of the homes integrity. Windows shall be oriented in a pattern along a facade. Windows shall be aligned vertically when located in two story facades. Windows are encouraged to be positioned at least one window width away from any corner.



ARCHITECTURAL PATTERNS

SHUTTERS

Shutter height shall be equal to the window sash height. Each flanking shutter shall be one-half the width of the window so that the shutters can completely cover the window if in a closed position.

Shutters shall be of materials and hardware to be operable or appear to be operable.

Louvered shutters should be installed so as to shed water away from the house when shutters are in a "closed" position

Hinges and a shutter dog shall be provided on each shutter.

DORMERS

Dormer windows, are used only for habitable interior space or future habitable interior space, must have appropriate window treatment including, but not limited to, blinds or curtains on the inside of the window. Painting the inside of the glass is not acceptable.

Doghouse or single window dormers shall be no wider than the window plus required casing. Refer to the Architectural Style Matrix.

DOORS

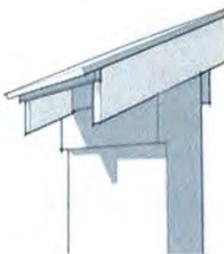
Doors should fit into the same guidelines and rhythm as windows. Entry doors should express importance through added casing detail and or color. Entry doors can include sidelights and all doors are to be 6'-8" tall and have transoms. Door slabs shall remain traditional. All glazing in doors, transoms, or sidelights to be clear. (Double doors are not allowed as entry doors)

ROOFING

Asphalt dimensional shingles and metal are the predominant roofing material for most Architectural Styles with the exception of Spanish Colonial which is clay/concrete barrel tile. In all other styles, porch roofs are encouraged to be metal.

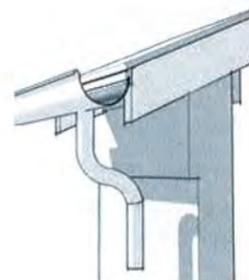
EAVE CONDITIONS WITH GUTTER OPTIONS

OPEN EAVES



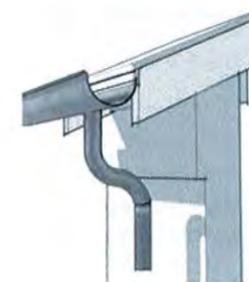
without gutter

open rafter tails with mill finish drip edge and 1x2 trim



standard

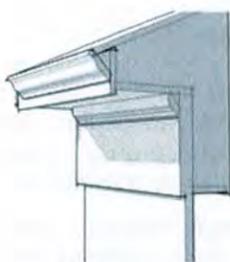
half round 6" to 7" gutter anodized aluminum coordinate color with trim round downspout



better

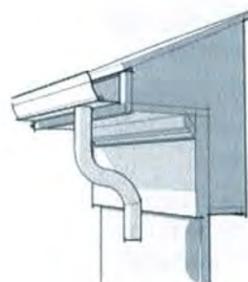
half round 6" to 7" gutter mill finish galvanized or copper round downspout

CLOSED EAVES



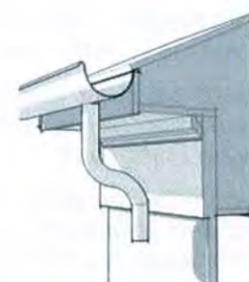
without gutter

vertical fascia with crown and mill finish drip edge



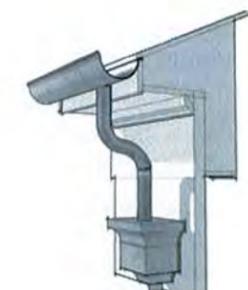
standard

K style 5" to 6" gutter anodized aluminum coordinate color with trim round downspout



better

half round 6" to 7" gutter anodized aluminum coordinate color with trim round downspout



best

half round 6" to 7" gutter mill finish galvanized or copper round downspout leader head

ARCHITECTURAL PATTERNS

GARAGES

Street-facing doors are permitted only on those lots requiring front access.

Street-facing garage doors shall be no wider than 16'-0" and shall be of a design that appears to replicate double doors.

Street-facing garages shall be located behind the Main Body of the house as appropriate to the architectural style and scale of the house. In no case shall the garage be more than 20'-0" from the rear property line. Waterfront lots with a carriage house located at the front are to have side facing garage doors.

On alleys, two car garages are permitted with a single garage door.

All garage doors shall be a minimum 7'-0" in height.

PARKING

The required parking may be met by use of a garage, driveway or on-street parking as defined in the PUD Development Standards, page 58.

OUTBUILDINGS

Outbuildings shall not exceed one story and shall be similar in architectural style to the primary structure. For purposes of this code requirement, detached garages are not considered outbuildings.

STREET PATTERN CODE

Two of the objectives for Planned Unit Developments in the City of Winter Garden code are particularly important objectives for Oakland Park in providing a mixture of housing types in a viable complex environment.

"Creation of a variety of housing types and compatible neighborhood arrangements that gives the homebuyer greater choice in selecting types of environment and living units," and

"Allowance of sufficient freedom for the developer to take a creative approach to the use of land and related physical development, as well as utilizing innovative techniques to enhance the visual character of the city."

Smaller lots have historically been viewed as an attempt to only increase density. However, they can be an important component to provide diversity of housing product. Housing of various price ranges is a known healthy condition in viable neighborhoods. This cannot be readily achieved with monotonous rows of similar sized lots and homes whether large or small. In order to

successfully carry this off attention must be paid to not only the architecture of the homes but the street patterns that are implemented within the community. In an effort to create a harmonious neighborhood without becoming sterile or monotonous, the following guidelines for street patterning are incorporated in the Oakland Park Design Code.

To avoid repetition the Design Code identifies five key components of a house including:

- Massing
- Style
- Materials
- Porch
- Color

PARAMETERS FOR PLAN DIVERSITY

Massing and Style are articulated in detail in the Design Codes. Materials, porch requirements and color are also contained within the Design Code. What is required in street patterning is diversity in the exterior appearance of housing product. Identical floor plans may occur at a minimum of 2 lot separations given 3 of the 4 components, massing, style, materials and porch are significantly altered. Similar colors cannot occur side by side.

Significant material changes include a change from horizontal lap siding to brick to stucco, where no single material on the street is dominant.

Significant porch changes include a change in design from a full façade front porch to a wrapping porch, second floor porch or portico.

PARAMETERS FOR ARCHITECTURAL PLAN DIVERSITY

Winter Garden has a predominant mix of Colonial Revival, Craftsman, and Florida Vernacular. Secondary is Folk Victorian with a small percentage of Spanish Colonial. Oakland Park's street patterns wish to respect this historic blend of Architecture with the following:

Colonial Revival, Craftsman, and Florida Vernacular may be mixed into the block without restrictions on lot separation given that Plan Diversity parameters are met.

Folk Victorian shall be separated by a minimum of 3 lots on either side of the same street.

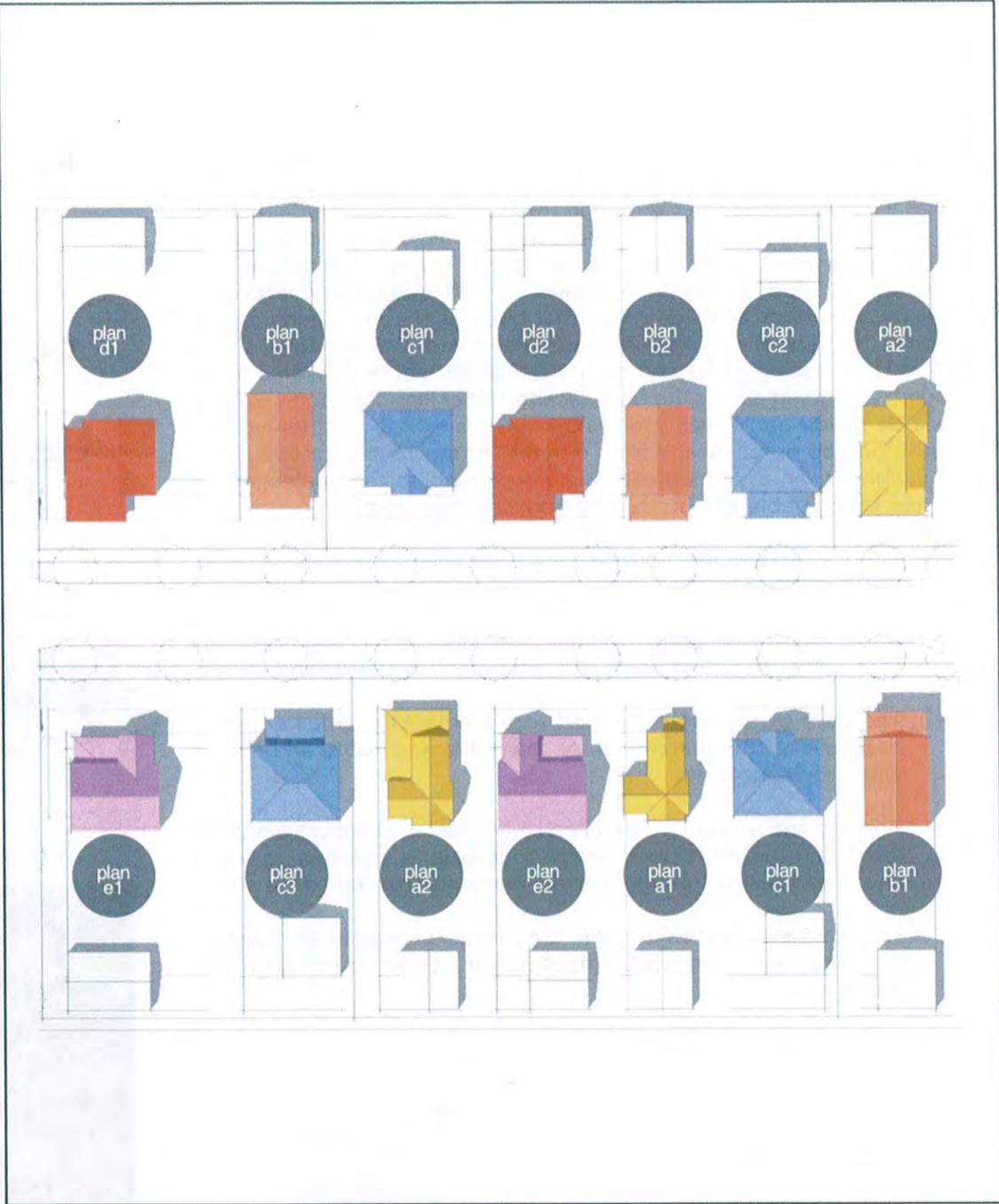
Spanish Colonial shall be separated by a minimum of 10 lots on either side of the same street.

ARCHITECTURAL PATTERNS

STREET PATTERN CODE EXAMPLE

Plan types with varying key components:

- **Plan a1:** Colonial Revival, horizontal siding, portico entry
- **Plan a2:** Folk Victorian, board & batten, front porch
- **Plan a3:** Florida Vernacular, horizontal siding, wrapping porch
- **Plan b1:** Craftsman, horizontal siding, front porch
- **Plan b2:** Florida Vernacular, horizontal siding, two story front porch
- **Plan c1:** Colonial Revival, horizontal siding, pediment front - no porch
- **Plan c2:** Florida Vernacular, horizontal siding, 3 bay front porch
- **Plan c3:** Spanish Colonial, stucco, front loggia
- **Plan d1:** Craftsman, horizontal siding, wrapping porch
- **Plan d2:** Folk Victorian, board & batten, wrapping porch
- **Plan e1:** Fl. Vern. (asymmetrical massing), horizontal siding, 3 bay front porch
- **Plan e1:** Folk Vict. (asymmetrical massing), horizontal siding, 3 bay front porch



ARCHITECTURAL PATTERNS

The following description of permissible Architectural styles are excerpted from the Oakland Park Pattern Book, *Patterns of the Past. A Foundation for the Future.*

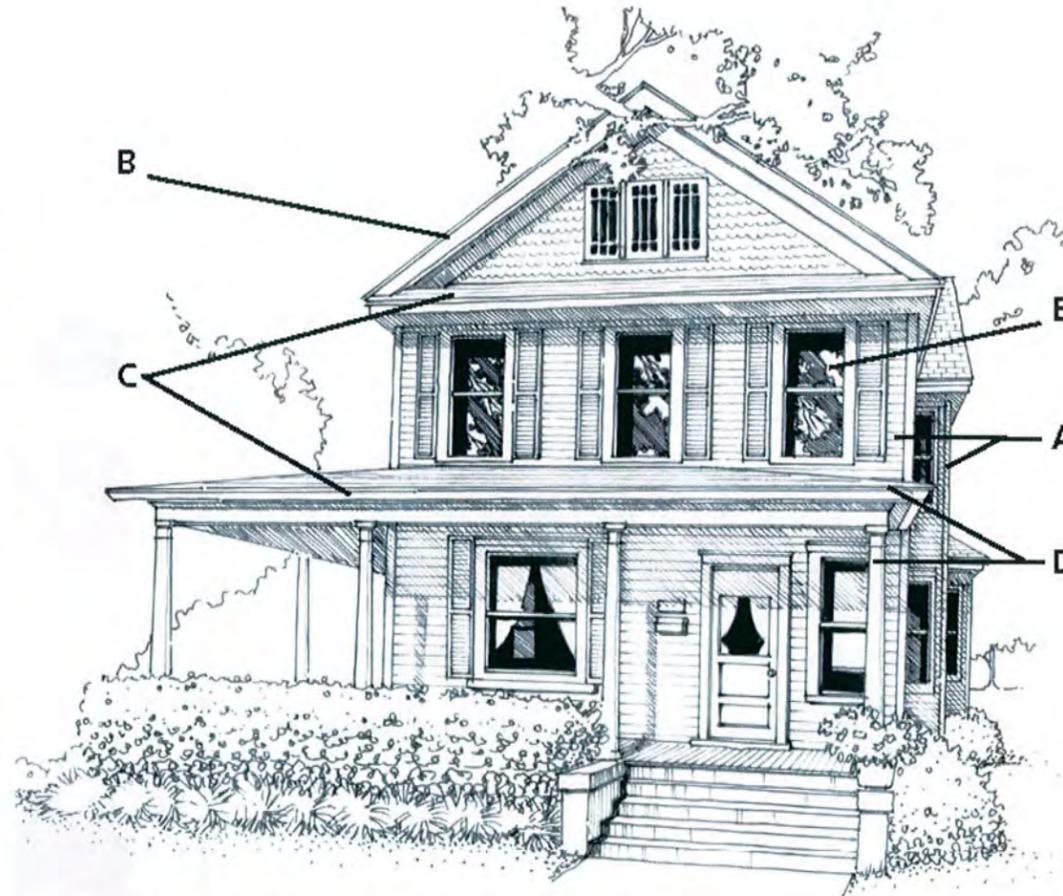
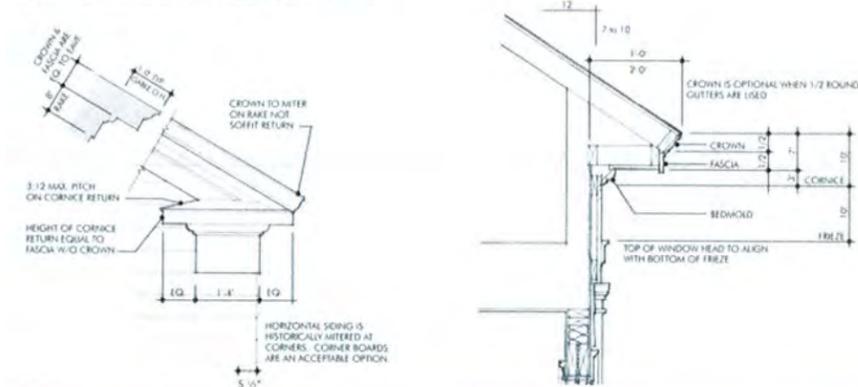
COLONIAL REVIVAL

FUNDAMENTALS

During the earliest part of the 20th Century, much like today, there was a resurgence of the values and traditions of Colonial architecture. Colonial Revival is one of the most predominant styles in the area. The strong presence of the Colonial Revival home is defined by the home's main body symmetrical façade, a well-detailed entry portico or full façade porch, and side wings that buttress the main body of the home. The typical condition for an Oakland Park Colonial Revival will be a street-facing gable end no more than 28 feet wide with a front porch extending across the front façade. Other less common versions will be a side-gable main body no more than 42 feet wide with an entry portico or full façade front porch that may be one or two stories in height, or an asymmetrical form where a porch terminates into a street-facing gable end protruding from the main body.

- Simple rectangular volumes are combined to create a main body and side wings.
- Roofs are simple gables and hips with pitches ranging from 2:12 for porches to 6:12 through 10:12 pitch for main body and wings.
- The eave or cornice is finished with elements such as a frieze, bedmold at the intersection of the frieze and soffit, and fascia with crown molding.
- Porches and entries are detailed to the same level or at a higher level than the main body. Porch foundations, columns, railings, eaves, and ceiling treatment are all elements that define the style.
- Windows are double hung and are vertical in proportion. Typical windows have muntin patterns of 6 over 1. Other options include 3 and 4 over 1.

TYPICAL CORNICE RETURN



Please refer to Oakland Park pattern book for additional details and exceptions to general architectural patterns.



ARCHITECTURAL PATTERNS

CRAFTSMAN

FUNDAMENTALS

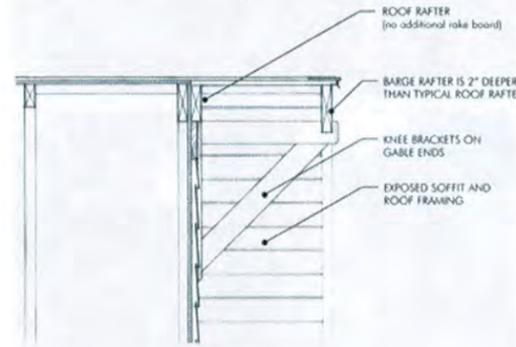
The Craftsman style's finish framing, unique massing, and colorful palette provide our community with diversity and character. The typical condition for an Oakland Park Craftsman home will be a foursquare home where the main body width and depth are no more than 32 feet. The square volume of the main body may be capped with a simple hip roof, gable, or a four sided gable. A front porch extends across the front façade. Other versions will be a bungalow with a full façade front porch that is incorporated with the main body roof. All of these forms are defined by the following details that are specific to Craftsman style.

- A. Simple square and rectangular volumes are combined to create a main body and side wings.
- B. Roofs are simple gables and hips with pitches ranging from 2:12 for porches to 6:12 through 9:12 pitch for main body and wings.
- C. The eave is simply detailed. Most have no fascia with plumb or square cut rafter tails. Other eaves will still have exposed rafters with a simple plumb or square fascia.
- D. Porches and entries are detailed to the same level as the main body. Porch foundations, square columns, tapered columns with tall column bases, unique railings, eaves, and ceiling treatment are all elements that define the style.
- E. Windows are double hung and are vertical in proportion. Typical windows have muntin patterns of 3 over 1. Other options include 2 over 1, and 1 over 1 (No mutins).

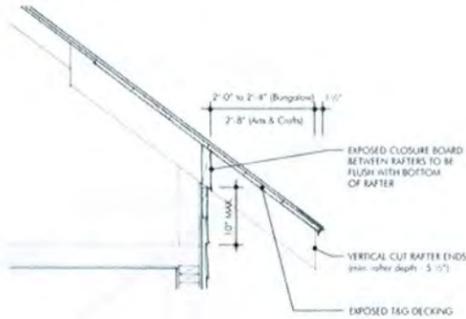


Please refer to Oakland Park pattern book for additional details and exceptions to general architectural patterns.

GABLE END DETAIL



TYPICAL EAVE CONDITION



ARCHITECTURAL PATTERNS

FLORIDA VERNACULAR

FUNDAMENTALS

The Florida Vernacular style is an adaptation of the national style known for its practical details and construction. This style is the best suited for our warm sub-tropic climate with its broad overhangs and deep porches allowing for shade and accepting of slight breezes. The typical condition for an Oakland Park Florida Vernacular will be a street facing gable end no more than 28 feet wide with a front porch extending across the front façade. Other less common versions will be a side gable main body nor more than 38 feet wide with a full façade front porch that may be one or two story in height, or an asymmetrical form where a porch terminates into a street facing gable end protruding from the main body. All of these main body forms are defined by the following details that are specific to Florida Vernacular.

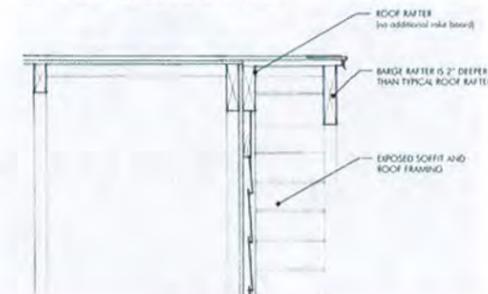
- A. Simple rectangular volumes are combined to create a main body and side wings.
- B. Roofs are simple gables and hips with pitches ranging from 2:12 for porches to 6:12 through 10:12 pitch for main body and wings.
- C. The eave is simply detailed. Most have no fascia with plumb or square cut rafter tails. Other eaves will still have exposed rafters with a simple plumb or square fascia.
- D. Porches and entries are detailed to the same level as the main body. Porch foundations, square columns, simple railings, eaves, and ceiling treatment are all elements that define the style.
- E. Windows are double hung and are vertical in proportion. Typical windows have muntin patterns of 3 over 1. Other options include 2 over 1, and 1 over 1 (no mutins).



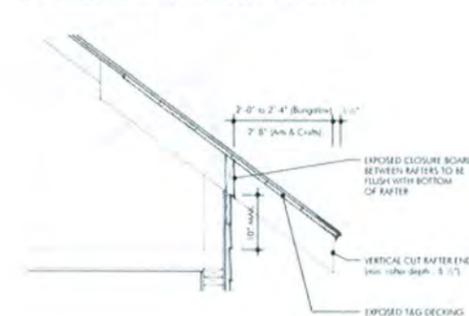
Please refer to Oakland Park pattern book for additional details and exceptions to general architectural patterns.



GABLE END DETAIL



TYPICAL EAVE CONDITION



ARCHITECTURAL PATTERNS

FOLK VICTORIAN

FUNDAMENTALS

In Central Florida the Folk Victorian style is a refinement of the Florida Vernacular style. This style utilizes the same massing and forms as Florida Vernacular with additional detail and or ornamentation. The typical condition for an Oakland Park Folk Victorian will be a street facing gable end no more than 28 feet wide with a front porch extending across the front façade. Other common version will be a side gable main body no more than 28 feet wide with a full façade front porch that may be one or two story in height, or an asymmetrical form where a porch terminates into a street facing gable end more than 18 feet wide protruding from the main body. All of these main body forms are defined by the following details that are specific to Folk Victorian.

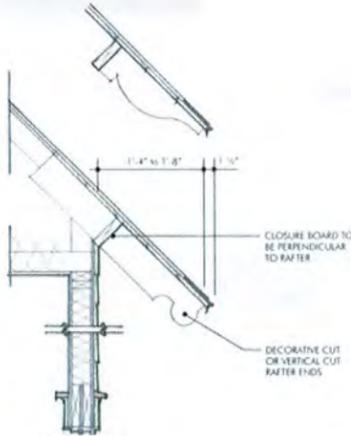
- A. Simple rectangular volumes are combined to create a main body and side wings.
- B. Roofs are simple gables and hips with pitches ranging from 2:12 for porches to 8:12 through 14:12 pitch for main body and wings.
- C. The eaves are either simply detailed with no fascia with plumb or square cut rafter tails or have a closed soffit with a frieze and modillions or brackets.
- D. Porches and entries are detailed to the same level as the main body. Porch foundations, square or turned columns, simple or ornate railings, eaves, and ceiling treatment are all elements that define the style.
- E. Windows are double hung and are vertical in proportion. Typical windows have muntin patterns of 3 over 1. Other options include 2 over 1, and 1 over 1 (no mutins).



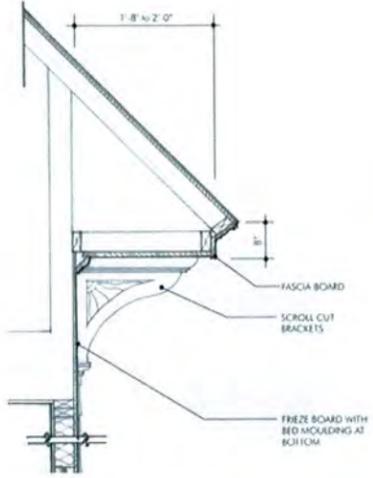
Please refer to Oakland Park pattern book for additional details and exceptions to general architectural patterns.



TYPICAL RAFTER CONDITION



TYPICAL CORNICE BRACKET



ARCHITECTURAL PATTERNS

SPANISH COLONIAL

FUNDAMENTALS

As the popularity of the Colonial Revival style increased during the early part of the century, the Spanish Colonial style became an attractive alternative in southeast Florida. Central Florida has many examples of this robust style ranging from small bungalows to lakefront estates. In some cases, the buildings would utilize elements from Mission and more formal European (Mediterranean) styles establishing architecture unique to our area.

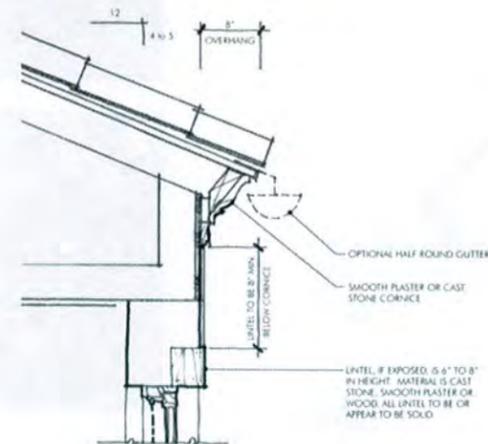
- A. Simple symmetrical rectangular volumes and asymmetrical vertical volumes are typical of the Spanish Colonial style. Spanish Colonial homes either have a large mass for a main body with loggias integral with the mass or have narrow volumes forming an asymmetrical composition.
- B. Roofs are low pitch (4:12 to 5:12), clay barrel tile in natural tones of red, orange, and brown. Gables, when used, do not span more than 16'-0" in width. Wider volumes utilize hip roofs.
- C. Very little or no eaves are utilized and the gable end consists only of one barrel tile on edge. Exceptions are open rafter tails with 1'-4" to 2'-0" overhang.
- D. Porches or Loggias can be incorporated with an entry or almost anywhere a view may be taken of an outside place of interest. Loggias are additive elements as well as being integral with the home. Most examples utilize classical columns (Doric, Corinthian) with full arches.
- E. Windows are a crucial element in these homes. A minimum 3" recess from face of stucco to window frame is required to show the mass of this minimally detailed facade. Casement windows are used in the Spanish Colonial style home.



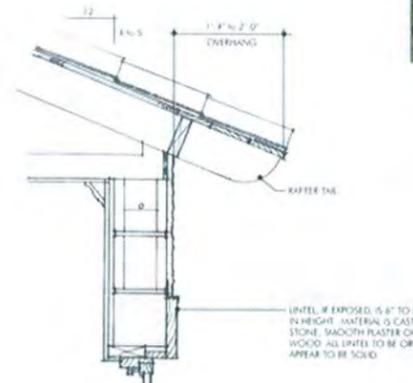
Please refer to Oakland Park pattern book for additional details and exceptions to general architectural patterns.



TYPICAL EAVE CONDITION



OPEN RAFTER TAIL EAVE CONDITION



Architectural Style Matrix

	Colonial Revival	Craftsman	Fl. Vernacular	Folk Victorian	Spanish Colonial	Notes
Massing						
Ceiling Height						
Elevation above grade	24"	24"	24"	24"	12"	
1st Floor Ceiling Height	9'-0" - 10'-0"	9'-0" - 10'-0"	9'-0" - 10'-0"	9'-0" - 10'-0"	9'-0" - 10'-0"	8'-0" for Cottage Common, Detached Manor, & Tandem lots
2nd Floor Ceiling Height	8'-0" - 9'-0"	8'-0" - 9'-0"	8'-0" - 9'-0"	8'-0" - 9'-0"	8'-0" - 9'-0"	
Main Body St. facing gable	●	●	●	●	●	
Main Body Side facing gable	●	●	●	●	●	
Roof type						
Hip	●			●	●	
Gable	●	●	●	●	●	30'-0" Maximum span
Roof						
Pitch - Main						
2:12 - 4:12		●			●	
4:12 - 6:12		●				
6:12 - 8:12	●	●	●			
8:12 - 10:12	●		●	●		
10:12 - 14:12			●	●		
Pitch - Porch						
Flat	●			●	●	
2:12 - 4:12	●	●	●	●	●	
Material						
Metal - 5v	●	●	●	●		All front porch roof material to be metal
Metal - standing seam	●	●				
Dimensional shingle	●	●	●	●		
Clay					●	
Eave						
Closed Box Horizontal Soffit	●					
Closed Box Sloped Soffit		●	● see note	●		Permitted for Fl. Vernacular w/ horizontal siding or 5v mtl. roof
Open Rafter Tail - No Fascia		●	●	●	●	
Open Rafter Tail - Fascia		●	●	●		
Overhang						
	10" - 2'-0"	2'-0" - 3'-0"	2'-0" - 3'-0"	2'-0" - 3'-0"	8" - 3'-0"	No overhang with crown is acceptable for Spanish Colonial

Architectural Style Matrix

	Colonial Revival	Craftsman	Fl. Vernacular	Folk Victorian	Spanish Colonial	Notes
Dormers						
Gable	●	●	●	●		Dormers are approved only in habitable space
Shed		●	●	●		
Doghouse (single window)	●		●	●		
Wall Surface						
Main Body						
Board & Batten			●	●		
Brick	●					
Horizontal Siding	●	●	●	●		
Shingle		●	●	●		
Stucco	●	●			●	Stucco may be allowed on 1st floor only in Fl. Vernacular
Appendages						
Board & Batten	●	●	●	●		
Brick	●					
Horizontal Siding	●	●	●	●		
Shingle	●	●	●	●		
Stucco	●	●	●		●	
Porch						
Columns						
Square		●	●	●	●	columns may be chamfered
Doric Square	●					
Doric Round	●				●	
Ionic, Corinthian Round	●				●	
Tapered		●				
Balusters						
Square	●	●	●	●		Max 3" apart
Turned				●		Max 3" apart
Solid Wall		●				
Wrought Iron					●	
Base						
Stucco					●	
Stucco w/ Full Brick Edge	●	●	●	●		
Wood Frame on Piers	●	●	●	●		
Full Brick Stemwall	●	●	●	●		

Architectural Style Matrix

	Colonial Revival	Craftsman	Fl. Vernacular	Folk Victorian	Spanish Colonial	Notes
Floor Surface						
Concrete (stained, shell, salt)	●	●	●	●	●	Acrylic not allowed
Brick	●	●	●	●	●	Saltillo tile for Spanish Colonial
Wood	●	●	●	●		
Windows						
Type						
DH or SH (2 over 1)		●	●	●		Note: 1 over 1 is permitted with horizontal siding or 5v mtl. roof
DH or SH (2 over 2)	●		●	●		
DH or SH (3 over 1)		●	●	●		
DH or SH (6 over 1)	●					
Casement (3 Light)					●	
Casement (6 Light)					●	
Shutters						
Louvered	●	●	●			
Paneled	●			●		
Board		●	●	●	●	
Doors						
Entry						
2 Panel with Transom	●	●	●	●	●	Full Light French and Double Doors are not allowed as Entry
4 Panel with Transom	●		●	●		Upper panels may be glazing
6 Panel with Transom	●			●		
2 Panel with Transom w/ sl.	●	●		●		
4 Panel with Transom w/ sl.	●			●		
6 Panel with Transom w/ sl.	●					
Personnel						
French with Transom	●	●	●	●	●	
3/4 light with Transom	●	●	●	●	●	
1/2 light with Transom	●	●	●	●	●	
2 Panel	●	●	●	●	●	
4 Panel	●		●			
6 Panel	●					
Garage						
Carriage dr 16' x 7', 16' x 8'	●	●	●	●	●	
Carriage dr 9' x 7', 9' x 8'	●	●	●	●	●	

- Primary Selection
- Secondary and alternative selection

DEVELOPMENT NOTES

Project Description: This community is a traditional neighborhood design, including a mixture of residential unit types, a neighborhood center, a regional trail and many civic spaces. The design includes TND development standards in the Planned Unit Development, including reduced building setbacks, porches, rear garages and alleyways, community open space and a focus on walkability. Oakland Park is connected by multiple streets and pathways to the surrounding neighborhoods in Winter Garden and Oakland.

SITE DATA

	Wetlands and Waterbodies (acres)	Net Developable (acres)	Gross Acreage
City of Winter Garden	23.6	166.3	189.9

FUTURE LAND USE AND ZONING

	Future Land Use	Current Zoning	Proposed Zoning
City of Winter Garden	SUB, LR	PUD	PUD

DEVELOPMENT SUMMARY

Proposed - City of Winter Garden		
Land Use	Acres	Dwelling Units
Special Districts	8.6	
T4-O (Neighborhood General-Open)	2.2	610
T4-R (Neighborhood General-Restricted)	27.1	
T3 (Neighborhood Edge)	64.3	
T2 (Open Space)	50	
Retention		
Right of Way	37.7	
<i>Total</i>	<i>189.9</i>	

DEVELOPMENT NOTES

MAXIMUM RESIDENTIAL UNITS BY TYPE AND SIZE AT BUILDOUT

In order to insure diversity, each lot type will be limited to a maximum percent of the approved total number of units. The Gross Density of Oakland Park based on a maximum of 610 units on 189.9 acres is 3.21 DU/AC.

PERMITTED USES BY RIGHT AND BY SPECIAL EXCEPTION

1 For specific single family lot products permitted in the T3 and T4-R districts refer to the Urban Standards section and each individual lot sheet

2 apartments in T4-R north of the West Orange Trail permitted by Special Exception; permitted by right South of the West Orange Trail.

P=Permitted SE=Special Exception

Housing Type	Maximum Percentages Allowed by Transect Zone			
	T-3	T-4R	T-4O	Total
Large House Lot ¹	22% or 134	8% or 50		30% or 184 ¹
Estate House Lot ²	15% or 91			15% or 91 ²
Lakefront House ³	5% or 30			5% or 30 ³
Manor Homes	3% or 18			3% or 18
Cottage Common Lots	7% or 45	4% or 25		11% or 70
Oakland Avenue Lots ⁴	1% or 5			1% or 5 ⁴
Tandem House Lot		12% or 73		12% or 73
House Lot	13% or 81	22% or 134		35% or 215
Live Work Units		5% or 30	1% or 6	6% or 36
Townhomes		15% or 91		15% or 91
Apartment House Lot		8% or 48	2% or 12	10% or 60

¹Minimum Large House Lots required shall be 22% or 134.

²Minimum Estate House Lots required shall be 10% or 60.

³Minimum Lakefront House Lots required shall be 3% or 18.

⁴Minimum Oakland Avenue Lots shall be 5.

⁵Maximum number of single or multifamily housing units that can be built is 610 or 187 respectively.

	T2 District	T3 District	T4-R District	T4-O District	Union Club Special District	Meadowmarsh Special District	Lake Brim Special District
Single Family Detached Residential ¹		P	P			P	P
Attached two and three unit residences		P	P				
Townhomes with more than 3 attached units			P	P			
Apartments			P ²	P	SE		
Live-work units			P	P			
Accessory residential units over garages		P	P	P			
Public parks, playgrounds and recreational facilities and related structures	P	P	P	P	P	P	
Schools				SE		SE	SE
Churches and other places of worship, parish houses			SE	P			
Kindergartens, nurseries and child day care facilities				P		SE	SE
Marinas and boat basins operated as private clubs					P		
Bed and Breakfast lodging facilities			SE	SE	P	P	SE
Governmental institutions and cultural facilities				P	P	P	
Medical and dental clinics, excluding animal clinics				SE			
Retail establishments				P	P		
Eating and drinking establishments				P	P	P	
Office, studios				P	P	P	
Financial Institutions				P			
Hotels				SE	SE		
Private clubs and lodges					P	P	
Personal services				P			
Public buildings				P			
Retail stores and shops of a neighborhood convenience, such as convenience foodstores, dry cleaning and laundry facilities, bakeries, drug and sundries, barbershops and beauty shops and the like.				P	SE		
Outdoor sales displays	P			P	P		
Agricultural uses including groves and gardens	P	P	P	P			
Filling or service stations							

DEVELOPMENT NOTES

PUD Development Standards																				
Lot Type	Minimum Lot Width or Range	Square Foot Range ¹³	Required Parking Spaces ¹	% Impervious ¹⁷	Maximum Height ^{1,2}	Minimum Front Porch Setbacks ¹³			Minimum Primary Structure Setbacks ¹³						Minimum Garage Setbacks ^{7, 13}					
						Front	Side	Side Street	Front ^{2,11}	Rear ³	Side ⁴		Side Street	Building Separation		PD Perimeter ¹⁰	Front ⁵	Rear ⁶	Side	Side Street
											T3	T4		T3	T4					
Manor House Lot Attached	35'	1000-3800	2	80%	35'	5'	5'	N/A	12' - 25'	5'/15'	5'	5'	N/A	10'	10'	20'	N/A	5' or >20'	3'	5'
Manor House Lot Detached	35' to 40'	1000-3800	2	80%	35'	5'	5'	N/A	12' - 25'	5'/15'	5'	5'	5'	10'	10'	20'	N/A	5' or >20'	3'	5'
Tandem House Lot	55' - 60'	800-2000	2	80%	35'	5'	5'	5'	12'	5'	5'	5'	5'	10'	10'	20'	10' N/A	5'	5'	5'
House Lot	40' to 50'	1,000-2800	3	80%	35'	5'	5'	N/A	12' - 25'	5'/15'	7.5'/7.5' or 5'/10'	5'	N/A	15'	10'	20'	N/A	5' or >20'	3'	5'
Large House Lot	50' to 65'	1400-4000	3	70%	40'	5'	5'	5'	12' - 25'	5'/15'	7.5'/7.5' or 5'/10'	5'	5'	15'	10'	20'	N/A	5' or >20'	3'	5'
Estate House Lot	65'	2000-6500	3	60%	40'	5'	5'	5'	12' - 25'	5'/15'	7.5'/7.5' or 5'/10'	N/A	10'	15'	N/A	20'	N/A	5' or >20'	5'	10'
Oakland Avenue Lot	90'	2400-7600	3	40%	40'	35'	7.5'	5'	50'	5'/15'	7.5'/7.5' or 5'/10'	NA	10'	15'	N/A	20'	N/A	5' or >20'	5'	10'
Lakefront Home Lot	50'	2000-6500	3	70%	40'	5'	5'	N/A	12' - 25'	15'	7.5'/7.5' or 5'/10'	N/A	N/A	15'	N/A	20'	N/A	10'	5'	N/A
Cottage Common Lot ⁸	N/A	800-2400	1.5	50%	30'	5'	6'	5'	12'	15'	15'	15'	15'	15'	15'	20'	10'	10'	10'	10'
Townhome Lot	18'	1,000-3800	2	90%	40'	0'	0'	5'	5'	5'	N/A	0' ¹²	5'	N/A	15' ¹⁶	20'	N/A	5'	0 or 5'	5'
Live/Work Lot	18'	1000-3800	3	90%	40'	0'	0'	5'	5'	5'	N/A	5' ¹²	5'	N/A	15' ¹⁶	20'	N/A	5'	5'	5'
Apartment House Lot	40'	450 - 800 ¹⁴	1 - 2 ¹⁵	90%	40'	5'	7.5'	5'	10'	10'	N/A	7.5'	5'	N/A	15'	20'	N/A	5'	5'	5'
Retail Building Lot	20'	N/A		100%	40'	0'	0'	0'	0'	10' 0'	N/A	0'	0'	N/A	0'	20'	N/A	5'	5'	5'

¹The maximum building height shall be measured from the midpoint of a line connecting the front and rear property lines drawn diagonally from opposing corners, to the peak of the roof, exclusive of chimneys and cupolas.

²The maximum front yard setback to the front primary building façade for a Manor House, House Lot, Large House Lot, or Estate House Lot shall be 25'.

³5'/15' denotes 5' if alley loaded; 15' for standard lots.

⁴Guest parking is not included except in the case of the Cottage Common Lot.

⁵Garages are either alley-loaded or when front loaded located at the rear of the lot, behind the primary structure. Lakefront lots face the lake, so the garage will in these instances be at the front of the lot nearest the street.

⁶5' or >20' requires the garage to be setback 5' from the rear lot line or more than 20', but not between 5' and 20'.

⁷Granny flats are permitted as a second floor use above the garages.

⁸Cottages are in a condominium-style ownership and therefore setbacks listed are to the perimeter of the parcel.

⁹Maximum building height for garages is 25' to peak of roof; in no case shall height of garage exceed height of primary structure.

¹⁰Garage setback from the PD perimeter is a minimum of 10' if one story in height.

¹¹The maximum front yard setback of homes on lots fronting the West Orange Trail may be up to 35 feet from the adjacent trail right-of-way.

¹²Primary Structure side setback shall be 0' if the adjacent lot is a live/work or townhouse lot; neighboring units shall be designed to allow zero lot line construction. In all other instances side setbacks shall be consistent with City Code or a minimum of 7.5', which ever is greater.

¹³Where a building envelope diagram has been filed with the plat, setbacks shown on the building envelope diagram shall prevail.

¹⁴Minimum apartment square footages are governed by bedrooms; studio apartment 450SF, 1 bedroom apartment 550SF, 2 bedroom apartment 650 SF, three bedroom and larger 800SF.

¹⁵Apartment parking required is governed by bedrooms; studio apartment 1 space, 1 bedroom 1.5 spaces; 2 bedroom and larger 2 spaces.

¹⁶Building separation for Townhome and Live/Work Lots shall be consistent with City Code for townhome building separation.

¹⁷Maximum allowable percent impervious standards will be required to conform to SJRWMD permit requirements. This condition will be confirmed by the founder with the submission of each preliminary plat.

¹⁸For lot types with minimum living area square footages of less than 2,000 square feet, no more than 10% of the allowable number of lots of that type will be permitted to have a house less than 110% of the minimum living area square footage.

DEVELOPMENT NOTES

GENERAL DEVELOPMENT NOTES

1. **Phasing.** A phasing plan is included with this submittal on page 61. The phasing plan identifies all phases, including those currently under construction. The applicant reserves the right to modify proposed future phases based on future demand. In no case will a phase be proposed that cannot along with previous phases stand alone as an independent project.
2. **Common Open Space.** Common open space may include community recreation, parks, wetlands, water bodies, upland buffers, retention, and landscape buffers. There will be in excess of 45 acres of common open space in Oakland Park. No more than 50 percent of the required open space may be retention. Detailed open space calculations will be provided with the subdivision plan. Common and recreation open space will be owned and maintained by either the Home Owners' Association or a Community Development District. The applicant reserves the right to form a community development district.
3. **Recreation Open Space.** Usable recreation and open space may include community parks, neighborhood parks, community clubhouses, active recreation, passive recreation, trails, marina, community recreation/athletic facilities and associated facilities. There will be in excess of 45 acres of usable recreation and open space in Oakland Park.
4. **Street Trees and Landscaping.** Street trees will be an integral part of the landscape of Oakland Park. They will be permitted to occur in the street right of-way, as long as they do not conflict with underground utilities. Oakland Park shall provide the quantity, size, and type of landscape required by the controlling jurisdiction.
5. **Pedestrian Circulation.** Oakland Park will include minimum 5' sidewalks along sides of all streets with the exception of Rear Lanes. There will be 5' sidewalks adjacent to the West Orange Trail, only when fronted by residential lots. The West Orange Trail, accommodating users from all over the region, transverses the development and there will be an 8' internal trail beginning in the neighborhood center and looping through the development. Please see the street cross sections for details on sidewalk locations.
6. **Stormwater Management.** Stormwater management will be provided consistent with the requirements of the St. Johns River Water Management District Master stormwater facilities will be designed to provide the pre-post difference for the 25 year/24 hour storm event for the developed site and will meet the requirements of the Lake Apopka Rule.
7. **Sanitary Sewer and Potable Water.** Potable water, central sewer, and reuse water will be provided by the City of Winter Garden.
8. **Vehicular Circulation.** A street network plan and street types are identified on the Land Use and Regulating Plan.
9. **School Capacity Analysis.** The Applicant has executed a Capacity Reservation Agreement with Orange County Public Schools (OCPS) for 750 dwelling units.
10. **Solid Waste.** Solid waste services will be provided by the City of Winter Garden.
11. **Parking Requirements.** All uses in Oakland Park shall meet the City of Winter Garden's parking requirements found in Section 118-1386 except that on street parking can be counted as available spaces for non residential uses when within a convenient walking distance.

A parking plan will be submitted prior to or concurrently with a pre-plat submittal providing required parking per PUD Development Standards chart on page 58. The Parking Plan will show available onsite and on street parking. Up to one space per unit may be on street with the exception of the Cottage Common Lots. If a lot also includes a "Granny Flat" by definition that lot will be required to have one additional space on site. Every single-family lot will be required to accommodate a garage or carport whether built during initial construction or not. Every front-loaded home will be required to have a garage or carport.

DEVELOPMENT NOTES

GENERAL DEVELOPMENT NOTES

12. **Granny Flats.** In Winter Garden up to 35% of the residential units in each phase will be permitted to have "granny flats." "Granny Flats" will be limited to one floor above the garage not to exceed 800 square feet. To be classified as a "Granny Flat" the unit must meet all of the following conditions:
 - "Granny Flats" have an entry that is discrete and separate from the primary house, providing private access to the "granny flat"
 - "Granny Flats" are metered separately from the primary house
 - "Granny Flats" have a separate full service kitchen
 - A "Granny Flat" can be rented only if the owner lives in the primary house.
13. **Union Club.** The Union Club is the Oakland Park community recreation facility located on Lake Apopka. It will include a swimming pool, tennis court, and children's playground.
14. **Meadowmarsh Park.** Meadowmarsh Park is the community recreation facility South of the West Orange Trail, opposite Lake Brim. It will include a swimming pool and children's playground.
15. **Applicability.** This amendment to the Oakland Park PUD shall supercede the Oakland Park PUD in affect at the time of adoption and shall apply to the entire development without exception .

FLOODPLAIN and PHASING

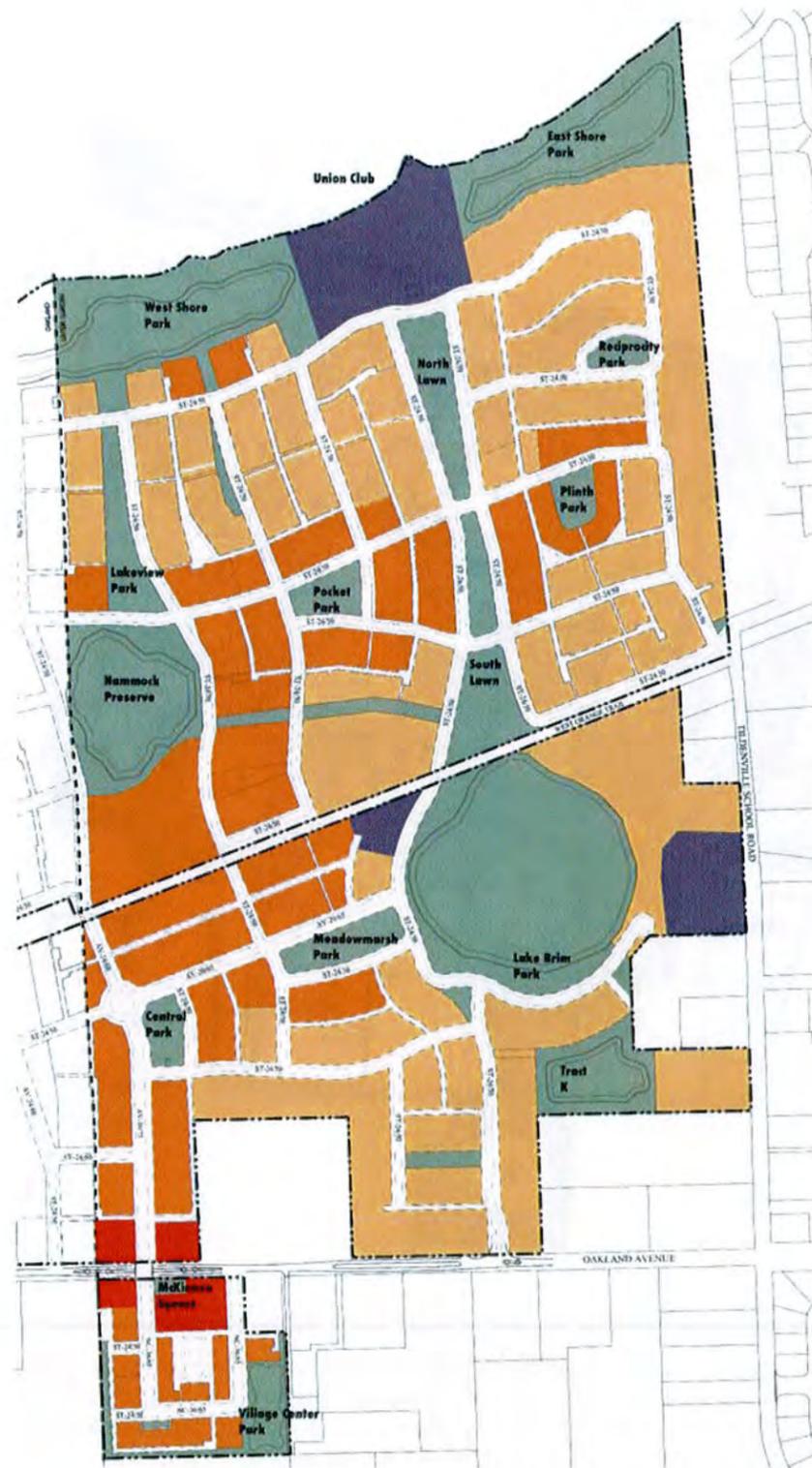


— Floodplain Line



Phasing. The phasing plan identifies potential phases, including those constructed or currently under construction. The applicant reserves the right to modify proposed future phases based on future demand. In no case will a phase be proposed that cannot along with previous phases stand alone as an independent project.

COMMUNITY OPEN SPACE



The community will provide a minimum of five (5) percent of the gross site acreage as usable recreation/open space (189.9 acres x .05 = 9.5 acres) and a minimum of twenty (20) percent of the gross site acreage as common open space (189.9 x .20 = 38.0 acres). The proposed development will exceed the minimum requirements for usable recreation/open space and common open space in the City of Winter Garden.

Usable recreation and open space may include community parks, neighborhood parks, active recreation, passive recreation, trails, community recreation/athletic facilities and associated facilities. There will be in excess of 25 acres of usable recreation and open space in Oakland Park.

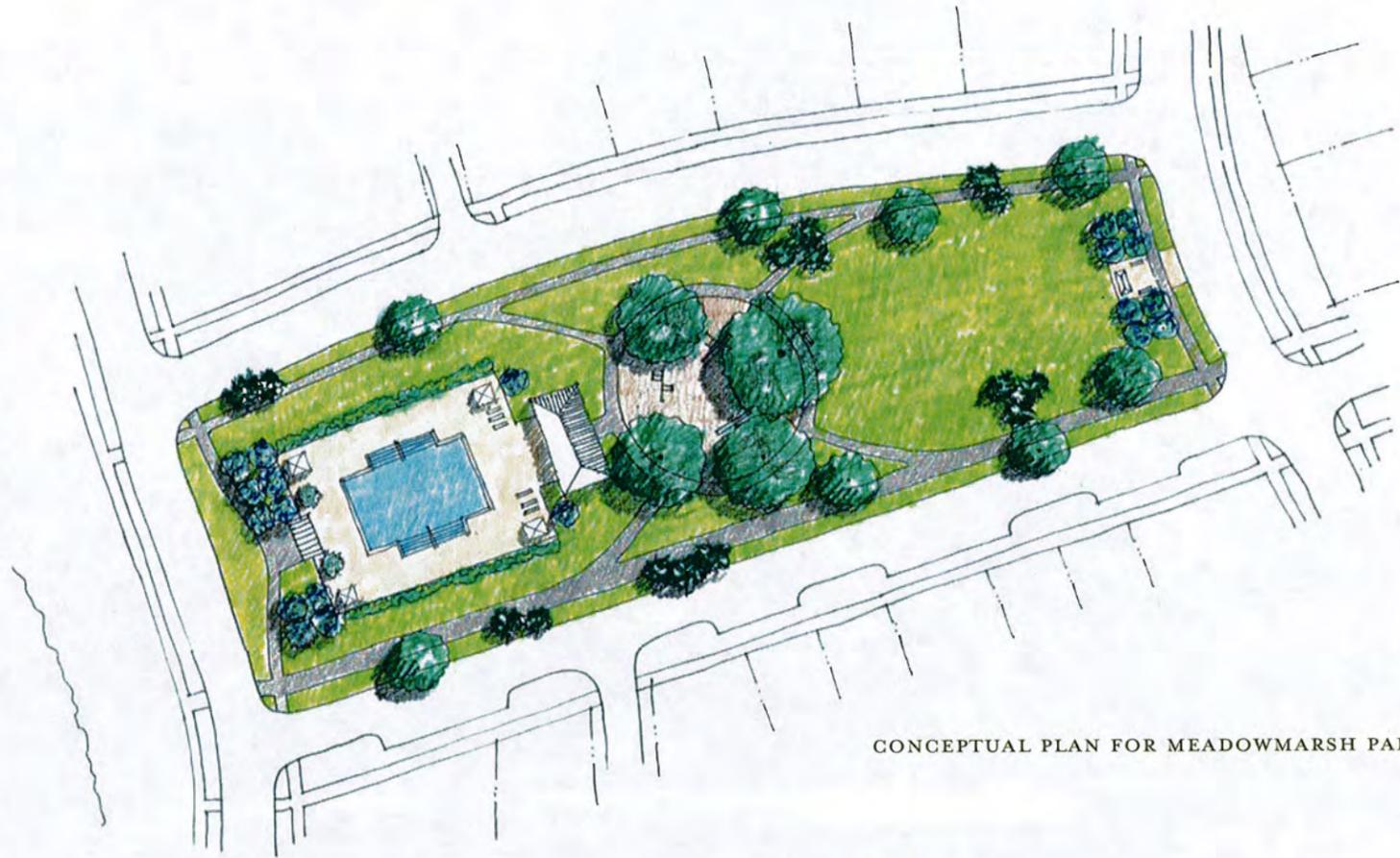
Common open space may include community recreation, parks, wetlands, water bodies, upland buffers, retention, and landscape buffers. There will be in excess of 45 acres of common open space in Oakland Park. No more than 50 percent of the required open space may be retention. Detailed open space calculations will be provided with each subdivision plan. Common and recreation open space will be owned and maintained by the Home Owners' Association. All ponds will have a drainage easement to the City. The Oakland Park Parks and Open Space Inventory identifies the proposed parks and community open space that will be provided. The acreages are estimates and may have minor variances as a result of final engineering, subject to compliance with provision of a minimum 20 percent Common Open Space (38.0 +/- acres) and a minimum five (5) percent of usable recreation area

	Current or Proposed Name	Phase	Park Facility	Dry Retention	Lake or Wet Retention	Total
1	Union Club	6	5.5			5.5
2	Tract K	1A	1.2		0.7	1.9
3	Pocket Park	4	0.8			0.8
4	North Lawn	1A	1.8			1.8
5	South Lawn	2	2.6			2.6
6	Lake Brim	1A	1.9		10.3	12.2
7	Central Park	3	0.7			0.7
8	Meadowmarsh Park	1B1	1.2			1.2
9	Median Parks	various	0.5			0.5
10	Hammock Preserve	7	1.6		3.8	5.4
11	Village Center Park	9	0.4		0.7	1.1
12	McKinnon Square	9	0.2			0.2
13	Lakeview Park	7	1.6			1.6
14	Plinth Park	2	0.6			0.6
15	Reciprocity Park	1A	0.5			0.5
16	East Shore Park	1A	2.9	2.9		5.8
17	West Shore Park	4	3.9		3.8	7.6
			27.8	2.9	19.3	50.0

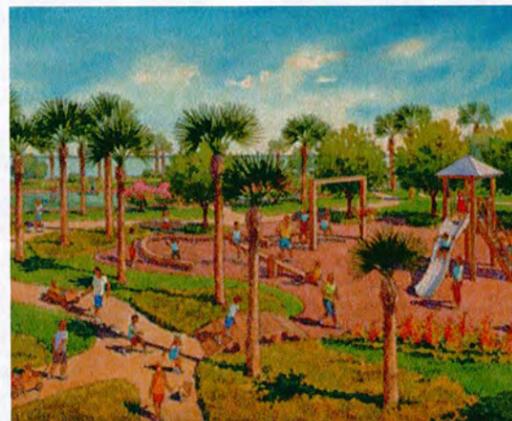
AMENITY

The Open Space Plan for Oakland Park includes a diversity of amenities for the benefit of the community. Completion of the first phase of construction included completion of East Shore Park, Lake Brim Park and the majority of the North Lawn. All three parks are actively used by residents of Oakland Park and the surrounding community. This includes residents of nearby subdivisions that were built without usable open space.

To insure that the provision of parks and facilities keeps pace with development of the community as phases are developed the associated parks within that phase will be substantially complete prior to the issuance of the building permit for over 50% of the units to be constructed in that phase. The adjacent sketches show the current conceptual plan for Meadowmarsh Park and the amenities for the Union Club. Each will contain a swimming pool. The pool in Meadowmarsh Park will be constructed as part of Phase 1B1. The pool in the Union Club will be constructed as the Meadowmarsh Park pool reaches design capacity.



CONCEPTUAL PLAN FOR MEADOWMARSH PARK



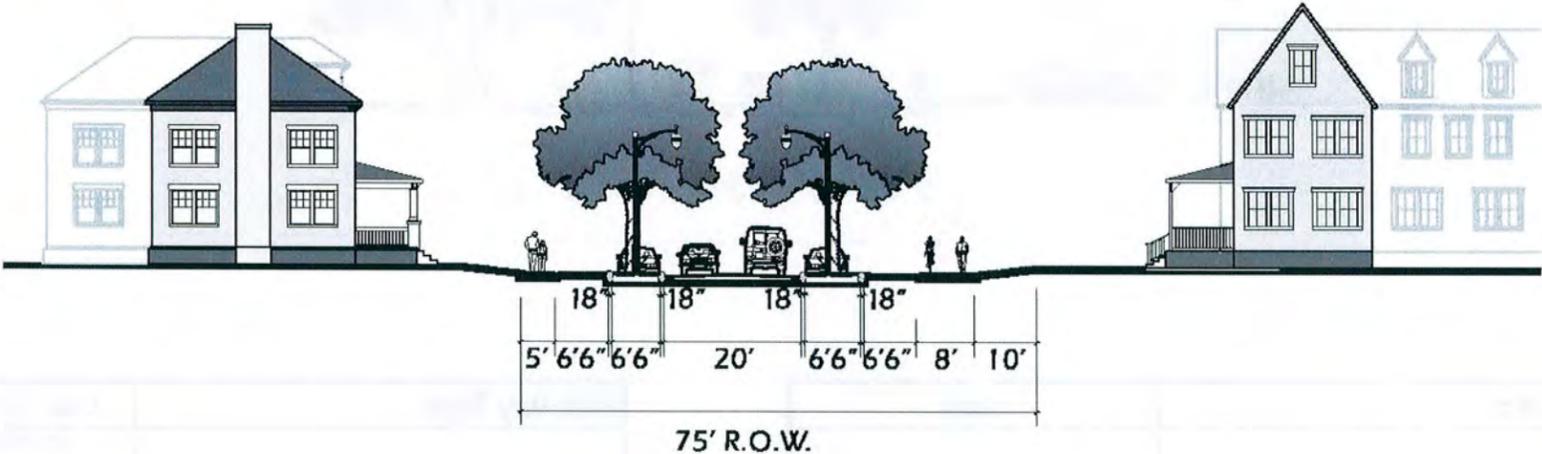
CONCEPTUAL ILLUSTRATIONS OF UNION CLUB AMENITIES



STREET NETWORK PLAN

The Street Network Plan includes a variety of Avenues, Streets, and Lanes. These are identified on the Land Use and Regulating Plan, page 15 and full size in rear pocket. Rear lanes shown on the Land Use and Regulating Plan may in some cases be eliminated and those lots front loaded.

AVENUE 'A' (AV-20/75)

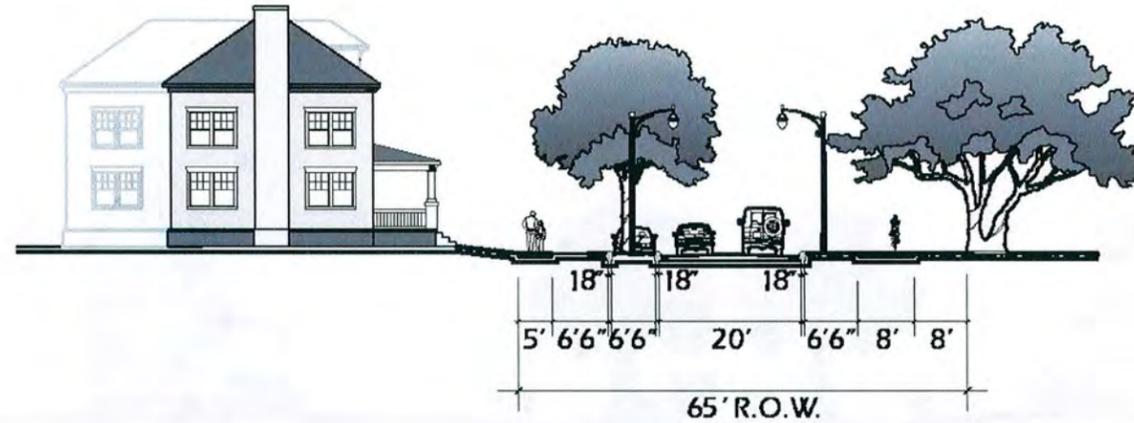


Movement	Slow
Design Speed	25
R.O.W. Width	75'
Pavement Width	20'
Traffic Flow	Two-way
Number of Parking Lanes	Two sides protected with bulb-outs
Curb Types	6" vertical curb with 12" gutter
Curb Radius	15'

Bikeway Type	Bike Path (one side)
Bikeway Width	8' (shared with pedestrians)
Sidewalks	One Side
Sidewalk Width	5'
Planter Width	6'6" - 14'6"
Planter Type	Continuous Grass or Groundcover
Planting Pattern	Informal Spacing
Tree Type	Predominant Live Oaks, with others

STREET NETWORK PLAN

AVENUE 'B' (AV-20/65)

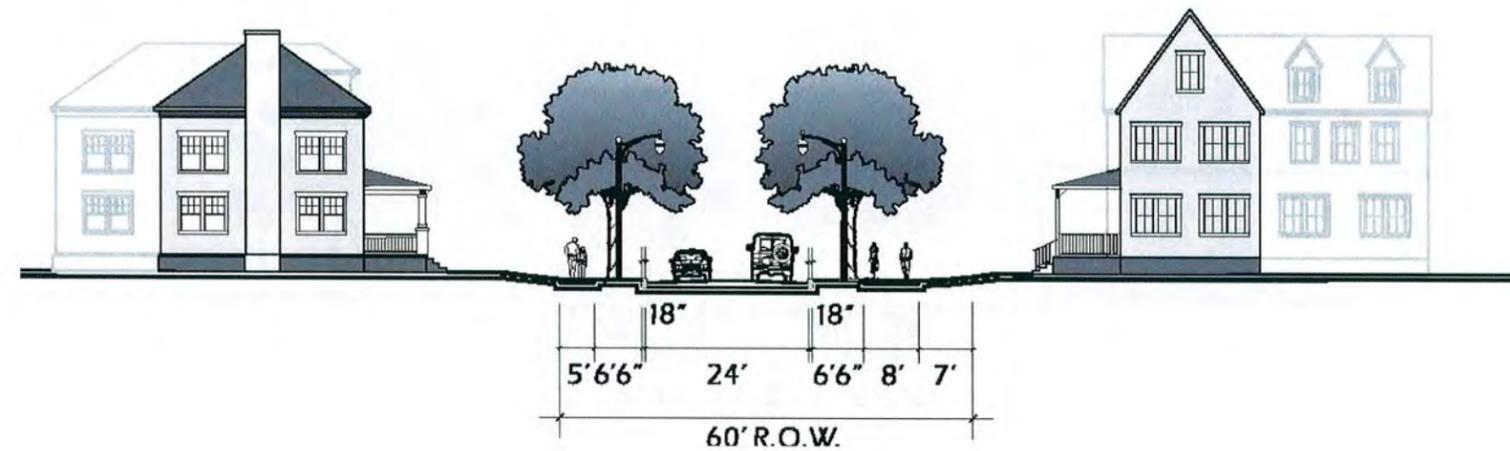


Movement	Slow
Design Speed	25
R.O.W. Width	65'
Pavement Width	20'
Traffic Flow	Two-way
Number of Parking Lanes	One side protected with bulb-outs
Curb Types	6" vertical curb with 12" gutter
Curb Radius	15'

Bikeway Type	Bike Path (one side)
Bikeway Width	8' (shared with pedestrians)
Sidewalks	One Side
Sidewalk Width	5'
Planter Width	6'6" - 14'6"
Planter Type	Continuous Grass or Groundcover
Planting Pattern	Informal Spacing
Tree Type	Predominant Live Oaks, with others

STREET NETWORK PLAN

AVENUE 'C' (AV-24/60)

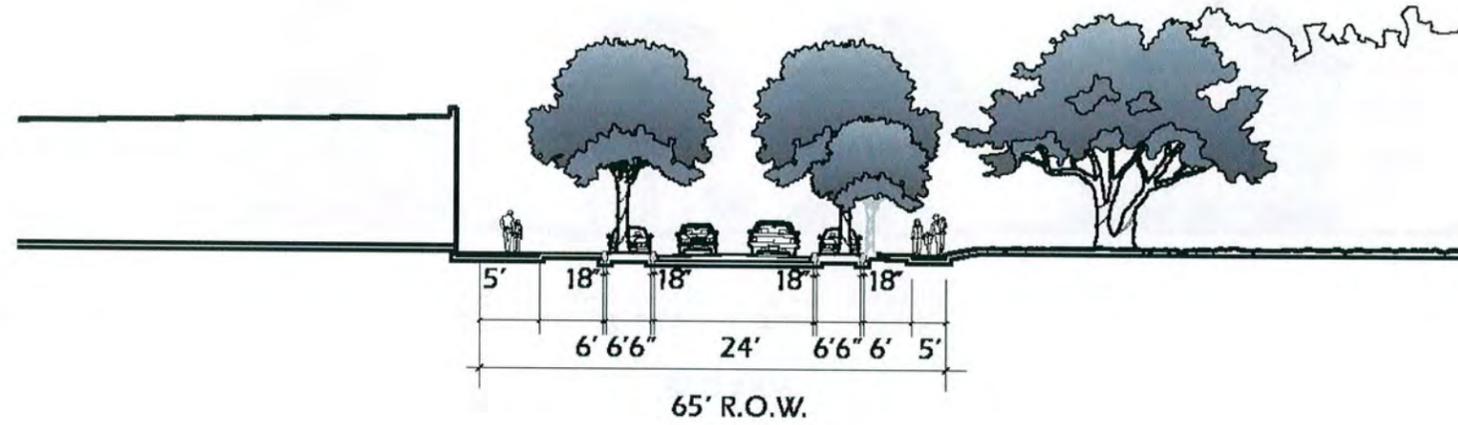


Movement	Slow
Design Speed	25
R.O.W. Width	60'
Pavement Width	24'
Traffic Flow	Two-way
Number of Parking Lanes	None. Parking allowed one side.
Curb Types	6" vertical curb with 12" gutter
Curb Radius	15'

Bikeway Type	Bike Path (one side)
Bikeway Width	8' (shared with pedestrians)
Sidewalks	One Side
Sidewalk Width	5'
Planter Width	6'6"
Planter Type	Continuous Grass or Groundcover
Planting Pattern	Informal Spacing
Tree Type	Predominant Live Oaks, with others

STREET NETWORK PLAN

NEIGHBORHOOD CENTER STREET (NC-24/65)

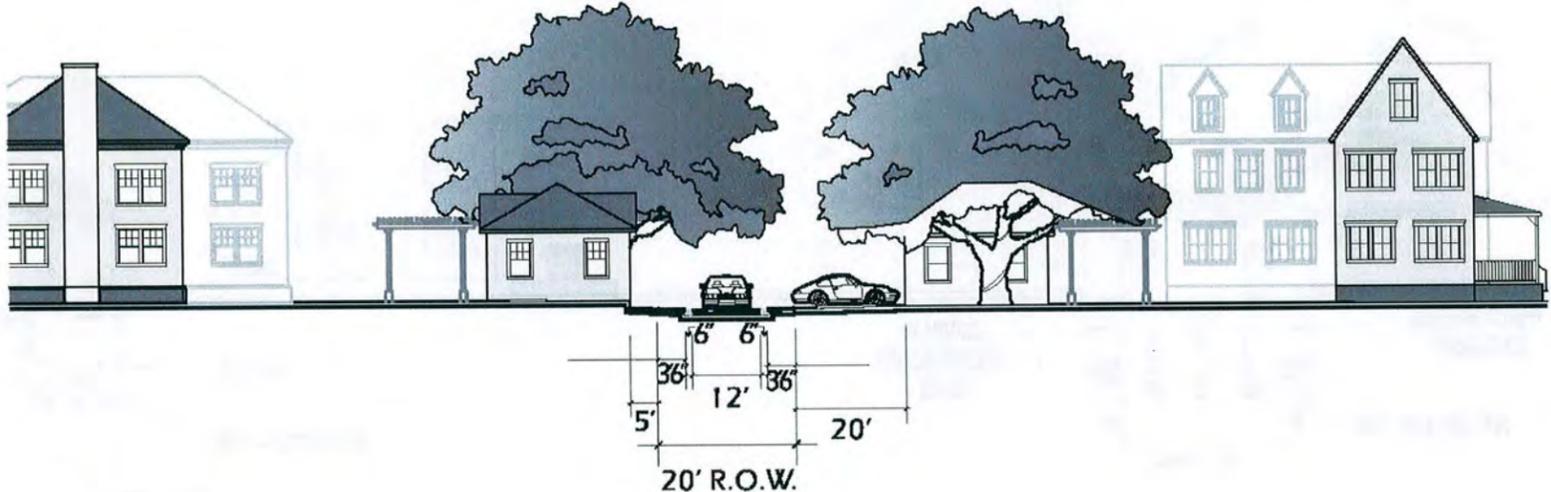


Movement	Slow
Design Speed	5
R.O.W. Width	65'
Pavement Width	24'
Traffic Flow	Two-way
Number of Parking Lanes	Two sides protected with bulb-outs
Curb Types	6" vertical curb with 12" gutter
Curb Radius	15'

Bikeway Type	N/A
Bikeway Width	N/A
Sidewalks	Each Side
Sidewalk Width	5'
Planter Width	6'6" -14'0"
Planter Type	Continuous Grass or Groundcover
Planting Pattern	Informal Spacing
Tree Type	Predominant Live Oaks, with others

STREET NETWORK PLAN

REAR LANE (RL-12/20)***



Movement	Slow
Design Speed	10
R.O.W. Width	20'
Pavement Width	12'
Traffic Flow	One-way
Number of Parking Lanes	N/A
Curb Types	6" Ribbon Curb if asphalt
Curb Radius	15'

Bikeway Type	N/A
Bikeway Width	N/A
Sidewalks	N/A
Sidewalk Width	N/A
Planter Width	N/A
Planter Type	N/A
Planting Pattern	N/A
Tree Type	N/A

***Rear Lanes will be in a tract owned by the HOA

STREET NETWORK PLAN

STREET (ST-24/50) WITH ALLEY



Movement	Slow
Design Speed	25
R.O.W. Width	50'*
Pavement Width	24'**
Traffic Flow	Two-way
Number of Parking Lanes	None. Parking allowed one side.
Curb Types	6" vertical curb with 12" gutter
Curb Radius	15'

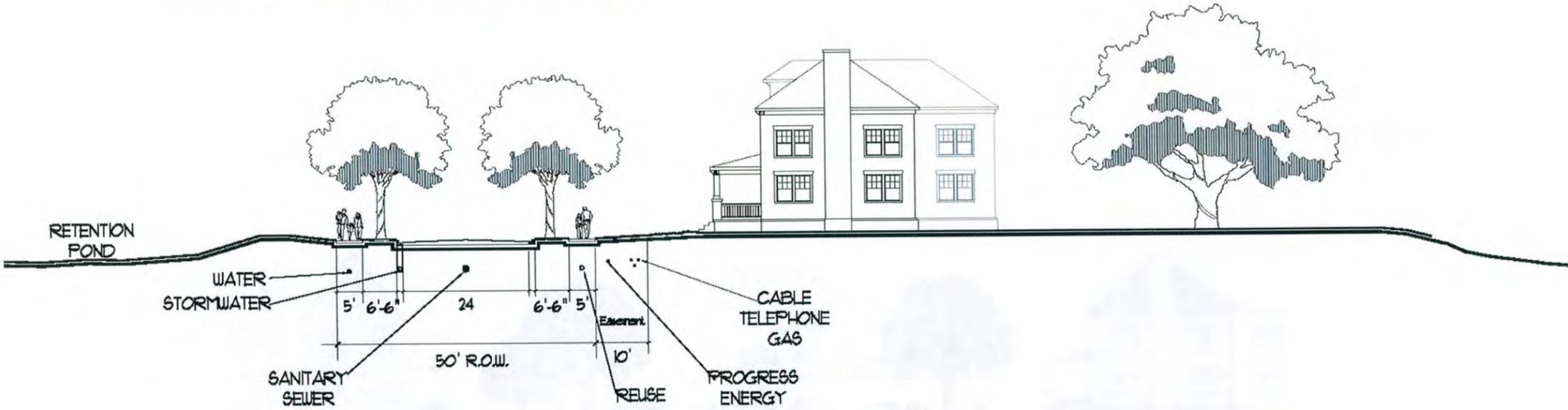
* 40' right-of-way width if one way

** 16' pavement width if one way

Bikeway Type	N/A
Bikeway Width	N/A
Sidewalks	Each Side
Sidewalk Width	5'
Planter Width	6'6"
Planter Type	Continuous Grass or Groundcover
Planting Pattern	Informal Spacing
Tree Type	Predominant Live Oaks, with others

STREET NETWORK PLAN

STREET (ST-24/50) WITHOUT ALLEY



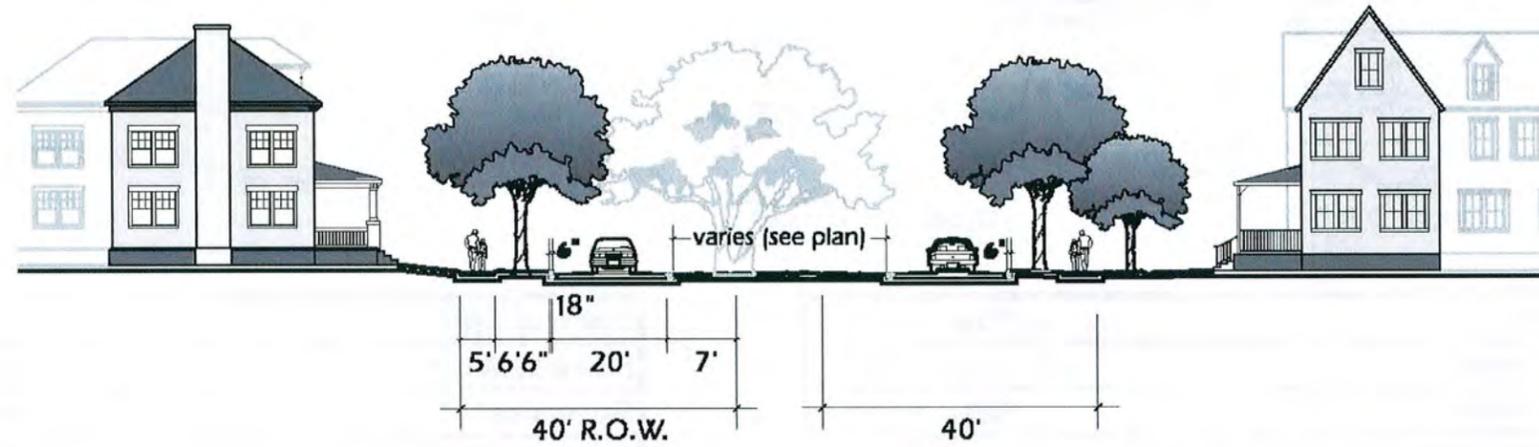
Movement	Slow
Design Speed	25
R.O.W. Width	50'*
Pavement Width	24'**
Traffic Flow	Two-way
Number of Parking Lanes	None. Parking allowed one side.
Curb Types	6" vertical curb with 12" gutter
Curb Radius	15'

Bikeway Type	N/A
Bikeway Width	N/A
Sidewalks	Each Side
Sidewalk Width	5'
Planter Width	6'6"
Planter Type	Continuous Grass or Groundcover
Planting Pattern	Informal Spacing
Tree Type	Predominant Live Oaks, with others

* 40' right-of-way width if one way
 ** 16' pavement width if one way

STREET NETWORK PLAN

STREET (ST-20/40)

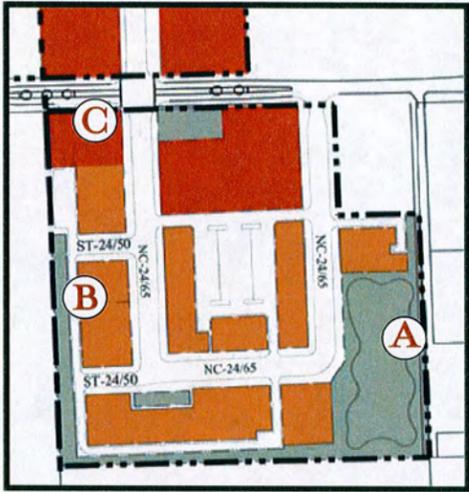
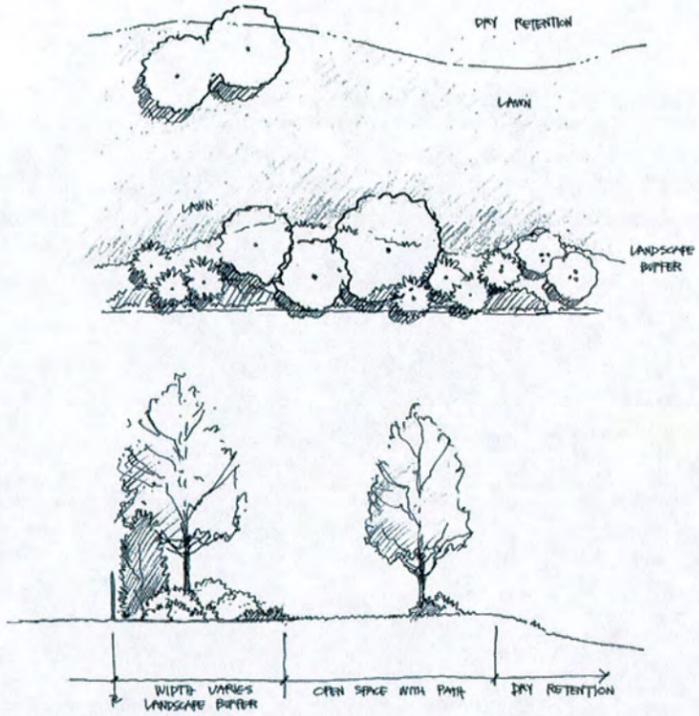


Movement	Slow
Design Speed	25
R.O.W. Width	40'
Pavement Width	20'
Traffic Flow	One-way
Number of Parking Lanes	Parking allowed one side
Curb Types	6" vertical curb with 12" gutter
Curb Radius	15'

Bikeway Type	N/A
Bikeway Width	N/A
Sidewalks	Outside only (trail within park)
Sidewalk Width	5'
Planter Width	6'6"
Planter Type	Continuous Grass or Groundcover
Planting Pattern	Informal Spacing
Tree Type	Predominant Live Oaks, with others

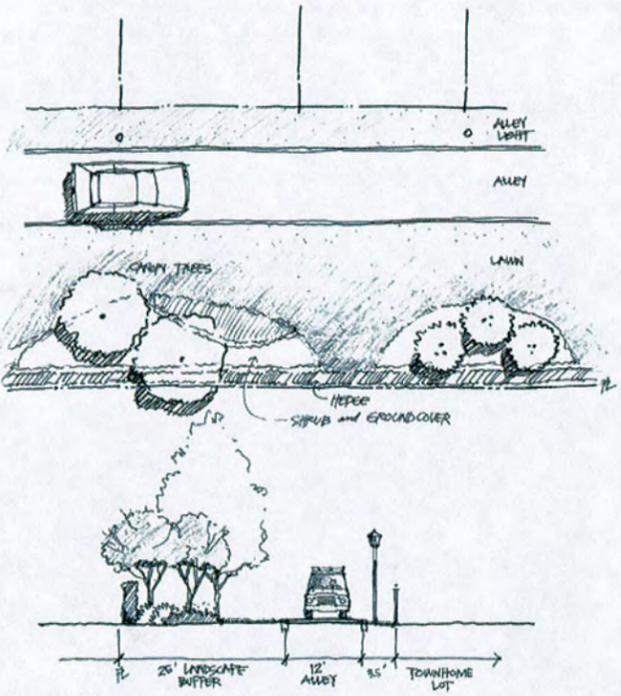
VILLAGE CENTER BUFFER COMMITMENTS

A. ADJACENT BUFFER

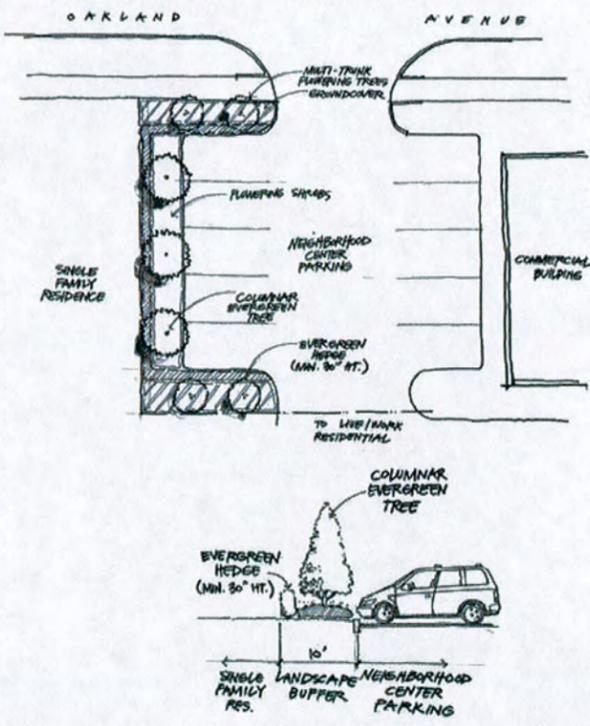


VILLAGE CENTER KEY PLAN

B. WEST BUFFER



C. VILLAGE CENTER BUFFER



THE CITY OF WINTER GARDEN
PLANNING AND ZONING BOARD AGENDA ITEM

ITEM # 7 (Public Hearing)

DATE: JANUARY 5, 2012 **MEETING DATE:** JANUARY 9, 2012

SUBJECT: ORDINANCE 12-08 OAKLAND PARK PUD AMENDMENT
PROJECT NAME OAKLAND PARK
PARCEL ID# 21-22-27-6090-00-001

ISSUE: AMENDING THE OAKLAND PARK PUD PLAN (ORDINANCE 05-26), SPECIFICALLY AMENDING THE LOT SIZE MIXTURE, PHASING AND AMENITY SCHEDULE, AND ALLOWING FOR AN ADDITIONAL 35 DWELLING UNITS.

SUPPLEMENTAL MATERIAL/ANALYSIS:

OWNER/APPLICANT: CASTLE & COOK E FLORIDA, LTD

CURRENT ZONING: PUD

PROPOSED ZONING: N/A

CURRENT FLU: SUB

PROPOSED FLU: N/A

SUMMARY:

Applicant requests to amend Section II & Section IV of Ordinance 05-26 Oakland Park PUD, amending the lot size mixture, phasing and amenity schedule and allowing for 35 additional dwelling units.

STAFF RECOMMENDATION(S):

Staff recommends approval of Ordinance 12-08 (Amending Ordinance 05-26 Oakland Park PUD)

NEXT STEP(S):

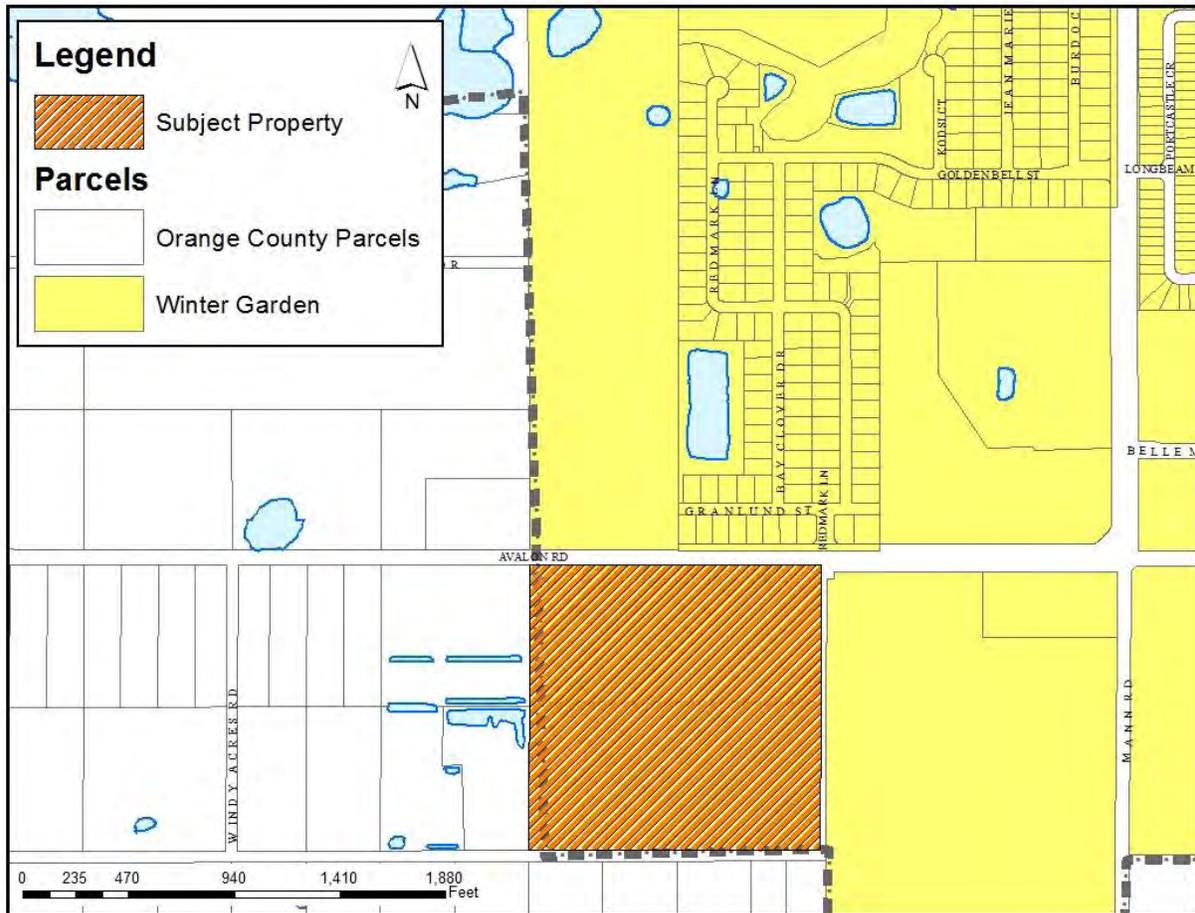
A public hearing for the first reading of this Ordinance is scheduled for the City Commission on Thursday, January 12, 2012.

ATTACHMENT(S):

LOCATION MAP
ORDINANCE 12-08
STAFF REPORT
PUD PLAN

LOCATION MAP

Ordinance 1207
Carriage Pointe Reserve
2911 Avalon Road



ORDINANCE 12-07

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, REZONING APPROXIMATELY 37.8 +/- ACRES OF CERTAIN REAL PROPERTY GENERALLY LOCATED ON THE SOUTH WEST CORNER OF THE INTERSECTION OF AVALON ROAD AND DAVENPORT ROAD AT 2911 AVALON ROAD, FROM CITY NZ TO CITY PUD; PROVIDING FOR CERTAIN PUD REQUIREMENTS; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE. (Carriage Pointe Reserve PUD)

WHEREAS, the Owner(s) of real property generally described as approximately 37.8 ± acres of certain real property generally located on the south west corner of the intersection of Avalon Road and Davenport Road in Winter Garden, Florida, being more particularly described in Exhibit “A” attached hereto and incorporated herein by this reference (the “Property”), desire to rezone their property from City NZ to City PUD, and

WHEREAS, Taylor Morrison of Florida, Inc, a Florida corporation (“Developer”), is the contract purchaser and developer of the Property; and

WHEREAS, Developer is authorized to act as agent for Owners in connection with obtaining necessary approvals and permits for developing the Property and executing agreements in connection therewith; and

WHEREAS, on December 13, 2011 the School Board of Orange County, Florida approved the transfer of eighty seven (87) owner capacity credits from the following Capacity Agreements (CEAs) Summerport West, LLC and SSp1, LLC to the Cantero Property (Cantero Holdings, LLC); and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the adoption of this Ordinance and the proposed development of the Property is consistent with the City of Winter Garden Comprehensive Plan, the Sixth Amendment to the Restated Interlocal Agreement for Joint Planning Area between Orange County and the City of Winter Garden, and the City of Winter Garden Code of Ordinances; therefore;

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: Rezoning. After due notice and public hearing, the zoning classification of the Property, as described in Exhibit “A” attached hereto, is hereby rezoned from City NZ to City PUD in the City of Winter Garden, Florida subject to the following conditions, provisions and restrictions:

- a. **Conceptual Plan-** All development on the Property must substantially conform to the requirements identified in the Carriage Pointe Reserve Planned Unit Development Preliminary Plan attached hereto as Exhibit “B.” Should any conflict be found between this Ordinance and the Carriage Pointe Reserve Planned Unit Development Preliminary Plan attached hereto as Exhibit “B”, then the standards and conditions established by this Ordinance shall control.
- b. **Zoning-** Unless specifically noted elsewhere in Exhibit “B” attached hereto, all residential development on the Property must comply with the general zoning requirements of the R-1 Single Family Residential District for any structures, including but not limited to swimming pools, screen rooms, accessory structures and buildings, that are developed on the Property.
- c. **JPA-** Unless specifically noted elsewhere in Exhibit “B” attached hereto, all development of the Property must conform to the requirements of the Sixth Amendment to the Restated Interlocal Agreement for Joint Planning Area between Orange County and the City of Winter Garden dated January 24, 2007.
- d. **Design Criteria/Architectural Standards-**
 - 1. **Lot Size-** Minimum lot width shall be 65 feet.
 - 2. **Building Height-** Maximum building height shall be 40 feet.
 - 3. **Minimum Living Area-** Minimum living area for each residential unit shall be 1,400 square feet.
 - 4. **Signage-** All signage shall be reviewed and permitted by the City of Winter Garden. All proposed signage, with the exception of street and traffic signs, shall be submitted for review and approval as part of the Development Agreement for the Property.
 - 5. **Setbacks and Required Yards-**

65'x120' Lots		75'x120' Lots	
Front Yard	20'	Front Yard	20'
Rear Yard	20'	Rear Yard	20'
Side Yard	7.5'	Side Yard	7.5'
Corner	20'	Corner	20'
Front Load Garage (Front)	25'	Front Load Garage (Front)	25'
Porch/ Courtyard Garage (Front)	15'	Porch/ Courtyard Garage (Front)	15'
Pool (Side & Rear)	5'	Pool (Side & Rear)	5'

6. Common Recreation and Open Space-

The Property is located within the Resource Protection Overlay, and in compliance with the City of Winter Garden Comprehensive Plan Future Land Use Element Policies 1-3.1.7 and 1-3.1.8 no less than 25% Wekiva Study Area Open Space shall be provided.

None of the 25% Wekiva Study Area Open Space shall be chemically treated with pesticides or fertilizers to establish sensitive natural habitat.

To the greatest extent possible, 5% of the developable area of the Property shall be set aside for passive, dry-land recreational use. In the event that this requirement cannot be met wholly or in part, then a financial contribution in accordance with Chapter 110, Article V, Division 2 of the City Code of Ordinances shall be made to the City Recreation Fund to fulfill the requirement.

7. Residential Design Criteria- Prior to obtaining any preliminary plat or final plat approvals for the Property, the Developer shall submit typical front elevations and floor plans for project dwelling units for Planning and Zoning Board review and approval. The typical elevations and floor plans shall provide:

- Product types shall be varied and/or staggered to avoid similar products directly adjacent to each other or provide alternate color and architectural details. Front façade variation should be provided so the Front Load Garage and the Porch/ Courtyard Garage are alternated.
- A variety of building elevations utilizing main entrance treatments such as front porches with substantial architectural finish. Front porches shall be provided on at least fifty percent of all single-family residential units.
- Building entrances shall be visible and accessible from the street and shall provide variations of walkways from the primary entrance to the sidewalk.
- Garages should be located to the rear of single-family residential lots or at least five feet behind the primary building façade. Accentuate the use of step backs in building elevations.

8. In order to minimize the light glare and nuisance light impacts on surrounding properties, drop lenses, sag lenses, and convex lenses shall be prohibited on the Property.

9. Swimming pools must meet all requirements of City Code. No encroachments will be allowed within drainage or utility easements. Applications for swimming pools will be reviewed on an individual

basis.

e. Staff Conditions- All development on the Property must comply with the following conditions:

1. The Property will be constructed in two (2) phases of development with approximately 55 lots in phase 1 and 35 lots in phase 2. The main entrance will be constructed with the first phase of development; the second access point located on the south side of the Property shown on Exhibit "B" will be an emergency access route only and will be constructed with the second phase.
2. A 60 ft half right-of-way south of the centerline of Avalon Rd shall be conveyed to the City of Winter Garden via fee simple warranty deed (for 120 ft wide future overall right-of-way width). Neither Owner/Developer nor their successors and assigns shall be entitled to any road impact fee credits or other compensation of any kind for, on account of, or with respect to the required conveyance of right-of-way to the City.
3. The Owner/Developer is responsible for meeting all provisions of ADA and Florida Accessibility Code.
4. All work shall conform to City of Winter Garden standards and specifications.
5. All streets within the Property will be private and shall be conveyed to and maintained by a homeowner's association. The Owner/Developer shall establish a homeowner's association in accordance with Chapter 720, Florida Statutes and having governing documents in compliance with Chapter 110, City of Winter Garden Code of Ordinances.
6. Permits from SJRWMD and FDEP (water, wastewater and NPDES) are required prior to issuance of site or building permits.
7. In accordance with Section 78-2, City of Winter Garden Code of Ordinances, all potable water, reclaimed water and sanitary sewer main lines and utilities required for the project shall be extended from their current terminus to the Property and along the Property's entire frontage along public rights-of-way, at the Owner's/Developer's expense. Water and sewer impact fees shall be paid pursuant to Code, prior to City execution of FDEP permits and issuance of site or building permits.
8. All irrigation on the Property shall be designed to be supplied by

reclaimed water.

9. City requirements concerning most effective recharge areas, positive outfall, etc. shall be met. Total retention of the 25 yr, 96 hr storm event or 100 yr, 24 hr storm event may be required, depending on positive outfall.
10. All proposed easements shall be 30' minimum width for sanitary, water and storm; improvements shall be centered within the easement.
11. Plans have been revised to show 7.5' side setbacks; utility and drainage easements shall be dedicated to the City on each side and rear lot line, and adjacent to the street R/W line, pursuant to Code.
12. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner/Developer and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
13. The Owner's/Developer's Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
14. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others, including by way of any development order or permit issued. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City shall not be responsible and any corrective measures required will be the responsibility of the Owner/Developer. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.

15. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of **2.25%** of the cost of all site improvements shall be paid prior to issuance of the building permit.
16. Providing positive drainage within the site is the responsibility of the Design Engineer. The City will not maintain any portion of the on-site drainage systems.
17. If approval is granted by the City of Winter Garden, it does not grant authority to enter, construct or otherwise alter the property of others, nor does it waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.
18. The 100 feet open space buffer area provided along the south west side of the property boundary shall be consistent with the Wekiva Protection Act. Additional landscaping shall be provided to offset visual impact to the adjacent residential properties. Landscaping shall be installed consistent with the requirements of Section 118-1524(b) and Table 3.4.2.

SECTION 2: *General Requirements.*

- a. **Development Agreement-** A Development Agreement shall be drafted, approval obtained and recorded prior to approval of Preliminary Plat of the Property. The Development Agreement shall address matters to include, but not limited to, project phasing, utilities extension and oversizing, right-of-way conveyance and improvement, other off-site public infrastructure improvements easements, transportation/roadway system, design standards, impact fees, recreation fund contribution, stormwater, signage, and schools.
- b. **Stand Alone Clause-** Each phase of development of the Property must operate as an individual unit in that each particular phase will be able to stand-alone in the event that no other phase is developed.
- c. **Land Development Approvals and Permits-** This Ordinance does not require the City to issue any permit or approval for development, construction, preliminary plat, final plat, building permit, or other matter by the City relating to the Property or the project or any portion thereof. These and any other required City development approvals and permits shall be

processed and issued by the City in accordance with procedures set forth in the City's Code of Ordinances and subject to this Ordinance.

- d. **Amendments-** Minor amendments to this Ordinance will be achieved by Resolution of the City Commission of the City of Winter Garden. Major amendments to this Ordinance will require approval of the City Commission of the City of Winter Garden by Ordinance.
- e. **Expiration/Extension-** Expiration of this PUD shall be governed in accordance with Section 118-830, City of Winter Garden Code of Ordinances. Time extensions may be granted in accordance with Section 118-829, City of Winter Garden Code of Ordinances.

SECTION 3: Zoning Map. The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION 4: Non-Severability. Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 5: Effective Date. This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2012.

SECOND READING AND PUBLIC HEARING: _____, 2012.

ADOPTED this _____ day of _____, 2011, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

KATHY GOLDEN, City Clerk

Exhibit "A"

LEGAL DESCRIPTION

(PER WARRANTY DEED AS RECORDED IN ORB 8789, PG97, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA)

TRACTS ONE-D, TWO-D, FIFTEEN-D AND SIXTEEN-D, OF LAKE AVALON GROVES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK H, PAGE(S) 24, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

Exhibit "B"

COVER PAGE

PLANNED UNIT DEVELOPMENT PRELIMINARY PLAN

CARRIAGE POINTE RESERVE

NOVEMBER 2011

(8 PAGES - ATTACHED)

PLANNED UNIT DEVELOPMENT PRELIMINARY PLAN

A PLANNED UNIT DEVELOPMENT IN THE CITY OF WINTER GARDEN, FLORIDA

CANTERO PROPERTY

PARCEL ID. NUMBER: 06-23-27-4284-04-010

NOVEMBER 2011

LEGAL DESCRIPTION PROJECT DESCRIPTION
A 80 UNIT SINGLE FAMILY PLANNED UNIT DEVELOPMENT.



SITE LOCATION

PREPARED FOR
**TAYLOR MORRISON
OF FLORIDA, INC.**
151 SOUTHWALL LANE
SUITE 200
MAITLAND, FLORIDA 32751
CONTACT: JONATHAN WHITE
PHONE: (321) 397-7523

- OWNER/APPLICANT**
TAYLOR MORRISON OF FLORIDA, INC.
611 SOUTHWALL LANE, SUITE 200
MAITLAND, FLORIDA 32751
PHONE: (321) 397-7523
CONTACT: JONATHAN WHITE
- ENGINEER/SURVEY/ENVIRONMENTAL**
BOWYER-SINGLETON & ASSOCIATES, INC.
1000 W. UNIVERSITY AVENUE, SUITE 100
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PHONE: (407) 253-1100
CONTACT: JONATHAN WHITE
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GEOLOGICAL ENGINEERING SERVICES, INC.
1000 W. UNIVERSITY AVENUE, SUITE 100
ORLANDO, FLORIDA 32801
PHONE: (407) 253-1100
CONTACT: JONATHAN WHITE
- TRAFFIC ENGINEER**
LUKE TRANSPORTATION ENGINEERING
CONSTRUCTION, INC.
1000 W. UNIVERSITY AVENUE, SUITE 100
ORLANDO, FLORIDA 32801
PHONE: (407) 253-1100
CONTACT: JONATHAN WHITE
- LANDSCAPE ARCHITECT**
PAUL VERLINDER
706 TURNBULL AVENUE
ALAMONTE SPRINGS, FLORIDA 32701
PHONE: (407) 834-4074
CONTACT: PAUL VERLINDER

TABLE OF CONTENTS

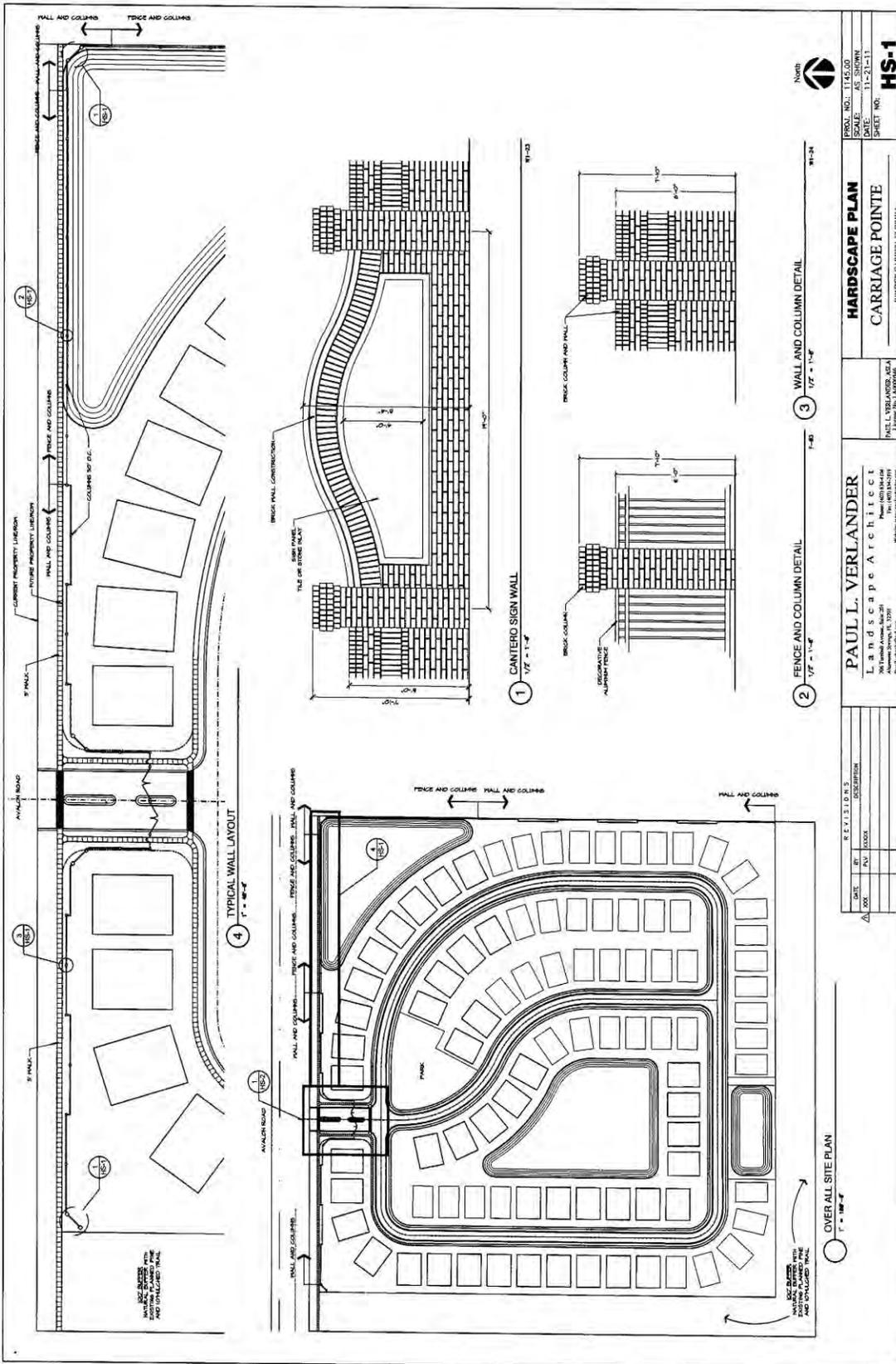
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	PD PRELIMINARY PLAN
3	BOUNDARY SURVEY & EXISTING CONDITIONS PLAN
HS-1	HAZARDOUS MATERIALS SURVEY
HS-2	ENTRY HARDSCAPE PLAN
LA-1 - LA-3	LANDSCAPE PLANS

THIS IS TO CERTIFY THAT THE ROADWAY CONSTRUCTION PLANS AND SPECIFICATIONS AS CONTAINED HEREIN WERE DESIGNED TO APPLICABLE STANDARDS AS SET FORTH IN THE "MANUAL OF PRACTICE AND STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION" WITHIN THE STANDARD SPECIFICATIONS AND "HIGHWAYS" AS PREPARED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION.

FLORIDA
WINTER GARDEN
CANTERO PROPERTY
FLORIDA

DATE: NOVEMBER 2011
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: [Scale]
PROJECT NO.: [Number]
SHEET NO.: [Number]

CONTRACTOR: [Name]
OWNER: [Name]
ENGINEER: [Name]
DATE: [Date]



North

PROJ. NO.: 1165.00
 SCALE: AS SHOWN
 SHEET NO.: 11-21-11
HS-1

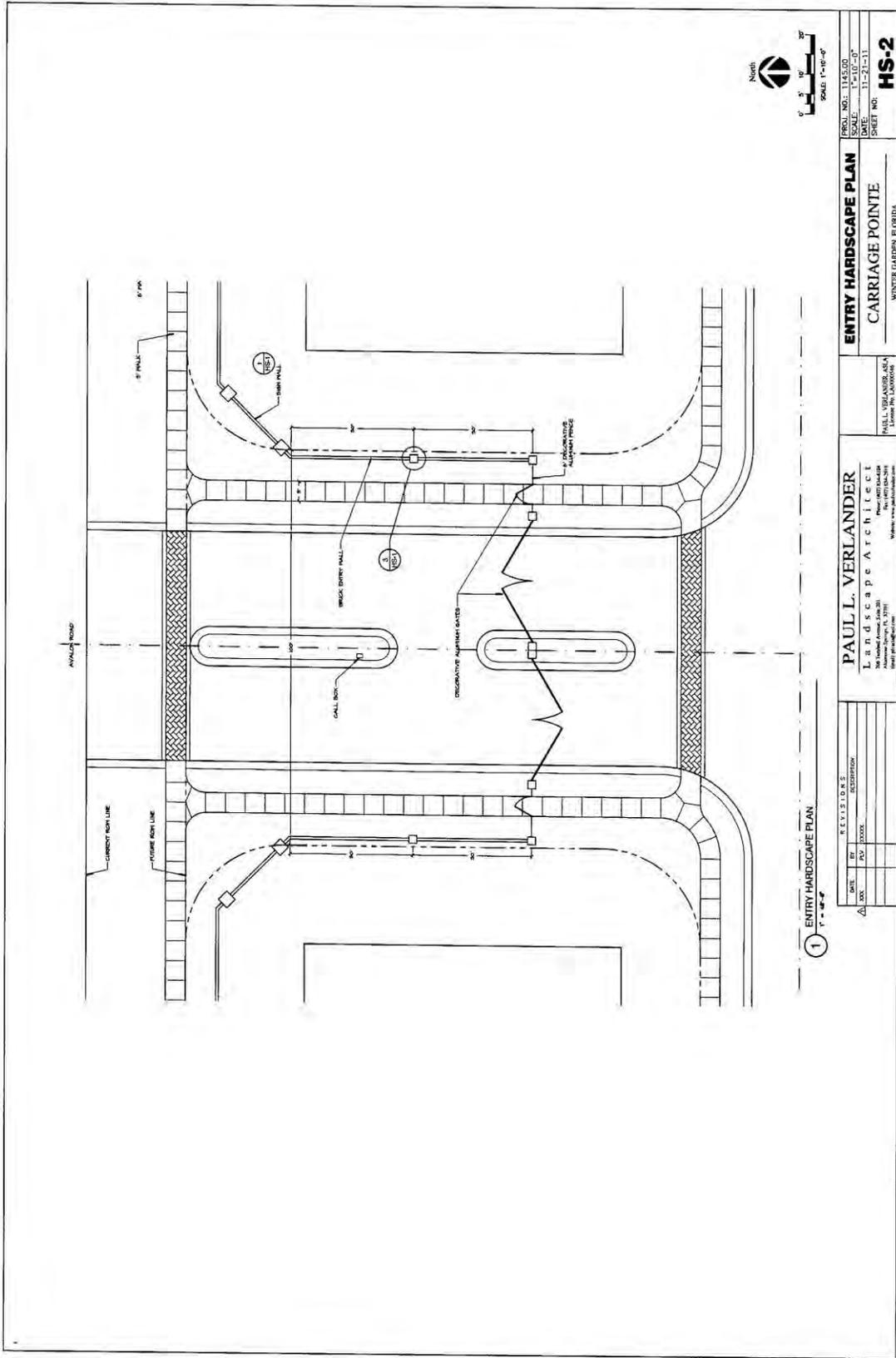
HARDSCAPE PLAN
 CARRIAGE POINTE

PAUL L. VERLANDER, AIA
 Licensed Professional Architect
 License No. 12490
 Winter Garden, Florida

PAUL L. VERLANDER
 Landscape Architect
 License No. 12490
 Winter Garden, Florida

DATE	BY	DESCRIPTION
000	0000	

REVISIONS



PROJ. NO.: 114-500
 DATE: 11-21-11
 SHEET NO.: **HS-2**

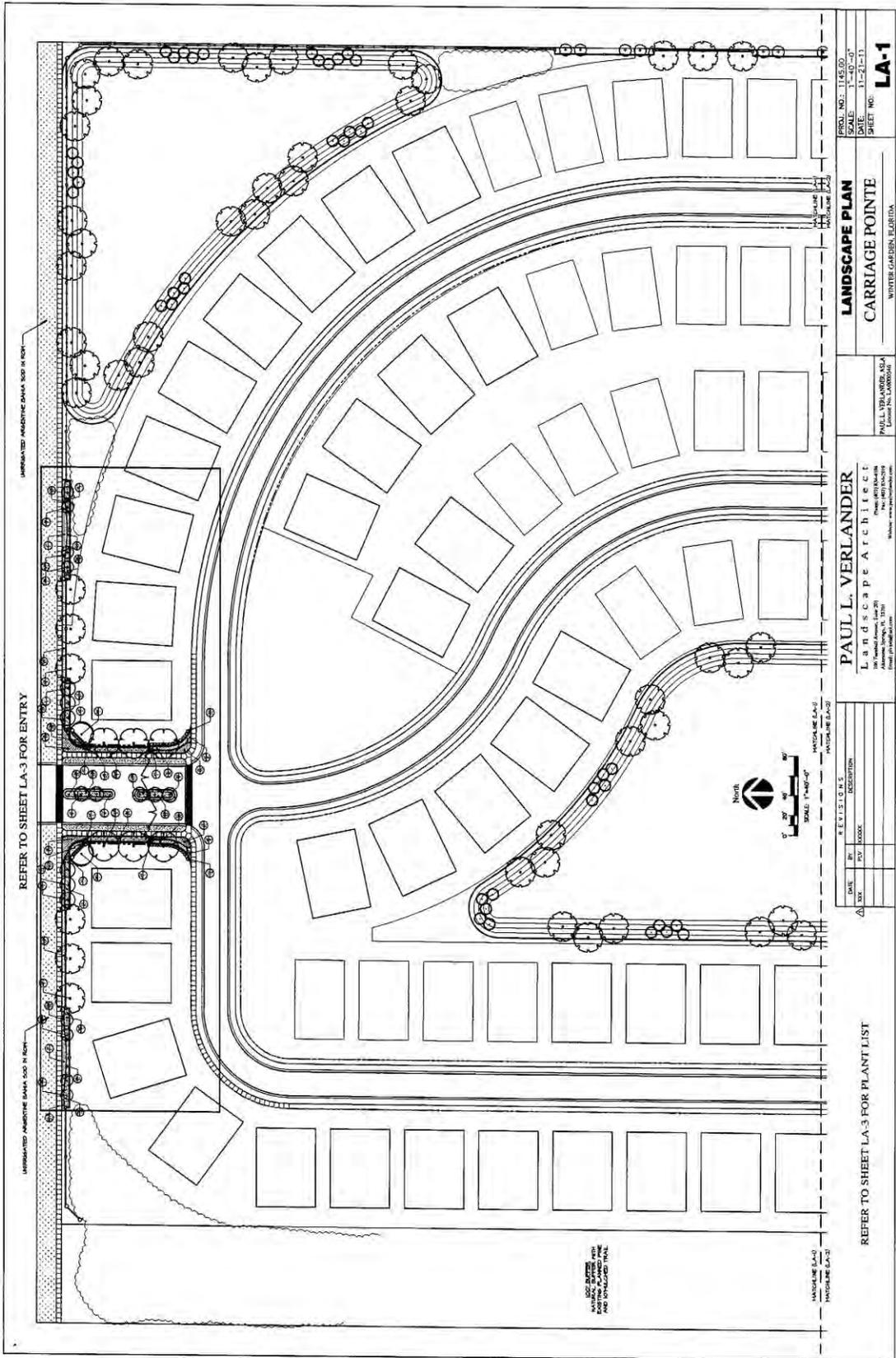
ENTRY HARDSCAPE PLAN
CARRIAGE POINTE
 WINTER GARDEN, FLORIDA

PAUL L. VERLANDER, AIA
 Landscape Architect

PAUL L. VERLANDER
Landscape Architect
 3000 W. US Highway 1
 Winter Garden, FL 32787
 Phone: 407-352-1111
 Fax: 407-352-1112
 Email: paul@pverlander.com

DATE	BY	REVISIONS
11-21-11	PLV	ISSUE FOR PERMITS

1 ENTRY HARDSCAPE PLAN
 11-21-11



PROJ. NO.: 1145.00
 SCALE: 1"=40'-0"
 SHEET NO.: 11-21-11
LA-1

LANDSCAPE PLAN
CARRIAGE POINTE
 WINTER GARDEN, FLORIDA

PAUL L. VERLANDER, A.S.A.
 Licensed No. LA000004

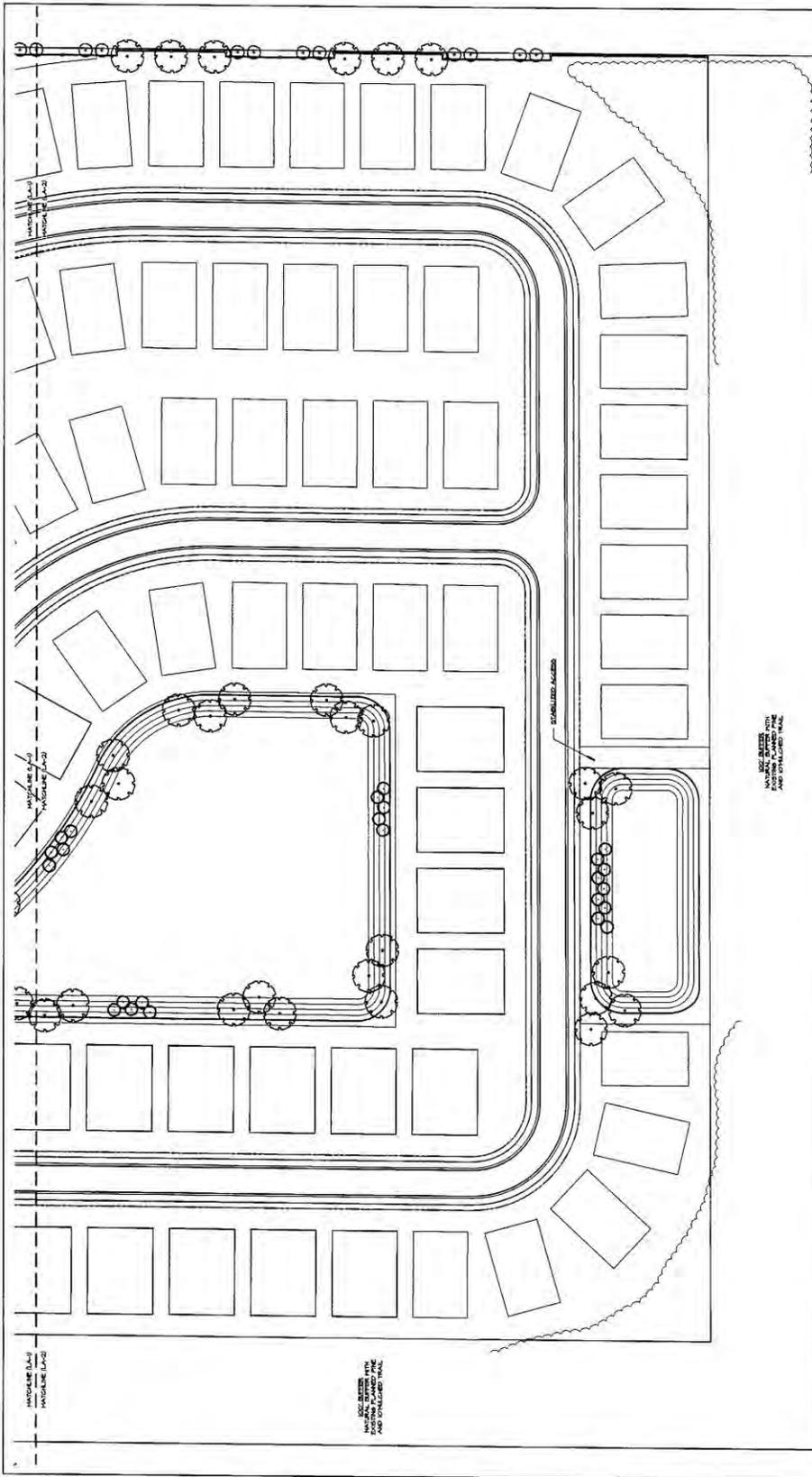
PAUL L. VERLANDER
 Landscape Architect
 11450 W. US HWY 1
 Winter Garden, FL 33587
 Phone: (800) 262-5999
 Website: www.pverlander.com

DATE	BY	DESCRIPTION

REFER TO SHEET LA-3 FOR PLANT LIST

SEE SHEET LA-1 FOR
 PLANT LIST AND
 MATERIALS

MATERIAL LA-1
 MATERIAL LA-2



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

TO: PLANNING AND ZONING COMMITTEE
PREPARED BY: ALEJANDRA FAZEKAS, PLANNER I
DATE: JANUARY 3, 2012
SUBJECT: REZONING
Avalon Road (37.8+/- ACRES)
PARCEL ID # 06-23-27-4284-04-010

APPLICANT: TAYLOR MORRISON OF FLORIDA, INC.

INTRODUCTION

The purpose of this report is to evaluate the proposed project for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property, located on the south west corner of the intersection of Avalon Road and Davenport Road, is approximately 37.8± acres. The map below depicts the location of the subject property within the City of Winter Garden municipal limits.



The applicant is requesting to rezone 37.8± acres of land. The subject property is located within the City of Winter Garden municipal limits, and carries the zoning designation NZ, which means that the property has not yet been zoned since it was annexed into the City of Winter Garden in September 2007 by Ordinance 07-28. The subject property is designated Suburban Residential on the Future Land Use Map of the Comprehensive Plan (see attached map).

EXISTING USE

The subject property does not presently contain any structures and is agricultural use (planted pine trees).

ADJACENT LAND USE AND ZONING

The properties located to the north are a vacant property of 39.45 ± acres zoned NZ in the City and Carriage Pointe PUD. The properties located to the south are in unincorporated Orange County and are large-lot (e.g., 1 to 5 acres) single-family homes and vacant properties currently zoned A-1. The property to the east is Alexander Ridge, an undeveloped PUD with 72.54 ± acres. The properties to the west are Green Machine with 9.55 ± acres and Hodges Green Houses, Inc with 4.86 ± acres.

The subject property as well as some of the surrounding properties are located within the JPA expansion area as adopted by the Sixth Amendment to the Restated Interlocal Agreement for Joint Planning Area between Orange County and the City of Winter Garden dated January 24, 2007. Additionally, the subject property as well as many properties in the area (a total of 596 acres) were annexed into the City of Winter Garden by Ordinance 07-34. At the time the properties were annexed into the City they were not assigned zoning or future land use designation in the City of Winter Garden.

PROPOSED USE

The applicant proposes to develop the 37.8 ± acre site into a residential planned unit development containing 90 single-family dwelling units. The density shall be between 1 to 4 units per acres maximum as specified in the Joint Planning Agreement. The proposed neighborhood will be a private community with a gross residential density of 2.43 du/ac. The proposed neighborhood will have a park, three retention ponds, and a multipurpose trail.

The applicant proposes to construct the project in two phases of development with approximately 55 lots in phase 1 and 35 lots in phase 2. The proposed project will have 47 lots of 65'x120' and 43 lots of 75'x120'.

The proposed project will be required to submit and receive approval for a PUD ordinance. This PUD will designate the lot sizes, open space, density, amenities, and general utility locations for each project.

PUBLIC FACILITY ANALYSIS

Potable Water, Reclaimed Water, and Wastewater Services

Per the Sixth Amendment to the Joint Planning Area Agreement between Orange County and the City of Winter Garden, the project area will be served by the City of Winter Garden for water,

reclaimed water, and wastewater. At such time that the property is developed, all necessary utility lines will be extended and connections made, all extension and connection costs shall be borne by the property owner. The potable water and wastewater service demands shall be calculated in accordance with the LOS Standards, listed in Policy 4-1.1.1 of the Public Facilities Element included in the City of Winter Garden Comprehensive Plan, and Section 78-60 of the City Code of Ordinances, which require 350gal./day/ERU for water and 250gal./day/ERU for wastewater.

Stormwater

The stormwater facilities designed to service the proposed development will meet or exceed the LOS Standards stated in Policy 4-1.1.1 of the Public Facilities Element included in the City of Winter Garden Comprehensive Plan. In addition, the stormwater facilities will be designed to meet the rules and regulations required of SJRWMD and FDEP.

Common Recreation and Open Space

The proposed development will have ± 11.8 acres of open space, consisting of three retention areas, 100' natural buffer space, and a park in compliance with the City of Winter Garden Comprehensive Plan Future Land Use Element Policies 1-3.1.7 and 1-3.1.8 providing no less than 25% Wekiva Study Area Open Space and 5% of the gross developable area set aside for passive, dry-land recreational use. The developer will purchase 0.50 acres from the City Recreation Fund in accordance with Chapter 110, Article V, Division 2 of the City Code of Ordinances to fulfill the 5% recreational facilities requirement.

All of the common recreation and open space will be maintained by a homeowner's association and available to the residents. The developer shall establish a homeowner's association in accordance with Chapter 720, Florida Statutes and having governing documents in compliance with Chapter 110 of the City of Winter Garden Code of Ordinances.

Environment

The subject property is located within the Wekiva Study Area Resource Protection Overlay. The developers are required to provide a minimum of 25% of the gross developable area as Wekiva Open Space as stated in Policies 1-3.1.7 and 1-3.1.8 of the Future Land Use Element included in the City of Winter Garden Comprehensive Plan.

Transportation

A 60 ft half right-of-way south of the centerline of Avalon Road shall be conveyed to the City of Winter Garden via fee simple warranty deed (for 120 ft wide future overall right-of-way width). All streets within the property will be private and shall be conveyed to and maintained by a homeowner's association.

Other Services

The City will provide garbage collection, police protection, and all other services regularly provided to City of Winter Garden residents including building permits. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department under the First Response System.

SUMMARY

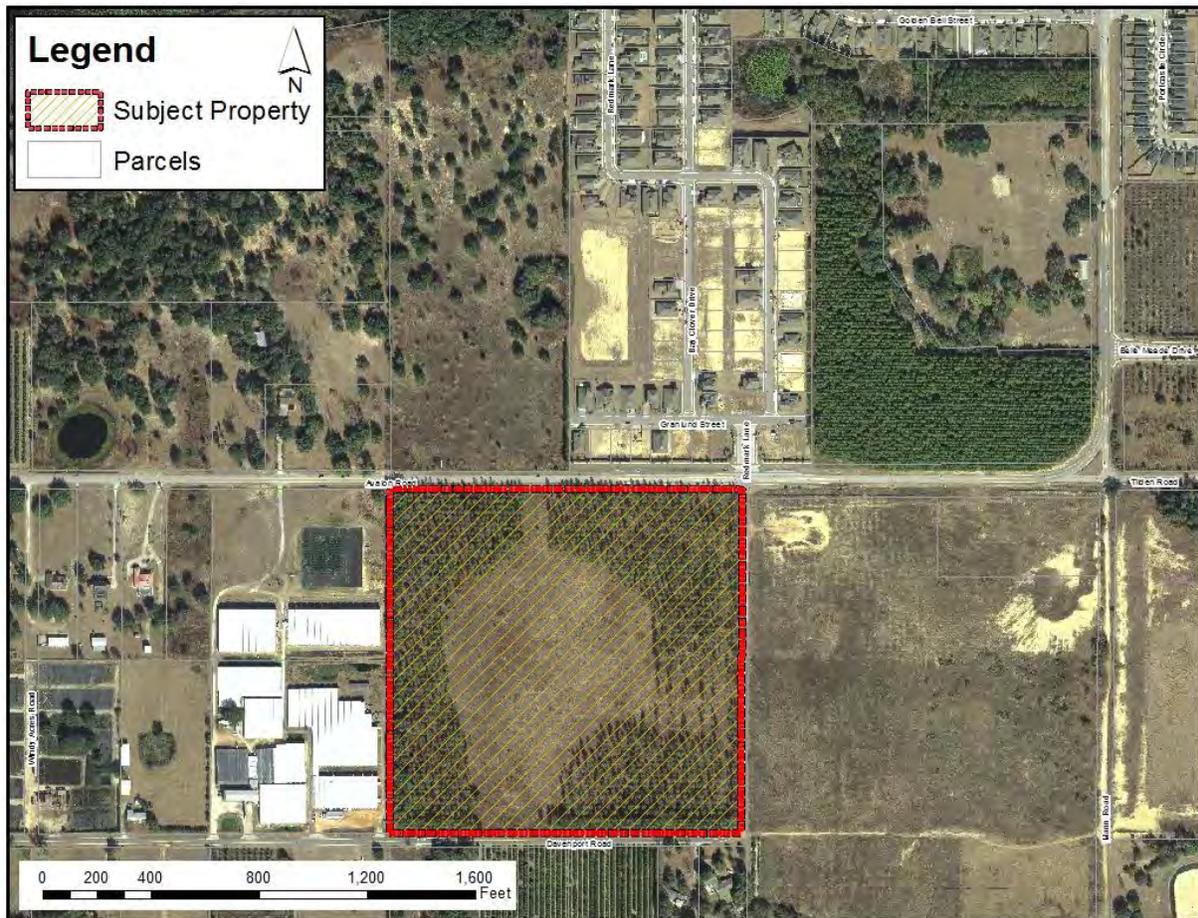
City Staff recommends approval of the proposed Ordinance. Rezoning the subject property form

City NZ to City PUD is consistent with the Future Land Use Map of the City's Comprehensive Plan, and is consistent with the trend of development in the area.

The proposed development of the subject property is consistent with the policies of the City's Comprehensive Plan and the Sixth Amendment to the Restated Interlocal Agreement for Joint Planning Area between Orange County and the City of Winter Garden which requires that rezoning applications or development plans for properties located within the JPA expansion area must be processed as Planned Unit Developments.

MAPS

AERIAL PHOTO Carriage Pointe Reserve



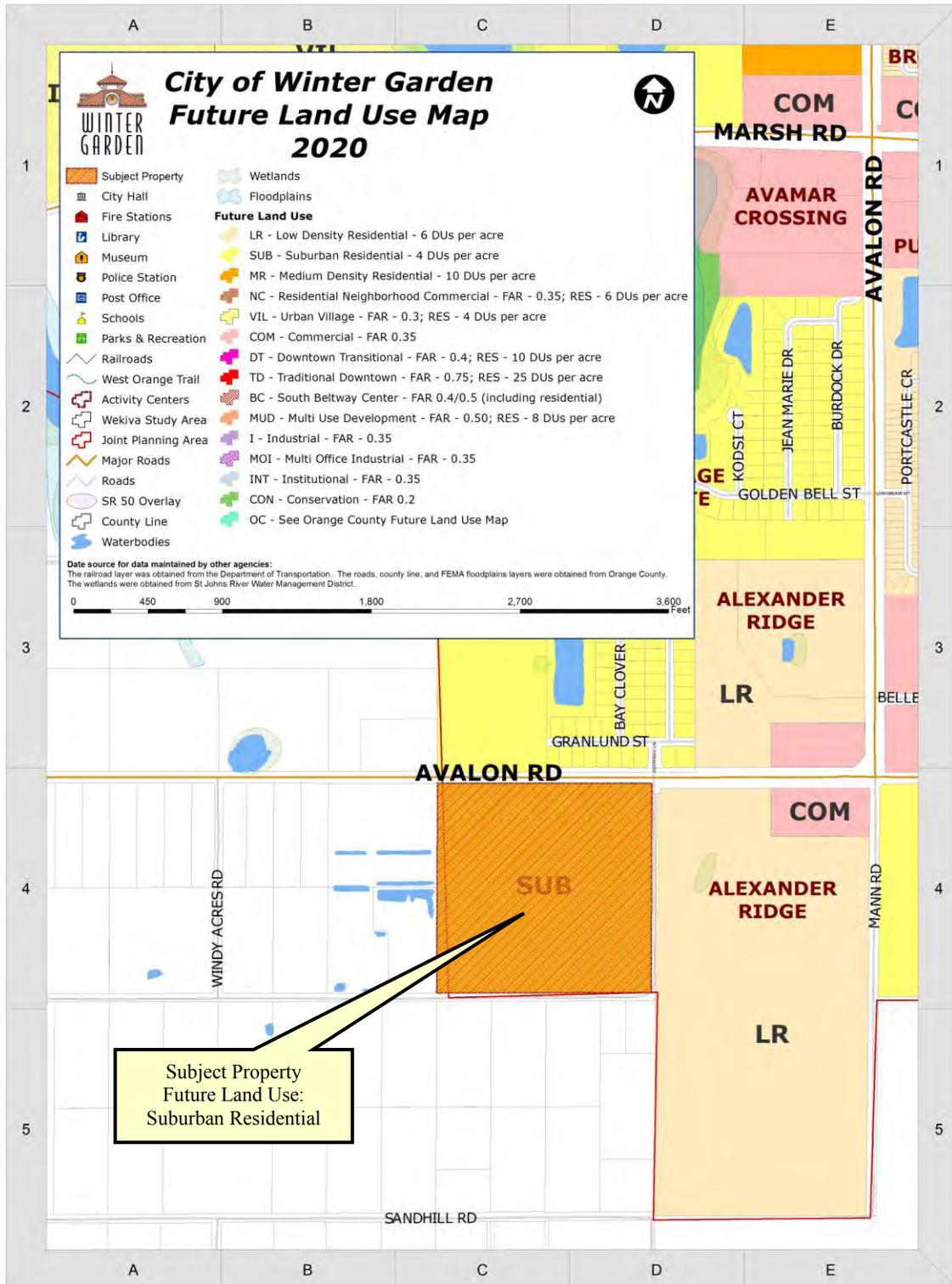
ZONING MAP

Carriage Pointe Reserve



FUTURE LAND USE MAP

Carriage Pointe Reserve



SITE PHOTOS

Carriage Pointe Reserve



AVALON ROAD





DAVENPORT ROAD



PROPOSED ELEVATIONS

65 FT LOTS BUILDING ELEVATIONS EXAMPLES
Carriage Pointe Reserve







PROPOSED ELEVATIONS
75 FT LOTS BUILDING ELEVATIONS EXAMPLES
Carriage Pointe Reserve



RICHLAND 'A'
TAYLOR MORRISON NORTH @ INDEPENDENCE 10-05-11



HUNTINGTON 'A'
TAYLOR MORRISON NORTH @ INDEPENDENCE 10-05-11



© 2011 Taylor Morrison North & Independence, LLC
GARRISON 'C'
TAYLOR MORRISON NORTH & INDEPENDENCE 10-05-11



© 2011 Taylor Morrison North & Independence, LLC
BISHOP 'C'
TAYLOR MORRISON NORTH & INDEPENDENCE 10-15-11

END OF STAFF REPORT

PLANNED UNIT DEVELOPMENT PRELIMINARY PLAN

A PLANNED UNIT DEVELOPMENT IN THE CITY OF WINTER GARDEN, FLORIDA

CANTERO PROPERTY

PARCEL ID. NUMBER: 06-23-27-4284-04-010

NOVEMBER 2011

LEGAL DESCRIPTION

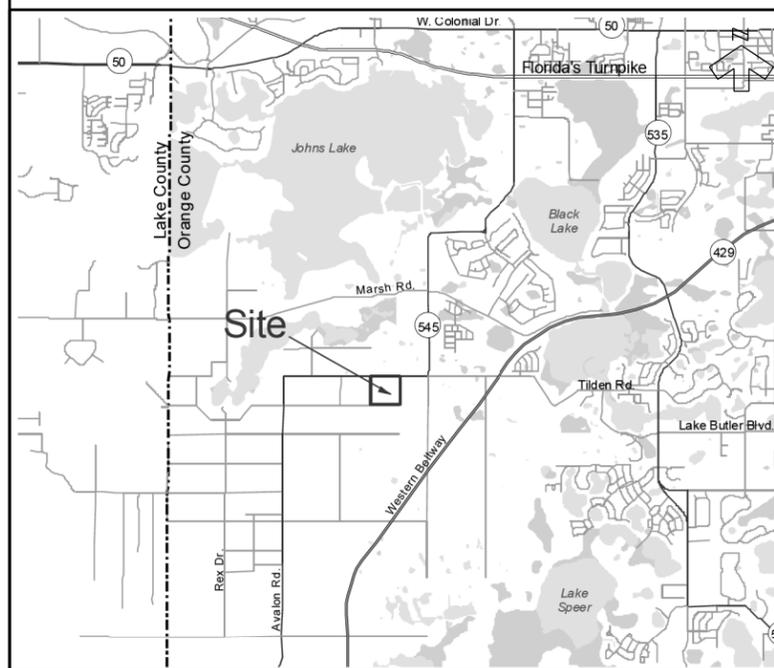
(PER WARRANTY DEED AS RECORDED IN ORB 8789, PG 97, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA)

TRACTS ONE-D, TWO-D, FIFTEEN-D AND SIXTEEN-D, OF LAKE AVALON GROVES, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK "H", PAGE 24, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

CONTAINING +/- 37.78 ACRES.

PROJECT DESCRIPTION

A 90 UNIT SINGLE FAMILY PLANNED UNIT DEVELOPMENT.



SITE LOCATION

PREPARED FOR
**TAYLOR MORRISON
OF FLORIDA, INC.**

151 SOUTHHALL LANE
SUITE 200

MAITLAND, FLORIDA 32751
CONTACT: JONATHAN WHITE
PHONE: (321) 397-7523

OWNER/APPLICANT

TAYLOR MORRISON OF FLORIDA, INC.
151 SOUTHHALL LANE, SUITE 200
MAITLAND, FLORIDA 32751
PHONE: (321) 397-7523
CONTACT: JONATHAN WHITE

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953 SUNSHINE LANE
ALTAMONTE SPRINGS, FLORIDA 32714
PHONE: (407) 774-9383
CONTACT: DOUG YOVAISH

TRAFFIC ENGINEER

LUKE TRANSPORTATION ENGINEERING
CONSULTANTS, INC.
29 EAST PINE STREET
ORLANDO, FLORIDA 32828
PHONE: (407) 423-8055
CONTACT: J. ANTHONY LUKE, P.E.

LANDSCAPE ARCHITECT

PAUL VERLANDER
706 TURNBULL AVENUE
SUITE 201
ALTAMONTE SPRINGS, FLORIDA 32701
PHONE: (407) 834-4104
CONTACT: PAUL VERLANDER

TABLE OF CONTENTS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	PD PRELIMINARY PLAN
3	BOUNDARY SURVEY & EXISTING CONDITIONS PLAN
HS-1	HARDSCAPE PLAN
HS-2	ENTRY HARDSCAPE PLAN
LA-1 - LA-3	LANDSCAPE PLANS

THIS IS TO CERTIFY THAT THE ROADWAY CONSTRUCTION PLANS AND SPECIFICATIONS AS CONTAINED HEREIN WERE DESIGNED TO APPLICABLE STANDARDS AS SET FORTH IN THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS" AS PREPARED BY FLORIDA DEPARTMENT OF TRANSPORTATION.



FLORIDA
WINTER GARDEN
CANTERO PROPERTY
CORPORATE OFFICE - 520 SOUTH MAGNOLIA AVENUE - ORLANDO, FLORIDA 32801
407-843-5120 - ENGINEERING BUSINESS - 1221
Fullsize.tbl

REVISIONS	DESCRIPTION	DATE	BY

CONTRACTOR "AS-BUILT'S" were furnished hereby state that these "As-Built's" were furnished by the contractor and that the contractor's employee under my direct supervision have reviewed these "As-Built's" and believe them to be in compliance with my knowledge of what was actually observed at the construction site.
Contractor's Name: _____
Engineer: _____
Not valid without the signature and the original raised seal of a Florida Registered Engineer.

DATE	NOVEMBER 2011
DESIGNED	NGC
CHECKED	MSS
SCALE	N/A
PROJECT NO.	CAN4/PUD
FILE NAME	CAN4PUDcover
SHEET	1 OF 3

SITE DATA

1. TOTAL PROJECT AREAS 37.78 ac.
 ROW DEDICATION: 0.76 ac.
 ROAD ROW: 5.03 ac.
 RETENTION AREA: 5.39 ac.
 GROSS DEVELOPABLE AREA: 37.02 ac. (Total Project Area)
 NET DEVELOPABLE AREA: 26.63 ac. (Gross Developable Area minus Road ROW & Retention Area)

2. SITE DATA: Total Single Family Units: 90
 Gross Residential Density: 2.43 du/ac
 Net Residential Density: 3.38 du/ac
 Minimum sq.ft. Under Heat & Air : 1400 sq.ft.
 Maximum Building Height: 40 ft.
 Minimum Lot Width Size: 65 ft.

3. SUPPORT SERVICES:
 Water Service: CITY OF WINTER GARDEN
 Sewer Service: CITY OF WINTER GARDEN
 Stormwater Management: Stormwater Management to be provided in on-site Master Stormwater Management Areas to satisfy the City of Winter Garden and St. John's River Water Management District Criteria
 Total Retention of the 25yr-96hr storm event

Schools: Addressed by school mitigation agreement for capacity enhancement in process with OCPs.

Traffic: See traffic impact analysis by others

4. FUTURE LAND USE: Suburban Residential (4du/ac)

5. EXISTING ZONING: NZ - No Zoning

6. PROPOSED ZONING: Planned Unit Development (PUD)

7. REQUESTED USES: Approved Land Use Plan for PUD

8. BUILDING SETBACKS: Single-Family As shown on Land Use Plan

65'x120' LOTS:	Front Yard	20'	75'x120' LOTS:	Front Yard	20'
	Rear Yard	20'		Rear Yard	20'
	Side Yard	7.5'		Side Yard	7.5'
	Corner	20'		Corner	20'
	Front Load Garage (Front)	25'		Front Load Garage (Front)	25'
	Porch/Courtyard Garage (Front)	15'		Porch/Courtyard Garage (Front)	15'
	Pool (side & rear)	5'		Pool (side & rear)	5'
	No. Lots	47		No. Lots	43

9. OPEN SPACE - (25% GROSS DEVELOPABLE AREA) = 9.48 AC. (REQ.)
 PROVIDED: PARK AREA - 0.76 AC.
 100' OPEN SPACE BUFFER - (5.61 - 0.5%) 5.03 AC.
 RETENTION AREAS - 5.39 AC.
 TOTAL AREA = 11.18 AC.

10. RECREATION FACILITIES: FACILITIES FOR COMMUNITY PARK INCLUDE GAZEBO, PARK BENCHES AND 10 FT. MULTIPURPOSE TRAIL WITHIN 100' OPEN SPACE BUFFER.
 37.02 X 0.05 = 1.85 ACRES REQUIRED
 PASSIVE PARK = 0.76 AC.
 MULTIPURPOSE TRAIL (20') = 0.58 AC.
 TOTAL AREA = 1.35 AC.*
 * 0.50 ACRES TO BE PURCHASED FROM CITY RECREATION FUND.

11. All lots bordering the PUD perimeter shall meet the requirements of Chapter 118, Article V, Division 2, Subdivision III, Section 118-924(d): A minimum 25-foot yard shall be required from the nearest part of any building wall to the edge of any public right-of-way or private street, and all structures shall have a minimum 20-foot rear yard. A minimum 25-foot yard shall be maintained between the walls of all structures and the perimeter of the PUD. Additional perimeter yard requirements for multistory buildings shall be figured at five additional feet for each ten feet of height over the first story.

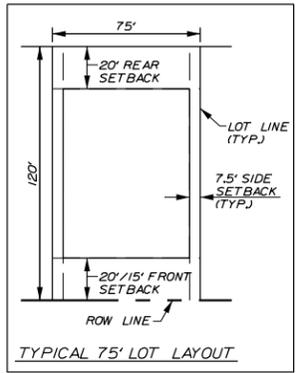
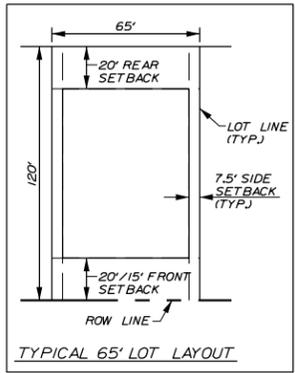
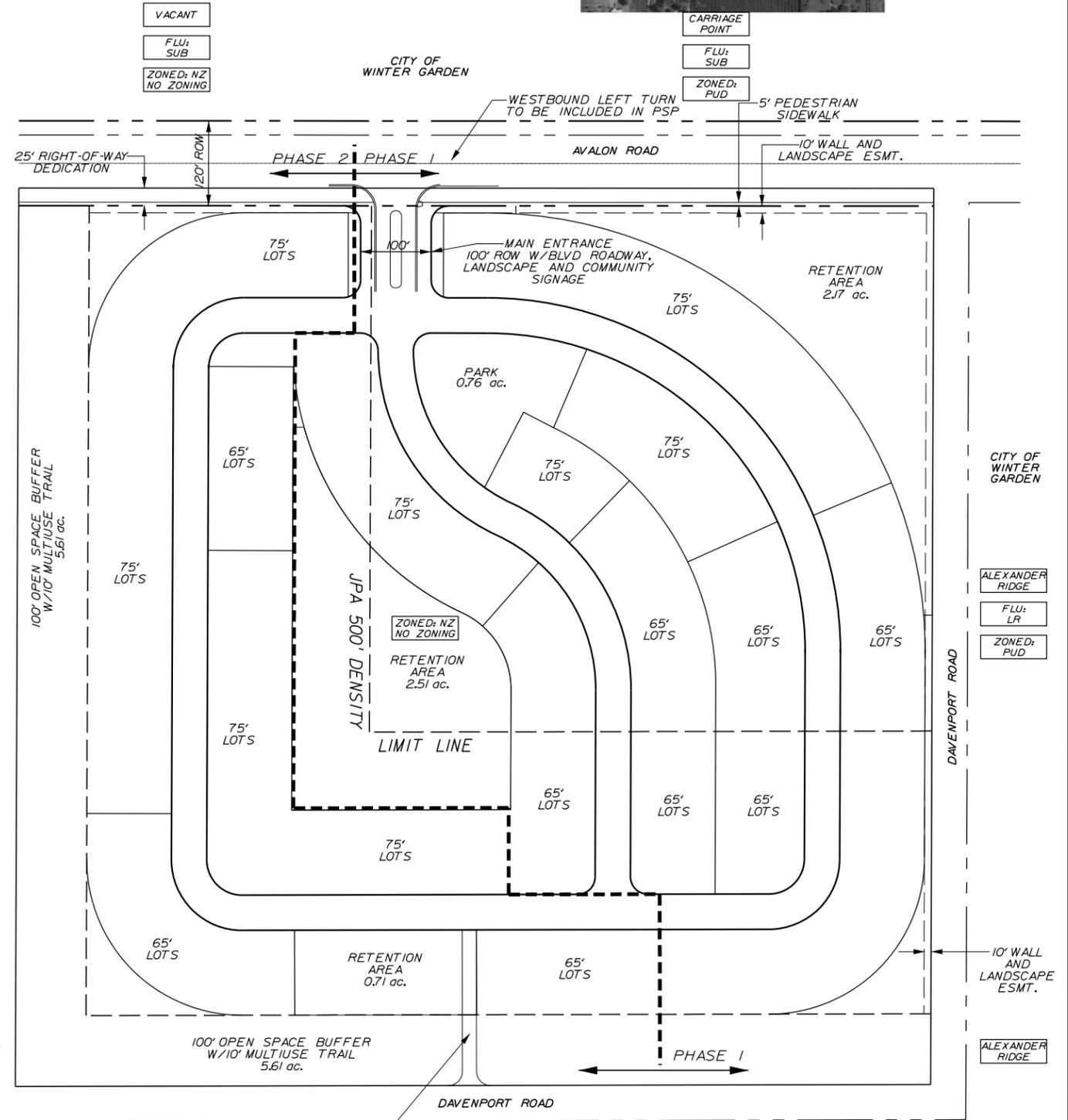
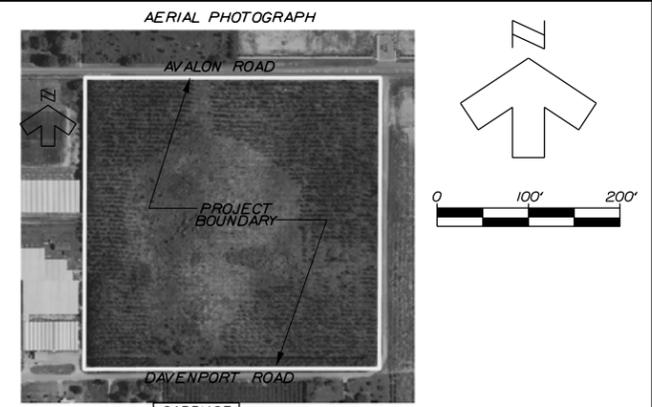
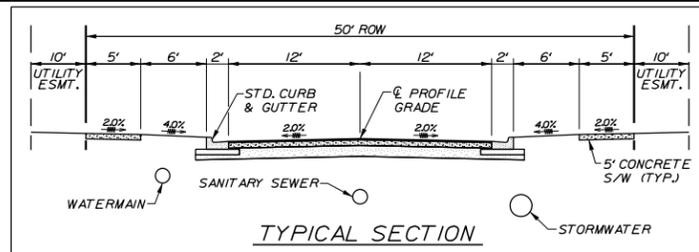
12. Project to be gated with privately owned and maintained streets.

13. JPA 500' Density Limit Line:
 55 lots / Area = 23.5 ac = 2.34 du/ac
 (Residential Units within JPA 500' Density Limit Lines limits density to 3.0 du/ac.)

14. All irrigation on the site shall be designed to be supplied by reclaim water.

NOTES:

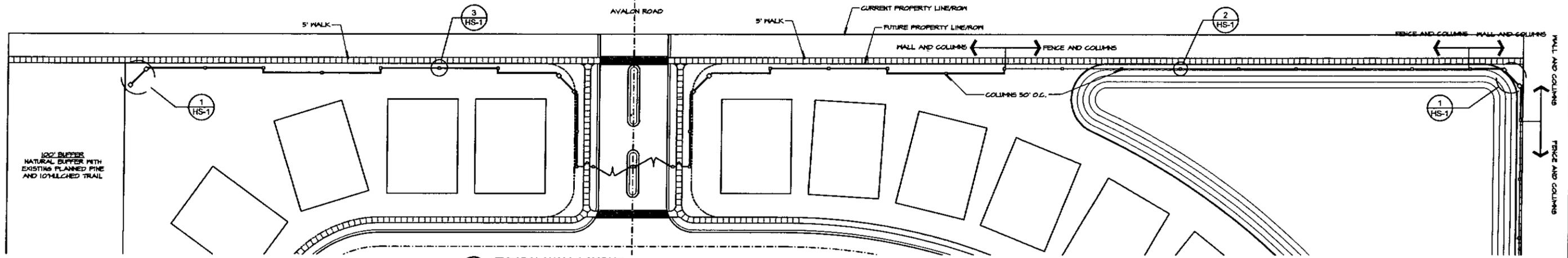
- NONE OF THE 25% WSA OPEN SPACE MAY BE CHEMICALLY TREATED WITH PESTICIDES OR FERTILIZERS TO ESTABLISH SENSITIVE NATURAL HABITAT.
- GARAGES SHOULD BE LOCATED TO THE REAR OF SINGLE-FAMILY RESIDENTIAL LOTS OR AT LEAST FIVE FEET BEHIND THE PRIMARY BUILDING FACADE. SIDE ENTRY GARAGES MAY BE LOCATED IN FRONT OF THE PRIMARY BUILDING FACADE AND BEHIND THE FRONT SETBACK LINE. ACCENTUATE THE USE OF STEP BACKS IN BUILDING ELEVATIONS.
- FRONT FACADE VARIATION SHOULD BE PROVIDED SO THE FRONT LOAD GARAGE AND THE PORCH/COURTYARD GARAGE ARE ALTERNATED.
- FRONT PORCHES SHALL BE PROVIDED ON AT LEAST 50% OF ALL SINGLE-FAMILY RESIDENTIAL UNITS.
- PRIMARY BUILDING ENTRANCES SHALL BE VISIBLE AND ACCESSIBLE FROM THE STREET AND SHALL HAVE A WALKWAY FROM THE PRIMARY ENTRANCE TO THE SIDEWALK.



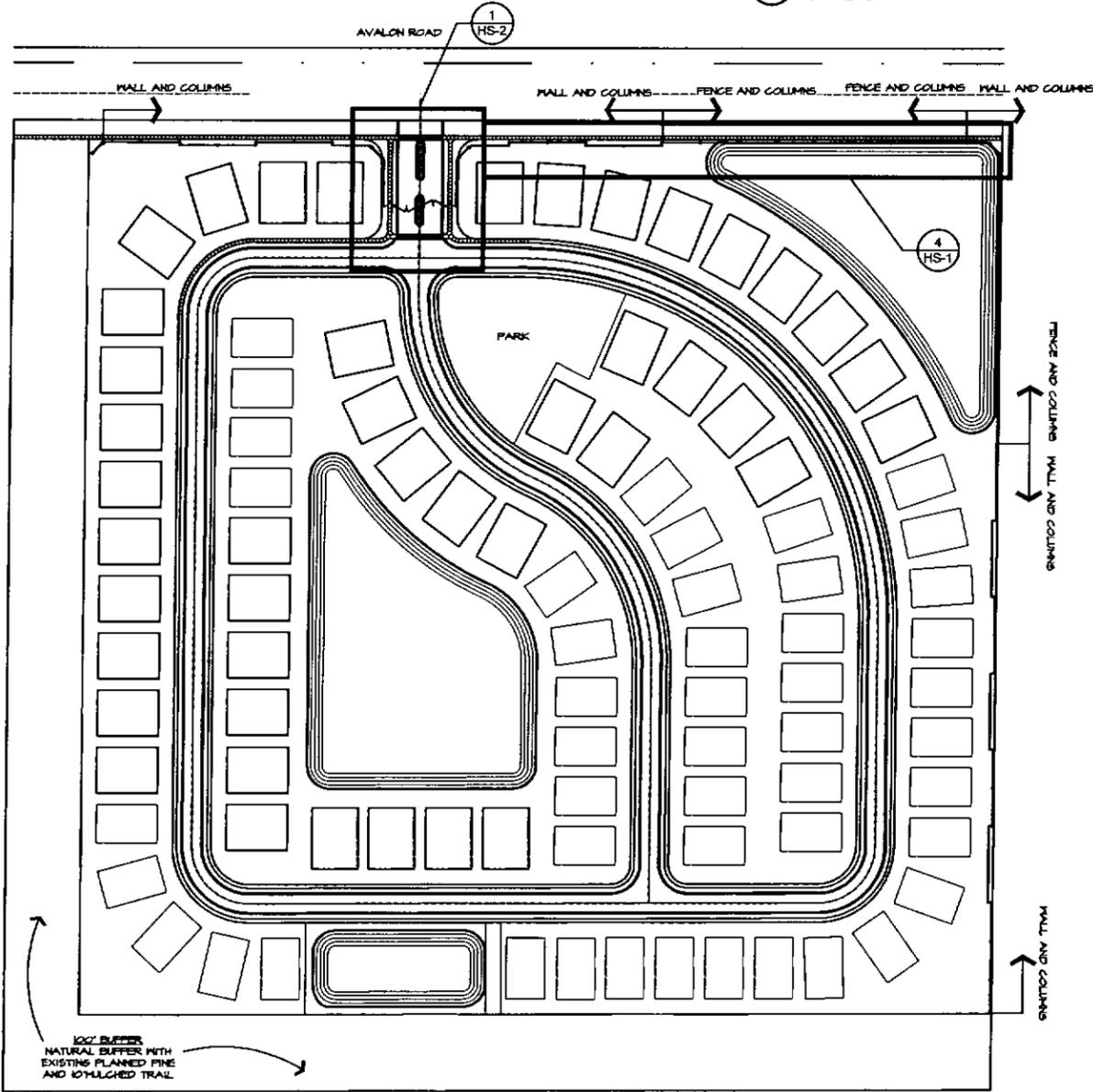
FLORIDA
 WINTER GARDEN
 PD PRELIMINARY PLAN
 CAMTERO PROPERTY

DATE	NOVEMBER 2011
DESIGNED	NGC
CHECKED	MSS
SCALE	1" = 100'
PROJECT NO.	CAN4/PUD
FILE NAME	CAN4PUDPRELIMPLAN
SHEET	2 OF 3

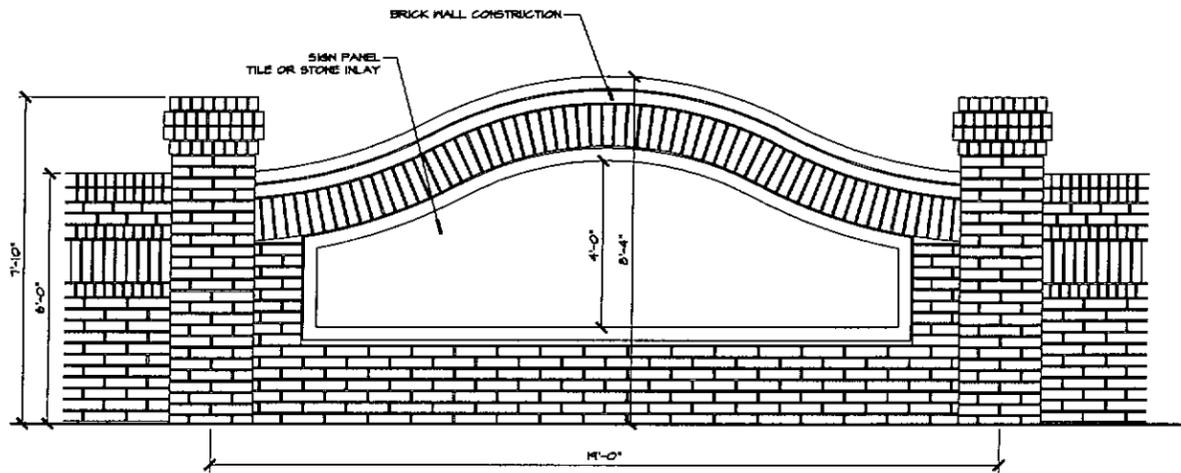
CONTRACTOR: "AS-BUILT'S" were furnished by the contractor. The contractor is responsible for the accuracy of the "AS-BUILT'S" and for any discrepancies between the "AS-BUILT'S" and the original plans. The contractor's signature and seal are required for the "AS-BUILT'S" to be valid. Not valid without the signature and the original sealed seal of a Florida Registered Engineer.
 12/21/2011
 Fullsize.tbl
 ...PUD:CAN4PUDPRELIMPLAN.dgn



4 TYPICAL WALL LAYOUT
1" = 48'-0"

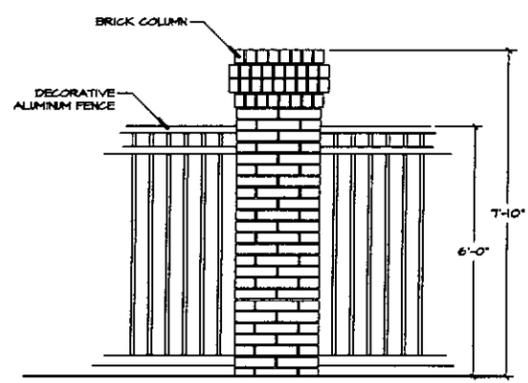


OVER ALL SITE PLAN
1" = 180'-0"



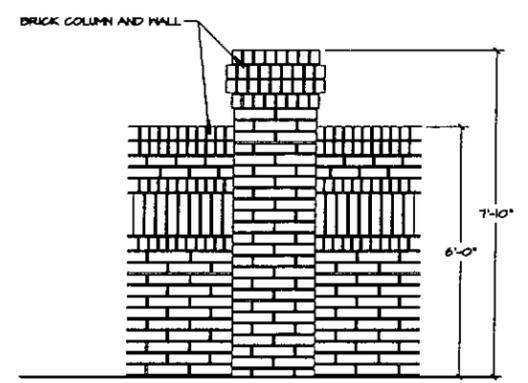
1 CANTERO SIGN WALL
1/2" = 1'-0"

W1-23



2 FENCE AND COLUMN DETAIL
1/2" = 1'-0"

F-83



3 WALL AND COLUMN DETAIL
1/2" = 1'-0"

W1-24



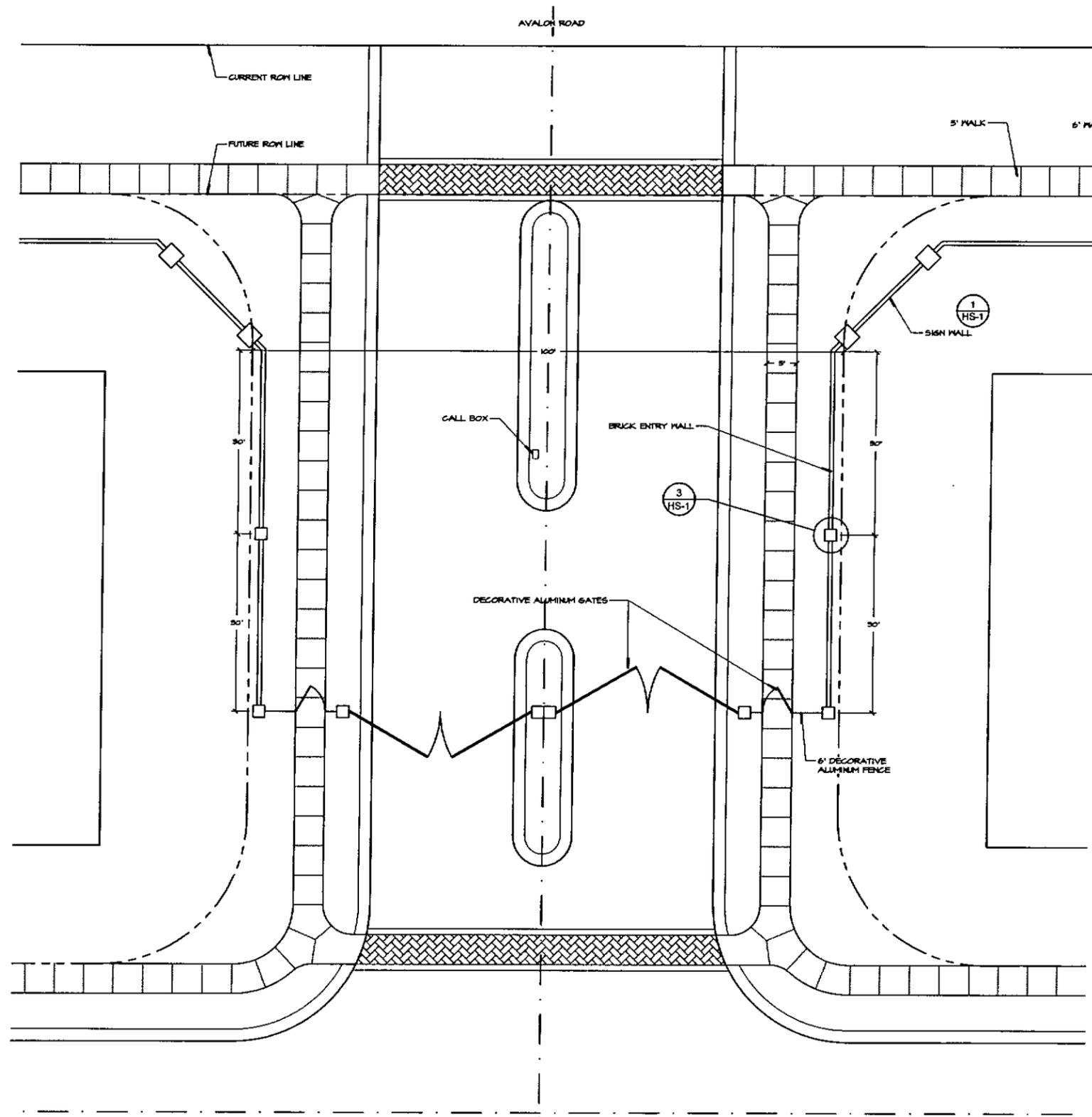
REVISIONS			
DATE	BY	DESCRIPTION	
XXX	PLV	XXXXX	

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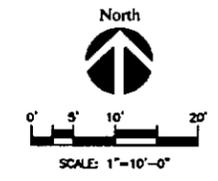
PAUL L. VERLANDER, ASLA
 License No. LA0000546

HARDSCAPE PLAN
CARRIAGE POINTE
 WINTER GARDEN, FLORIDA

PROJ. NO.: 1145.00
 SCALE: AS SHOWN
 DATE: 11-21-11
 SHEET NO: **HS-1**



1 ENTRY HARDSCAPE PLAN
1" = 48'-0"



REVISIONS			
DATE	BY	DESCRIPTION	
XXX	PLV	XXXXX	

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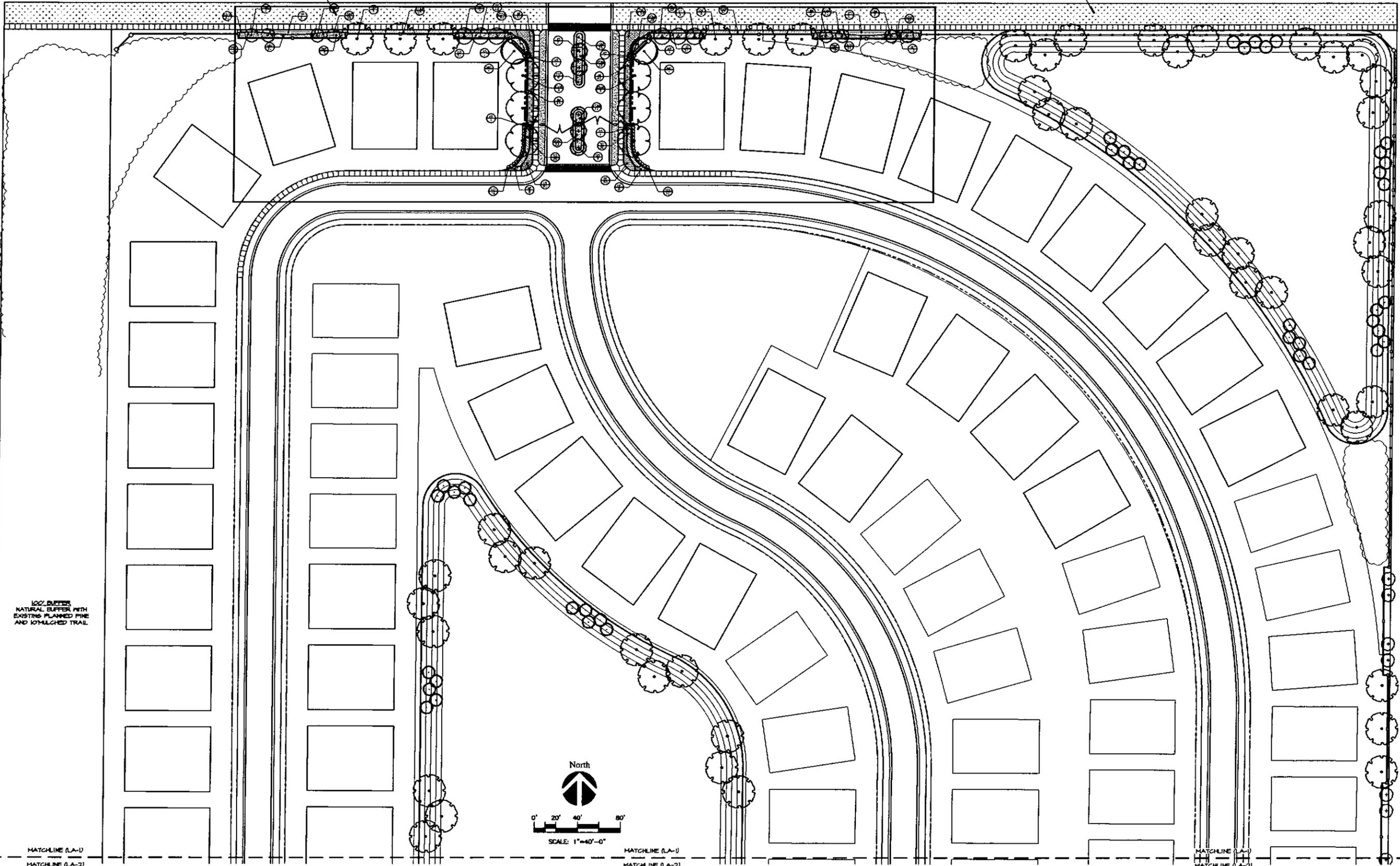
ENTRY HARDSCAPE PLAN
CARRIAGE POINTE
WINTER GARDEN, FLORIDA

PROJ. NO.: 1145.00
SCALE: 1"=10'-0"
DATE: 11-21-11
SHEET NO: **HS-2**

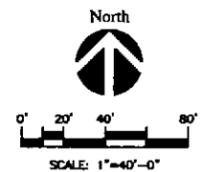
UNIRRIGATED ARGENTINE BAHIA SOD IN ROW

REFER TO SHEET LA-3 FOR ENTRY

UNIRRIGATED ARGENTINE BAHIA SOD IN ROW



100' BUFFER
NATURAL BUFFER WITH
EXISTING PLANNED PINE
AND MULCHED TRAIL



MATCHLINE (LA-1)
MATCHLINE (LA-2)

MATCHLINE (LA-1)
MATCHLINE (LA-2)

REFER TO SHEET LA-3 FOR PLANT LIST

REVISIONS			
DATE	BY	DESCRIPTION	
XXX	PLV	XXXXX	

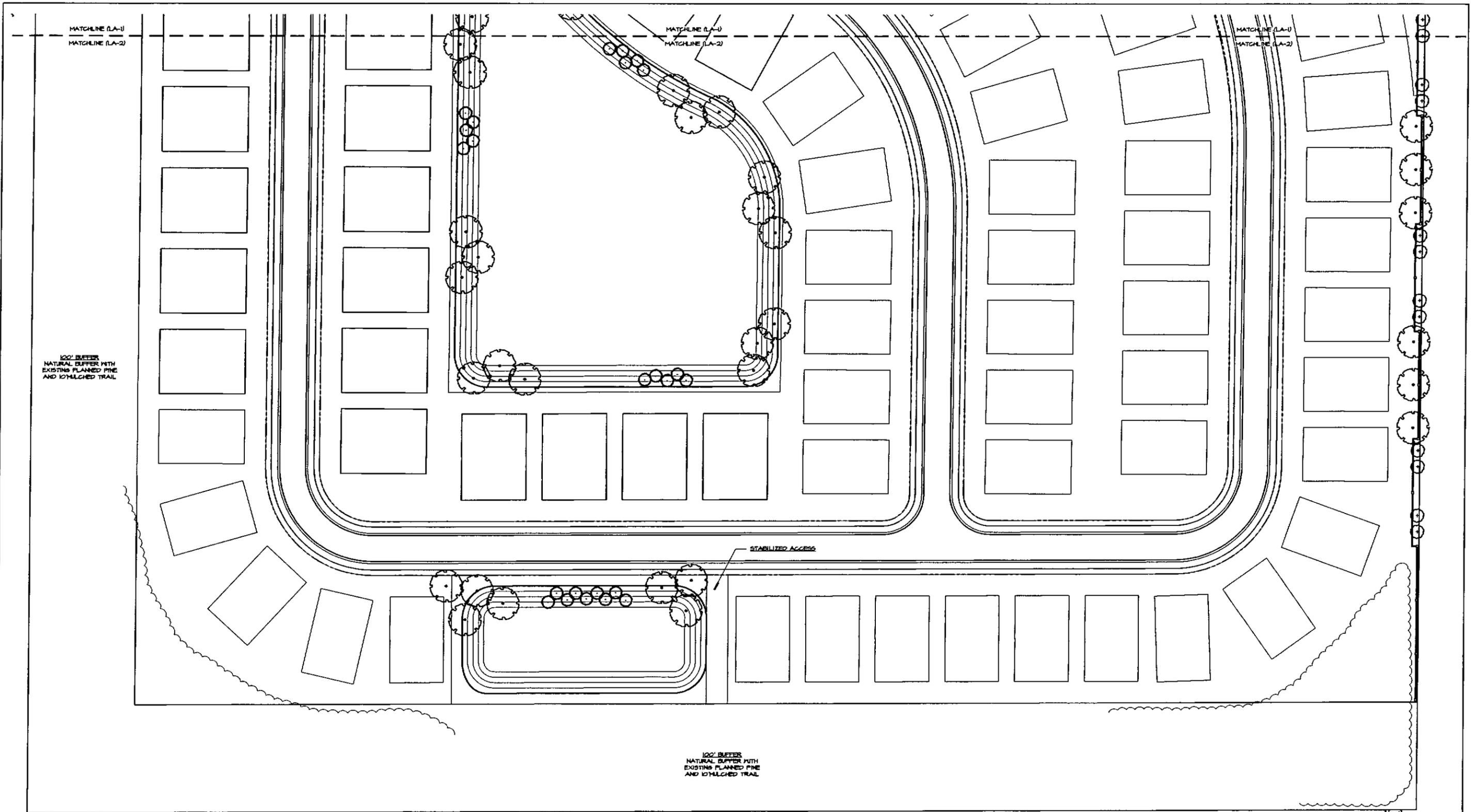
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LANDSCAPE PLAN
CARRIAGE POINTE
 WINTER GARDEN, FLORIDA

PROJ. NO.: 1145.00
 SCALE: 1"=40'-0"
 DATE: 11-21-11
 SHEET NO.: **LA-1**

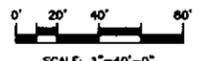


100' BUFFER
NATURAL BUFFER WITH
EXISTING PLANNED PINE
AND MULCHED TRAIL

100' BUFFER
NATURAL BUFFER WITH
EXISTING PLANNED PINE
AND MULCHED TRAIL

STABILIZED ACCESS

North



SCALE: 1"=40'-0"

REFER TO SHEET LA-3 FOR PLANT LIST

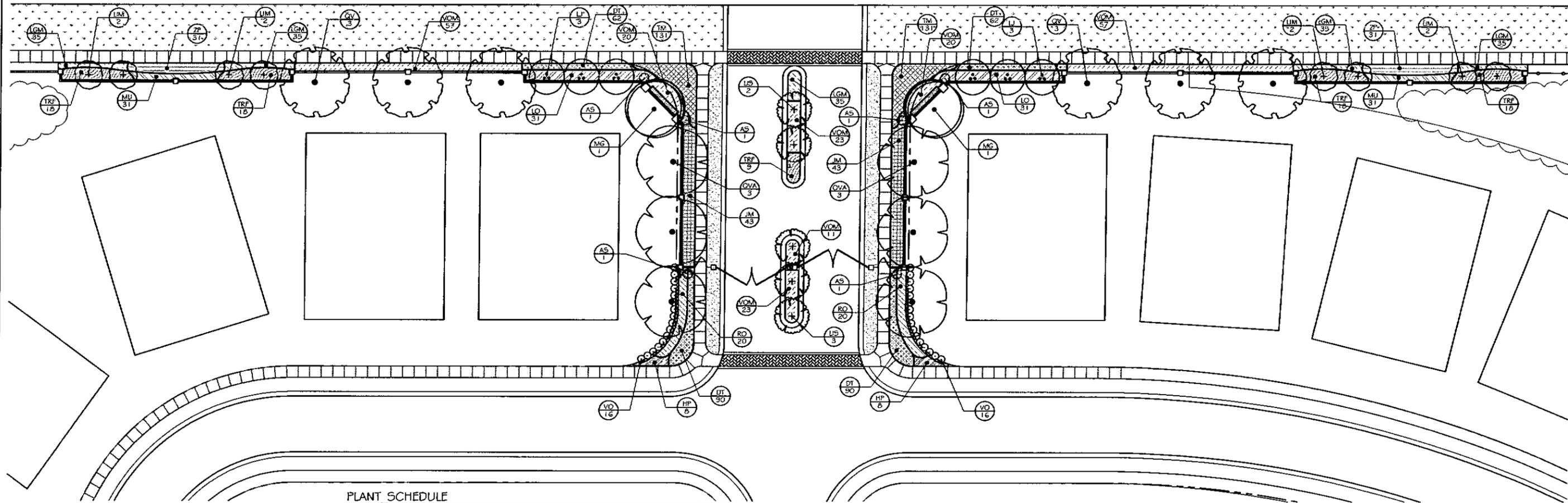
REVISIONS		
DATE	BY	DESCRIPTION
XXX	FLV	XXXX

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LANDSCAPE PLAN
CARRIAGE POINTE
WINTER GARDEN, FLORIDA

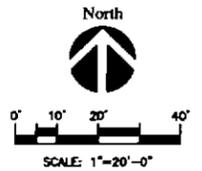
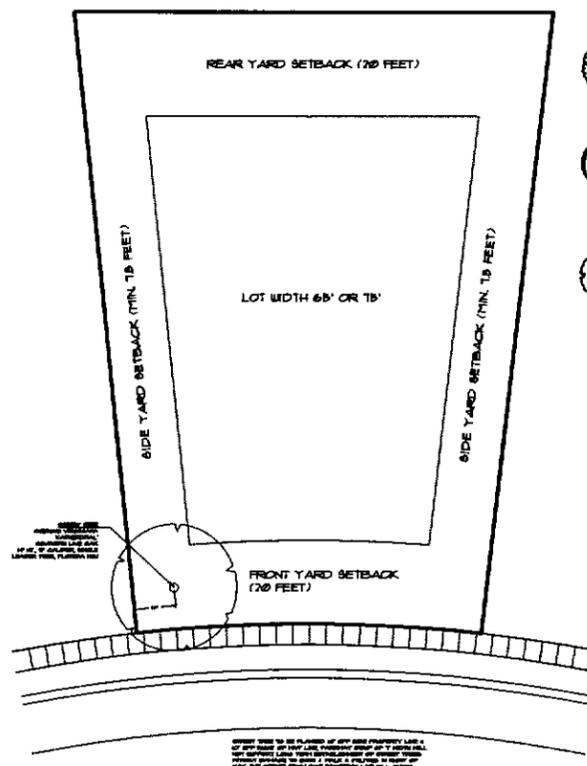
PROJ. NO.: 1145.00
SCALE: 1"=40'-0"
DATE: 11-21-11
SHEET NO:
LA-2



PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	CONT	GAL	SIZE	REMARKS
	LIM	Lagerstroemia faurii 'Muskogee'	Multi-Trunk Lavender Grape Myrtle	30 gal		7'-8'	3-5 MAIN TRUNKS, LAVENDER
	LIS	Lagerstroemia indica 'Natchez'	Crape Myrtle Standard	45 gal	3'Gal	12'-14'	6'-7' SINGLE TRUNK, WHITE
	LI	Ligustrum japonicum	Japanese Privet	8 & 8		10'x10'	3-5 MAIN TRUNKS, WELL DEVELOPED FORM, 3" CLEAR TRUNK
	MG	Magnolia grandiflora D.D. Blanchard	Southern Magnolia	65 gal	4'Gal	12'-14'	WELL DEVELOPED PYRAMIDAL FORM, SPEC QUALITY
	PE	Pinus elliotii	Slash Pine	25 gal	3"	12" D.A.	SINGLE LEADER TREE, LOBBLY FINE MAY BE SUBSTITUTED
	QV	Quercus virginiana	Southern Live Oak	100 gal or RPG B4B	5'Gal	16'x8'	SINGLE STRAIGHT TRUNK, WELL DEVELOPED CANOPY
	QVA	Quercus virginiana	Southern Live Oak	200 gal or RPG B4B	7'-8'Gal	20'-12'	6" CLEAR TRUNK OR B4B / RPG
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	CONT	REMARKS		
	AS	Acca sellowiana	Pineapple Guava	3 gal			
	VO	Viburnum odoratissimum	Sweet Viburnum	7 gal	36"x30" O.A., 36" oc		
SHRUB AREAS	CODE	BOTANICAL NAME	COMMON NAME	CONT	REMARKS		
	DT	Dianella tasmanica	Blueberry Flax Lily	1 gal @ 18" oc			
	HP	Hamelia patens	Fire Bush	3 gal @ 30" oc			
	JA	Jasminum multiflorum	Downey Jasmine	3 gal @ 36" oc			
	LGM	Lantana camara 'Gold Mound'	Gold Mound Lantana	1 gal @ 18" oc			

	LO	Loropetalum chinense 'Plum'	Loropetalum	3 gal @ 36" oc	COMPACT VARIETY
	MU	Muhlenbergia capillans	Pink Muhly	1 gal @ 24" oc	
	RO	Rosa Radtko 'Knockout'	Double Knockout Rose	3 gal @ 36" oc	DOUBLE RED
	TM	Trachelospermum asiaticum	Dwarf Asiatic Jasmine	1 gal @ 18" oc	
	TRF	Trysacum Rondara	Dwarf Fakahatchee	3 gal @ 36" oc	
	VOM	Viburnum obovatum 'Mrs. Shillers Delight'	Mrs. Shillers Delight Viburnum	3 gal @ 30" oc	
	ZP	Zamia pumila	Cookiec	3 gal @ 30" oc	
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	CONT	REMARKS
	MULCH	Mulch - Pine Bark Nuggets	mulch		1" DIA. 4 DOWN, 3" DEEP LAYER, 1" ON TREES
	SOD	Zoysia 'Empire'	Empire Zoysia	sod	SOUD SOD
	SOD2	Paspalum notatum	Argentine Bahua Seed	sod	SCARIFIED SEED W/ NURSE GRASS



REVISIONS		
DATE	BY	DESCRIPTION
XXX	PLV	XXXXX

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LANDSCAPE PLAN
CARRIAGE POINTE
 WINTER GARDEN, FLORIDA

PROJ. NO.: 1145.00
 SCALE: 1"=20'-0"
 DATE: 11-21-11
 SHEET NO.: **LA-3**